

Architecture Concepts of a Signature Series Pulte Community



Tuller Road Townhomes

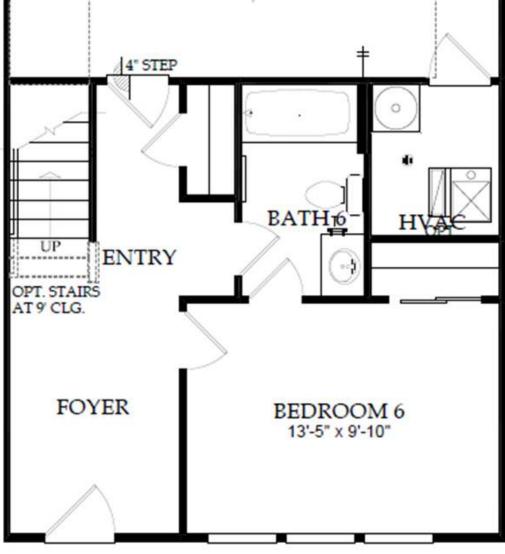
Dublin, Ohio

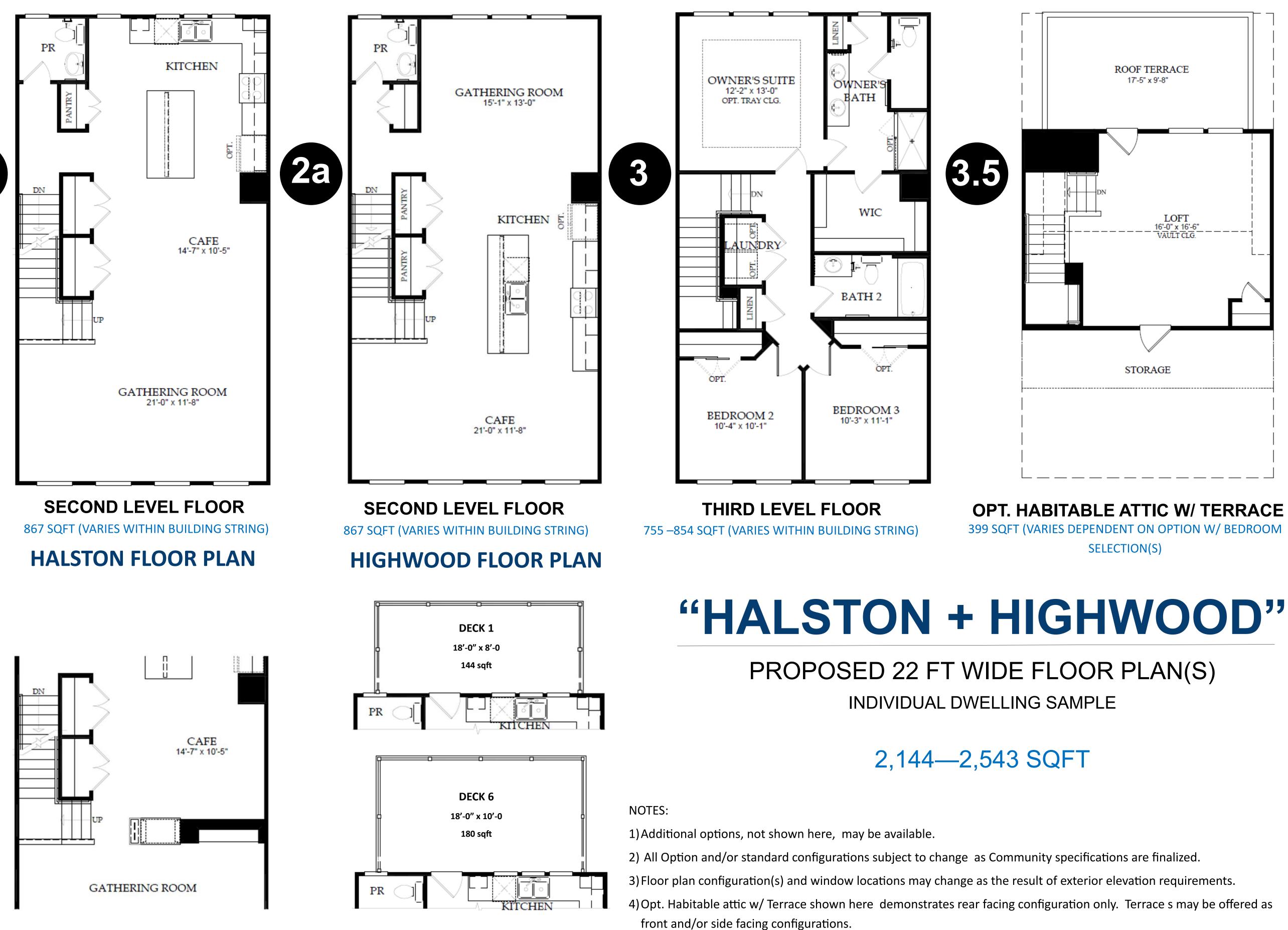
Preliminary Architecture Proposal Prepared for November 5, 2020 Planning Commission Meeting

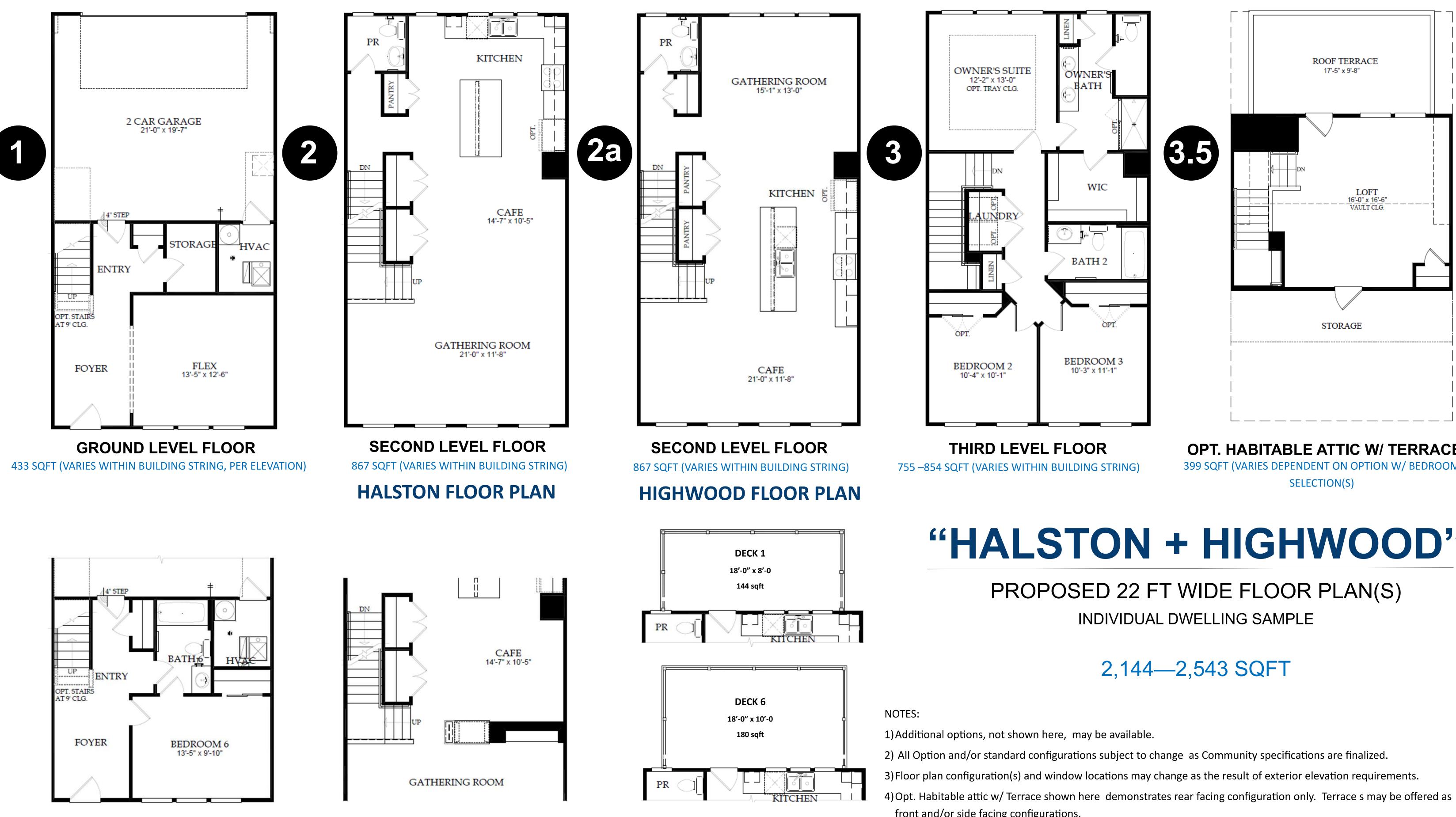
BRIDGE STREET TOWN HOME PRELIMINARY FLOOR PLANS :: DUBLIN, OHIO

OPT. BEDROOM + BATH @ GROUND LEVEL FLOOR









REAR DECK OPTIONS

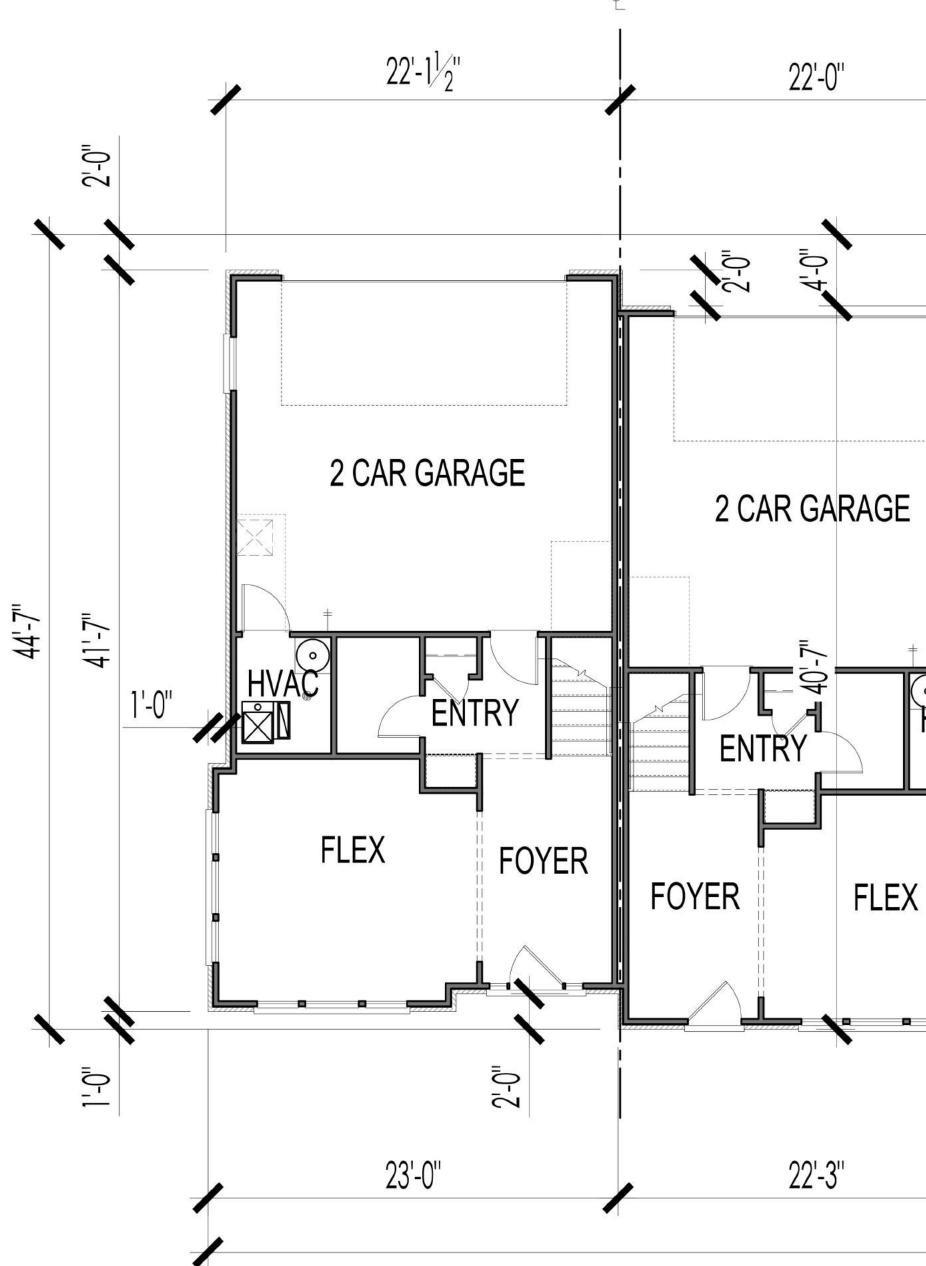
OPT. HABITABLE ATTIC W/ TERRACE 399 SQFT (VARIES DEPENDENT ON OPTION W/ BEDROOM



BRIDGE STREET TOWN HOME PRELIMINARY FLOOR PLANS :: DUBLIN, OHIO

NOTES: 1) All floorpla 2) Unit config

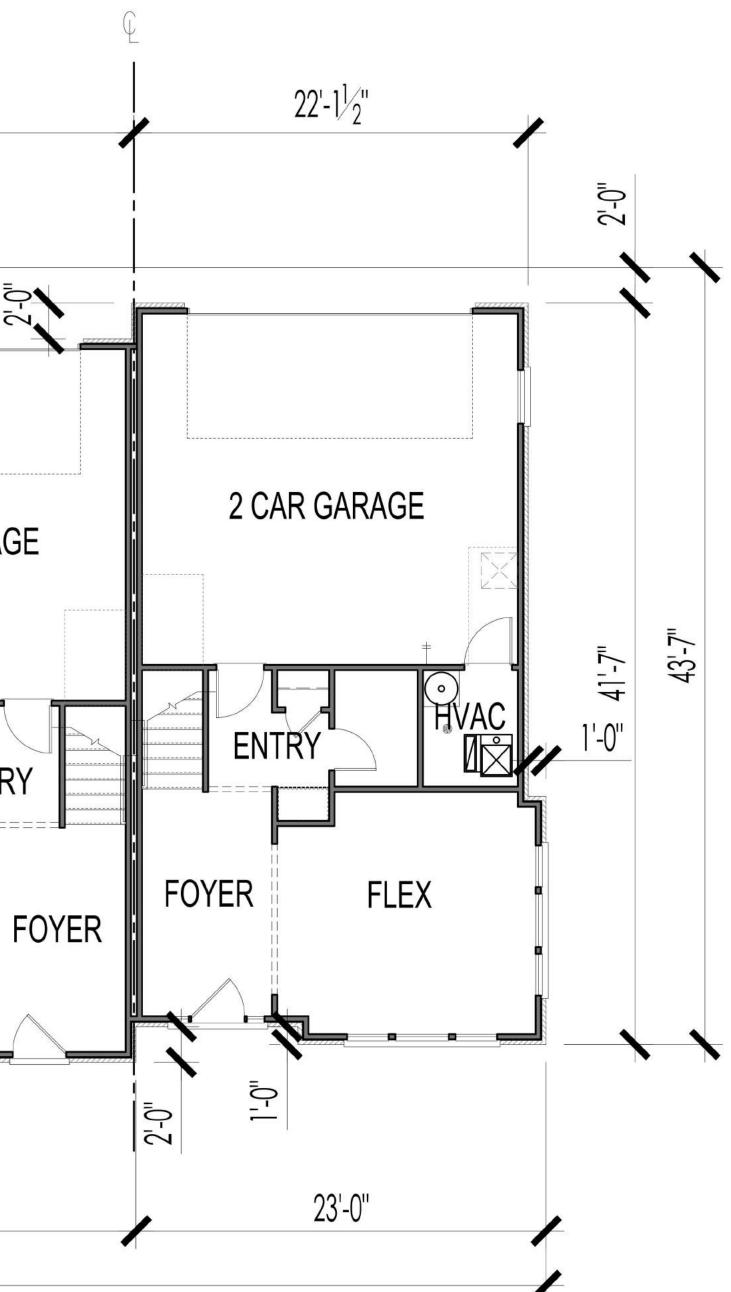
ELEVATION "G" TYPICAL 6 UNIT GROUND LEVEL CONTROL PLAN



22'-0" 22'-0" 22'-0" 4'-0" 2 CAR GARAGE 2 CAR GARAGE 2 CAR GARAGE ~ **F** 40 U HVAC HVAC Š ENTRY ENTRY HVAC UX 4 ENTRY FOYER FOYER FLEX FLEX FLEX 2'-8]_" 9 Ō LINE OF WALL ABOVE 20'-6' 22'-3" 43'-9" 134'-3"

1) All floorplans are preliminary and subject to change.

2) Unit configurations, dimensions and building offsets subject to change and may vary, per unique elevation design and options selected.





BRIDGE STREET TOWN HOME PRELIMINARY ELEVATION :: DUBLIN, OHIO

MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	2,349	69.29%		
COMPOSITE PANEL	PRIMARY	630	18.58%		
		2,979	87.88%	80%	YES
COMPOSITE SIDING	SECONDARY	386	11.39%	<20%	YES

TYPICAL 6 UNIT FRONT ELEVATION



Elevation "G" Color Scheme #5

FIRST STORY	
STORY AREA (SF)	1,364
TRANSPARENCY (SF)	412
REQUIRED	20%
PROVIDED	30%

SECOND STORY	
STORY AREA (SF)	1,409
TRANSPARENCY (SF)	438
REQUIRED	20%
PROVIDED	31%

THIRD STORY	
STORY AREA (SF)	1,250
TRANSPARENCY (SF)	397
REQUIRED	20%
PROVIDED	32%

LOFT (OPTIONAL)	
STORY AREA (SF)	625
TRANSPARENCY (SF)	74
REQUIRED	20%
PROVIDED	12%





KITCHEN REAR

TOTAL FACADE AREA =	1,353 SF		
MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE
BRICK	PRIMARY	422	31.19%
COMPOSITE PANEL	PRIMARY	0	0.00%
		422	31.19%
COMPOSITE SIDING	SECONDARY	931	68.81%

*WINDOWS AND DOORS NOT INCLUDED IN FACADE AREA

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

REQURIED COMPLY 80% NO X 20% NO

FIRST STORY	
STORY AREA (SF)	432
TRANSPARENCY (SF)	60
REQUIRED	15%
PROVIDED	14%

SECOND STORY	
STORY AREA (SF)	443
TRANSPARENCY (SF)	101
REQUIRED	15%
PROVIDED	23%

THIRD STORY	
STORY AREA (SF)	380
TRANSPARENCY (SF)	55
REQUIRED	15%
PROVIDED	14%

TYPICAL SIDE ELEVATIONS

Elevation "G" Color Scheme #5

KITCHEN CENTER

LOFT (OPTIONAL)	
STORY AREA (SF)	311
transparency (SF)	0
REQUIRED	15%
PROVIDED	0%





KITCHEN REAR (HIGH IMPACT)

TOTAL FACADE AREA =	1,355 SF			
MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	
BRICK	PRIMARY	528	38.97%	
COMPOSITE PANEL	PRIMARY	0	0.00%	
		528	38.97%	
COMPOSITE SIDING	SECONDARY	827	61.03%	
*WINDOWS AND DOORS NOT INCLUDED	N FACADE AREA			

TYPICAL SIDE HIGH IMPACT ELEVATIONS

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

REQURIED COMPLY NO 80% <20% NO

FIRST STORY	
STORY AREA (SF)	432
TRANSPARENCY (SF)	60
REQUIRED	20%
PROVIDED	14%

SECOND STORY	
STORY AREA (SF)	443
TRANSPARENCY (SF)	99
REQUIRED	20%
PROVIDED	22%

THIRD STORY		LOFT (OPTIONAL)	
STORY AREA (SF)	380	STORY AREA (SF)	31
TRANSPARENCY (SF)	55	TRANSPARENCY (SF)	0
REQUIRED	20%	REQUIRED	20%
PROVIDED	14%	PROVIDED	0%

Elevation "G" Color Scheme #5

KITCHEN CENTER (HIGH IMPACT)





FIRST STORY	
STORY AREA (SF)	1,344
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%

SECOND STORY	
STORY AREA (SF)	1,382
TRANSPARENCY (SF)	221
REQUIRED	15%
PROVIDED	16%

THIRD STORY		LOFT (OPTIONAL)
STORY AREA (SF)	1,250	STORY AREA (SF)
TRANSPARENCY (SF)	355	TRANSPARENCY (SF)
REQUIRED	15%	REQUIRED
PROVIDED	28%	PROVIDED

TOTAL FACADE AREA =	= 3,236 SF				
MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	504	15.57%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		504	15.57%	80%	NO
COMPOSITE SIDING	SECONDARY	2,732	84.43%	<20%	NO

FIRST STORY	
STORY AREA (SF)	1,344
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%

SECOND STORY	
STORY AREA (SF)	1,382
TRANSPARENCY (SF)	221
REQUIRED	1.5%
PROVIDED	16%

THIRD STORY		LOFT (OPTIONAL)	
STORY AREA (SF)	1,250	STORY AREA (SF)	68
TRANSPARENCY (SF)	355	TRANSPARENCY (SF)	10
REQUIRED	15%	REQUIRED	15
PROVIDED	28%	PROVIDED	15

MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	647	19,99%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		647	19.99%	80%	NO
COMPOSITE SIDING	SECONDARY	2,589	80.01%	<20%	NO

FIRST STORY	
STORY AREA (SF)	1,344
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%

SECOND STORY	
STORY AREA (SF)	1.382
TRANSPARENCY (SF)	221
REQUIRED	15%
PROVIDED	16%

THIRD STORY		LOFT (OPTIONAL)	
STORY AREA (SF)	1,250	STORY AREA (SF)	686
TRANSPARENCY (SF)	355	TRANSPARENCY (SF)	103
REQUIRED	15%	REQUIRED	15%
PROVIDED	28%	PROVIDED	15%

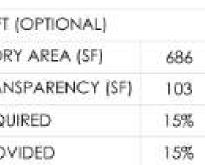
MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	1,324	40.09%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		1.324	40.09%	80%	NO
COMPOSITE SIDING	SECONDARY	1,912	59.10%	<20%	NO

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

TYPICAL REAR ELEVATION "G" SCHEME 5—W/ HIGH IMPACT SIDE + REAR ELEVATION



TYPICAL REAR ELEVATION "G" SCHEME 5—W/ HIGH IMPACT SIDE ELEVATION





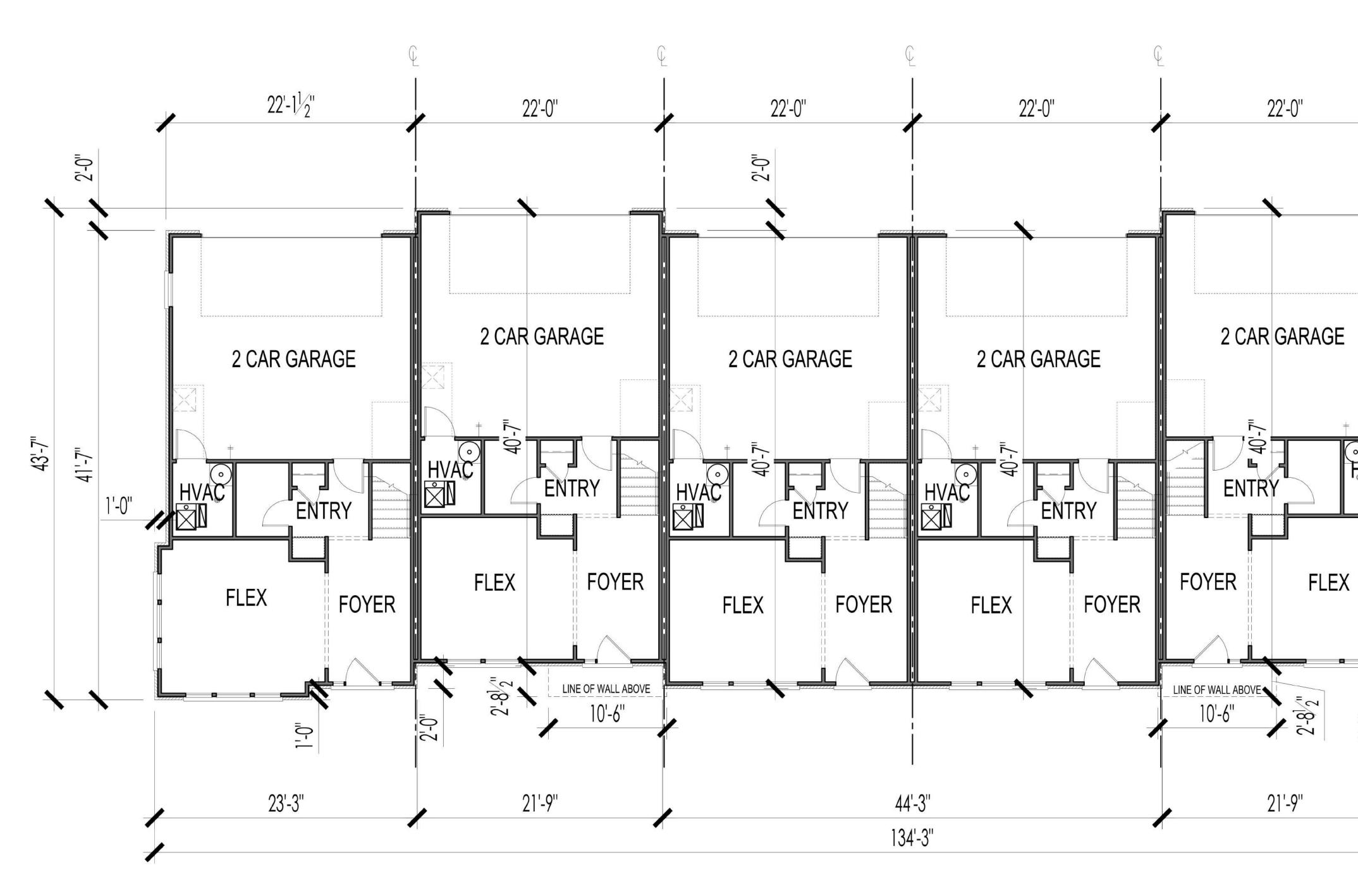




BRIDGE STREET TOWN HOME PRELIMINARY FLOOR PLANS :: DUBLIN, OHIO

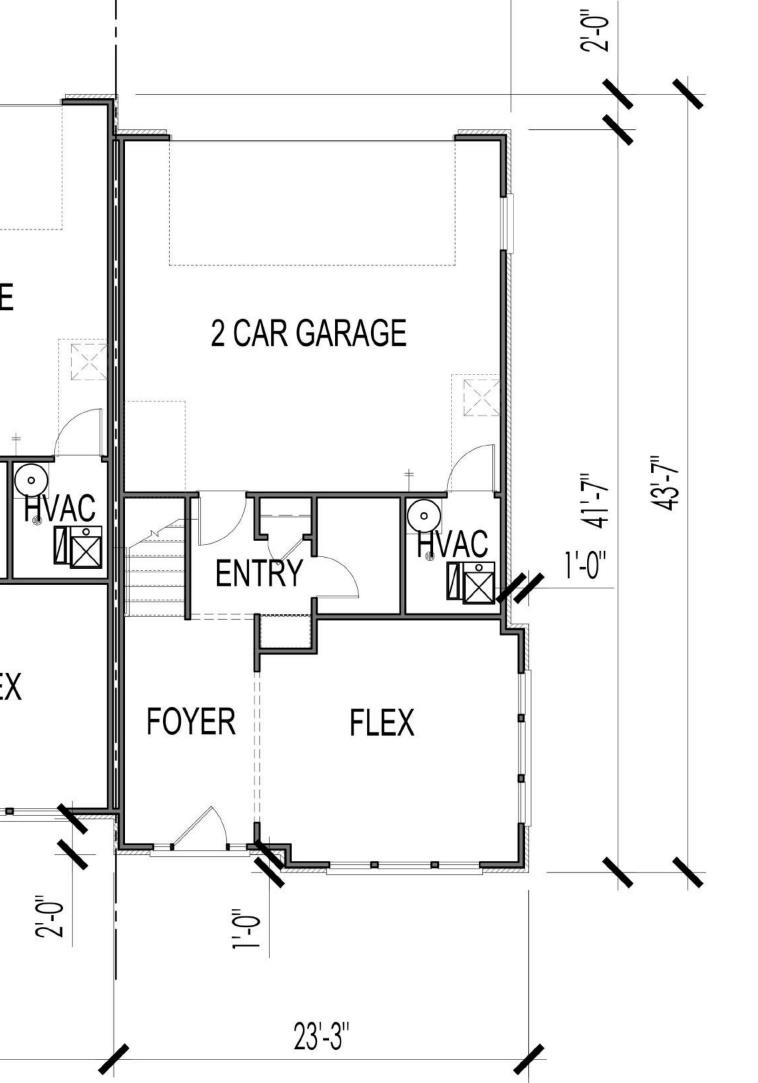
NOTES: 1) All floorpla 2) Unit config

ELEVATION "H" TYPICAL 6 UNIT GROUND LEVEL CONTROL PLAN



1) All floorplans are preliminary and subject to change.

2) Unit configurations, dimensions and building offsets subject to change and may vary, per unique elevation design and options selected.



22'-1¹/2"





MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	2,360	70.0%		
COMPOSITE PANEL	PRIMARY	636	18.9%		
		2,996	88.9%	80.0%	YES
COMPOSITE SIDING	SECONDARY	371	11.0%	<20.0%	YES

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATION :: DUBLIN, OHIO

FIRST STORY	
STORY AREA (SF)	1,364
TRANSPARENCY (SF)	422
REQUIRED	20%
PROVIDED	30%

1,409
438
20%
31%

THIRD STORY	
STORY AREA (SF)	1,250
TRANSPARENCY (SF)	394
REQUIRED	20%
PROVIDED	32%

TYPICAL 6 UNIT FRONT ELEVATION

Elevation "H" Color Scheme #3

LOFT (OPTIONAL)	
STORY AREA (SF)	624
TRANSPARENCY (SF)	74
REQUIRED	20%
PROVIDED	12%





KITCHEN REAR

MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	422	31.19%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		422	31.19%	80%	NO
COMPOSITE SIDING	SECONDARY	931	68.81%	<20%	NO

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

Color Scheme #3

Elevation "H"

TYPICAL SIDE ELEVATIONS

FIRST STORY	
STORY AREA (SF)	432
TRANSPARENCY (SF)	60
REQUIRED	15%
PROVIDED	14%

SECOND STORY	
STORY AREA (SF)	443
TRANSPARENCY (SF)	101
REQUIRED	15%
PROVIDED	23%

THIRD STORY	
STORY AREA (SF)	380
TRANSPARENCY (SF)	55
REQUIRED	15%
PROVIDED	14%



KITCHEN CENTER

LOFT (OPTIONAL)	
STORY AREA (SF)	311
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%





KITCHEN REAR (HIGH IMPACT)

MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	528	38.97%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		528	38.97%	80%	NO
COMPOSITE SIDING	Secondary	827	61.03%	<20%	NO

*WINDOWS AND DOORS NOT INCLUDED IN FACADE AREA

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

FIRST STORY	
STORY AREA (SF)	432
TRANSPARENCY (SF)	60
REQUIRED	20%
PROVIDED	14%

SECOND STORY	
STORY AREA (SF)	443
TRANSPARENCY (SF)	99
REQUIRED	20%
PROVIDED	22%

THIRD STORY	
STORY AREA (SF)	380
TRANSPARENCY (SF)	55
REQUIRED	20%
PROVIDED	14%

TYPICAL SIDE HIGH IMPACT ELEVATIONS

Elevation "H" Color Scheme #3

KITCHEN CENTER (HIGH IMPACT)

LOFT (OPTIONAL)	
STORY AREA (SF)	311
TRANSPARENCY (SF)	0
REQUIRED	20%
PROVIDED	0%





BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

1,382

221

15%

16%

5%	REQUIRED
0%	PROVIDED

1,344

0

SECOND STORY

STORY AREA (SF)

TRANSPARENCY (SF)

THIRD STORY		LOFT (OPTIONAL)	
STORY AREA (SF)	1,250	STORY AREA (SF)	686
TRANSPARENCY (SF)	355	TRANSPARENCY (SF)	103
REQUIRED	15%	REQUIRED	15%
PROVIDED	28%	PROVIDED	15%

AREA

(SF)

1,324

1,912

PRIMARY/

SECONDARY

PRIMARY

PRIMARY

SECONDARY

MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	647	19.99%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		647	19.99%	80%	NO
COMPOSITE SIDING	SECONDARY	2,589	80.01%	<20%	NO

TOTAL FACADE AREA = 3,236 SF

MATERIAL

BRICK

COMPOSITE PANEL

COMPOSITE SIDING

*WINDOWS AND DOORS NOT INCLUDED IN FACADE AREA

FIRST STORY	
STORY AREA (SF)	1,344
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%

FIRST STORY

REQUIRED

PROVIDED

STORY AREA (SF)

TRANSPARENCY (SF)

SECOND STORY	
STORY AREA (SF)	1,382
TRANSPARENCY (SF)	221
REQUIRED	15%
PROVIDED	16%

THIRD STORY	LOFT (OPTIO
STORY AREA (SF) 1,250	STORY AREA
TRANSPARENCY (SF) 355	TRANSPAREN
REQUIRED 15%	REQUIRED
PROVIDED 28%	PROVIDED

THIRD STORY

REQUIRED

PROVIDED

TOTAL FACADE AREA = 3,236 SF

"WINDOWS AND DOORS NOT INCLUDED IN FACADE AREA

MATERIAL

BRICK

COMPOSITE PANEL

STORY AREA (SF)

TRANSPARENCY (SF)

1,250

355

15%

28%

PRIMARY/

SECONDARY

PRIMARY

PRIMARY

COMPOSITE SIDING SECONDARY 2,732

AREA

(SF)

504

504

LOFT	(OPTI

		LOFT (OPTIONAL)	
SF)	1,250	STORY AREA (SF)	686
CY (SF)	355	TRANSPARENCY (SF)	103
	15%	REQUIRED	15%
	28%	PROVIDED	15%

STORY AREA (SF)	686
TRANSPARENCY (SF)	103
REQUIRED	15%
PROVIDED	15%

FIRST STORY	
STORY AREA (SF)	1,344
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%

SECOND STORY	
STORY AREA (SF)	1,382
TRANSPARENCY (SF)	221
REQUIRED	15%
PROVIDED	16%

TYPICAL REAR ELEVATION "H" SCHEME 3—W/ HIGH IMPACT SIDE + REAR ELEVATION

PERCENTAGE	REQURIED	COMPLY
40.09%		
0.00%		
40.09%	80%	NO
59.10%	<20%	NO





TYPICAL REAR ELEVATION "H" SCHEME 3	3

PERCENTAGE	REQURIED	COMPLY
15.57%		
0.00%		
15.57%	80%	NO
84.43%	<20%	NO

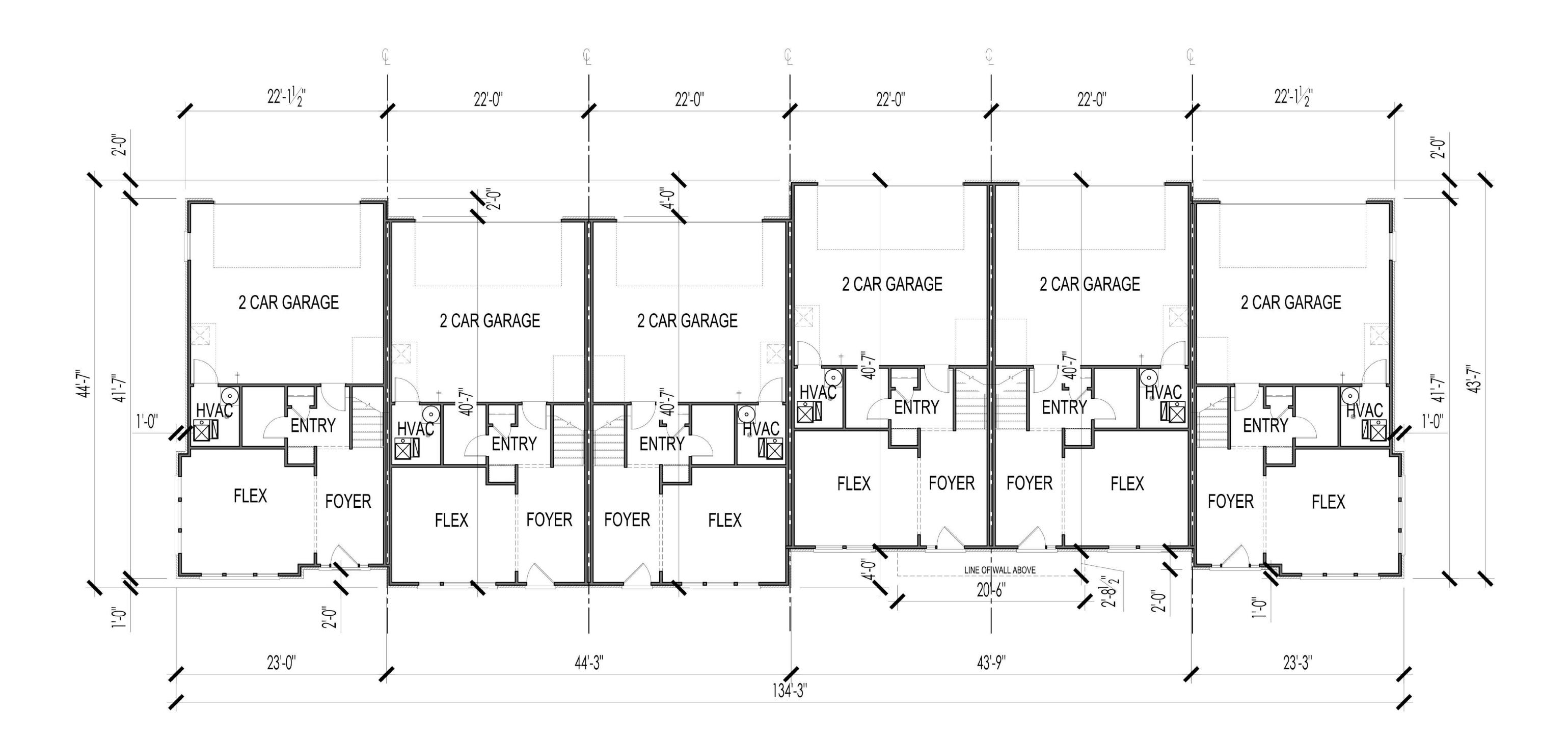




BRIDGE STREET TOWN HOME PRELIMINARY FLOOR PLANS :: DUBLIN, OHIO

NOTES: 1) All floorpla 2) Unit config

ELEVATION "I" TYPICAL 6 UNIT GROUND LEVEL CONTROL PLAN



1) All floorplans are preliminary and subject to change.

2) Unit configurations, dimensions and building offsets subject to change and may vary, per unique elevation design and options selected.



BRIDGE STREET TOWN HOME PRELIMINARY ELEVATION :: DUBLIN, OHIO

MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	2,338	69.40%		
COMPOSITE PANEL	PRIMARY	627	18.62%		
		2,965	88.06%	80%	YES
COMPOSITE SIDING	SECONDARY	328	9.74%	<20%	YES
*WINDOWS AND DOORS NOT INCLUDED	IN FACADE AREA		TV	ΈΙ	



PICAL 6 UNIT FRONT ELEVATION

Elevation "I"

Color Scheme #2

FIRST STORY	
STORY AREA (SF)	1,364
TRANSPARENCY (SF)	410
REQUIRED	20%
PROVIDED	30%

SECOND STORY	
STORY AREA (SF)	1,409
TRANSPARENCY (SF)	432
REQUIRED	20%
PROVIDED	31%

THIRD STORY	
STORY AREA (SF)	
TRANSPARENCY (SF)	
REQUIRED	
PROVIDED	

1,250	
397	
20%	
32%	

LOFT (OPTIONAL)	
STORY AREA (SF)	625
TRANSPARENCY (SF)	74
REQUIRED	20%
PROVIDED	12%







TOTAL FACADE AREA =	1,353 SF				
MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	422	31.19%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		422	31.19%	80%	NO
COMPOSITE SIDING	SECONDARY	931	68.81%	<20%	NO

*WINDOWS AND DOORS NOT INCLUDED IN FACADE AREA

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

Elevation "I" Color Scheme #2

432

60

15%

14%

TYPICAL SIDE ELEVATIONS

FIRST STORY

REQUIRED

PROVIDED

STORY AREA (SF)

TRANSPARENCY (SF)

SECOND STORY	
STORY AREA (SF)	443
TRANSPARENCY (SF)	101
REQUIRED	15%
PROVIDED	23%

THIRD STORY
STORY AREA (SF
TRANSPARENCY
REQUIRED
PROVIDED



KITCHEN CENTER

		LOFT (OPTIONAL)	
	380	STORY AREA (SF)	311
(SF)	55	TRANSPARENCY (SF)	0
	15%	REQUIRED	15%
	14%	PROVIDED	0%





KITCHEN REAR (HIGH IMPACT)

MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPLY
BRICK	PRIMARY	528	38.97%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		528	38.97%	80%	NO
COMPOSITE SIDING	SECONDARY	827	61.03%	<20%	NO

TYPICAL SIDE HIGH IMPACT ELEVATIONS

Elevation "I"

432

60

20%

14%

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

Color Scheme #2

IGH	11	N

FIRST STORY

REQUIRED

PROVIDED

STORY AREA (SF)

TRANSPARENCY (SF)

SECOND STORY	
STORY AREA (SF)	443
TRANSPARENCY (SF)	99
REQUIRED	20%
PROVIDED	22%

38
55
20
149





	LOFT (OPTIONAL)	
380	STORY AREA (SF)	311
55	TRANSPARENCY (SF)	0
20%	REQUIRED	20%
14%	PROVIDED	0%

KITCHEN CENTER (HIGH IMPACT)

BRIDGE STREET TOWN HOME PRELIMINARY ELEVATIONS :: DUBLIN, OHIO

FIRST STORY	
STORY AREA (SF)	1,344
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%

SECOND STORY	
STORY AREA (SF)	1,382
TRANSPARENCY (SF)	221
REQUIRED	15%
PROVIDED	16%

THIRD STORY		
1,250	STORY	
355	TRANS	
15%	REQUIR	
28%	PROVID	
	355 1 <i>5</i> %	

PRIMARY/

PRIMARY

PRIMARY

SECONDARY

SECONDARY

		LOFT (C
	1,250	STORY
(SF)	355	TRANSP
	15%	REQUIR
	200	PROVID

AREA (SF)

1.324

1,324

1,912

40.09%

0.00%

40.09%

59.10%

OWS AND DOORS NOT IN	CLUDED IN FACADI	E AREA	

PRIMARY/

SECONDARY

PRIMARY

SECONDARY

PRIMARY 647

TOTAL FACADE AREA = 3,236 SF

MATERIAL

BRICK

*WND

COMPOSITE PANEL

COMPOSITE SIDING

TOTAL FACADE AREA = 3,236 SF

MATERIAL

BRICK

COMPOSITE PANEL

COMPOSITE SIDING

"WINDOWS AND DOORS NOT INCLUDED IN FACADE AREA

SECOND STORY		THIRD STORY
STORY AREA (SF)	1,382	STORY AREA (S
TRANSPARENCY (SF)	221	TRANSPARENC
REQUIRED	15%	REQUIRED
PROVIDED	16%	PROVIDED

THIRD STORY		LOFT (OPTIONAL)	
STORY AREA (SF)	1,250	STORY AREA (SF)	686
TRANSPARENCY (SF)	355	TRANSPARENCY (SF)	103
REQUIRED	15%	REQUIRED	15%

AREA

(SF)

2,589

TOTAL FACADE AREA =	= 3,236 SF				
MATERIAL	PRIMARY/ SECONDARY	AREA (SF)	PERCENTAGE	REQURIED	COMPL
BRICK	PRIMARY	504	15.57%		
COMPOSITE PANEL	PRIMARY	0	0.00%		
		504	15.57%	80%	NO
COMPOSITE SIDING	SECONDARY	2,732	84.43%	<20%	NO

FIRST STORY	
STORY AREA (SF)	1,344
TRANSPARENCY (SF)	0
REQUIRED	15%
PROVIDED	0%

FIRST STORY

REQUIRED

PROVIDED

STORY AREA (SF)

TRANSPARENCY (SF)

1,344

0

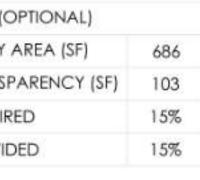
15%

0%

SECOND STORY	
STORY AREA (SF)	1,382
TRANSPARENCY (SF)	221
REQUIRED	15%
PROVIDED	16%

THIRD STORY		LOFT (OPTIONAL)
STORY AREA (SF)	1,250	STORY AREA (SF)
TRANSPARENCY (SF)	355	TRANSPARENCY (SF)
REQUIRED	15%	REQUIRED
PROVIDED	28%	PROVIDED

PERCENTAGE REQURIED COMPLY 80% NO NO <20%





TYPICAL REAR ELEVATION "I" SCHEME 2—W/ HIGH IMPACT SIDE ELEVATION

PERCENTAGE	REQURIED	COMPLY
19.99%		
0.00%		
19.99%	80%	NO
80.01%	<20%	NO

686

103

15%

15%



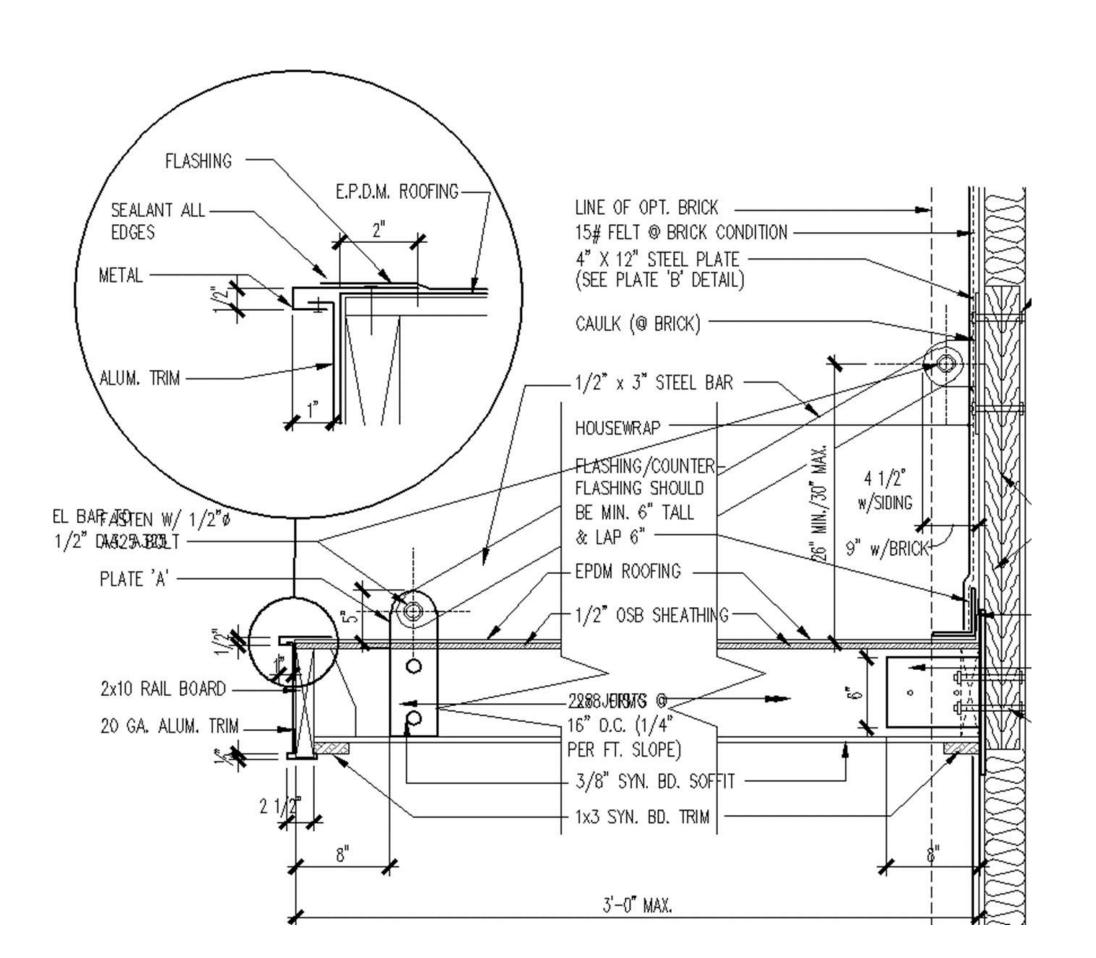


TYPICAL REAR ELEVATION "I" SCHEME 2—W/ HIGH IMPACT SIDE + REAR ELEVATION

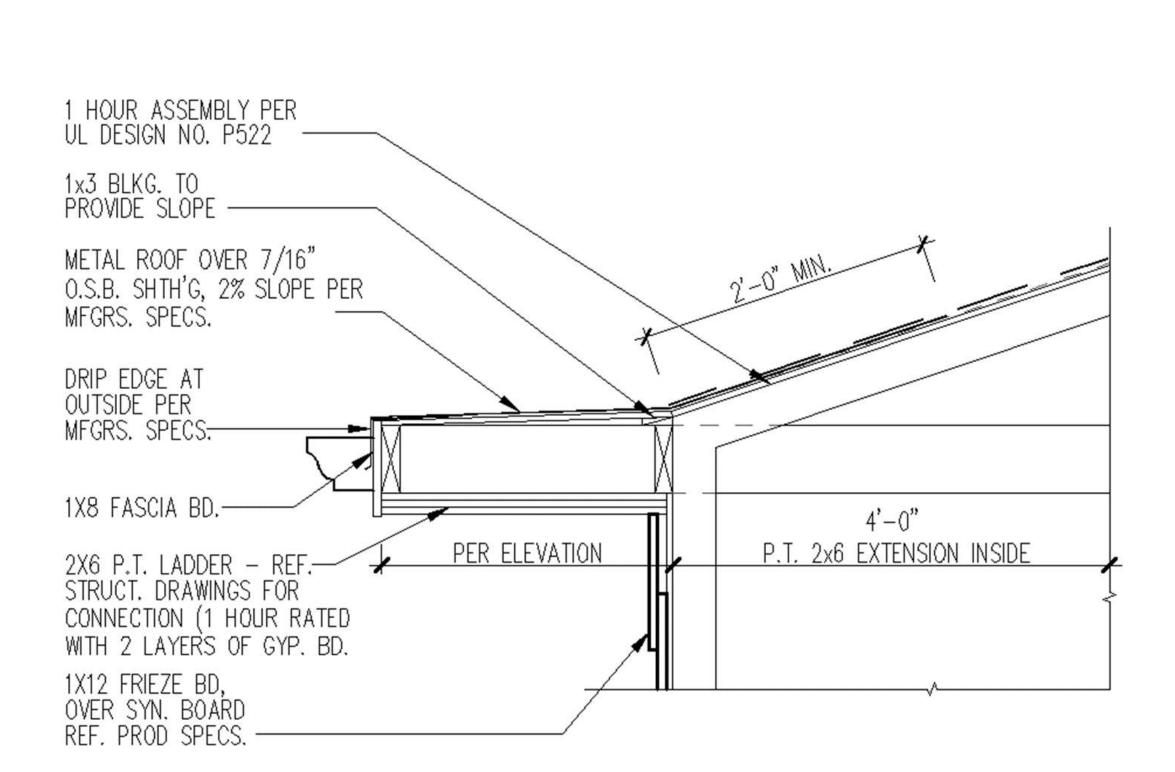


BRIDGE STREET TOWN HOME PRELIMINARY DETAILING CONCEPTS ::

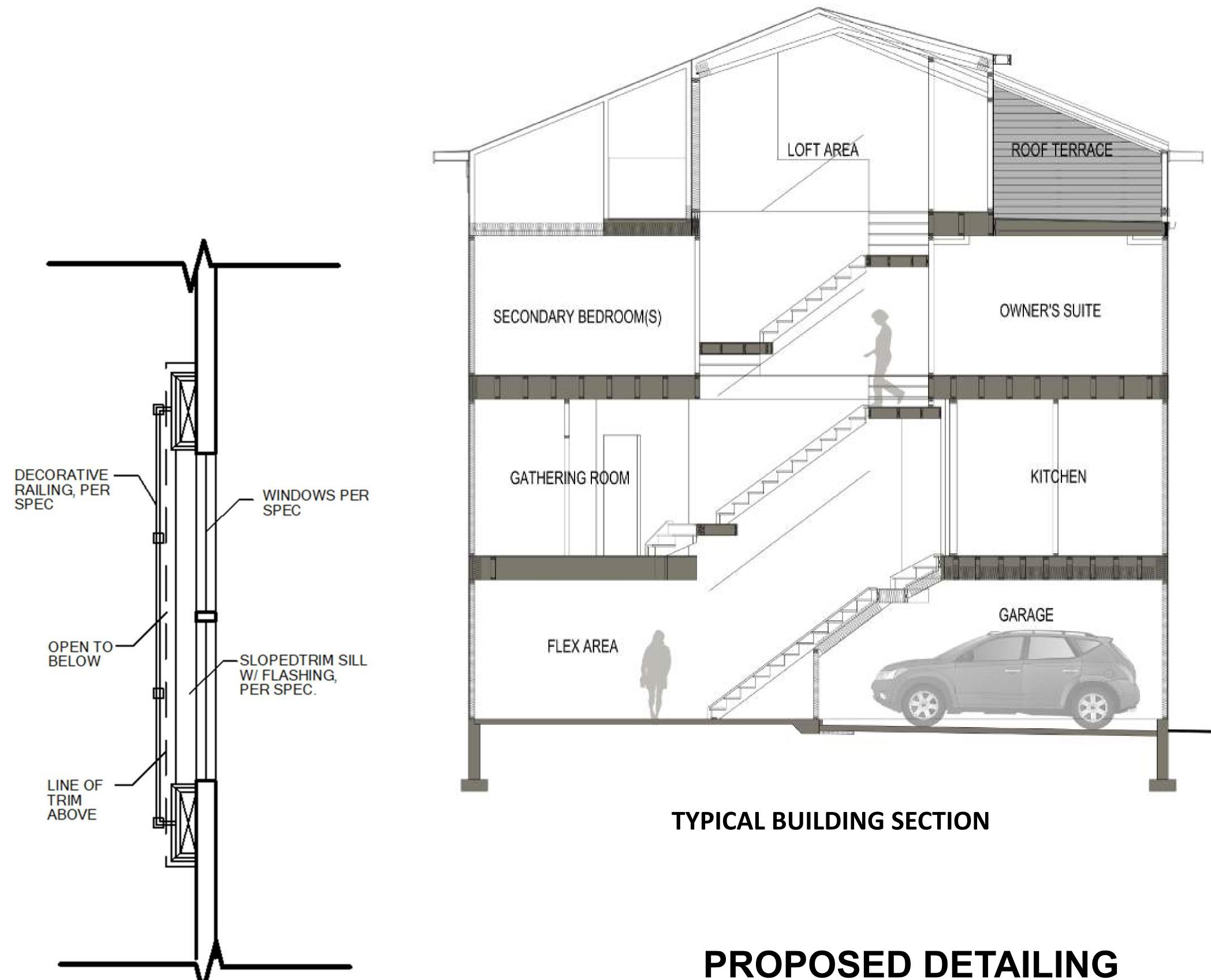
CONTEMPORARY ENTRY CANOPY DETAILING (NTS)



EAVE DETAILING (NTS)



CONTEMPORARY ROOF OVERHANG

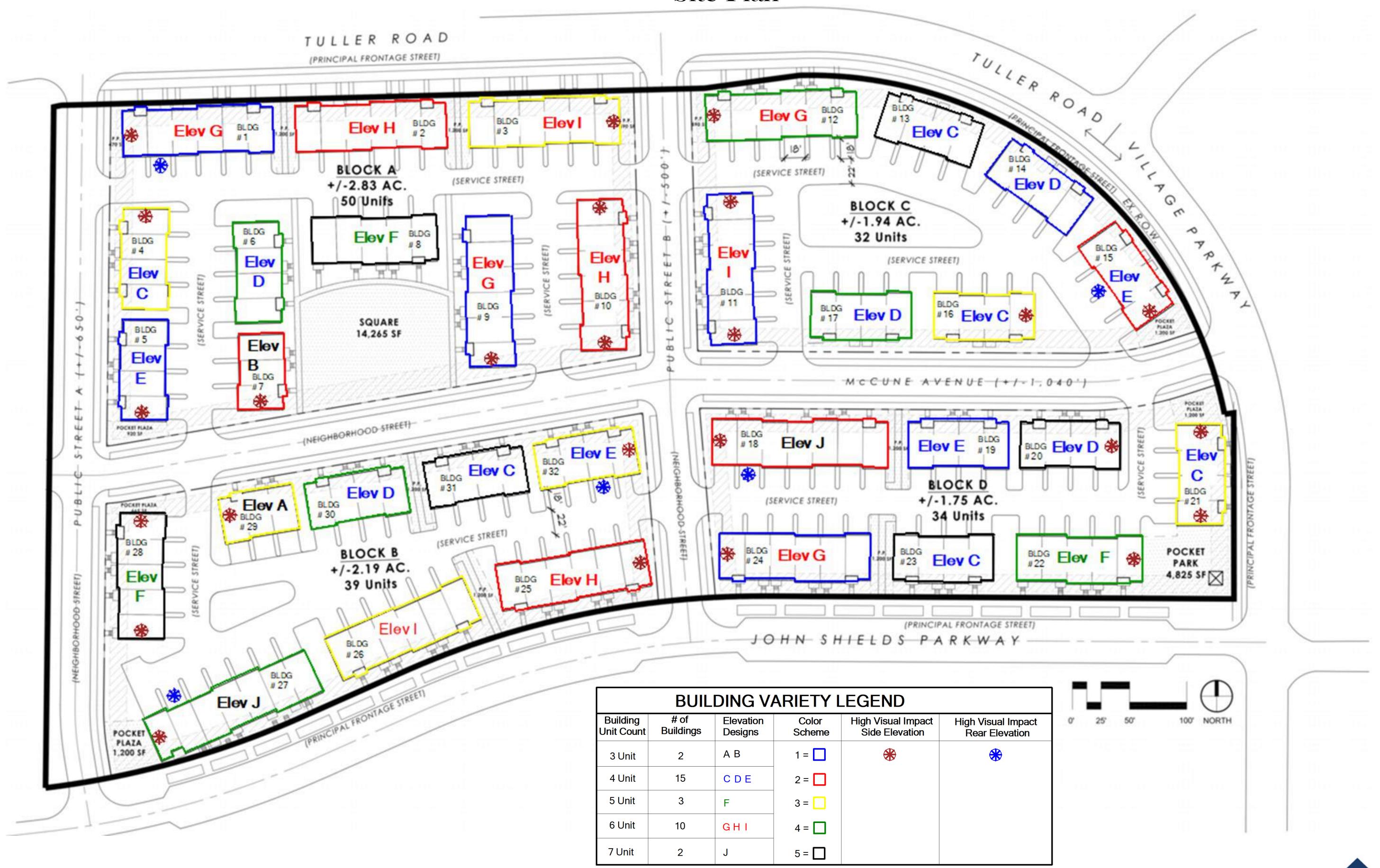


Juliette Balcony DETAILING (NTS)

Typical Conditions 6—UNIT BUILDING STRING SAMPLING

NOTE: Details shown herein are preliminary and subject to change.





BUILDING VARIETY PRELIMINARY STRATEGY :: DUBLIN, OHIO

Building Variety Site Plan

	BUILDING VARIETY LEGEND						
Building Unit Count	# of Buildings	Elevation Designs	Color Scheme	High Visual Impact Side Elevation	High Visual Impact Rear Elevation		
3 Unit	2	A B	1 = 🔲	*	*		
4 Unit	15	CDE	2 = 🗌				
5 Unit	3	F	3 = 🗌				
6 Unit	10	GHI	4 = 🔲				
7 Unit	2	J	5 = 🔲				



COMMUNITY COLOR COLLECTION



CertainTeed :: Weathered Wood Dimensional



Front Door Sherwin-Williams Pulte Black



Horiz Siding + Inlay Panel Trim Allurra Pre-Color Sterling Gray



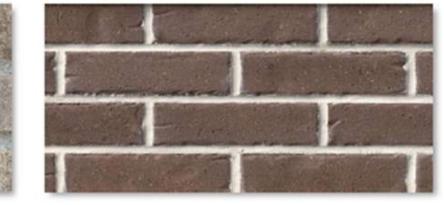
Accent Trim + Flat Panel Trim Allurra Pre-Color Olive



Accent Trim Allurra Pre-Color Bark



Masonry **Authintic Brick** Swan Creek

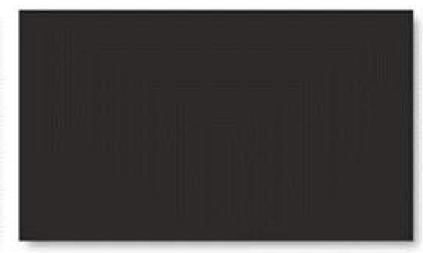


Masonry **Authintic Brick** Shiawassee

PRELIMINARY COLOR COLLECTION CONCEPTS :: DUBLIN, OHIO



CertainTeed :: Weathered Wood Dimensional



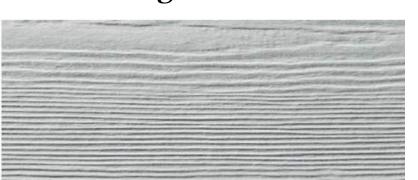
Front Door Sherwin-Williams Pulte Black



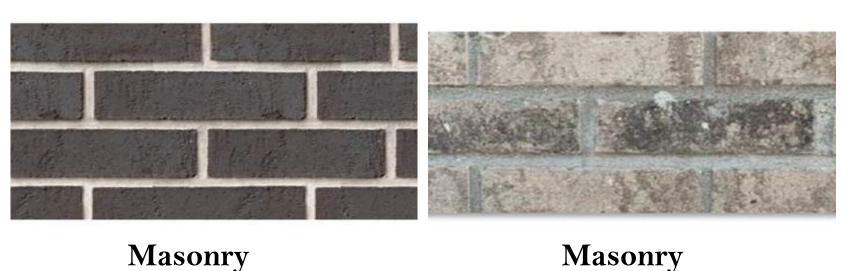
Accent Trim + Flat Panel Trim Allurra Pre-Color Knight's Amor



Horiz Siding + Inlay Panel Trim Allurra Pre-Color Snow



Accent Trim Allurra Pre-Color **Sterling Gray**



Masonry **Authintic Brick** Swan Creek



NOTE: MAIN SIDING/TRIM APPLICATION(S) TO BE OF CEMENTIOUS MATERIAL, SUCH AS HARDI PLANK AND/OR ALLURA.

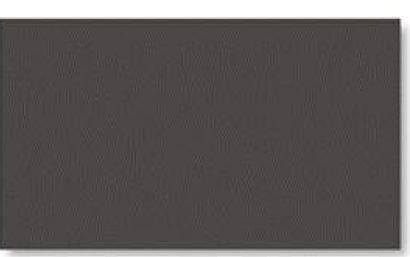


Authintic Brick

Amaro



CertainTeed :: Weathered Wood Dimensional



Front Door Sherwin-Williams Pulte Tuxedo Gray



Accent Trim + Flat Panel Trim Allurra Pre-Color Granite



and the second

Accent Trim Allurra Pre-Color Olive

Horizontal Siding + Inlay Panel Trim Allurra Pre-Color Linen

Masonry **Authintic Brick** Swan Creek

Masonry Authintic Brick Shiawassee



COMMUNITY COLOR COLLECTION



CertainTeed :: Weathered Wood Dimensional



Front Door **Sherwin-Williams** Pulte Midnight Blue



Horiz Siding + Inlay Panel Trim Allurra Pre-Color

Knight's Armor



Masonry **Authintic Brick** Meadow Brook

NOTE: MAIN SIDING/TRIM APPLICATION(S) TO BE OF CEMENTIOUS MATERIAL, SUCH AS HARDI PLANK AND/OR ALLURA.

PRELIMINARY COLOR COLLECTION CONCEPTS :: DUBLIN, OHIO

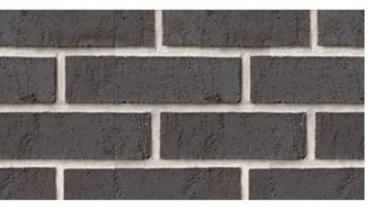




Accent Trim + Flat Panel Trim Allurra Pre-Color



Accent Trim Allurra Pre-Color Snow



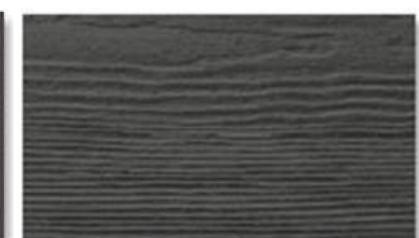
Masonry Authintic Brick Amaro

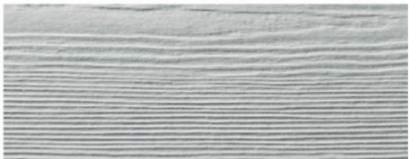


CertainTeed :: Weathered Wood Dimensional



Front Door Sherwin-Williams Pulte Tuxedo Gray





Horiz Siding + Inlay Panel Trim Allurra Pre-Color **Sterling Gray**





Masonry Authintic Brick Swan Creek

Masonry **Authintic Brick Meadow Brook**



Accent Trim + Flat Panel Trim Allurra Pre-Color Knight's Armor

> Allurra Pre-Color **Cool Charcoal**



