

Tuller Road Townhome Development

Bridge Street District
Dublin, Ohio

PRELIMINARY DEVELOPMENT PLAN




NORTH
VICINITY MAP
NOT TO SCALE

PREPARED FOR:



475 Metro Place
Dublin, Ohio 43017
(614) 376-1000

October 1, 2020

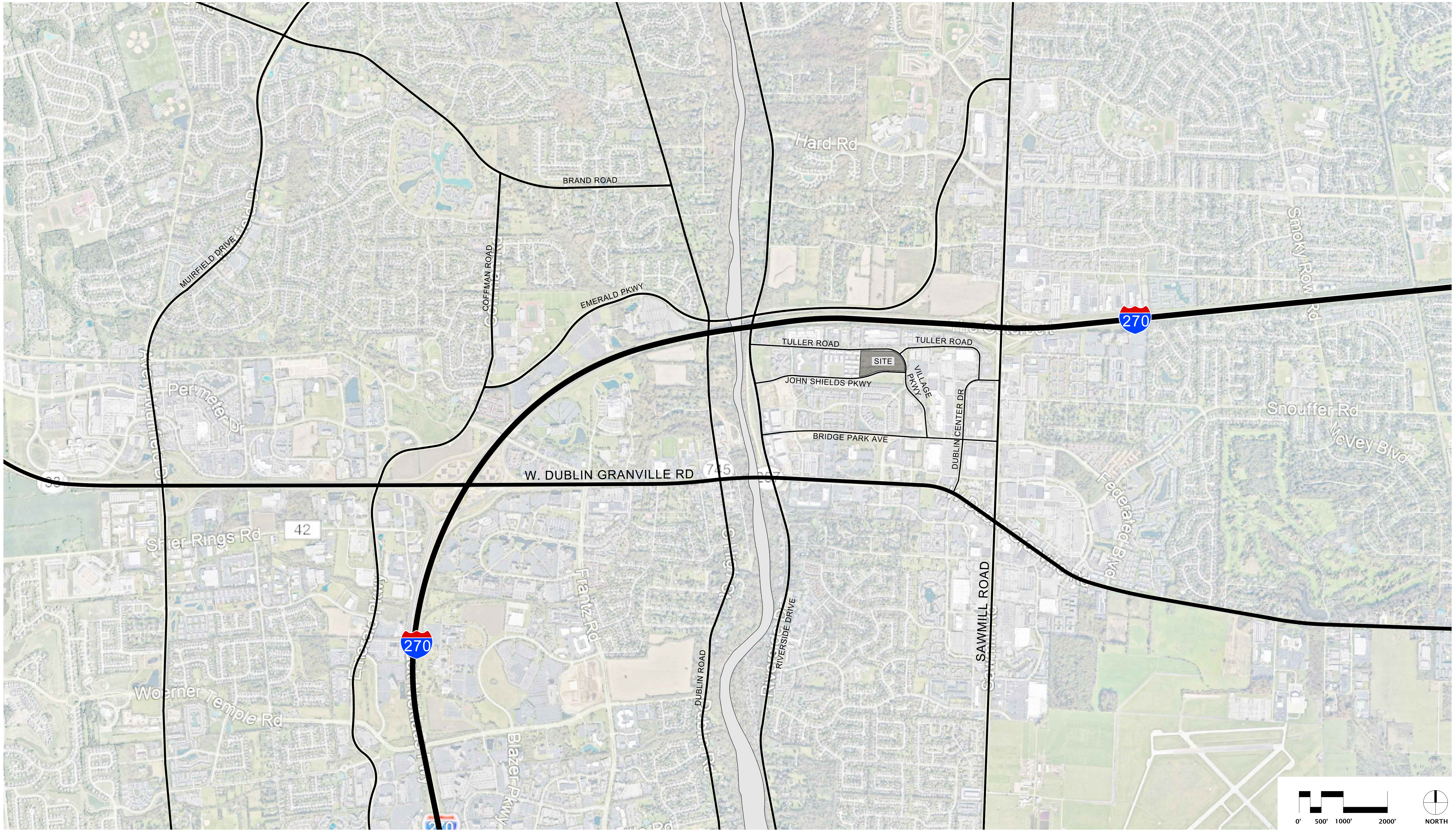
INDEX OF DRAWINGS

COVER	
EX. A	VICINITY MAP
EX. B	REGIONAL CONTEXT MAP
EX. C	EXISTING CONDITIONS MAP
EX. D	PRELIMINARY DEVELOPMENT PLAN
EX. E	OVERALL LANDSCAPE & OPEN SPACE PLAN
EX. F	OPEN SPACE LANDSCAPE PLAN
EX. G	OPEN SPACE LANDSCAPE PLAN
EX. H	OPEN SPACE LANDSCAPE PLAN
EX. I	OPEN SPACE LANDSCAPE PLAN
EX. J	CHARACTER IMAGERY
EX. K	CHARACTER IMAGERY
EX. L	CHARACTER IMAGERY

LANDSCAPE ARCHITECT



330 WEST SPRING STREET, SUITE 350
COLUMBUS, OHIO 43215
614-486-3343
www.edgela.com

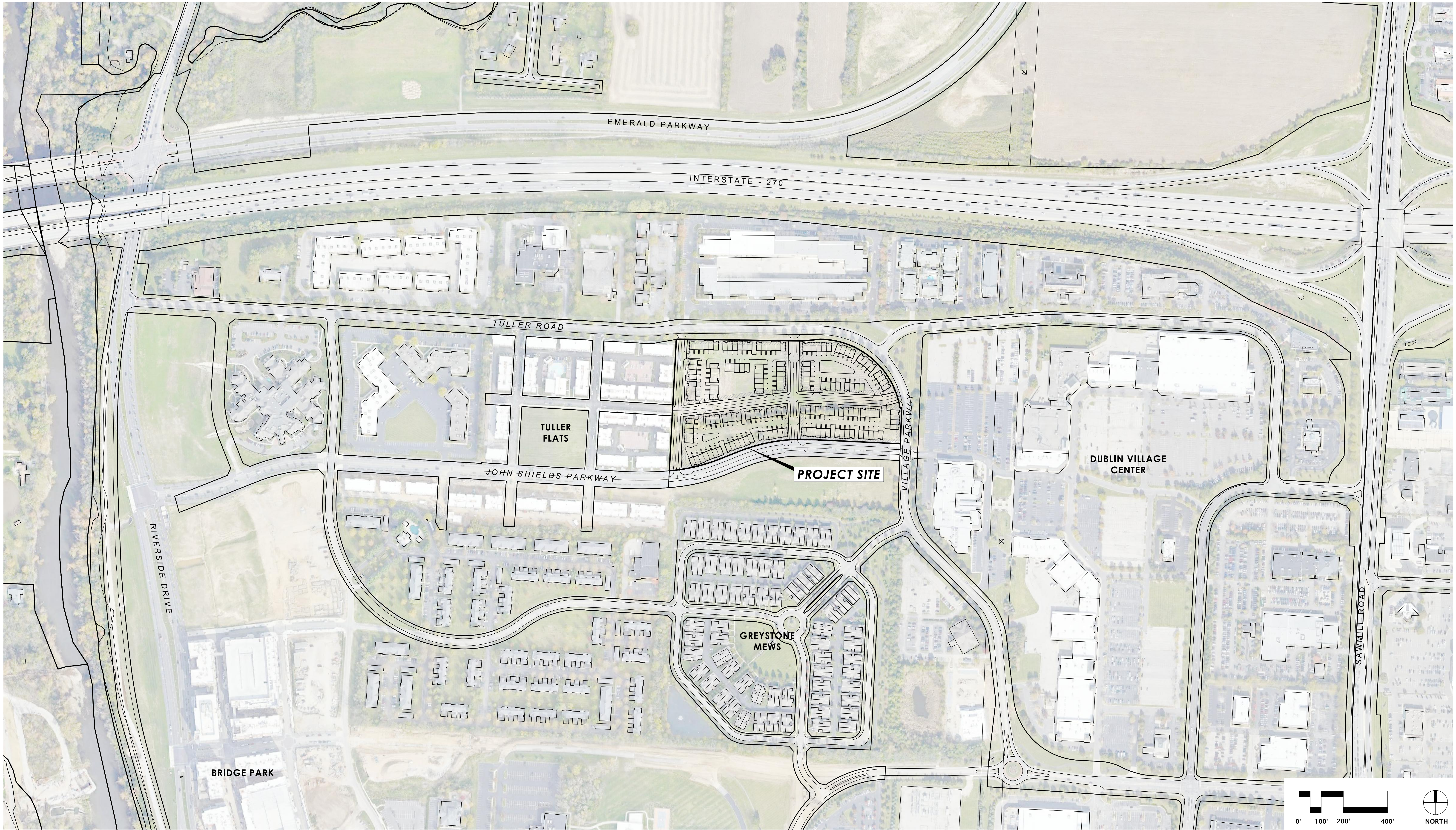


TULLER ROAD TOWNHOME DEVELOPMENT

EXHIBIT A - VICINITY MAP

BSD, Dublin, OH

October 1, 2020



NOTE: The regional aerial has been included to show current road network and development that has not been updated on County GIS maps.

TULLER ROAD TOWNHOME DEVELOPMENT

EXHIBIT B - REGIONAL CONTEXT MAP

BSD, Dublin, OH

October 1, 2020



TULLER ROAD TOWNHOME DEVELOPMENT

EXHIBIT C - EXISTING CONDITIONS

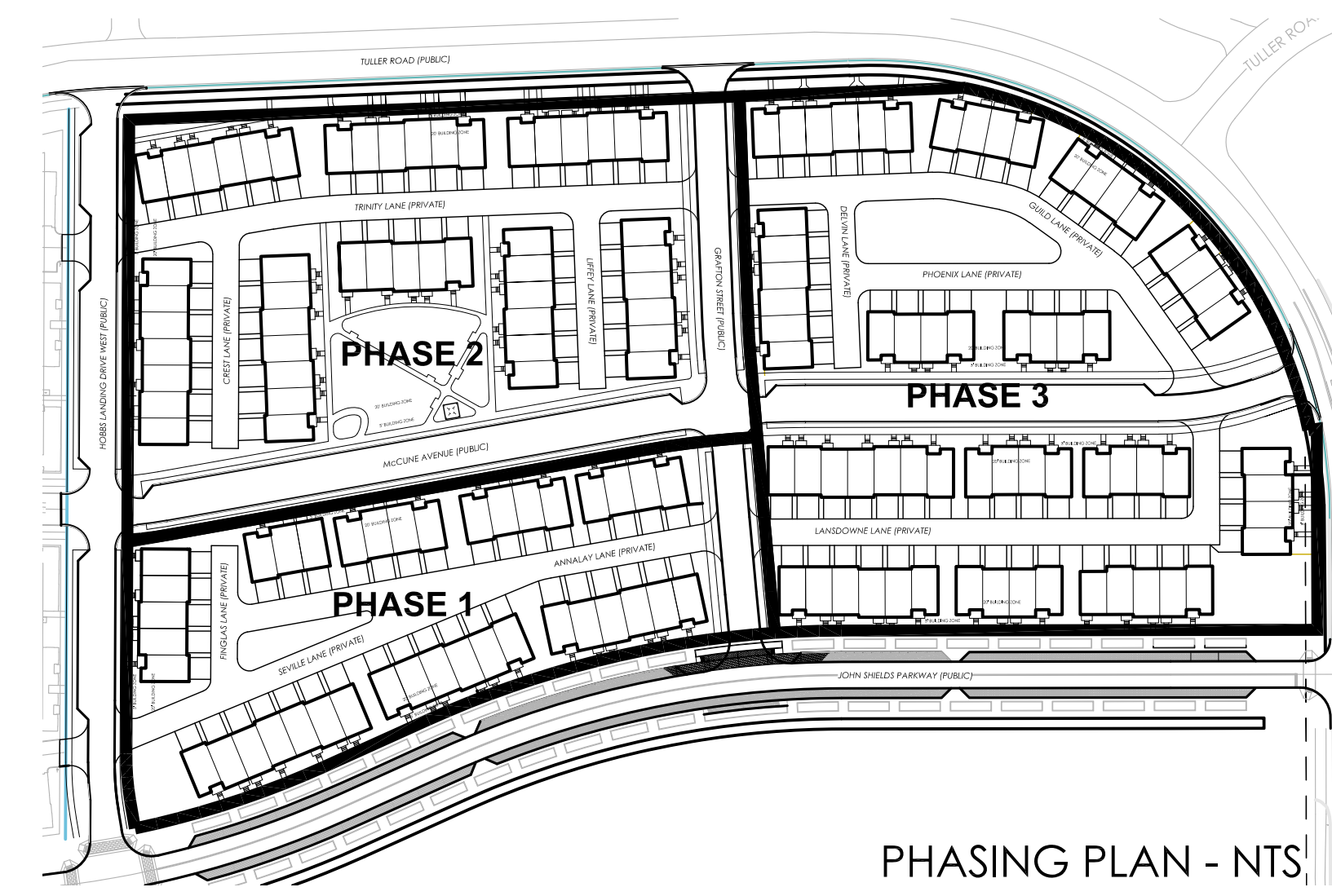
BSD, Dublin, OH

October 1, 2020

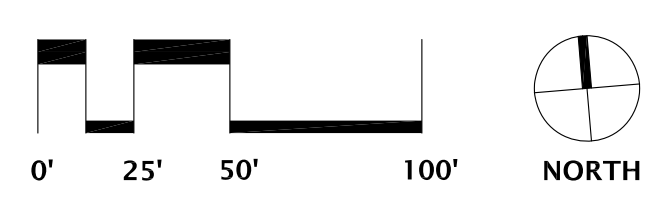




DEVELOPMENT PLAN



PHASING PLAN - NTS



BLOCK DIMENSIONS							
BLOCK	NORTH	SOUTH	EAST	WEST	ALLOWABLE MAX. LENGTH	PROPOSED PERIMETER	ALLOWABLE MAX. PERIMETER
1	476'	505'	164'	240'	500'	1385'	1750'
2	458'	474'	232'	300'	500'	1464'	1750'
3	456'	454'	159'	164'	500'	1233'	1750'
4	268'	440'	268'	229'	500'	1205'	1750'

STREET CLASSIFICATIONS		
STREET	TYPE	ROW (+/-)
TULLER ROAD	PRINCIPAL FRONTAGE STREET	90' - 100'
JOHN SHIELDS PARKWAY	PRINCIPAL FRONTAGE STREET	76'
VILLAGE PARKWAY	PRINCIPAL FRONTAGE STREET	80'
HOBBS LANDING DRIVE WEST	NEIGHBORHOOD STREET	50'
GRAFTON STREET	NEIGHBORHOOD STREET	50'
MCCUNE AVENUE	NEIGHBORHOOD STREET	50'

FRONT PROPERTY LINE COVERAGE ON PRINCIPAL STREETS																
Minimum 75% coverage within 5'-20' Build To Zone																
BLOCK	TULLER ROAD				JOHN SHIELDS PARKWAY				VILLAGE PARKWAY							
	FPL	PSL	SWL	OSL TOT %	FPL	PSL	SWL	OSL TOT %	FPL	PSL	SWL	OSL TOT %				
1	-	-	-	-	495'	418'	0'	58'	458'	96%	-	-	-	-		
2	448'	396'	0'	52'	448'	100%	-	-	-	-	-	-	-	-		
3	-	-	-	-	445'	330'	0'	95'	425'	95%	176'	88'	0'	88'	176'	100%
4	352'	286'	0'	12'	298'	84%	-	-	-	-	166'	110'	0'	24'	134'	81%

FPL = Front Property Line Coverage
 PSL = Primary Structure Length
 SWL = Street Wall Length
 OSL = Open Space Length
 TOT = Total Coverage Length
 % = Percentage Front Property Line Coverage

OPEN SPACE				
Required - 200 sf / Unit				
BLOCK	UNITS	REQUIRED	PROVIDED	TYPE(SIZE)
1	39	7,800 SF	3,600 SF	POCKET PLAZA (1,200) x3
2	49	9,800 SF	17,767 SF	POCKET PLAZA (1,200); SQUARE (17,767)
3	34	6,800 SF	8,347 SF	POCKET PLAZA (1,200) x3; POCKET PARK (4,747)
4	32	6,400 SF	1,200 SF	POCKET PLAZA (1,200)
TOTAL		30,800 SF	30,914 SF	

TREE REMOVAL (ESTIMATED)	
CALIPER INCHES / TOTAL TREES	+/- 554"/40 TREES

DEVELOPMENT DATA	
Gross Area:	+/- 11.00 Acres
Total Units:	154 Units (Townhomes)
Gross Density:	14.00 Du/Ac.
Parking Required: (2 Spaces/Du)	308 Spaces
Provided:	308 Spaces (Garages)

NOTE: Provided parking number assumes driveways behind garages would be considered a vehicular maneuvering area and not parking spaces to meet the maximum parking requirement (2 space/du) per code.



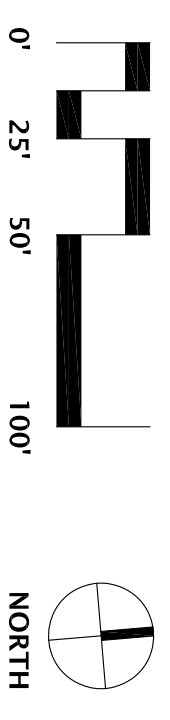
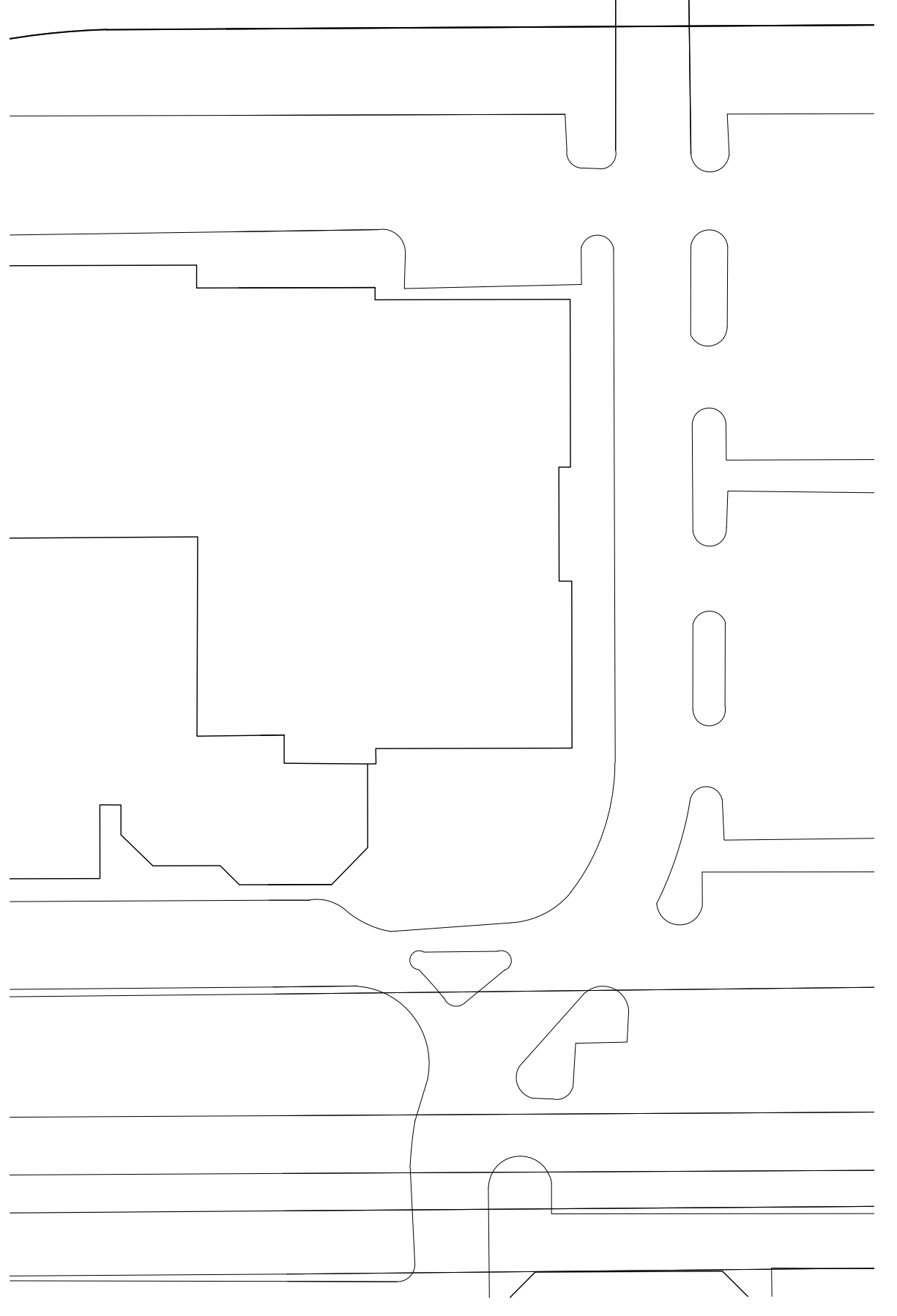
OPEN SPACE
153,064 (G): Open Space Calculations

OPEN SPACE	AREA (SF)	TYPE	OWNERSHIP	NOTES
A	1,200 SF	POCKET PLAZA	PRIVATE	
B	1,200 SF	POCKET PLAZA	PRIVATE	
C	1,200 SF	POCKET PLAZA	PRIVATE	
D	1,200 SF	POCKET PLAZA	PRIVATE	
E	4,747 SF	POCKET PARK	PRIVATE	
F	1,200 SF	POCKET PLAZA	PRIVATE	
G	1,200 SF	POCKET PLAZA	PRIVATE	
H	1,200 SF	POCKET PLAZA	PRIVATE	
I	1,200 SF	POCKET PLAZA	PRIVATE	
J	16,567 SF	SQUARE	PRIVATE	

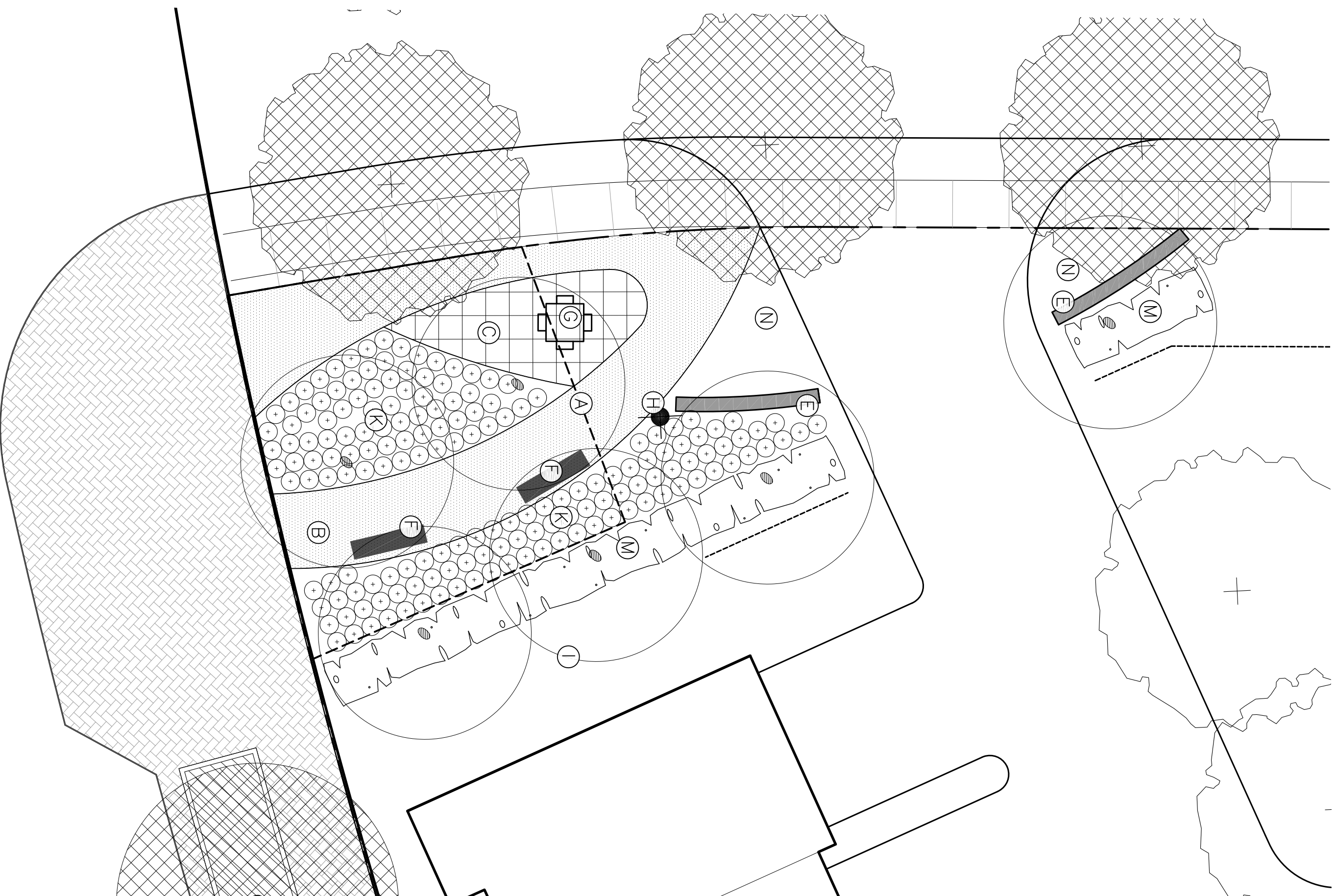
TOTAL REQUIRED	30,800 SF	154 DWELLING UNITS X 200 SF = 30,800 SF
TOTAL PROVIDED	30,914 SF	

KEY

- PUBLIC PLANTINGS
- PRIVATE PLANTINGS
- SCREENING TREATMENT

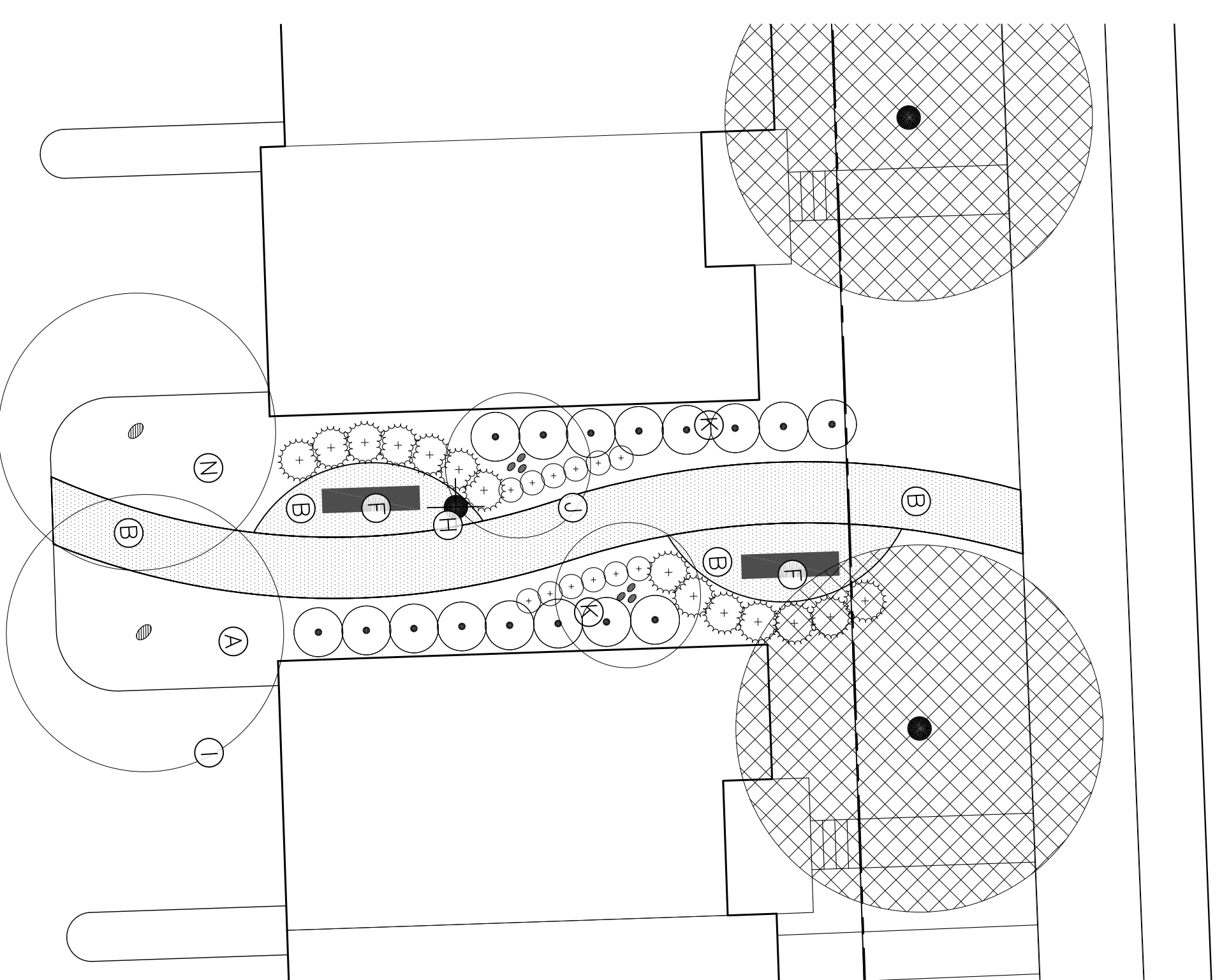


KEY	
(A)	OPEN SPACE LIMITS
(B)	PLAZA PAVING (IMPERVIOUS)
(C)	SPECIALTY PAVING (SEMI-PERVIOUS)
(D)	SEAT WALL
(E)	SCREENING WALL
(F)	BENCH
(G)	TABLE SEATING
(H)	PEDESTRIAN LIGHT
(I)	SHADE TREE
(J)	ORNAMENTAL TREE
(K)	UNDERSTORY PLANTINGS
(L)	EVERGREEN TREE
(M)	SCREENING PLANTINGS
(N)	LAWN



OPEN SPACE COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	494 SF(41%)
SEMI-PERVIOUS PAVING	NO MINIMUM	120 SF (10%)	120 SF (10%)

1 OPEN SPACE 'A' ENLARGEMENT PLAN
SCALE: 1"=10'



OPEN SPACE COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	536 SF (45%)
SEMI-PERVIOUS PAVING	NO MINIMUM	120 SF (10%)	0 SF (0%)

2 OPEN SPACE 'B' ENLARGEMENT PLAN
SCALE: 1"=10'

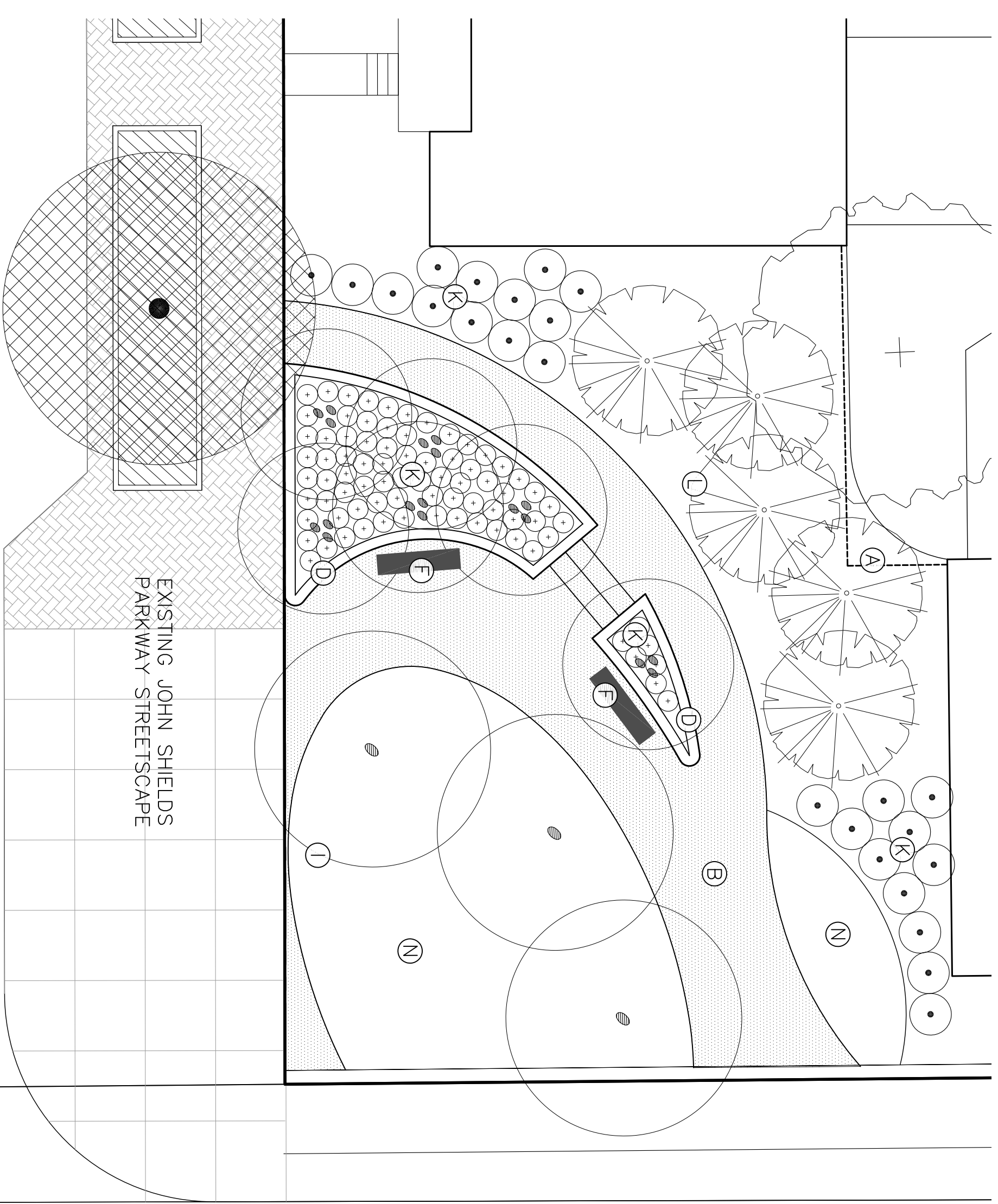
OPEN SPACE 'C' COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	485 SF (40%)
SEMI-PERVIOUS PAVING	NO MINIMUM	120 SF (10%)	0 SF (0%)



OPEN SPACE 'D' COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	509 SF (42%)
SEMI-PERVIOUS PAVING	NO MINIMUM	59 SF (10%)	0 SF (0%)

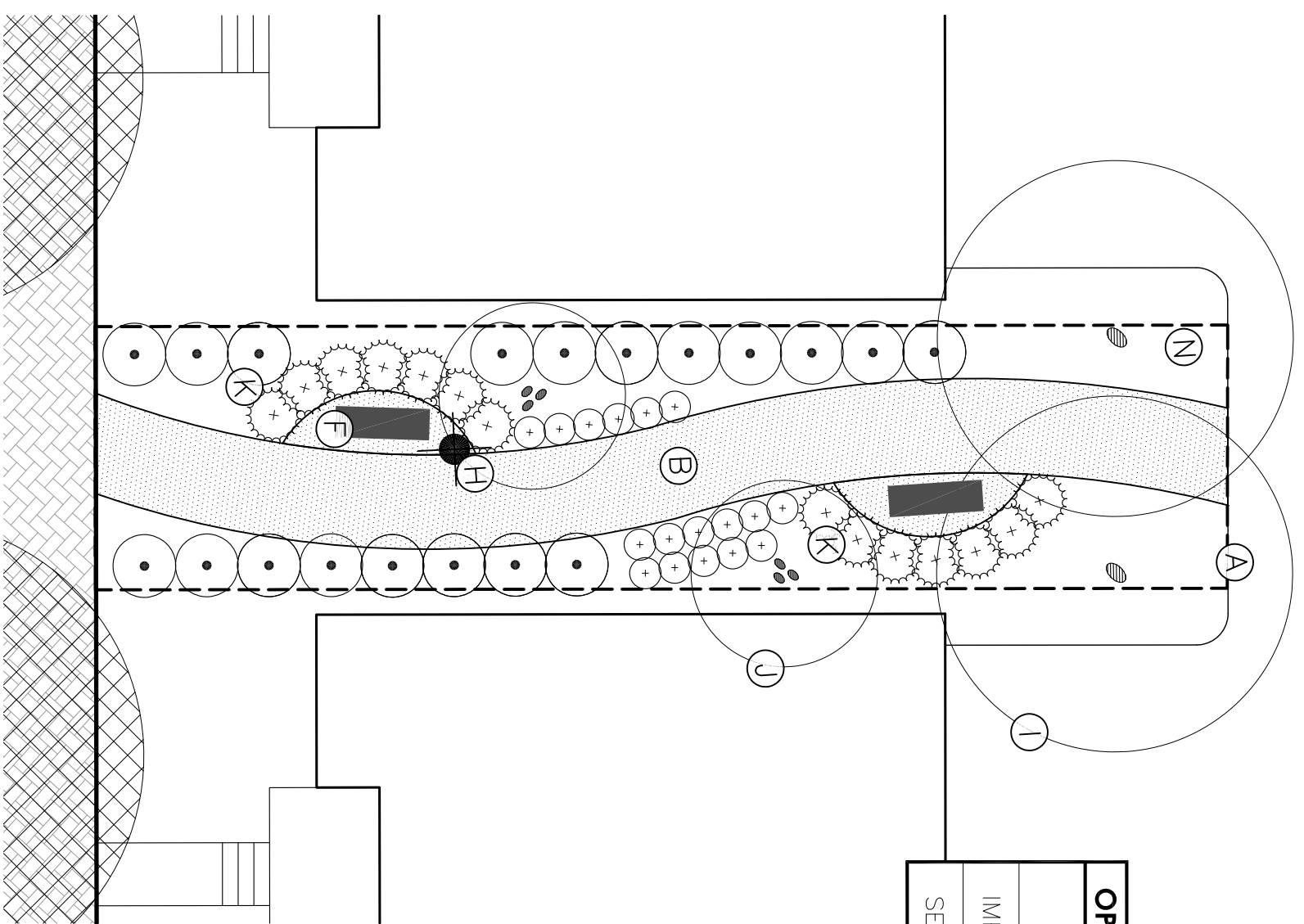
1 OPEN SPACE 'C' & 'D' ENLARGEMENT PLAN
SCALE: 1"=10'

KEY	
A	OPEN SPACE LIMITS
B	PLAZA PAVING (IMPERVIOUS)
C	SPECIALTY PAVING (SEMI-PERVIOUS)
D	SEAT WALL
E	SCREENING WALL
F	BENCH
G	TABLE SEATING
H	PEDESTRIAN LIGHT
I	SHADE TREE
J	ORNAMENTAL TREE
K	UNDERSTORY PLANTINGS
L	EVERGREEN TREE
M	SCREENING PLANTINGS
N	LAWN



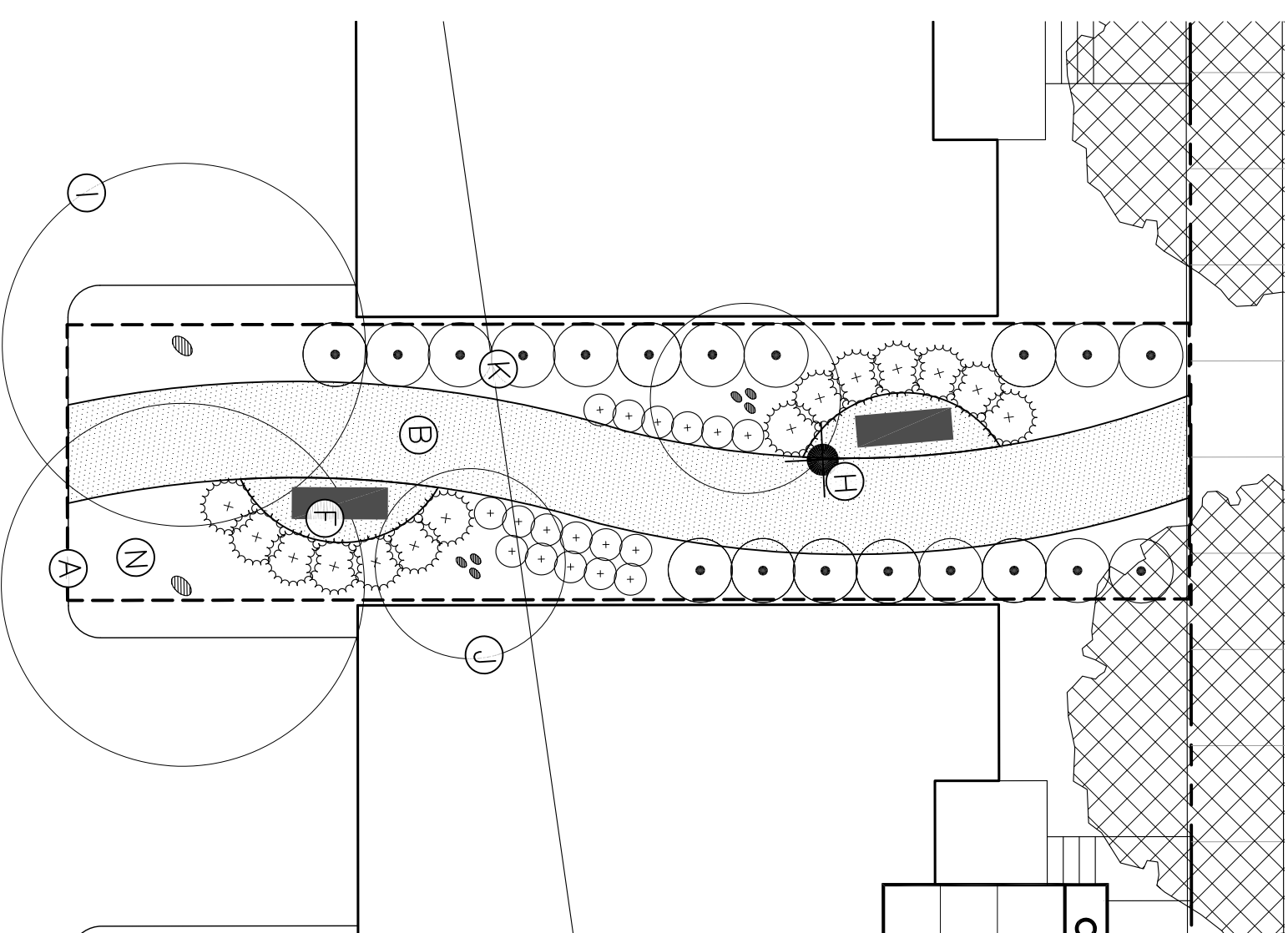
OPEN SPACE COVERAGE CALCULATIONS		
	REQUIRED	PROVIDED
IMPERVIOUS PAVING	480 SF (30% max.)	494 SF (41%)
SEMI-PERVIOUS PAVING	120 SF (10% max.)	120 SF (10%)

2 OPEN SPACE 'E' ENLARGEMENT PLAN
SCALE: 1"=10'



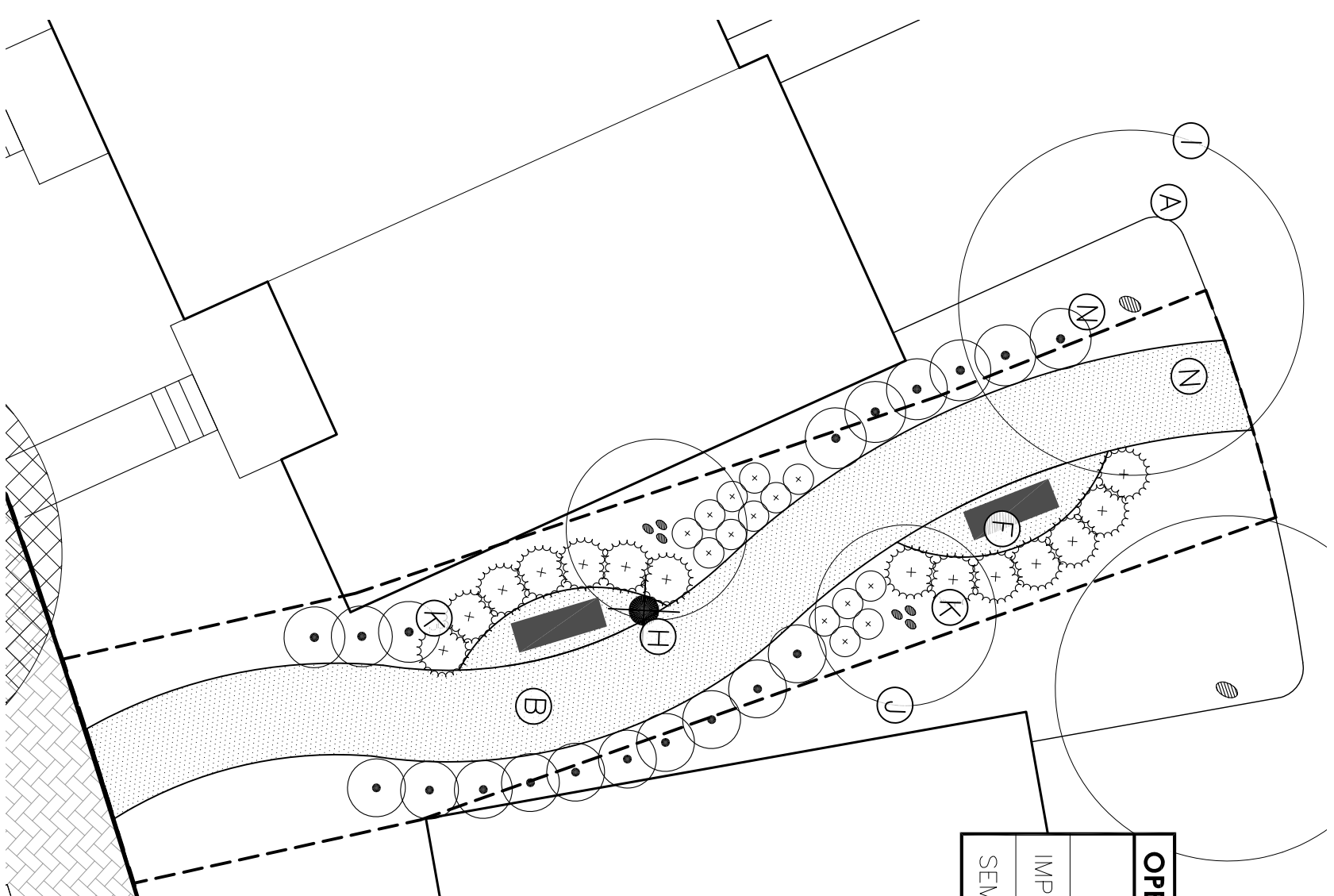
OPEN SPACE 'F' COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	508 SF (42%)
SEMI-PERVIOUS PAVING	NO MINIMUM	120 SF (10%)	0 SF (0%)

1 OPEN SPACE 'F' ENLARGEMENT PLAN
SCALE: 1"=10'



OPEN SPACE 'G' COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	496 SF (41%)
SEMI-PERVIOUS PAVING	NO MINIMUM	120 SF (10%)	0 SF (0%)

2 OPEN SPACE 'G' ENLARGEMENT PLAN
SCALE: 1"=10'



OPEN SPACE 'H' COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	568 SF (47%)
SEMI-PERVIOUS PAVING	NO MINIMUM	120 SF (10%)	0 SF (0%)

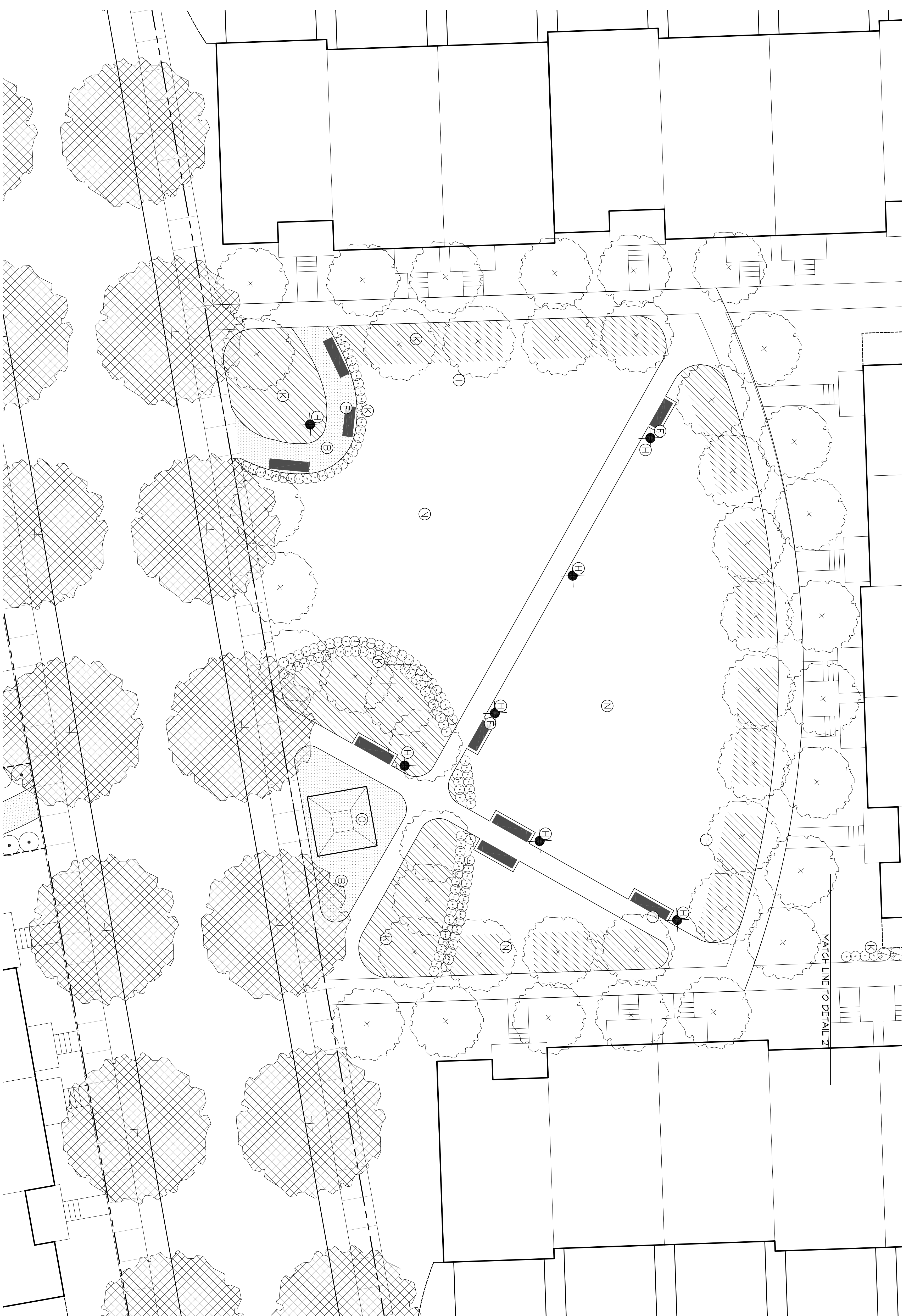
3 OPEN SPACE 'H' ENLARGEMENT PLAN
SCALE: 1"=10'



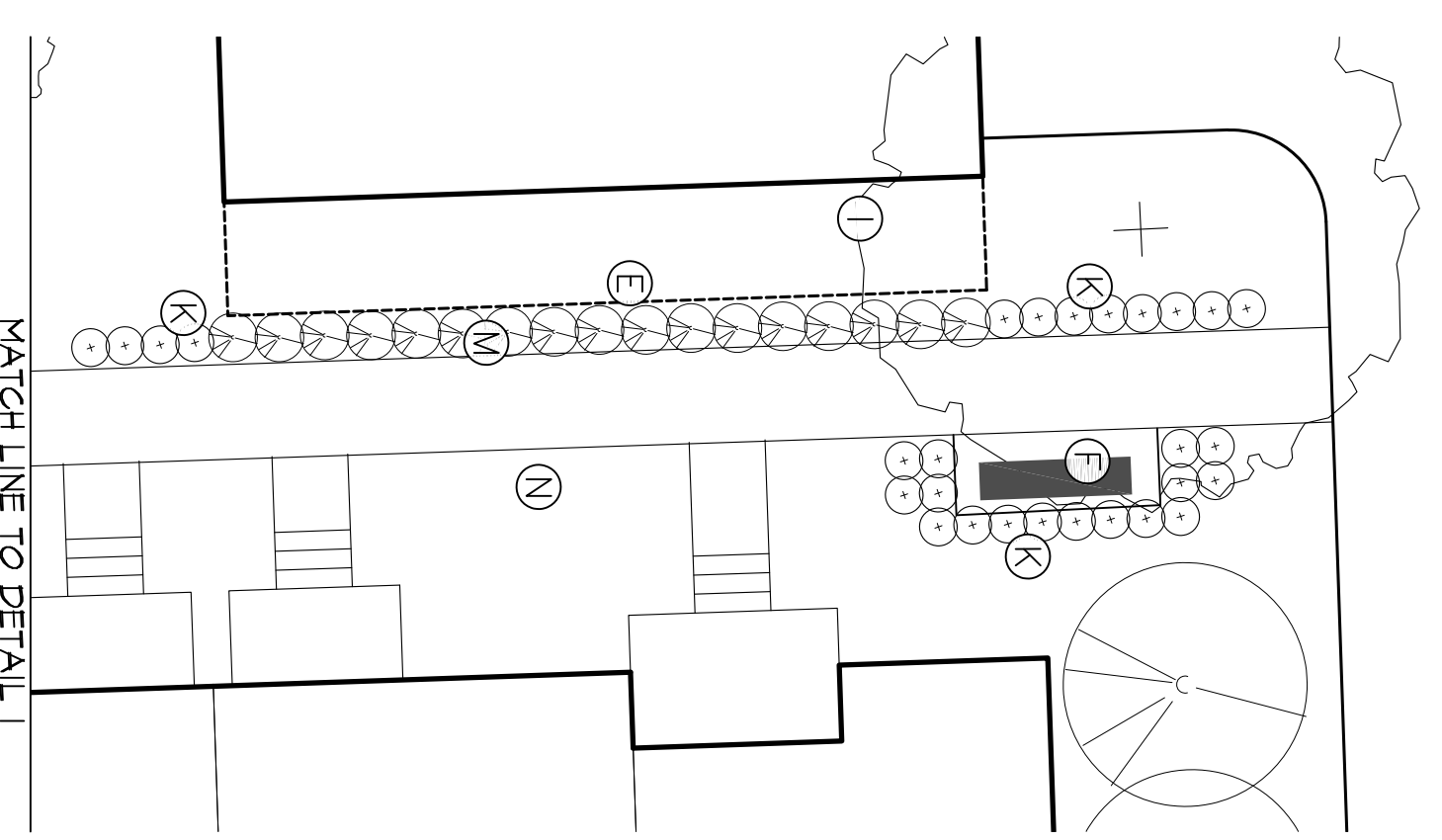
OPEN SPACE 'I' COVERAGE CALCULATIONS			
	REQUIRED MIN.	REQUIRED MAX.	PROVIDED
IMPERVIOUS PAVING	480 SF (40%)	960 SF (80%)	496 SF (41%)
SEMI-PERVIOUS PAVING	NO MINIMUM	120 SF (10%)	0 SF (0%)

4 OPEN SPACE 'I' ENLARGEMENT PLAN
SCALE: 1"=10'

KEY	
A	OPEN SPACE LIMITS
B	PLAZA PAVING (IMPERVIOUS)
C	SPECIALTY PAVING (SEMI-PERVIOUS)
D	SEAT WALL
E	SCREENING WALL
F	BENCH
G	TABLE SEATING
H	PEDESTRIAN LIGHT
I	SHADE TREE
J	ORNAMENTAL TREE
K	UNDERSTORY PLANTINGS
L	EVERGREEN TREE
M	SCREENING PLANTINGS
N	LAWN



1 OPEN SPACE 'J' ENLARGEMENT PLAN
SCALE: 1"=10'



2 OPEN SPACE 'J' ENLARGEMENT PLAN
SCALE: 1"=10'

KEY	
A	OPEN SPACE LIMITS
B	PLAZA PAVING (IMPERVIOUS)
C	SPECIALTY PAVING (SEMI-PERVIOUS)
D	SEAT WALL
E	SCREENING WALL
F	BENCH
G	TABLE SEATING
H	PEDESTRIAN LIGHT
I	SHADE TREE
J	ORNAMENTAL TREE
K	UNDERSTORY PLANTINGS
L	EVERGREEN TREE
M	SCREENING PLANTINGS
N	LAWN
O	COMMUNITY MAILBOX

NEIGHBORING SITE FURNISHINGS / PAVEMENT STANDARDS



TULLER ROAD TOWNHOME DEVELOPMENT

EXHIBIT J - CHARACTER IMAGERY

BSD, Dublin, OH

October 1, 2020

DROUGHT TOLERANT PLANTING PALETTE



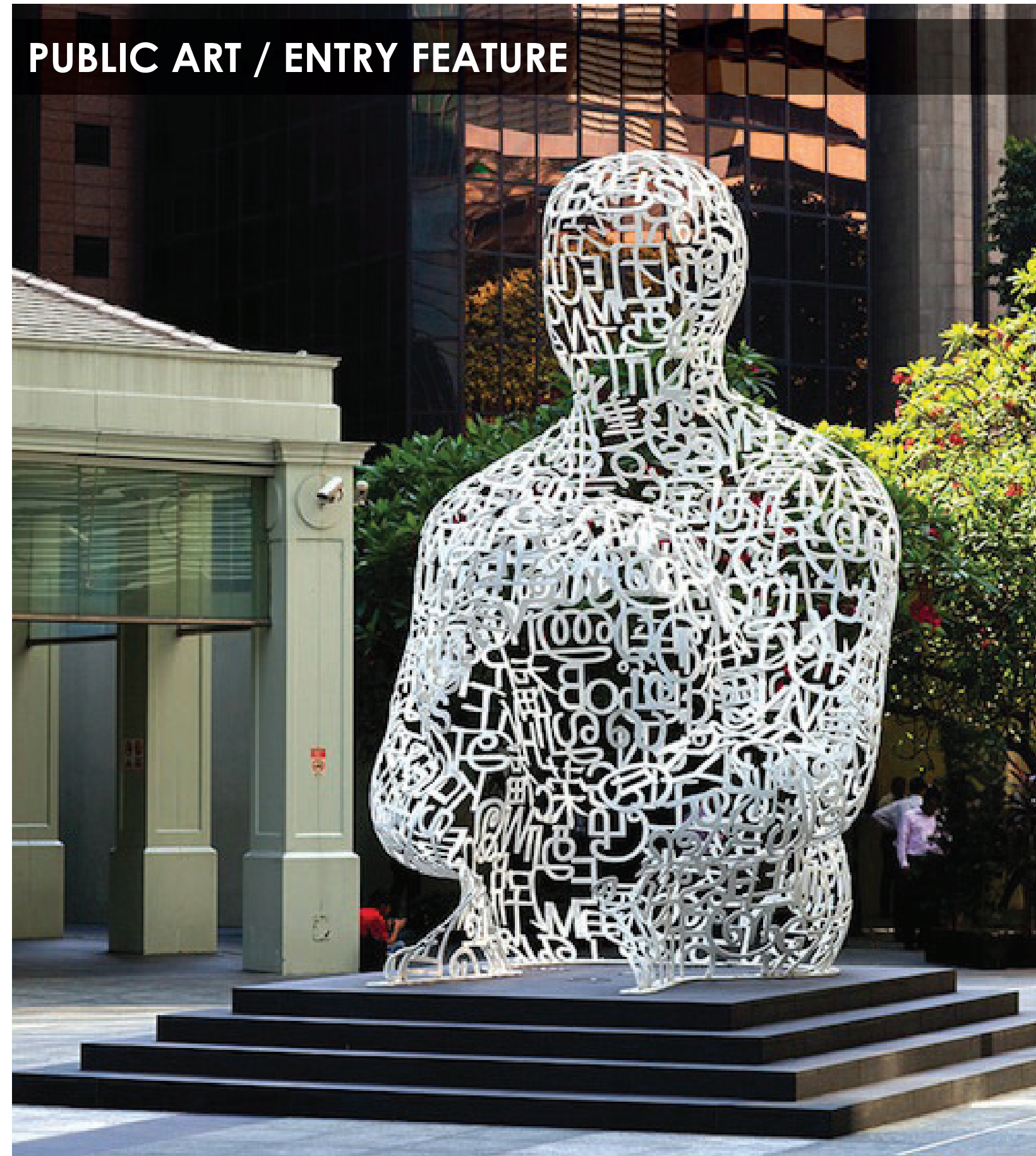
TULLER ROAD TOWNHOME DEVELOPMENT

EXHIBIT K - CHARACTER IMAGERY

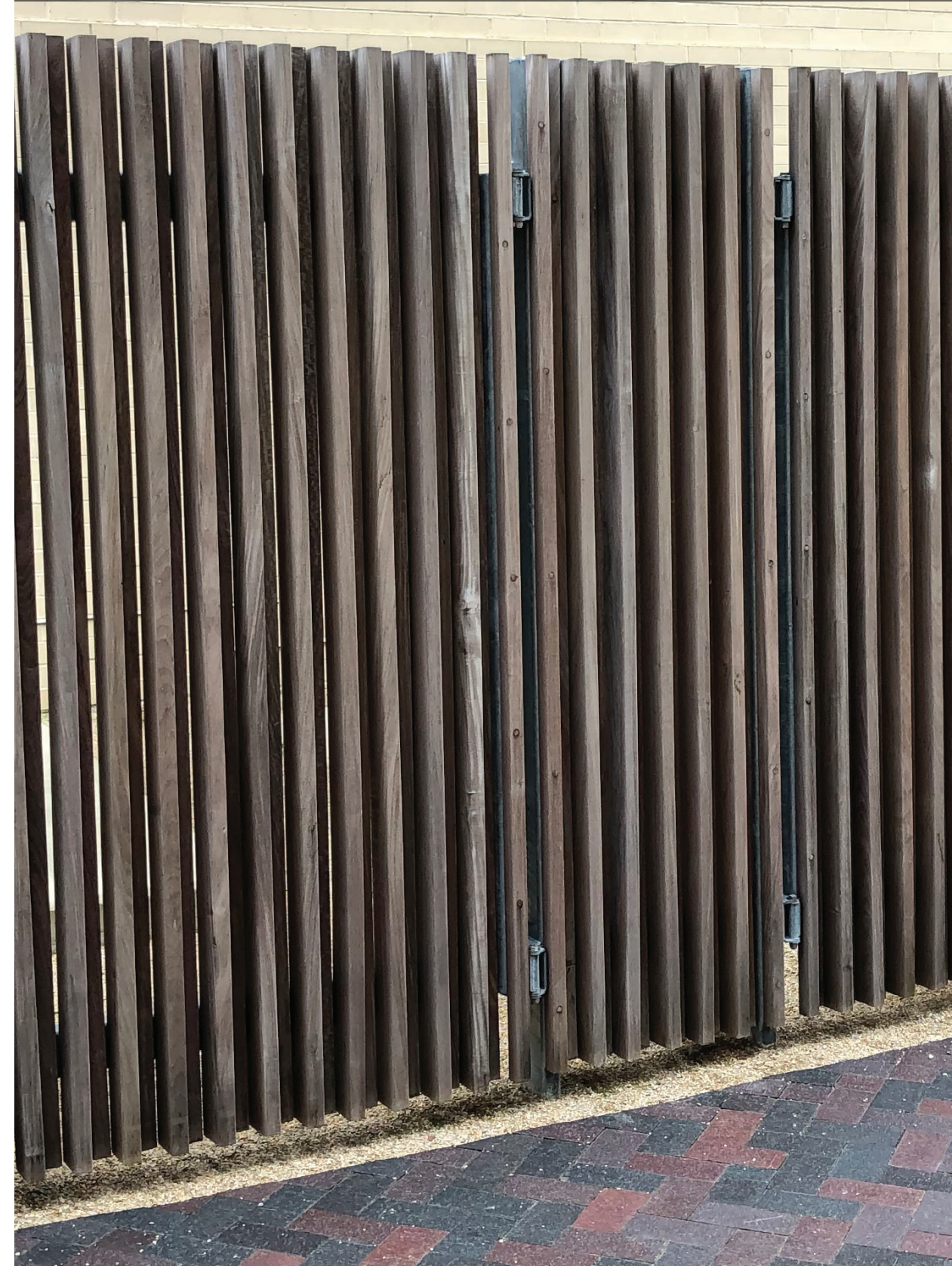
BSD, Dublin, OH

October 1, 2020

PUBLIC ART / ENTRY FEATURE



PRIVACY AND UTILITY SCREENING

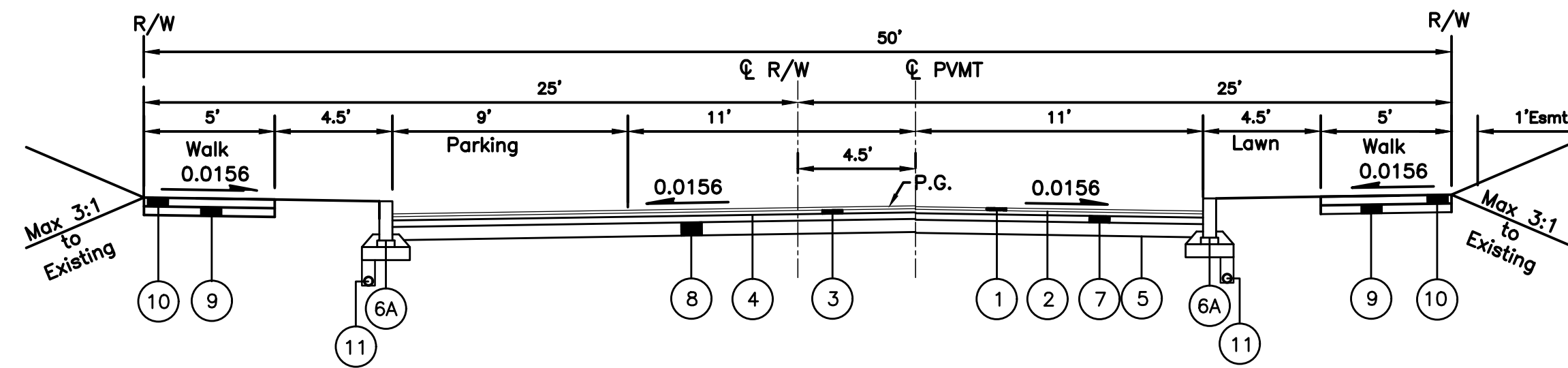


TULLER ROAD TOWNHOME DEVELOPMENT

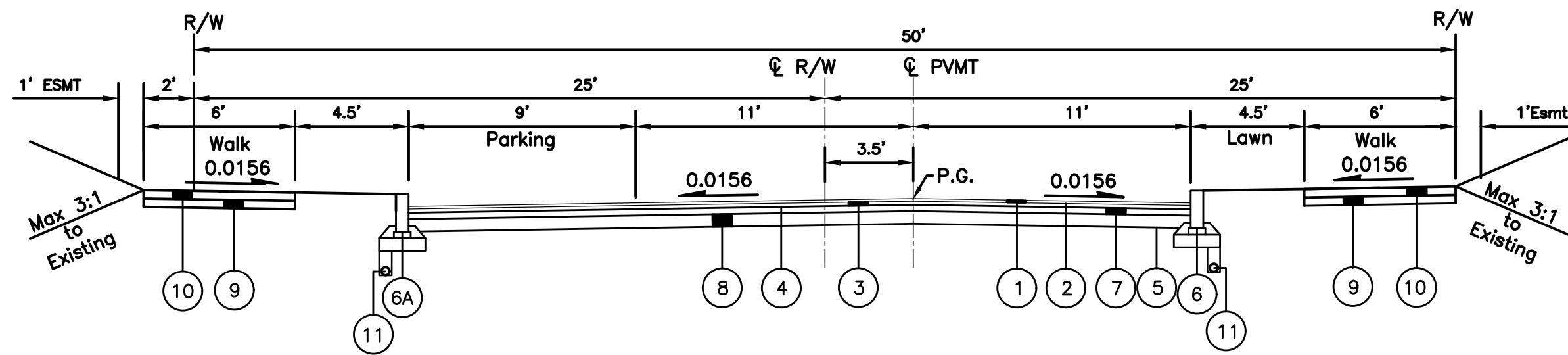
EXHIBIT L - CHARACTER IMAGERY

BSD, Dublin, OH

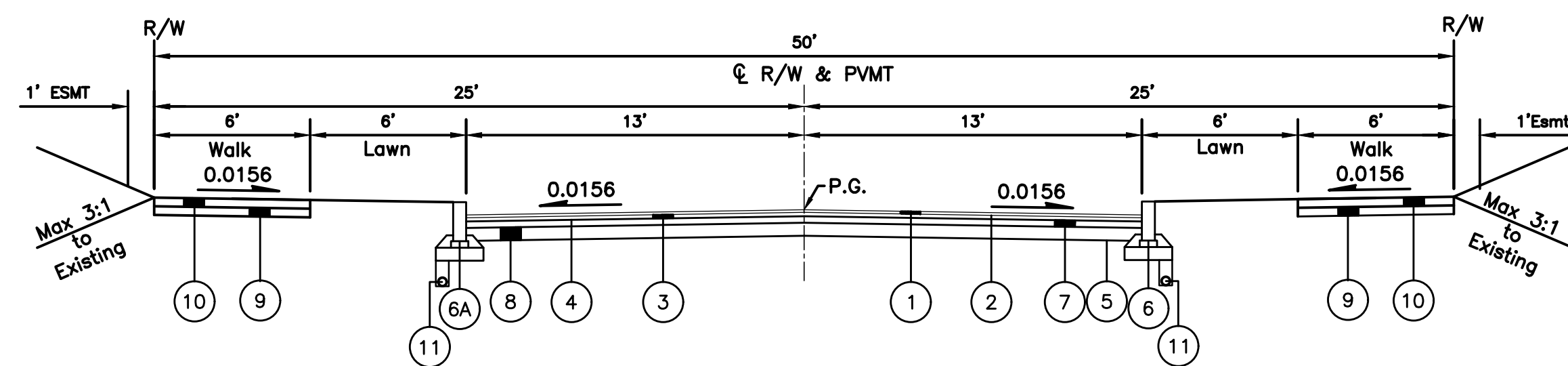
October 1, 2020



HOBBS LANDING DRIVE WEST (50' R/W)
Not To Scale

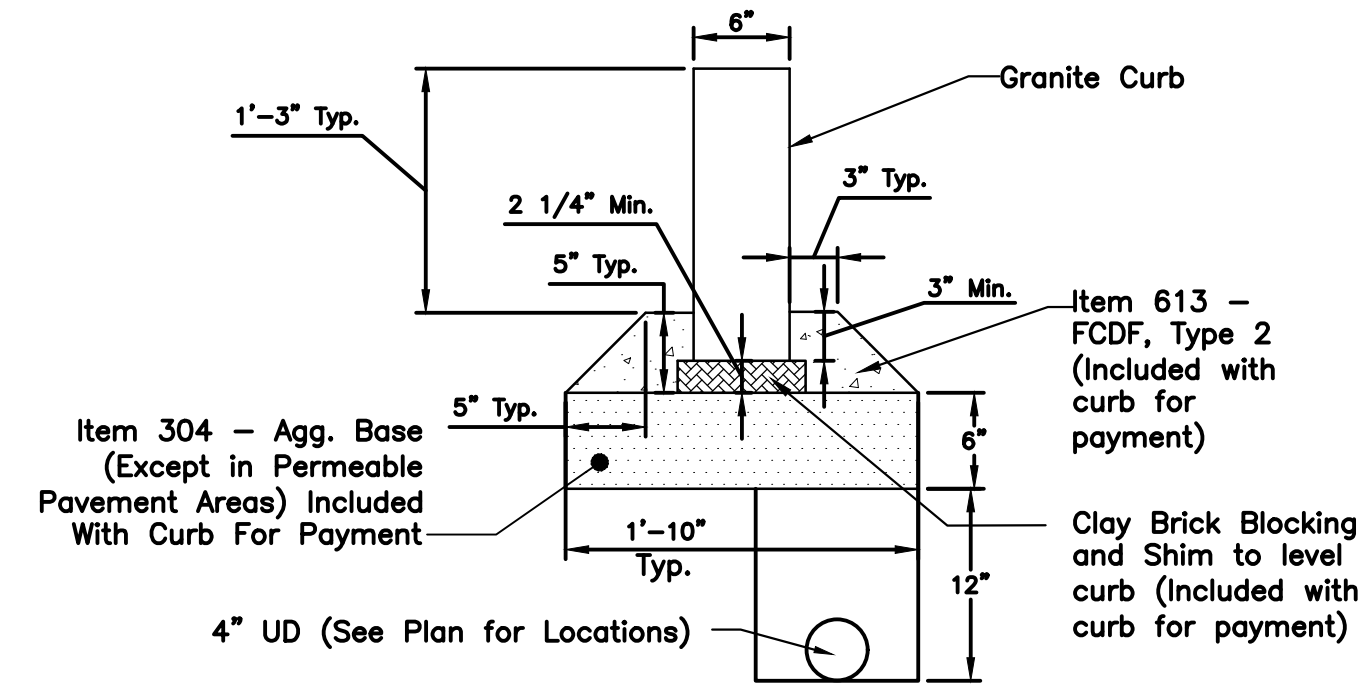


McCUNE AVENUE (50' R/W)
Not To Scale

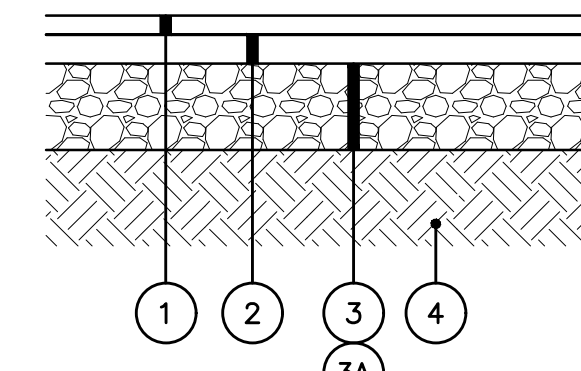


GRAFTON STREET (50' R/W)
Not To Scale

- LEGEND**
- ① Item 448 - 1.25" Asphalt Concrete Surface Course (Medium Traffic), PG64-22
 - ② Item 407 - NTSS-1HM Trackless Tack Coat for Intermediate Course (0.06 Gal/Sq. Yd.)
 - ③ Item 448 - 1.75" Asphalt Concrete Intermediate Course (Medium Traffic), PG64-22
 - ④ Item 407 - NTSS-1HM Trackless Tack Coat (0.08 Gal/Sq. Yd.)
 - ⑤ Item 204 - Subgrade Compaction and Proof Rolling
 - ⑥ Item 609 - Granite Curb (18" x 6")
 - ⑦ Item 301 - 3" Asphalt Concrete Base, PG64-22
 - ⑧ Item 304 - 6" Aggregate Base
 - ⑨ Item 304 - 4" Aggregate Base
 - ⑩ Item 608 - 4" Concrete Walk
 - ⑪ Item 605 - 4" Underdrain

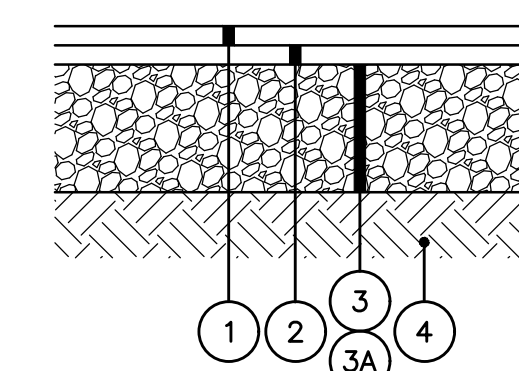


DETAIL A: ITEM 609 - GRANITE CURB (18" x 6")
Not To Scale

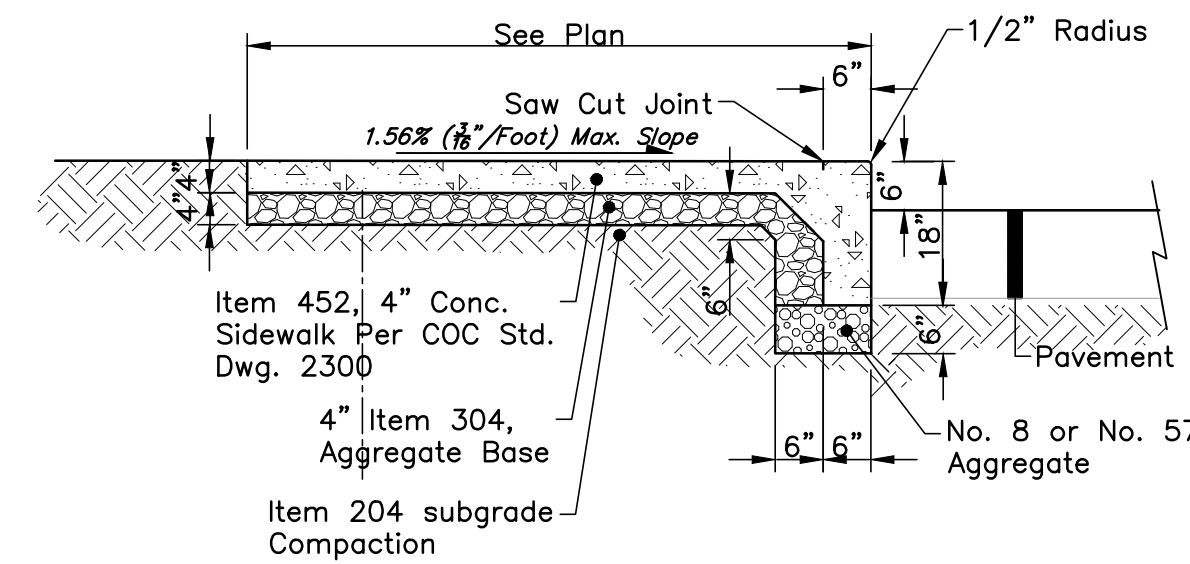


NOTE:
All pavement materials shown as per applicable ODOT Construction and Material Specifications unless otherwise noted.

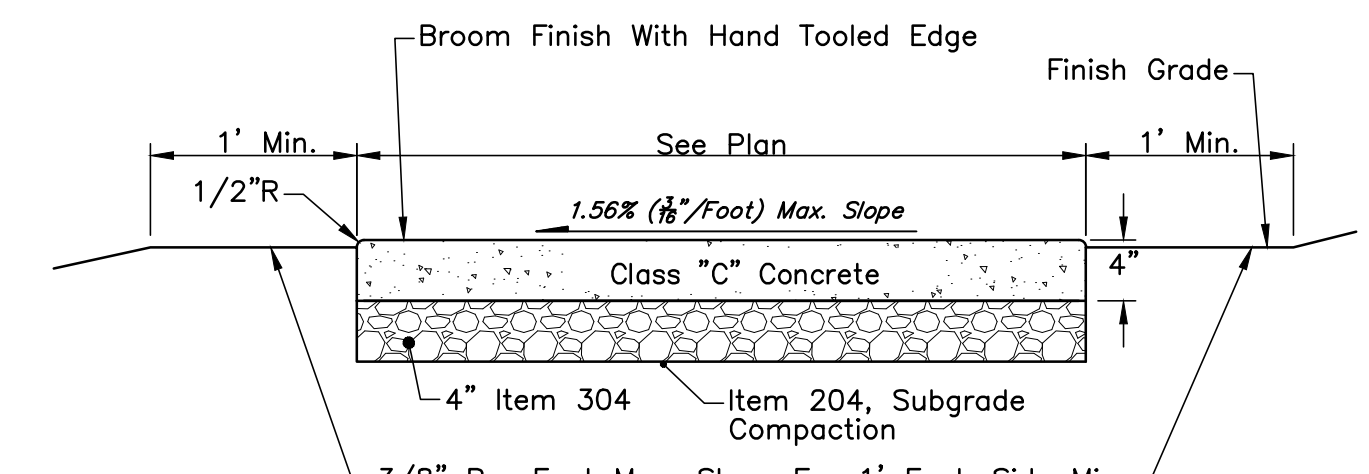
- PRIVATE LIGHT DUTY PAVEMENT SECTION**
Not To Scale
- ① Item 448, 1 1/2" Asphalt Concrete, Surface Course, Type 1, Medium Traffic, PG 64-22
 - ② Item 448, 1 1/2" Asphalt Concrete, Intermediate Course, Type 2, Medium Traffic, PG 64-22
 - ③ Item 304, 8" Aggregate Base
 - ③A 6" Roller Compacted Concrete per Supplemental Specification 1523
 - ⑤ Item 204, Subgrade Compaction



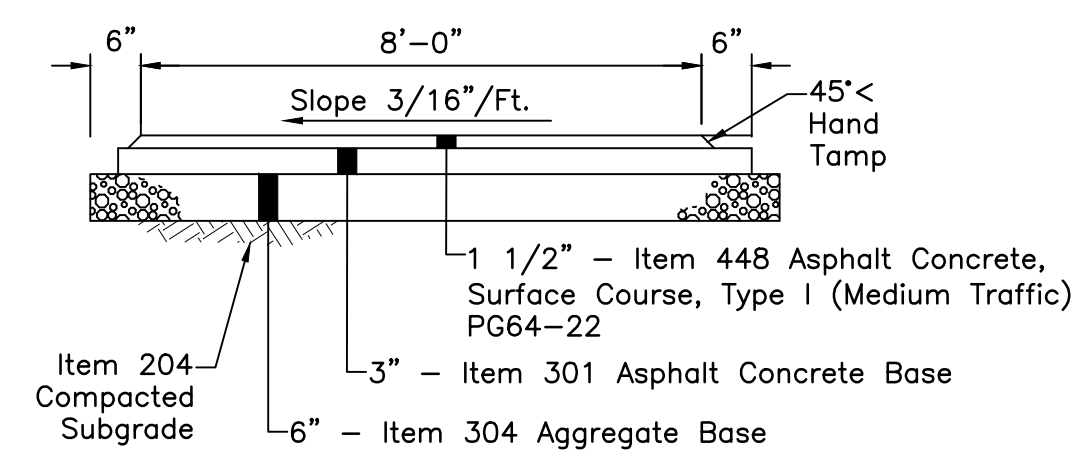
- PRIVATE HEAVY DUTY PAVEMENT SECTION**
Not To Scale
- ① Item 448, 2" Asphalt Concrete, Surface Course
 - ② Item 448, 2" Asphalt Concrete
 - ③ Item 304, 10" Crushed Aggregate Base
 - ③A 7" Roller Compacted Concrete per Supplemental Specification 1523
 - ④ Subgrade Compaction, Ref. Soils Report



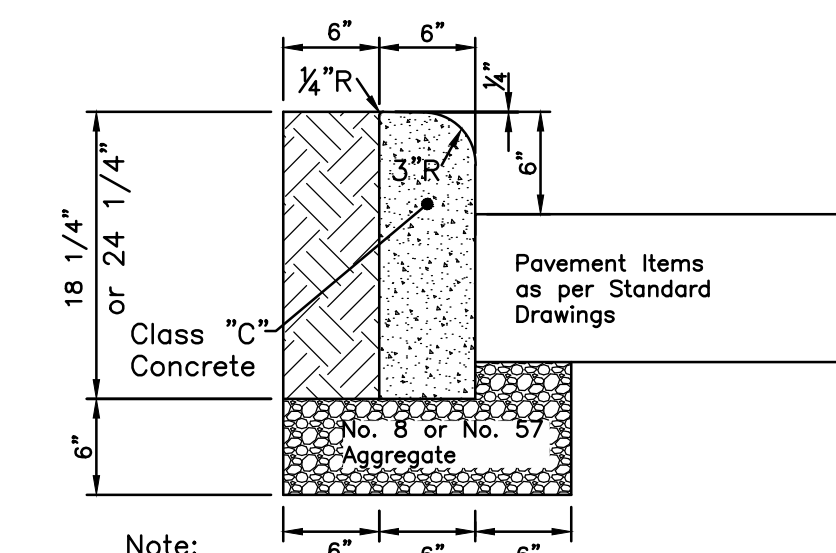
COMBINATION CONCRETE CURB & SIDEWALK
Not To Scale



CONCRETE SIDEWALK (Std. Dwg. 2300)
Not To Scale



SHARED USE PATH SECTION
Not To Scale



NOTE:
All Exposed Surfaces of Concrete Curb shall have a Brush Finish.

STRAIGHT 18" OR 24" CONCRETE CURB
Not To Scale

Note:
18" straight curb to be used at all private site curb unless bordering parvisous pavement. 24" straight curb to be used around parvisous pavement areas.

REVISIONS	
DATE	DESCRIPTION



PULTE HOMES
475 METRO PLACE
DUBLIN, OHIO 43017
PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
FOR
TULLER TOWNHOMES
McCUNE AVENUE, EXISTING TULLER ROAD, & EXISTING VILLAGE PARKWAY DETAILS

LOCATED IN:
QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
UNITED STATES MILITARY LANDS
CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	NOVEMBER 20, 2020	Job No.	20200978
Scale	As Noted	Sheet	1/1

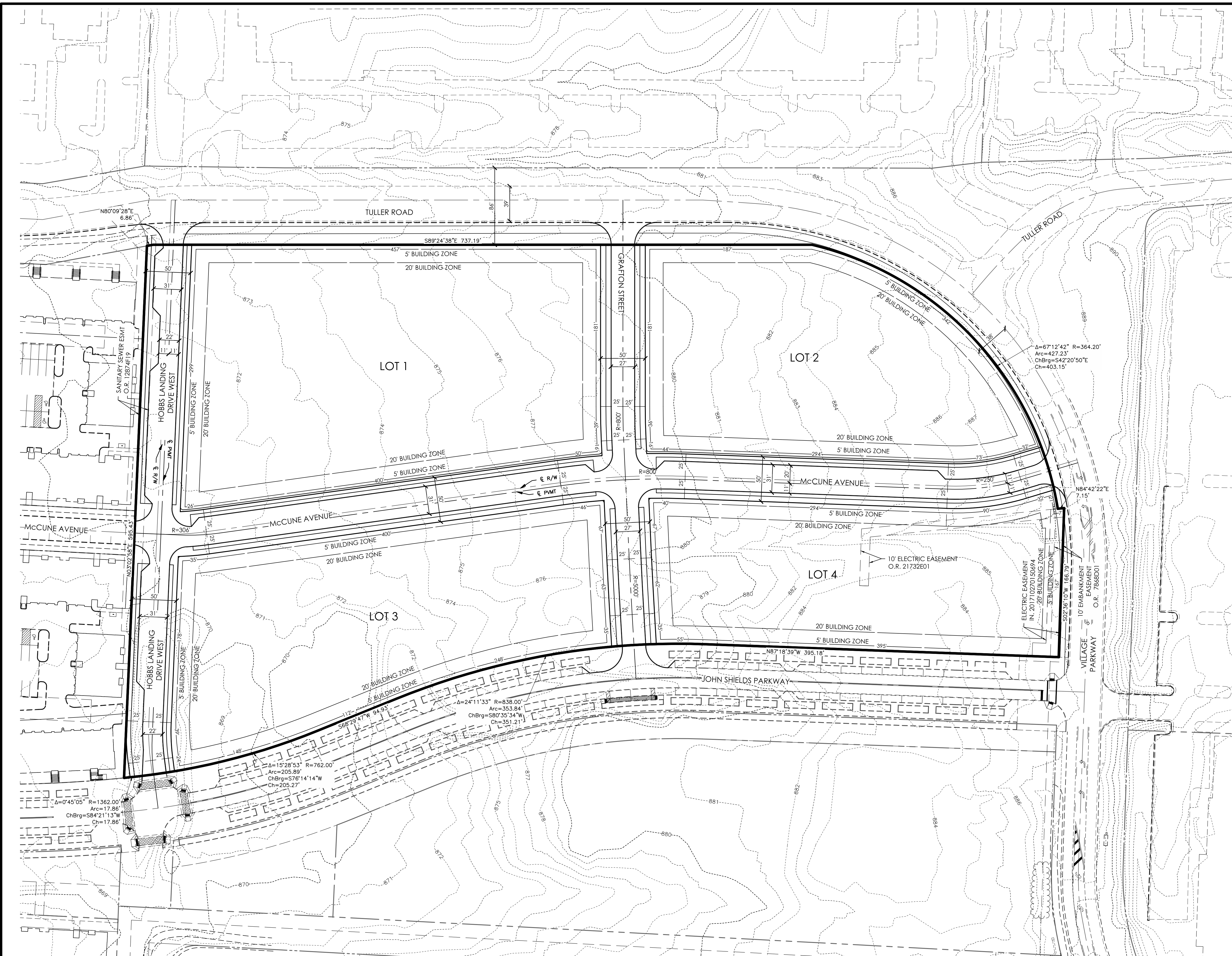
SITE STATISTICS:

TOTAL ACREAGE: ±11.0 ACRES
 NUMBER OF LOTS: 4
 GROSS DENSITY: ±0.36 LOT/ACRE
 OPEN SPACE:
 REQUIRED: ±0.785 ACRES
 ZONING CLASSIFICATION: BSC-SCN

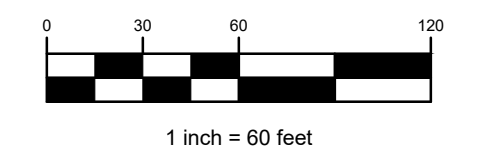
BENCH MARKS:

(NAVD 1988)

- SOURCE BM STATION IS A STAINLESS STEEL ROD DRIVEN TO A DEPTH OF 16 FEET, IN A TRIANGULAR SHAPED GRASS MEDIAN AT THE NORTHWEST CORNER OF THE INTERSECTION OF DUBLIN-GRANVILLE ROAD AND RIVERSIDE DRIVE, 59.9 FEET SOUTHWEST OF THE NORTH CORNER OF THE MEDIAN, 28.4 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE MEDIAN, 20.2 FEET NORTHWEST OF THE SOUTHWEST CORNER OF THE MEDIAN, 2 FEET NORTH OF A WITNESS POST, ACCESS THROUGH ALUMINUM ACCESS COVER, LEVEL WITH THE SIDEWALK. ELEVATION = 801.71
- BM#1 CHISELED SQUARE ON THE SOUTHEAST CORNER OF A STORM CURB AND GUTTER INLET LOCATED EAST SIDE OF THE TULLER RIDGE DRIVE, 1100 FEET SOUTH OF THE INTERSECTION OF TULLER RIDGE DRIVE AND TULLER ROAD. ELEVATION = 884.07
- BM#2 CHISELED "X" ON THE WEST FLANGE BOLT OF A FIRE HYDRANT LOCATED ON THE EAST SIDE OF VILLAGE PARKWAY, 270 FEET NORTH OF THE INTERSECTION OF VILLAGE PARKWAY AND COOPERSTONE DRIVE. ELEVATION = 890.10
- BM#3 CHISELED "X" ON THE NORTH FLANGE BOLT OF A FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF TULLER ROAD, 1700 FEET EAST OF THE INTERSECTION OF TULLER ROAD AND TULLER RIDGE DRIVE. ELEVATION = 858.87



GRAPHIC SCALE



REVISIONS	
DATE	DESCRIPTION

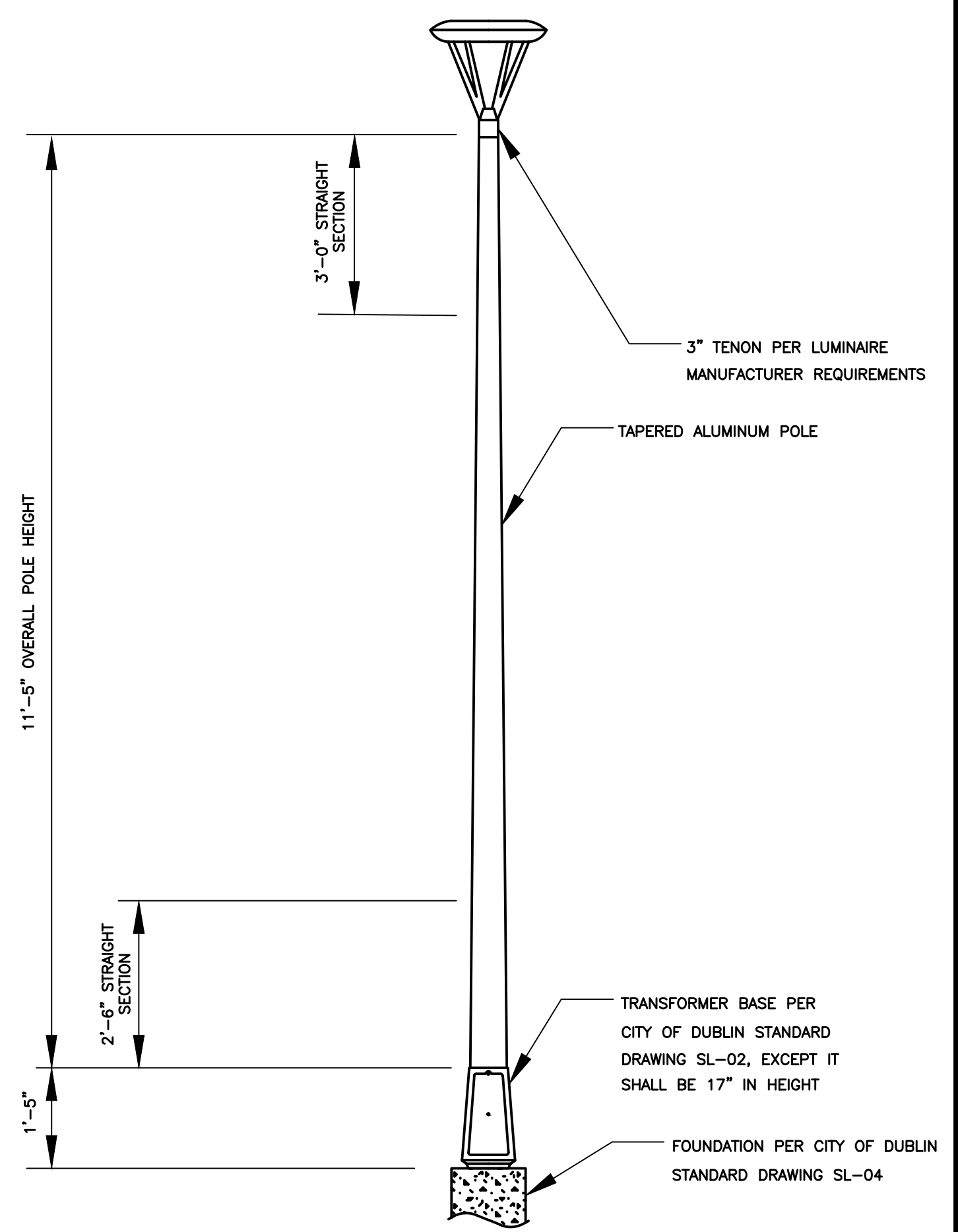
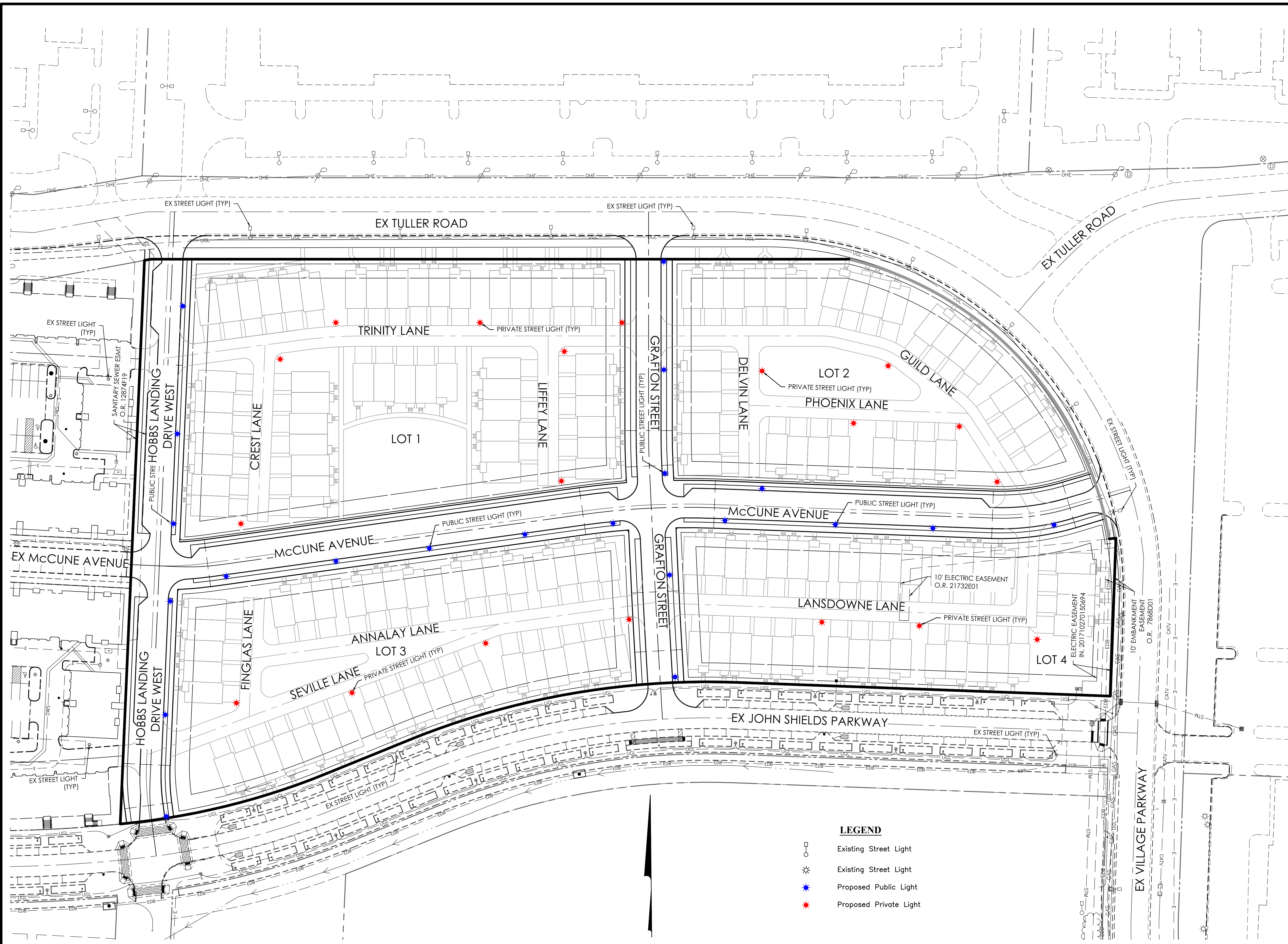
EMHT
 Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers - Surveyors - Planners - Scientists
 5800 New Albany Road, Columbus, OH 43254
 Phone: 614.775.4500 Fax: 614.775.3648
 emht.com

PULTE HOMES
 475 METRO PLACE
 DUBLIN, OHIO 43017
 PH: (614) 376-1000

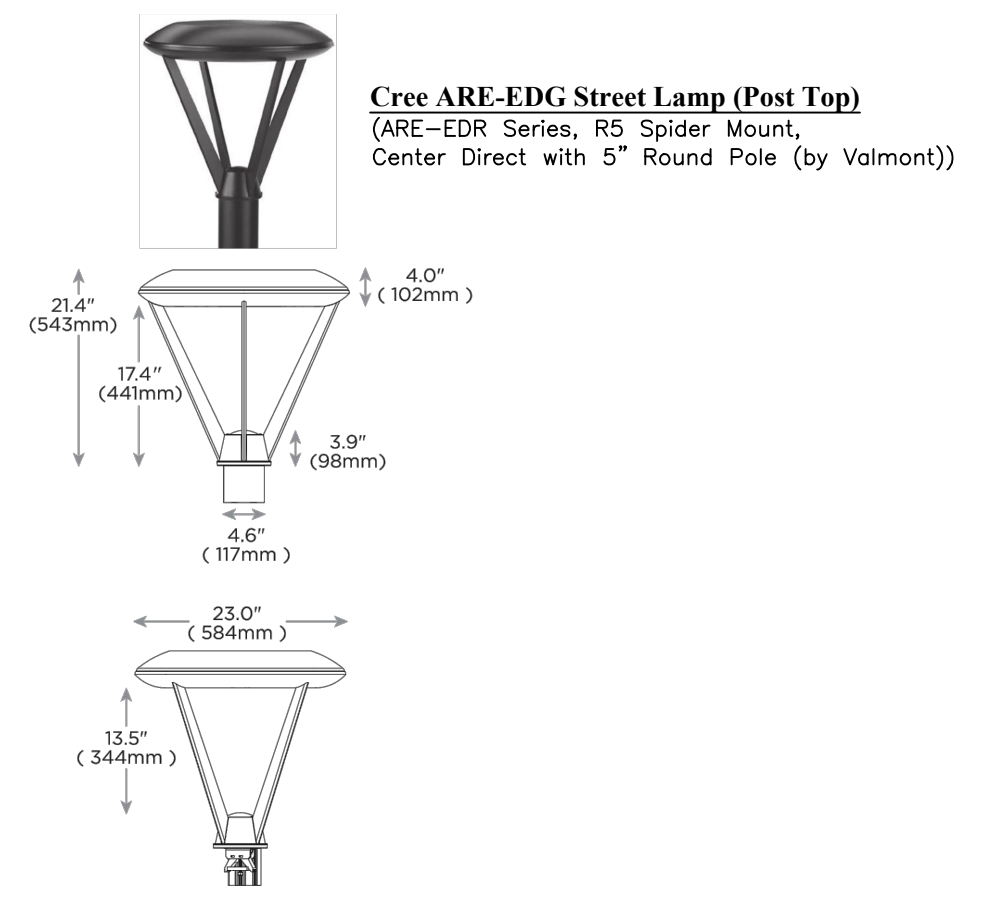
CITY OF DUBLIN, UNION COUNTY, OHIO
 PRELIMINARY PLAT
 FOR
TULLER TOWNHOMES
 SITE PLAN

LOCATED IN:
 QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
 UNITED STATES MILITARY LANDS
 CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	Job No.
NOVEMBER 20, 2020	20200978
Scale	Sheet
1"=60'	3/7



*** POST TOP LIGHT POLE, AS PER PLAN**
Scale: None



Cree ARE-EDG Street Lamp (Post Top)
(ARE-EDR Series, R5 Spider Mount, Center Direct with 5" Round Pole (by Valmont))

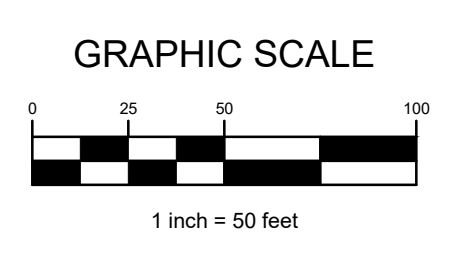
Product Description
Slim, low profile design minimizes wind load requirements. Luminaire sides are rugged cast aluminum with integral, weatherlight LED driver compartments, spun vented cover and high performance aluminum heat sinks. Post top mounting consists of four precision machined, extruded aluminum arms mounted to weatherlight cast lower hub with center bolt direct mount system for 5" (127mm) round poles. Direct mount system provides clean hardware-less outer appearance.

Performance Summary

- Utilizes BetaLED® Technology
- Patented NanoOptic® Product Technology
- Made in the U.S.A. of U.S. and Imported parts
- CRF: Minimum 70 CRI
- CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)
- Limited Warranty: 10 years on luminaire / 10 years on Colorfast DeltaGuard® finish
- EPA and Weight: Reference EPA and Weight spec sheet

*** FIXTURE ON 11.5' POLE**
Scale: None

- LEGEND**
- Existing Street Light
 - Existing Street Light
 - Proposed Public Light
 - Proposed Private Light



REVISIONS	
DATE	DESCRIPTION

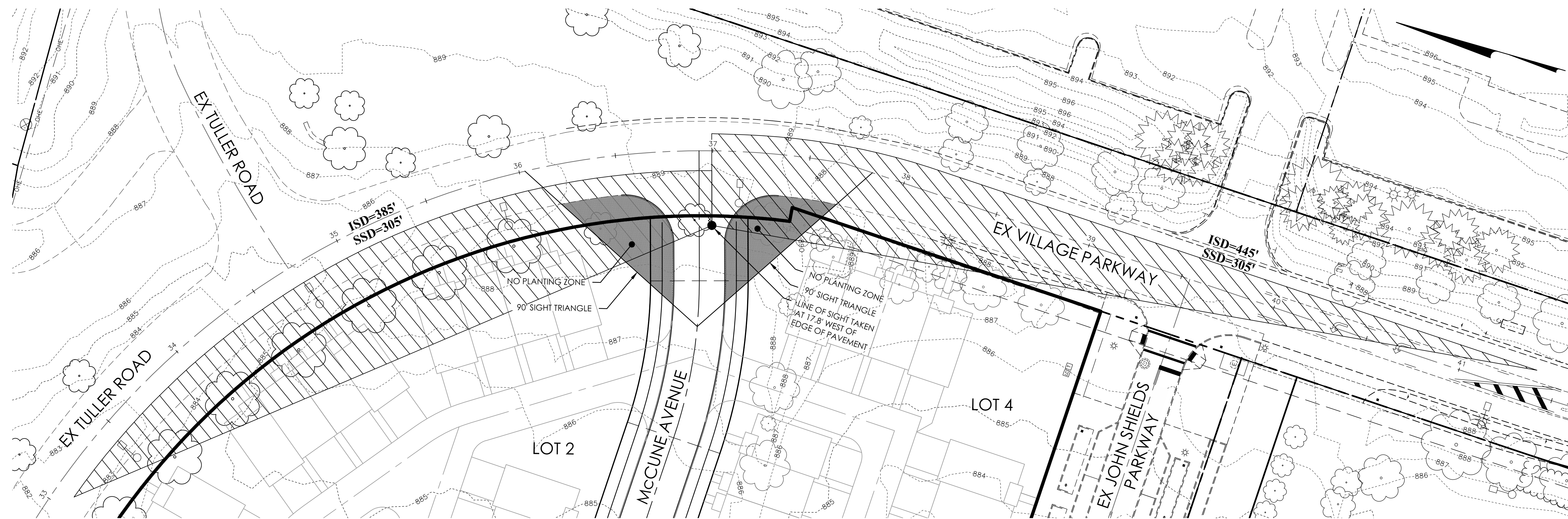
EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers - Surveyors - Planners - Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Fax: 614.775.3648
emht.com

PULTE HOMES
475 METRO PLACE
DUBLIN, OHIO 43017
PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
FOR
TULLER TOWNHOMES
PRELIMINARY LIGHTING PLAN

LOCATED IN:
QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
UNITED STATES MILITARY LANDS
CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

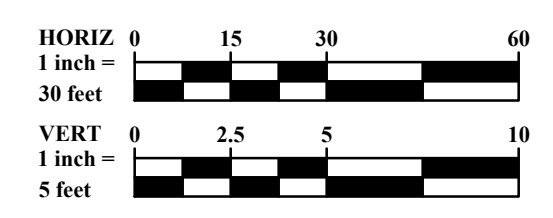
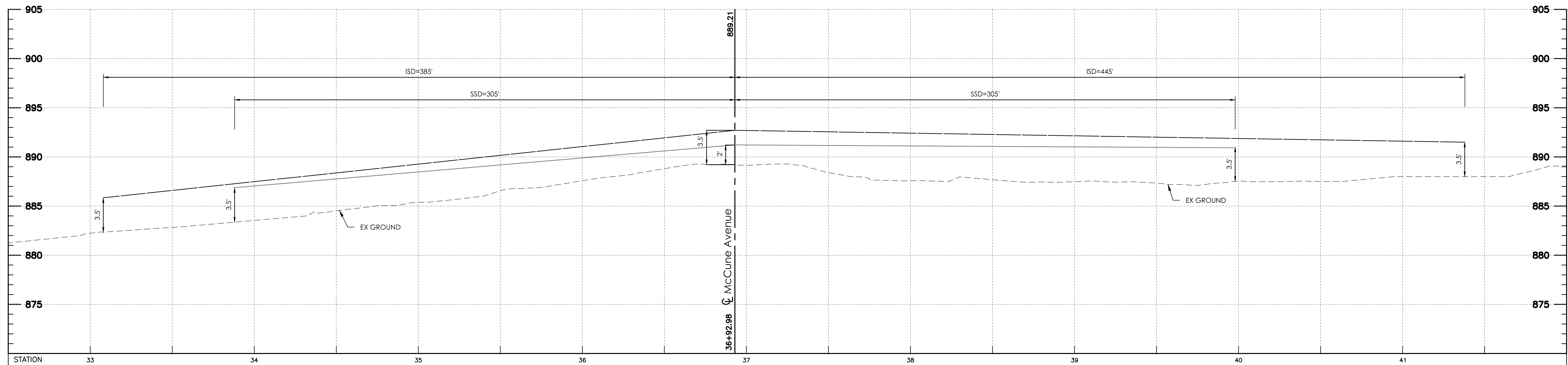
Date	NOVEMBER 20, 2020	Job No.	20200978
Scale	1"=50'	Sheet	1/1



LEGEND

90' Clear Zone

SPEED LIMIT: 35 MPH
DESIGN SPEED: 40 MPH



J:\20200978\Draw\04\Plans\Exhibits\SSD Exhibit\20200978 SSD Exhibit - McCune & Ex Tuller Road.dwg Last Saved By: bhoiland 9/30/2020 3:13 PM

REVISIONS	
DATE	DESCRIPTION

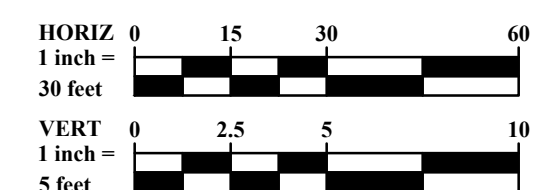
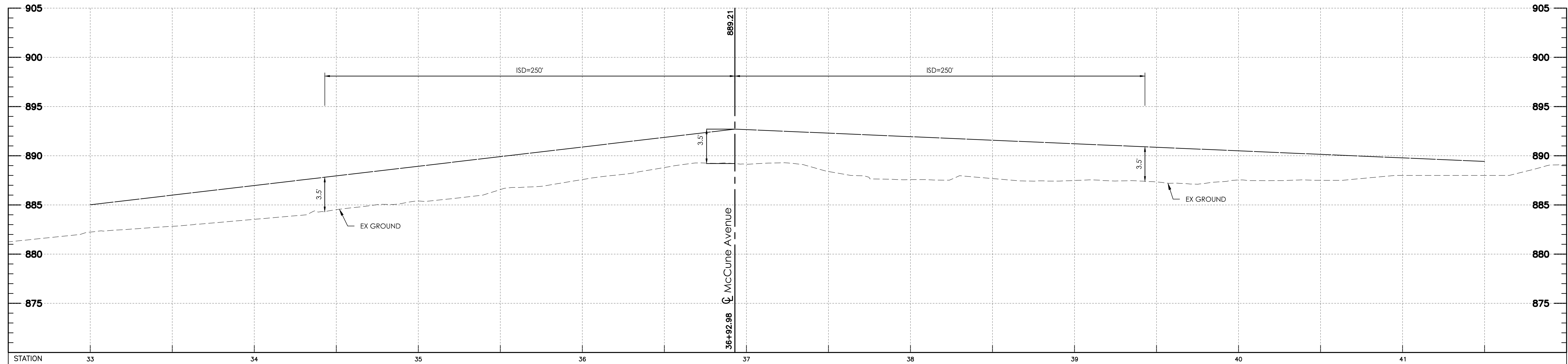
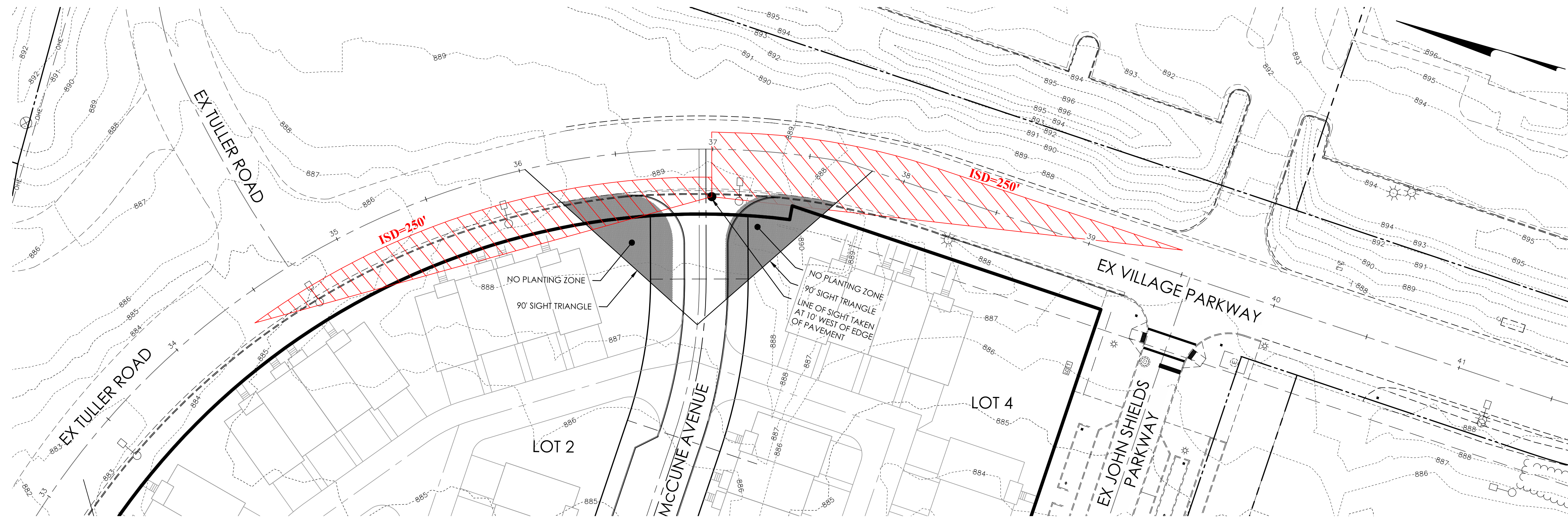
EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers - Surveyors - Planners - Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Fax: 614.775.3648
emht.com

PULTE HOMES
475 METRO PLACE
DUBLIN, OHIO 43017
PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
FOR
TULLER TOWNHOMES
McCune Avenue, Existing Tuller Road, & Existing Village Parkway Intersection Sight Distance Exhibit

LOCATED IN:
QUARTER TOWNSHIP 2, RANGE 19
UNITED STATES MILITARY LANDS
CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	Job No.
OCTOBER 1, 2020	20200978
Scale	Sheet
H: 1"=30' V: 1"=5'	1/1



J:\20200978\Draw\4646plans\Exhibits\SSD\Exhibit - McCune & Ex Tuller Rd.dwg; Last Saved By: bholand.1; 11/20/2020 1:06 PM

REVISIONS	
DATE	DESCRIPTION

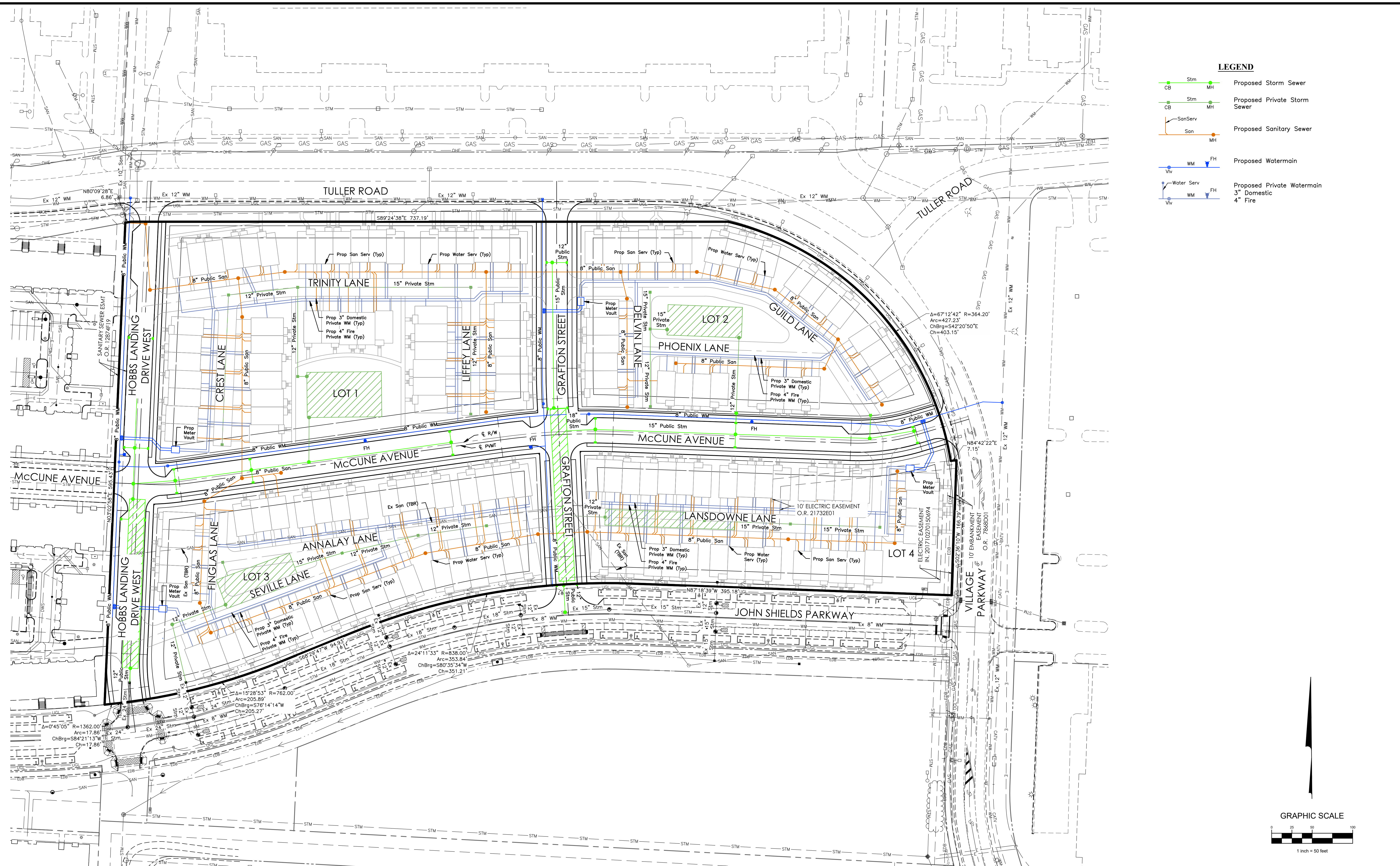
EMHT
 Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers - Surveyors - Planners - Scientists
 5500 New Albany Road, Columbus, OH 43254
 Phone: 614.775.4500 Fax: 614.775.3648
 emht.com

PULTE HOMES
 475 METRO PLACE
 DUBLIN, OHIO 43017
 PH: (614) 376-1000

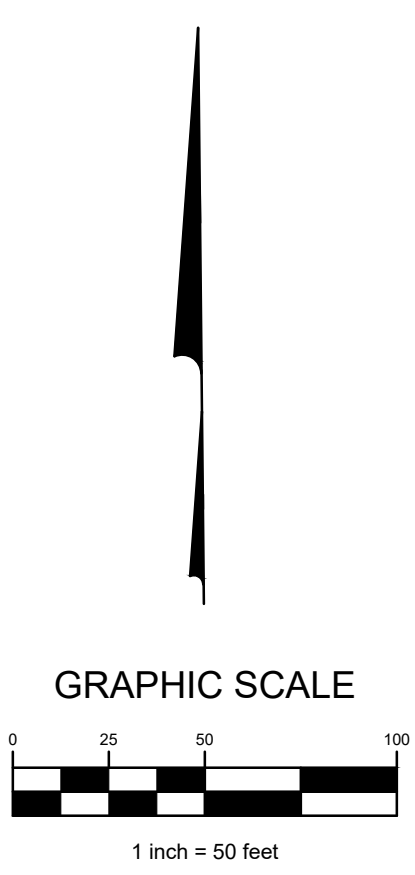
CITY OF DUBLIN, UNION COUNTY, OHIO
 PRELIMINARY DEVELOPMENT PLAN
 FOR
TULLER TOWNHOMES
 McCune Avenue, Existing Tuller Road, & Existing Village Parkway Intersection Sight Distance Exhibit

LOCATED IN:
 QUARTER TOWNSHIP 2, RANGE 19
 UNITED STATES MILITARY LANDS
 CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	Job No.
November 20, 2020	20200978
Scale	Sheet
H: 1"=30' V: 1"=5'	1/1



- LEGEND**
- Proposed Storm Sewer
 - Proposed Private Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Watermain
 - Proposed Private Watermain
 -



REVISIONS	
DATE	DESCRIPTION

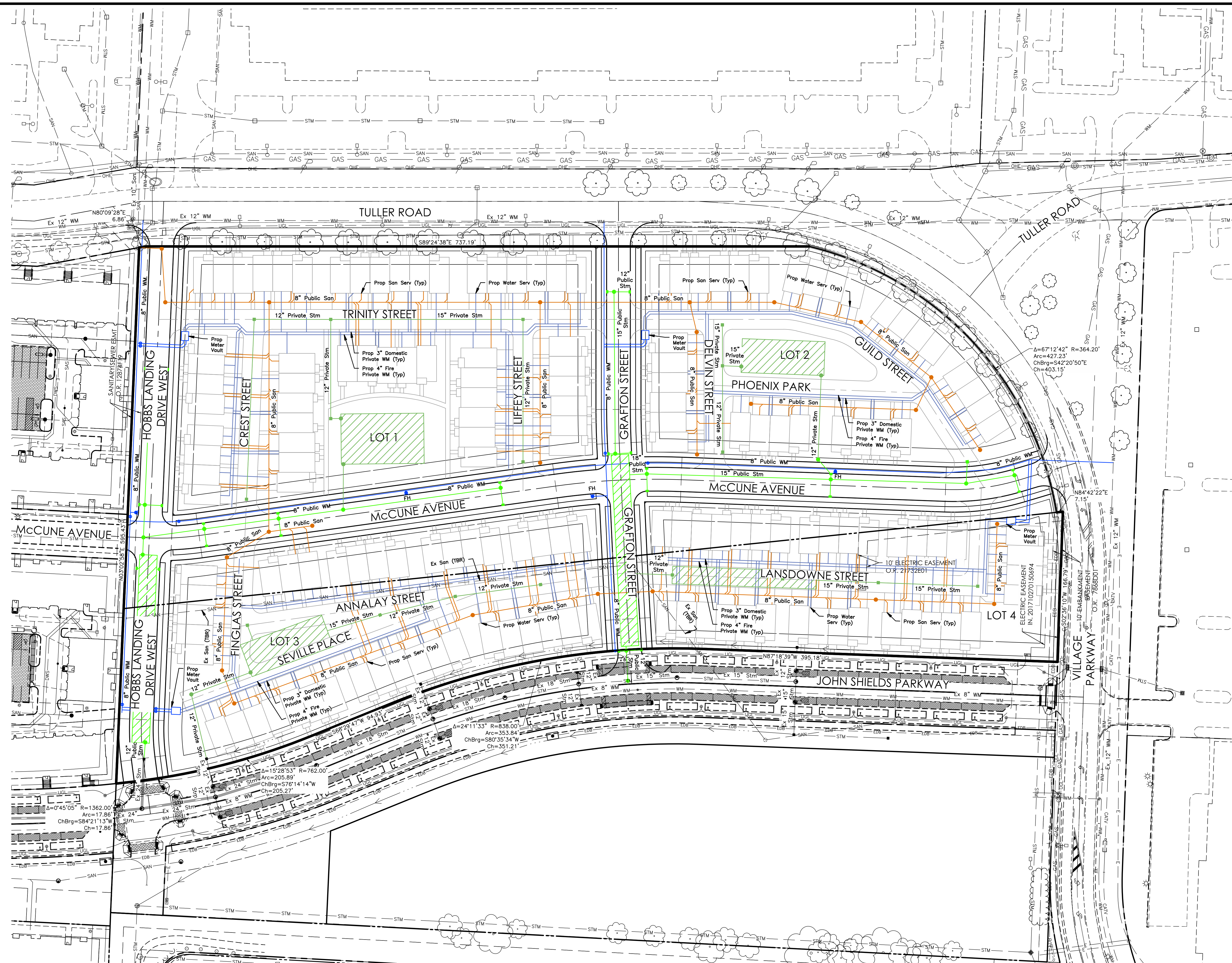
EMHT
 Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers - Surveyors - Planners - Scientists
 5500 New Albany Road, Columbus, OH 43254
 Phone: 614.775.4500 Fax: 614.775.3648
 emht.com

PULTE HOMES
 475 METRO PLACE
 DUBLIN, OHIO 43017
 PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
 PRELIMINARY PLAT
 FOR
TULLER TOWNHOMES
 PRELIMINARY UTILITY PLAN

LOCATED IN:
 QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
 UNITED STATES MILITARY LANDS
 CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	NOVEMBER 20, 2020	Job No.	20200978
Scale	1"=50'	Sheet	4/7



LEGEND

	Proposed Storm Sewer
	Proposed Sanitary Sewer
	Proposed Watermain
	Proposed Private Watermain
	3" Domestic
	4" Fire

J:\20200978\Draw\Utilities\Utility Planning\Utility Planning.dwg (Last Saved By: jsmith, 10/1/2020 9:53 AM)

REVISIONS	
DATE	DESCRIPTION

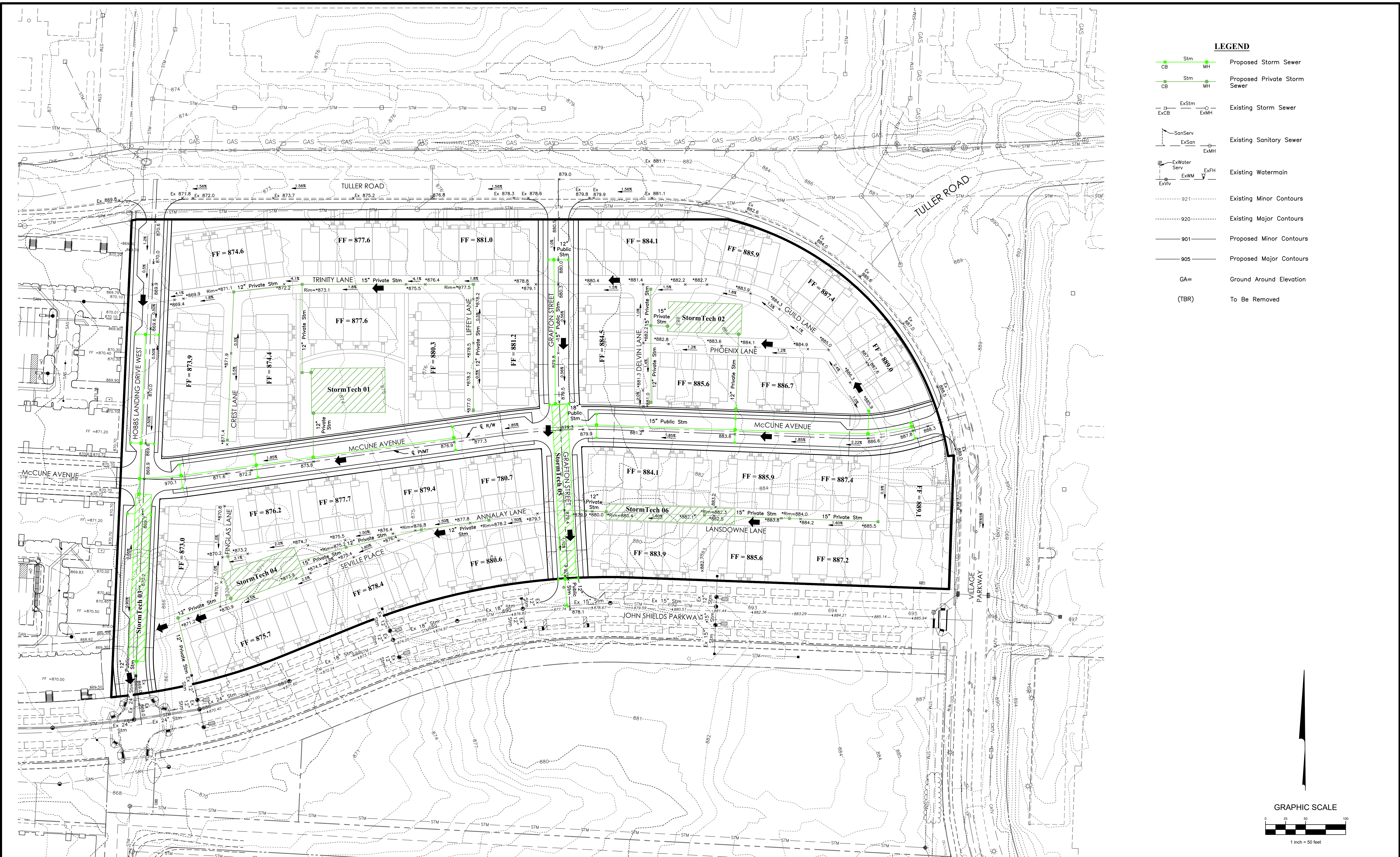
EMHT
 Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers - Surveyors - Planners - Scientists
 5200 New Albany Road, Columbus, OH 43264
 Phone: 614.775.4500 Fax: 614.775.3648
 emht.com

PULTE HOMES
 475 METRO PLACE
 DUBLIN, OHIO 43017
 PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
 PRELIMINARY PLAT
 FOR
TULLER TOWNHOMES
 PRELIMINARY UTILITY PLAN

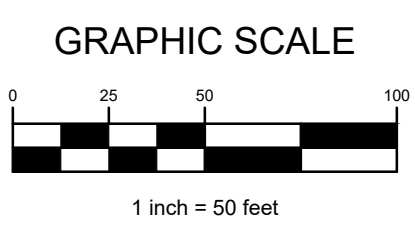
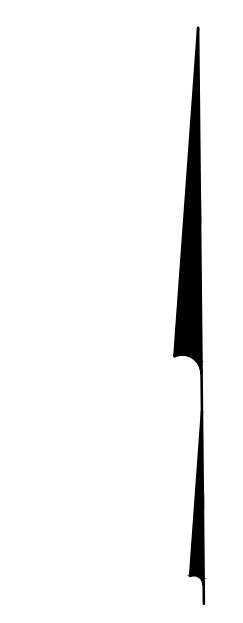
LOCATED IN:
 QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
 UNITED STATES MILITARY LANDS
 CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	Job No.
OCTOBER 1, 2020	20200978
Scale	Sheet
1"=50'	4/7



LEGEND

- Stm — MH Proposed Storm Sewer
- CB — MH Proposed Private Storm Sewer
- ExStm — ExMH Existing Storm Sewer
- SanServ — ExSan Existing Sanitary Sewer
- ExWater Serv — ExFH Existing Watermain
- ExWV — ExWM Existing Watermain
- 921 Existing Minor Contours
- 920 Existing Major Contours
- 901 Proposed Minor Contours
- 905 Proposed Major Contours
- GA= Ground Around Elevation
- (TBR) To Be Removed



REVISIONS	
DATE	DESCRIPTION

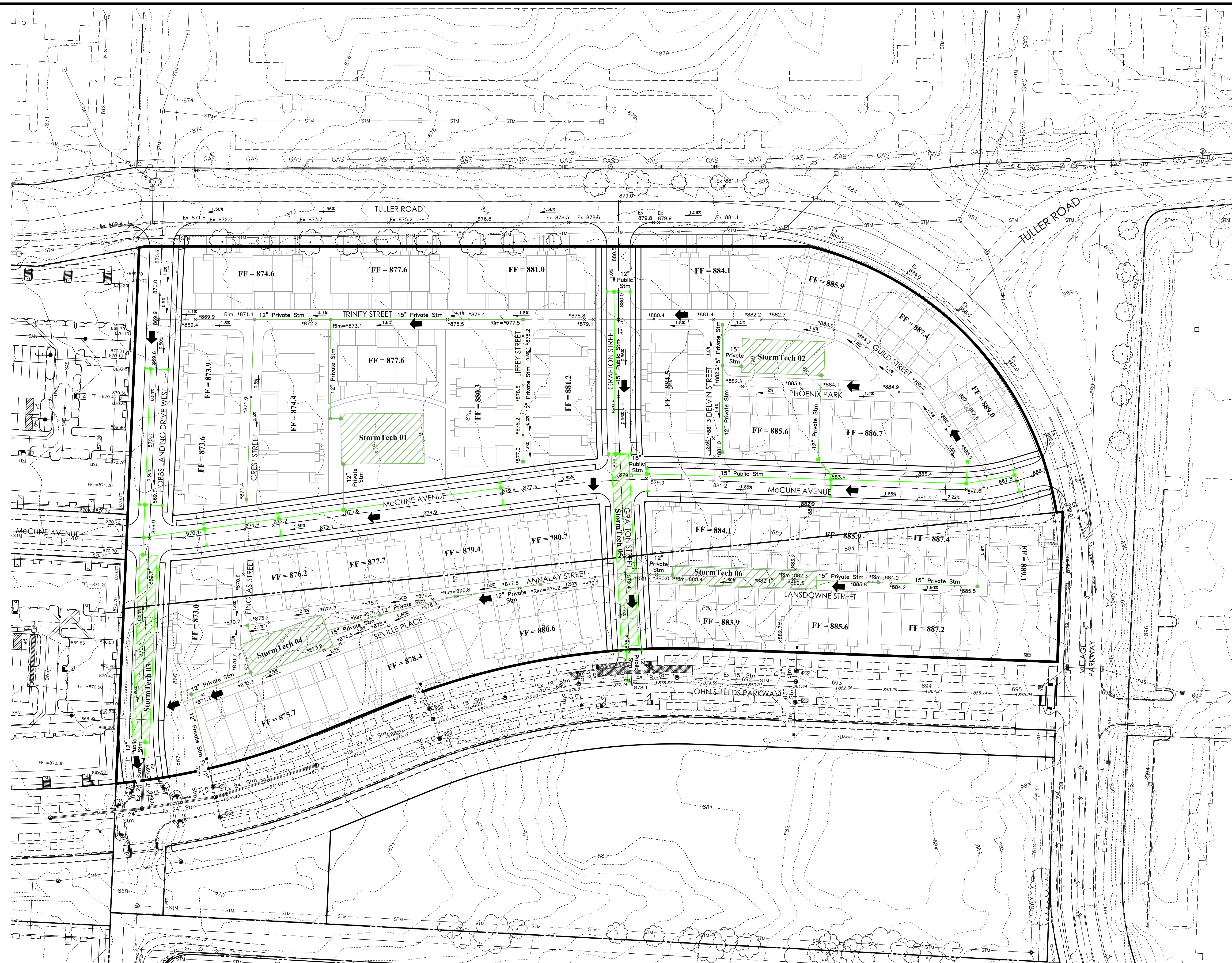
EMHT
 Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers - Surveyors - Planners - Scientists
 5500 New Albany Road, Columbus, OH 43254
 Phone: 614.775.4500 Fax: 888.775.3648
 emht.com

PULTE HOMES
 475 METRO PLACE
 DUBLIN, OHIO 43017
 PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
 PRELIMINARY PLAT
 FOR
TULLER TOWNHOMES
 PRELIMINARY GRADING PLAN

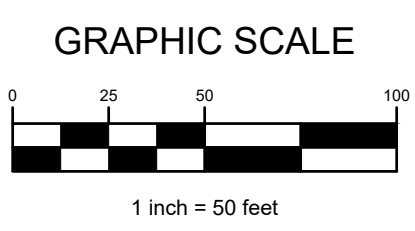
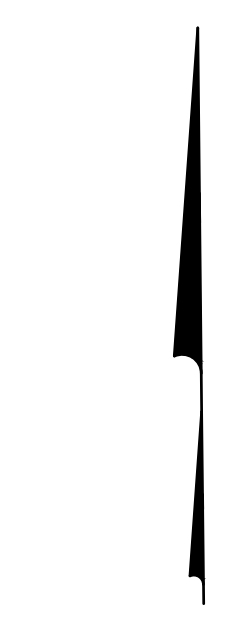
LOCATED IN:
 QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
 UNITED STATES MILITARY LANDS
 CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	NOVEMBER 20, 2020	Job No.	20200978
Scale	1"=50'	Sheet	5/7



LEGEND

- Stm — MH — MH Proposed Storm Sewer
- Stm — MH Proposed Private Storm Sewer
- ExStm — ExMH Existing Storm Sewer
- SanServ — ExSan Existing Sanitary Sewer
- ExWater Serv — ExFH Existing Watermain
- ExWv Existing Watermain
- 921 Existing Minor Contours
- 920 Existing Major Contours
- 901 Proposed Minor Contours
- 905 Proposed Major Contours
- GA= Ground Around Elevation
- (TBR) To Be Removed



REVISIONS	
DATE	DESCRIPTION

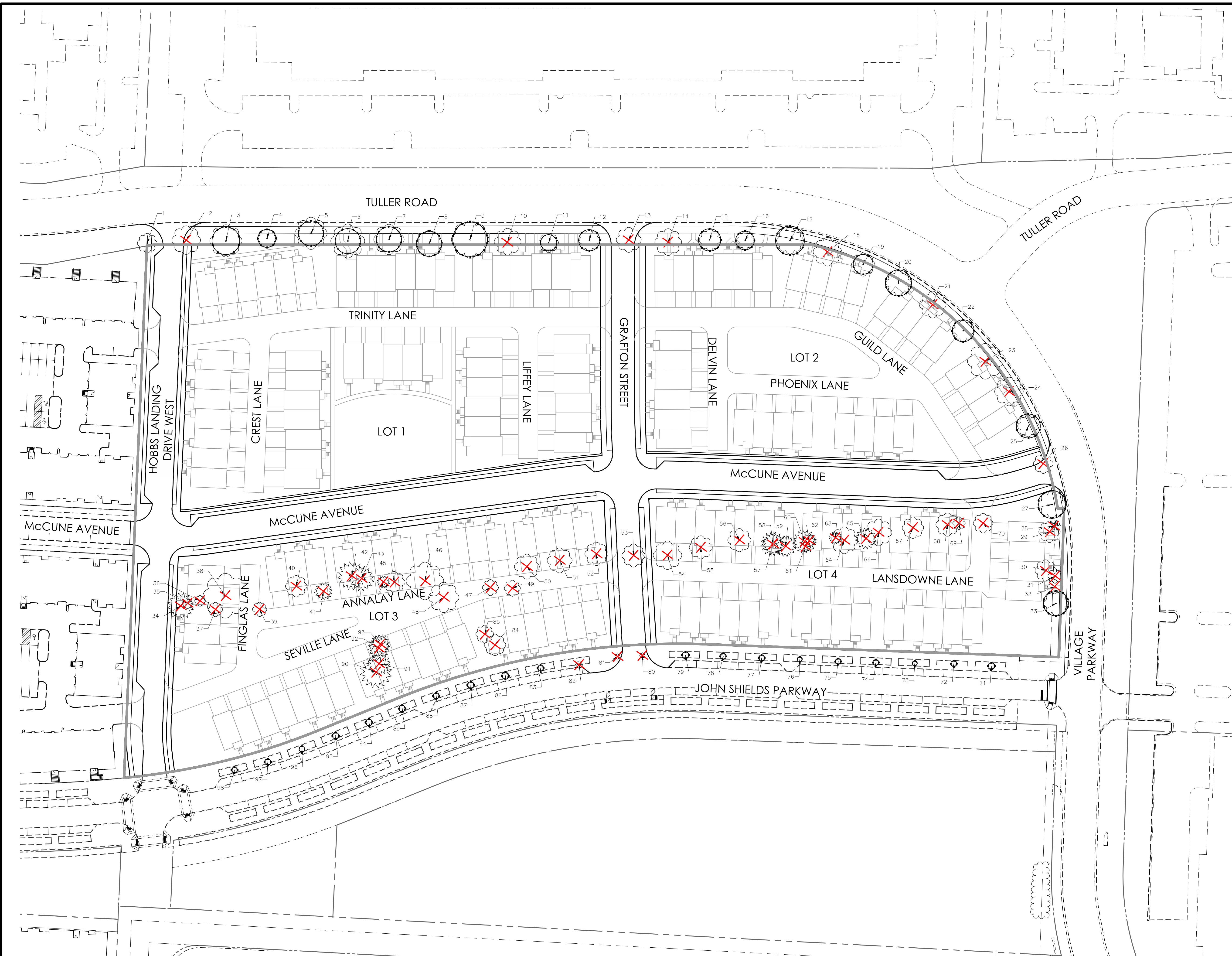
EMHT
 Evans, Mechwart, Hambleton & Thon, Inc.
 Engineers - Surveyors - Planners - Scientists
 5500 New Albany Road, Columbus, OH 43254
 Phone: 614.775.4500 Fax: 614.775.3448
 emht.com

PULTE HOMES
 475 METRO PLACE
 DUBLIN, OHIO 43017
 PH: (614) 376-1000

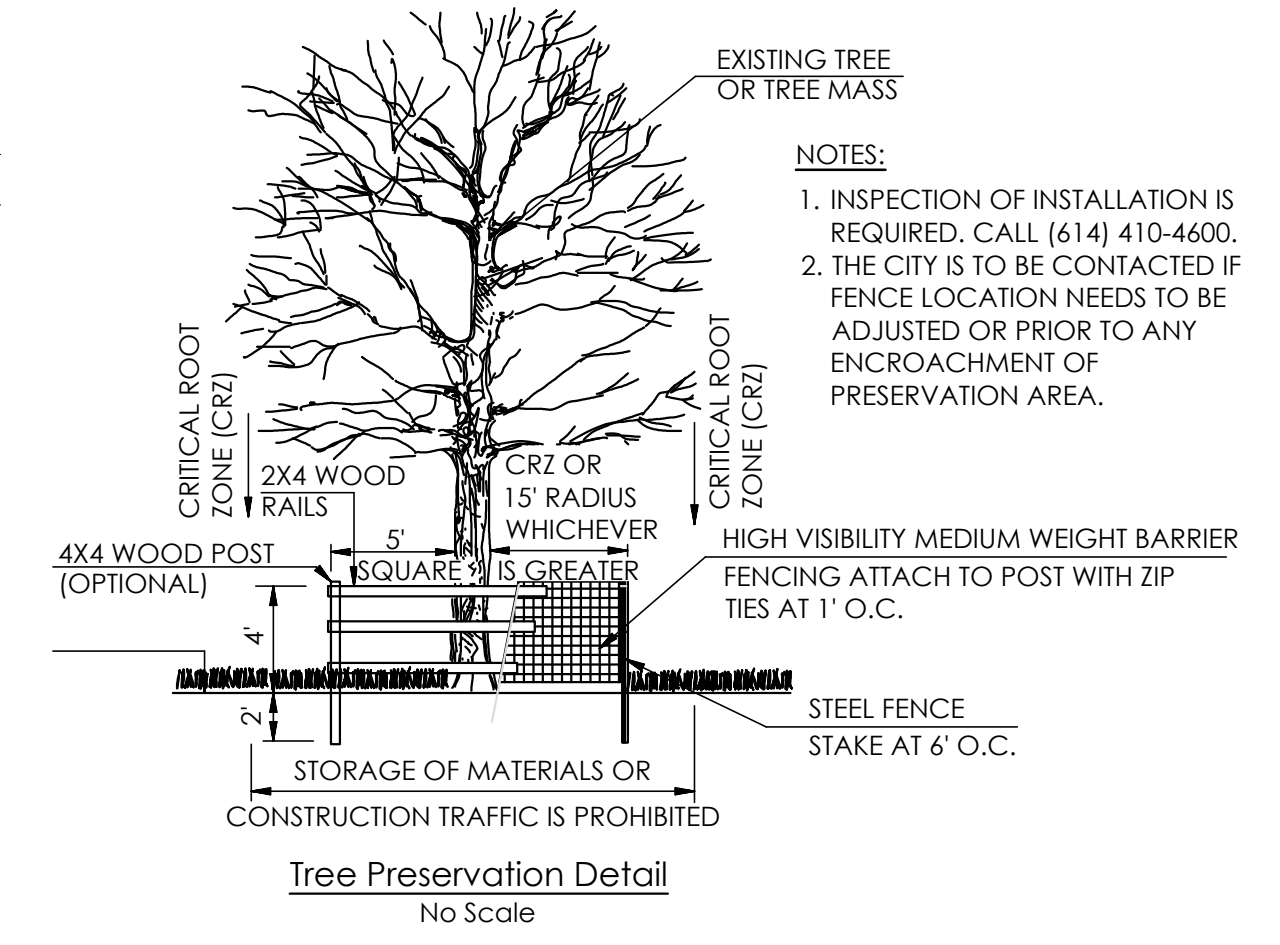
CITY OF DUBLIN, UNION COUNTY, OHIO
 PRELIMINARY PLAT
 FOR
TULLER TOWNHOMES
 PRELIMINARY GRADING PLAN

LOCATED IN:
 QUARTER TOWNSHIP 2, RANGE 19
 UNITED STATES MILITARY LANDS
 CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

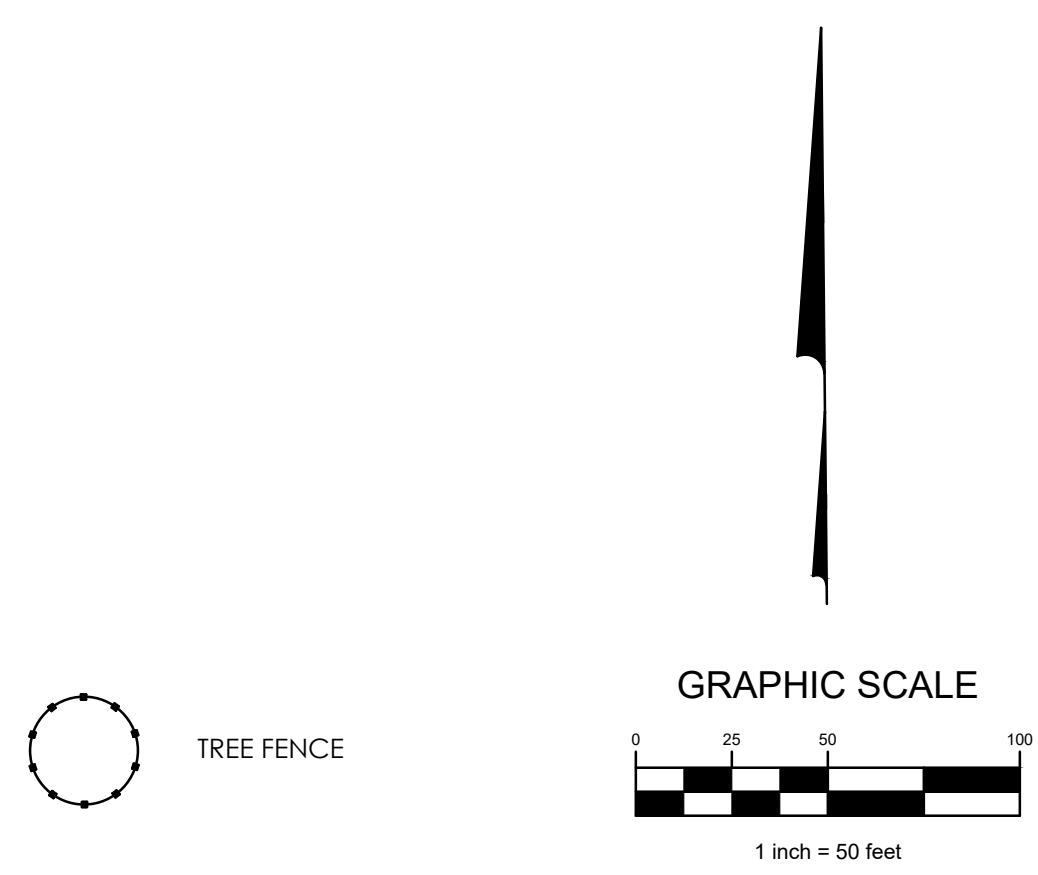
Date	Job No.
OCTOBER 1, 2020	20200978
Scale	Sheet
1"=50'	5/7



- TREE PRESERVATION GENERAL NOTES**
1. THE OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, ERECTION AND MAINTENANCE OF TEMPORARY FENCING AROUND TREE PRESERVATION AREAS SO THAT ALL PROTECTED TREES SHALL BE PRESERVED. THE FENCING SHALL BE LOCATED A DISTANCE FROM THE TRUNK THAT EQUALS, AT A MINIMUM, THE DISTANCE OF THE CRITICAL ROOT ZONE OR 15 FEET, WHICHEVER IS GREATER. WHERE PHYSICAL SITE CONSTRAINTS DO NOT ALLOW FOR SUCH INSTALLATION, TREE PROTECTION LOCATIONS AND METHODS SHALL BE DETERMINED ON SITE, WITH THE CONSULTATION OF THE CITY OF DUBLIN LANDSCAPE INSPECTOR. CALL 410-4600 FOR TREE FENCING INSPECTION.
 2. FENCING SHALL REMAIN IN PLACE AND BE SECURED IN AN UPRIGHT POSITION DURING THE ENTIRE CONSTRUCTION PERIOD TO PREVENT THE IMPINGEMENT OF CONSTRUCTION VEHICLES, MATERIALS, SPOILS, AND EQUIPMENT INTO OR UPON THE TREE PRESERVATION AREA.
 3. TREE PRESERVATION SIGNS, AVAILABLE FROM THE DIVISION OF LAND USE AND LONG RANGE PLANNING, MUST BE LOCATED ALONG THE FENCING. ANY CHANGE IN PROTECTIVE FENCING MUST BE APPROVED BY THE DIRECTOR OF LAND USE AND LONG RANGE PLANNING.
 4. THE APPROVED TREE PRESERVATION PLAN SHALL BE AVAILABLE ON THE BUILDING SITE BEFORE WORK COMMENCES AND AT ALL TIMES DURING CONSTRUCTION OF THE PROJECT. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING ALL CONTRACTORS AND UTILITIES.
 5. DURING ALL PHASES OF CONSTRUCTION, ALL STEPS TO PREVENT THE DESTRUCTION OR DAMAGE TO PROTECTED TREES SHALL BE TAKEN. NO CONSTRUCTION ACTIVITY, MOVEMENT AND/OR PLACEMENT OF EQUIPMENT, VEHICLES, MATERIALS OR SPOILS STORAGE SHALL BE PERMITTED WITHIN THE TREE PRESERVATION AREA. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ALL TREES THAT ARE TO BE PRESERVED.
 6. NO ATTACHMENTS, INCLUDING BUT NOT LIMITED TO ROPES, NAILS, ADVERTISING POSTERS, SIGNS, FENCES, OR WIRES (OTHER THAN THOSE USED FOR BRACING, GUYING OR WRAPPING) SHALL BE ATTACHED TO ANY TREE.
 7. NO GASEOUS LIQUIDS OR SOLID SUBSTANCES WHICH ARE HARMFUL TO TREES SHALL BE PERMITTED WITHIN THE TREE PRESERVATION AREA.
 8. NO FIRE OR HEAT SHALL BE PERMITTED WITHIN THE TREE PRESERVATION AREA.
 9. ALL UTILITIES, INCLUDING SERVICE LINES, SHALL BE INSTALLED IN ACCORDANCE WITH THE TREE PRESERVATION PLAN.



- NOTES:**
1. INSPECTION OF INSTALLATION IS REQUIRED. CALL (614) 410-4600.
 2. THE CITY IS TO BE CONTACTED IF FENCE LOCATION NEEDS TO BE ADJUSTED OR PRIOR TO ANY ENCROACHMENT OF PRESERVATION AREA.



REVISIONS	
DATE	DESCRIPTION

EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers - Surveyors - Planners - Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Fax: 614.775.3648
emht.com

PULTE HOMES
475 METRO PLACE
DUBLIN, OHIO 43017
PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
PRELIMINARY PLAT
FOR
TULLER TOWNHOMES
TREE SURVEY & REMOVAL PLAN

LOCATED IN:
QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
UNITED STATES MILITARY LANDS
CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	NOVEMBER 20, 2020	Job No.	20200978
Scale	1"=50'	Sheet	6/7

Tree ID	Common Name	Scientific Name	DBH (in)	Trunks	Condition
1	Swamp White Oak	<i>Quercus bicolor</i>	11	1	Good
2	Bur Oak	<i>Quercus macrocarpa</i>	16	1	Good
3	White Oak	<i>Quercus alba</i>	18	1	Good
4	Chestnut Oak	<i>Quercus prinus</i>	11	1	Fair
5	Bur Oak	<i>Quercus macrocarpa</i>	18	1	Good
6	Bur Oak	<i>Quercus macrocarpa</i>	19	1	Good
7	Bur Oak	<i>Quercus macrocarpa</i>	17	1	Good
8	Bur Oak	<i>Quercus macrocarpa</i>	15	1	Good
9	Bur Oak	<i>Quercus macrocarpa</i>	21	1	Good
10	Swamp White Oak	<i>Quercus bicolor</i>	15	1	Poor
11	Swamp White Oak	<i>Quercus bicolor</i>	11	1	Fair
12	Bur Oak	<i>Quercus macrocarpa</i>	12	1	Good
13	Bur Oak	<i>Quercus macrocarpa</i>	14	1	Good
14	Bur Oak	<i>Quercus macrocarpa</i>	15	1	Good
15	Bur Oak	<i>Quercus macrocarpa</i>	12	1	Good
16	Swamp White Oak	<i>Quercus bicolor</i>	10	1	Good
17	Bur Oak	<i>Quercus macrocarpa</i>	15	1	Good
18	Bur Oak	<i>Quercus macrocarpa</i>	16	1	Good
19	Swamp White Oak	<i>Quercus bicolor</i>	13	1	Good
20	English Oak	<i>Quercus robur</i>	14	1	Good
21	Bur Oak	<i>Quercus macrocarpa</i>	15	1	Good
22	Bur Oak	<i>Quercus macrocarpa</i>	12	1	Good
23	Bur Oak	<i>Quercus macrocarpa</i>	20	1	Good
24	Bur Oak	<i>Quercus macrocarpa</i>	16	1	Good
25	Swamp White Oak	<i>Quercus bicolor</i>	12	1	Fair
26	Bur Oak	<i>Quercus macrocarpa</i>	11	1	Good
27	Bur Oak	<i>Quercus macrocarpa</i>	15	1	Good
28	Crabapple-sp.	<i>Malus sp.</i>	7	1	Dead
29	Crabapple-sp.	<i>Malus sp.</i>	12	1	Poor
30	Crabapple-sp.	<i>Malus sp.</i>	12	1	Poor
31	Crabapple-sp.	<i>Malus sp.</i>	8.5	2	Poor
32	Crabapple-sp.	<i>Malus sp.</i>	8.6	2	Poor
33	American Basswood	<i>Tilia americana</i>	13.5	1	Good
34	Norway Spruce	<i>Picea abies</i>	15	1	Fair
35	Bradford Pear	<i>Pyrus calleryana</i>	6	1	Good
36	American Plum	<i>Prunus americana</i>	6.5, 6.2	4	Good
37	Green-Ash	<i>Fraxinus pennsylvanica</i>	8.6, 4	3	Fair
38	Eastern Cottonwood	<i>Populus deltoides</i>	25	1	Good
39	Sycamore	<i>Platanus occidentalis</i>	8.6, 6	3	Good
40	Green-Ash	<i>Fraxinus pennsylvanica</i>	12, 10.6	3	Poor
41	Austrian-Pine	<i>Pinus nigra</i>	10.5	2	Poor
42	Austrian-Pine	<i>Pinus nigra</i>	16	1	Poor
43	Austrian-Pine	<i>Pinus nigra</i>	14	1	Poor
44	Austrian-Pine	<i>Pinus nigra</i>	7.6	2	Poor
45	American Basswood	<i>Tilia americana</i>	12, 12	2	Good
46	American Basswood	<i>Tilia americana</i>	21	1	Good
47	Silver Maple	<i>Acer saccharinum</i>	9	1	Fair
48	Silver Maple	<i>Acer saccharinum</i>	17	1	Fair
49	Silver Maple	<i>Acer saccharinum</i>	9	1	Fair
50	American Basswood	<i>Tilia americana</i>	14	1	Good

51	American Basswood	<i>Tilia americana</i>	14	1	Good
52	American Basswood	<i>Tilia americana</i>	13	1	Good
53	American Basswood	<i>Tilia americana</i>	13	1	Good
54	American Basswood	<i>Tilia americana</i>	16	1	Good
55	American Basswood	<i>Tilia americana</i>	13	1	Good
56	American Basswood	<i>Tilia americana</i>	13	1	Good
57	Austrian-Pine	<i>Pinus nigra</i>	13.5	1	Poor
58	Austrian-Pine	<i>Pinus nigra</i>	12	1	Poor
59	Austrian-Pine	<i>Pinus nigra</i>	12	1	Poor
60	Austrian-Pine	<i>Pinus nigra</i>	13	1	Poor
61	Black Cherry	<i>Prunus serotina</i>	6	1	Fair
62	Austrian-Pine	<i>Pinus nigra</i>	8	1	Poor
63	Austrian-Pine	<i>Pinus nigra</i>	7.6	2	Poor
64	American Basswood	<i>Tilia americana</i>	15	1	Good
65	Austrian-Pine	<i>Pinus nigra</i>	12	1	Poor
66	American Basswood	<i>Tilia americana</i>	15	1	Good
67	American Basswood	<i>Tilia americana</i>	12	1	Poor
68	American Basswood	<i>Tilia americana</i>	13	1	Good
69	Bradford Pear	<i>Pyrus calleryana</i>	7	1	Good
70	American Basswood	<i>Tilia americana</i>	11	1	Fair
71	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
72	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
73	Sugar Maple	<i>Acer saccharum</i>	2.5	1	Good
74	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
75	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
76	Sugar Maple	<i>Acer saccharum</i>	2.5	1	Good
77	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
78	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
79	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
80	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
81	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
82	Sugar Maple	<i>Acer saccharum</i>	4	1	Good
83	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
84	American Plum	<i>Prunus americana</i>	12	1	Poor
85	American Plum	<i>Prunus americana</i>	10	1	Poor
86	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
87	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
88	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
89	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
90	Austrian Pine	<i>Pinus nigra</i>	18	1	Fair
91	Austrian-Pine	<i>Pinus nigra</i>	13	1	Poor
92	Austrian-Pine	<i>Pinus nigra</i>	12	1	Poor
93	Austrian-Pine	<i>Pinus nigra</i>	11	1	Poor
94	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
95	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
96	Sugar Maple	<i>Acer saccharum</i>	3	1	Good
97	Sugar Maple	<i>Acer saccharum</i>	3.5	1	Good
98	Sugar Maple	<i>Acer saccharum</i>	3	1	Good

TREE REPLACEMENT CALCULATIONS:

EXISTING GOOD AND FAIR TREES REMOVED ≥24" (LANDMARK)
49" DBH (2 TREES) / 3.0" (DIA. TREES REPLACED AT INCH FOR INCH) = 17 REPLACEMENT TREES (AT 3.0" CAL.)

EXISTING GOOD AND FAIR TREES REMOVED 6" TO <24" (PROTECTED)
412" DBH (32 TREES) / 3.0 (DIA. TREES REPLACED AT INCH FOR INCH) = 138 REPLACEMENT TREES (AT 3.0 CAL.)

TOTAL REPLACEMENT TREES = 155 TREES (AT 3.0" CAL.)

☐ TREES TO BE REMOVED

☐ TREES 37 AND 40 ARE ASH TREES AND ARE NOT COUNTED TOWARDS THE TREE REPLACEMENT REQUIREMENTS
TREES 10, 28-32, 41-44, 57-60, 62-63, 65, 67, 84-85 AND 91-93 ARE DEAD OR IN POOR CONDITION AND ARE NOT COUNTED TOWARDS THE TREE REPLACEMENT REQUIREMENTS

J:\20200978\Draw\04sheet.dwg Preliminary Plot 7 Tree Survey (tbl.dwg) Last Saved: By: bholland, 11/20/2020 9:33 AM

REVISIONS	
DATE	DESCRIPTION



PULTE HOMES
475 METRO PLACE
DUBLIN, OHIO 43017
PH: (614) 376-1000

CITY OF DUBLIN, UNION COUNTY, OHIO
PRELIMINARY PLAT
FOR
TULLER TOWNHOMES
TREE SURVEY LIST

LOCATED IN:
QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 19
UNITED STATES MILITARY LANDS
CITY OF DUBLIN, COUNTY OF FRANKLIN, STATE OF OHIO

Date	NOVEMBER 20, 2020	Job No.	20200978
Scale	NONE	Sheet	7/7