

PLANNED COMMERCE DISTRICT
THOMAS/KOHLER PROPERTY
WEST OF I-270 AND NORTH OF RINGS ROAD

PURPOSE:

The site is approximately 111.7 acres. It is located along Rings Road at the terminus of Britton Parkway approximately 1,000 feet west of I-270. The parcel is intended for development as office, office related uses and commercial because of its proximity to the freeway, Britton Parkway and the office uses at Tuttle Crossing. It will provide a portion of the right-of-way for the Coffman Road Extension (Emerald Parkway) and the right-of-way for the new alignment of Rings/Woerner Temple Road as defined by the City of Dublin Southwest Area Plan.

Traffic studies indicate at the new intersection of Rings/Woerner Temple Road and Emerald Parkway that traffic volumes will be in excess of 35,000 cars per day.

The following material is provided in response to the Composite Plan contents of the PCD in the City of Dublin Zoning Code.

- A. Indicating by schematic plan the general development character of the tract, locations, types of tenants, probably lot size and other development features, including the perimeter landscaping, open space buffers or “no-build” zones and major pedestrian and bicycle routes.**

(See Composite Plan – Exhibit J)

- B. The proposed provisions of water, sanitary sewer, industrial waste disposal and surface drainage facilities, including engineering feasibility studies or other evidence of reasonableness.**

Water service is available via the recently constructed 20” water line along the south side of Rings Road. The site is also tributary to the 21” sanitary sewer which lies on the north side of Rings Road. Storm water will be detained with on-site facilities and discharged at allowable rates into either the John Cramer ditch (south portion of the property) or the George Geary ditch (north portion of the property).

- C. The proposed traffic circulation pattern showing public and private streets and other transportation facilities, including their relationship to topography and existing transportation facilities with evidence that the proposed development shall not adversely impact existing facilities.**

The plan provides 100' right-of-way for the extension of Emerald Parkway. One hundred feet right of right-of-way will be provided for a new east west collector which would realign Rings Road to eventually intersect with Woerner Temple Road at Avery Road. Circulation into the development would occur off of the Coffman Road Extension, Rings/Woerner Temple Road as realigned and existing Rings Road.

D. The proposed schedule of site development and associated facilities, including streets, other transportation facilities, utilities, services and other facilities.

Prior to the completion of construction of any parcel fronting Emerald Parkway or Rings/Woerner Temple the appropriate road infrastructure shall be in place to access those parcels.

E. The relationship of the proposed development to existing and future land use in the surrounding area, the street system, community facilities, services and other public improvements.

The proposed site will compliment existing freeway oriented corporate users presently within the City of Dublin and Tuttle Crossing. The corporate office component of this development will be located adjacent to I-270. Surrounding uses include existing office to the south and east, existing and proposed residential development to the southwest, west and industrial warehouse to the north, and a portion of the west property line is adjacent to a wooded park.

Retail/Commercial uses are intended to be oriented toward serving the existing and proposed office developments as well as the existing and proposed residential uses.

F. Evidence that the applicant has sufficient control over the land to prepare required land improvements, including street, water, sanitary sewers, waste disposal, surface drainage and other facilities for subdivision development required by the Subdivision Regulations.

The applicant is in contract with the owner and can provide documentation if necessary to show sufficient control over the property.

G. Any deed restrictions to be made applicable to the property the subject of the application.

Deed restrictions shall be provided at the time of sale of the property. Deed restrictions will be consistent to those of Tuttle Crossing.

Subarea Development Standards Text

General Development Standards for all Subareas

1. General Intent
 - a. It is the intent of the developer to create a unified, high quality office and commercial development consistent with Tuttle Crossing.
 - b. Mid-rise, signature office buildings will be promoted along freeway frontage. Commercial uses will transition to smaller owner occupied type buildings west of Emerald Parkway.
 - c. If these standards conflict in any way with the City of Dublin Codified Ordinances, then the Planned Commercial District shall prevail. Standards in the City of Dublin Zoning Code applicable to matters not covered in this document shall apply to each of the subareas in the Planned Commercial District.
 - d. Street plan alignments shown on the plan give a general indication of how they will be platted and constructed. They are not, however, intended to be precise, and while the functional system will be produced, its precise location may vary from that shown so long as the functional objectives continue to be attained.
 - e. The maximum number of freestanding restaurants within the entire 111.7 acre development shall be limited to five (5) total units and there shall be no more than one (1) gas station and one (1) automobile repair facility.
 - f. Based on the proposed curb cuts shown on Exhibit F the developer shall provide for cross access easements when appropriate between all subareas and individual uses to assure proper vehicular access.

2. Signage and Graphics

Except as otherwise herein stated:

- a. All signage and graphics shall conform to the Dublin Sign Code Section 153, including but not limited to setback and placement, maximum size, height, color and copy restrictions, lighting, landscaping etc.

- b. With the exception of multi-story office along I-270 which will be controlled by Section 153 of the Dublin Sign Code, in no case shall a ground sign exceed a height of six feet or a maximum area of 50 square feet per sign face. All ground-mounted signs shall be of a “monument” design, placed on a masonry base and integrated into a landscape feature.
- c. For a site with at least 100 feet of frontage on each of two public streets, two signs will be permitted, subject to the limitations of this text and those contained in Section 153.
- d. All uses other than office shall be permitted to use signs applied to windows for the purpose of outdoor or exterior advertising. All uses other than office shall be permitted one window sign. It may not exceed 10 square feet and shall be included in the maximum area calculation per site as outlined above.

3. Lighting:

Except as otherwise herein stated all lighting shall meet Dublin Lighting Guidelines.

- a. External lighting within all subareas shall be cutoff type fixtures.
- b. All types of parking, pedestrian and other lighting shall be on poles or wall mounted cutoff fixtures and shall be from the same type and style.
- c. All light poles and standards shall be dark in color and shall either be constructed of black or dark bronze metal.
- d. Parking lot lighting shall be high pressure sodium. Building and landscaping lighting may be incandescent or metal halide.
- e. Landscape and building uplighting from a concealed source shall be permitted.
- f. All lights shall be arranged to reflect light away from any street or adjacent property.
- g. All building illuminations shall be from concealed sources.
- h. No colored lights shall be used to light the exterior of buildings.

4. Landscaping:

- a. As many existing trees as possible within the boundary of the site will be preserved. (See Tree Protection Plan, Exhibit T). An expanded tree preservation plan, including relocation of utility lines if necessary, will be submitted with final development plan to supplement the information in Exhibit T.
 - b. Any portion of a developed lot upon which a building or parking area is not constructed shall be landscaped with lawn as a minimum.
 - c. Street trees on each side of an entry drive shall be set back twenty (20) feet from the curb to accentuate the entry/exit points.
 - d. Area specific landscaping requirements are contained within each Subarea standard.
 - e. All areas shall be landscaped in accordance with the Dublin Landscape Code and all areas will remain in agriculture or be seeded prior to development.
 - f. The landscape treatment for Emerald Parkway shall incorporate standards as shown on Exhibit K. The plant palette shall include the species shown on Exhibit L.
5. Fences/Walls:
- a. No chain link or wire fencing shall be permitted.
 - b. Wood fencing is permitted for screening purposes, if fully buffered by landscaping.
6. Utilities
- a. All utility lines including water supply, sanitary water service, electricity, telephone and gas, and their connections or feeder lines should be placed underground. Meters, transformers, etc. may be placed above ground, but should be screened from view. To the extent possible utility line placement will be sensitive to existing vegetation.
 - b. All utility connections should be out of view or screened.
 - c. All mechanical equipment and related structures should be effectively screened from grade level view by a fence, vegetation or wall of harmonious architectural material and character.

- d. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building.

7. Architecture:

These standards apply to all buildings except multi-story office buildings in Subarea A.

a. Color Palette:

- 1) Earth tones, muted and natural tones are preferred. Accent colors in brighter hues are permitted for building accent features only such as awnings, doors, limited trim, etc. A mixed palette on a single building should be carefully selected so all colors harmonize with each other.

b. Materials:

- 1) Warm-tone brick (predominant material).
- 2) Stone veneer or stucco stone with limestone trim.
- 3) On pitched roofs, standing seams, cedar shakes, synthetic slate, or dimensional shingles with no less than 325 lb per square weight shall be used.
- 4) Wood, stucco, tile, decorative concrete block, and other similar materials may be used as an accent with brick and stone.

c. Roof:

- 1) Pitched roofs with gabled or hipped ends are required with a slope equal of 6/12 or greater.
- 2) Minimum 8" overhangs are required.
- 3) Glass roofs are acceptable in portions of a Structure.

d. Scale:

- 1) Structures should be designed to harmonize with the landscape and surrounding structures.
- 2) The scale of each building can be aided through the use of articulated building elements, such as porticoes, dormers,

recesses, awnings, and other such elements which help break up the building mass.

e. Wall Articulation/Fenestration:

- 1) In addition to using building elements to articulate the building mass, individual walls must be articulated with fenestration, pattern, or structural expression equally on all sides of each structure.
- 2) The amount of fenestration should be balanced with the amount of solid facade.

8. Cramer Creek Relocation Standards: (See Exhibit U)

If relocated, the following standards shall apply:

- 1) A portion of Cramer Ditch and the existing trees located 250' from the southwest corner of Subarea D shall be preserved in their existing condition.
- 2) A meandering route for the relocated waterway will be utilized to promote a naturalistic character.
- 3) Varying slopes of the waterway banks will be incorporated to diminish the regimented, artificial appearance of arrow-straight concrete drainage courses.
- 4) Vegetation shall be introduced to provide erosion control and armor the stream banks in high velocity areas.
- 5) "Hardscape" elements such as boulders and river rock will be used in conjunction with vegetation to control erosion and promote a naturalistic water course appearance.
- 6) Create pools of water with appropriate depths to sustain wetland vegetation.

~~Subarea A~~ Office

~~A1.01 Description and Acreage:~~

- ~~1. Subarea A is approximately ± 62.7 acres. Subarea A may contain office uses similar to those uses in Tuttle Crossing. These uses may include, but are not limited to, hotels/motels, general office uses, corporate headquarters office or major institutional uses. Mid-rise~~

- ~~D. Color. The use of bright, high chroma colors are only permitted as minor accents on the Building facade.~~

Subareas B1 and B2 Office Oriented Zone

B2.01 Description and Acreages:

Subareas B1 and B2 totals approximately ± 22.7 acres and shall contain uses oriented to serving the existing and proposed office uses. This acreage shall be divided into Subarea B1 (± 12.2 acres) and (± 10.5 acres). (See composite plan, Exhibit J).

B2.02 Permitted Uses:

1. Subarea B1 shall include following uses:
 - a) Those permitted uses listed in Section 153.026, Suburban Office and Institutional District of the Dublin City Zoning Code.
 - b) Day care center
 - c) Retirement care facility
 - d) Health and fitness center
 - e) Retail service uses will only be allowed if contained in a building used 75% for office purposes. All retail uses located within office buildings shall be subject to conditional use approval. There shall be no more than 36,000 square feet total retail use associated with office buildings in Subarea B1, B2, C, and D (combined).
 - f) Freestanding restaurant – limited to ± 2.4 Ac. Outparcel located on the northeast corner of Subarea B1.
 - g) Extended stay hotel and/or suite hotel (maximum one hotel within Subarea). See Exhibit H for restricted location.
 - h) Funeral Home (conditional use). The funeral home outparcel must have frontage on Emerald Parkway. No crematorium shall be allowed either as a permitted or conditional use.
2. Subarea B2 shall include those uses listed in Suburban Office and institutional District of the Dublin City Zoning Code and the following:
 - a) Day care center

- b) Retail service uses will only be allowed if contained in a building used 75% for office purposes. All retail uses located within office buildings shall be subject to conditional use approval. There shall be no more than 36,000 square feet total retail use associated with office buildings in Subarea B1, B2, C, and D (combined).
3. Drive-thru facilities shall be a conditional use.

B2.03 Permitted Density:

The maximum permitted density shall be 10,000 s.f./ac. for retail and 12,000 s.f./ac. for office uses in Subarea B1 and B2.

B2.04 Traffic and Circulation:

1. Combined ingress and egress points to parcels shall be provided along Emerald Parkway.
2. Fifty feet of right-of-way from centerline for the Emerald Parkway shall be provided within this zoning.
3. Curb cuts on Emerald Parkway shall be as shown on Exhibit F. Curb cut locations may be modified with the approval of the Dublin City Engineer.

B2.05 Parking and Loading:

1. Size, ratio and type of parking and loading facilities shall be regulated by City of Dublin Zoning Code.
2. All loading docks shall be fully screened according to the City of Dublin Zoning Code.
3. Asphalt paving for roads and parking areas.
4. Concrete curb and gutter.
5. Concrete road paving as needed in service area.

B2.06 Setback Requirements:

1. Setbacks off Emerald Parkway shall be 30' for all pavement areas, 50' for buildings. (See Exhibit H)
2. Side yards and rear yards shall be 12.5' for pavement and buildings except where the 75' buffer takes precedent (See Exhibits K & L).

3. All other publicly dedicated roads shall have a 25' pavement and building setback.
4. A 75' building and pavement setback shall extend the entire length of the western boundary of Subarea B, (See Exhibit H – Proposed Setbacks).
5. Maximum lot coverage shall not exceed 70% of the total lot area.
6. The hotel permitted within Subarea B1 shall be located no closer to Heather Glen Subdivision than indicated on Exhibit H. The hotel setback shall be determined by placing a 350' radius at the intersection of the creek (which runs through Subarea B) and the western property line. The arc shall be extended from the western boundary to the southern boundary of Subarea B1.

B2.07 Height Requirements:

1. The maximum height of structures in Subarea B1 and B2 shall be 35". Height of structures will be measured per the City of Dublin Zoning Code.
2. In no case shall a building exceed 2 stories above ground in Subarea B1 and B2.
3. Retail uses shall not exceed one story in height (excluding hotel).

B2.08 Waste and Refuse:

All waste and refuse shall be containerized and screened from view by a solid brick wall, wood fence or materials consistent with the building materials. Wood fence screening for dumpsters shall be fully screened by landscaping. Trash enclosures associated with hotel or restaurant uses shall be located immediately adjacent to the building.

B2.09 Storage and Equipment and Service Areas

1. No materials, supplies, equipment or products shall be stored or permitted to remain on any portion of the parcel outside the permitted structure. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building.
2. All refuse trash and garbage collection shall be enclosed or not visible from the street or adjoining property.
3. No noises, smoke, odors, vibration or other nuisances shall be permitted.

B2.10 Landscaping:

1. All landscaping shall be according to the City of Dublin Zoning Code.
2. The landscaping along Emerald Parkway shall be shown on Exhibit K which conforms with the Emerald Parkway landscape plan.
3. Any portion of a lot upon which a building or parking area is not constructed shall be landscaped with lawn at a minimum.
4. A minimum 75' wide landscape buffer shall be installed to the west of Subarea B to buffer the residential areas to the west. The buffer shall be constructed and located as shown in Exhibits K and L. The landscape buffer shall contain a 5' minimum height earthen mound planted with a mixture of deciduous, evergreen, and ornamental trees and shrubs arranged in a manner to maintain a minimum 50% winter opacity and a 70% summer opacity between one foot above finished grade level to the top of the required planting or earth mound (6' height minimum) within four years after installation.
5. Plant material shall be installed with minimum size requirements as follows:
 - a) Deciduous trees – 2" caliper minimum
 - b) Evergreen trees – 6' height minimum (installed at 10-12' minimum staggered spacing)
 - c) Ornamental trees – 1 ½" caliper minimum or 6' height minimum
 - d) Evergreen and deciduous shrubs – minimum 24" height
6. The 75' wide landscape buffer shall be installed concurrent with the construction of the Emerald Parkway.
7. Healthy trees located within the 75' buffer shall be preserved and incorporated into proposed buffer planting. These trees shall be protected during construction with tree preservation (snow) fencing. (See Tree Preservation Plan – Exhibit T)
8. The portion of Subarea B that abuts Heather Glen Park and the existing woods shall incorporate a different landscape buffer standard than previously described. The existing opacity level of the woods shall be determined and, if necessary, infilled with evergreen trees to meet minimum design standards. The developer shall submit a final landscape plan for review at the time of final development plan submittal. A 3 ½'

high split rail fence with wire mesh shall be placed within the 75' buffer/building pavement setback on the western boundary of Subarea B1. The fence shall be placed on the eastern edge of the 75' landscape buffer (See Exhibit L).

9. A 20' preservation/landscape buffer (10' from centerline of creek in each direction) shall be provided along the existing creek which runs east-west through Subarea B1 and B2. The existing opacity level of the woods shall be determined and infilled with trees to meet a minimum design standard of 50% winter, 70% summer opacity level. The developer shall submit a final landscape plan for review at the time of final development plan submittal.

B2.11 Signs and Graphics:

Building Identification Signage (Refer to the General Section of the Zoning Text):

~~Subarea C Office and Retail Oriented Zone~~

~~C3.01 Description and Acreages:~~

~~Subarea C is approximately ± 3.7 acres and shall contain uses oriented to serving the existing and proposed office uses and the residential area.~~

~~C3.02 Permitted Uses:~~

- ~~1. Subarea C shall include the following uses:~~
 - ~~a) Those permitted uses listed in Section 153.026, Suburban Office & Institutional District of the Dublin City Zoning Code.~~
 - ~~b) Day care center~~
 - ~~c) Health and fitness center~~
 - ~~d) Retirement care facility~~
- ~~2. Subarea C shall also include the following (freestanding) retail uses:~~
 - ~~a) Florist~~
 - ~~b) Home furnishings~~
 - ~~c) Book store/stationary store~~
 - ~~d) Beauty/Barber shop~~



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**PLANNING AND ZONING COMMISSION
RECORD OF ACTION
FEBRUARY 21, 2008**

The Planning and Zoning Commission took the following action at this meeting:

- 2. **Thomas Kohler PCD – Tutor Time** **6365 Emerald Parkway**
Application No. 08-007AFDP **Amended Final Development Plan**

Proposal: Changes to the sign location, the playground layout and equipment for a daycare within the Thomas Kohler Planned Commerce District. The site is located on the west side of Emerald Parkway, approximately 500 feet west of the intersection with Rings Road.

Request: Review and approval of an amended final development under the Planned Districts provisions of Code Section 153.050.

Applicant: Mike Balakrishnan, Celmark Development Group.

Planning Contact: Claudia Husak, AICP, Planner II.

Contact Information: (614) 410-4675, chusak@dublin.oh.us.

MOTION #1: To approve this Zoning Code/Development Text Deviation to remedy the issue created by AEP in the utility placement.

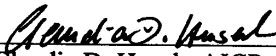
VOTE: 5 – 0.

MOTION #2: To approve this Amended Final Development Plan because this modification is compatible with existing approved and planned adjacent development and will have no adverse impact upon the surrounding properties.

VOTE: 5 – 0.

RESULT: This Amended Final Development Plan was approved.

STAFF CERTIFICATION



Claudia D. Husak, AICP
Planner II



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PLANNING REPORT

PLANNING AND ZONING COMMISSION

FEBRUARY 21, 2008

SECTION I – CASE INFORMATION:

2. **Thomas Kohler PCD – Tutor Time** **6365 Emerald Parkway**
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Update

This case was informally reviewed at the February 7, 2008 Planning and Zoning Commission work session and the Commissioners were generally supportive of the proposed amendments to the previously approved final development plan. Questions raised by the Commission included the potential location of signs for future development in this area.

Case Summary

This application is a request for review and approval of an amended final development plan to revise the sign location and the playground layout and add several pieces of playground equipment for a 10,500-square-foot daycare center currently under construction. In Planning's opinion, the proposal complies with the applicable review criteria and approval is recommended.

Case Background

The site is located in the Thomas Kohler Planned Commerce District. The Planning and Zoning Commission approved a final development plan for this site on August 8, 2007, which included the daycare building, an outdoor play area and other associated site improvements.

Site Description

Location

The 2.9-acre site is located on the west side of Emerald Parkway, approximately 450 feet north of the intersection with Rings Road, and in the southwest corner of the approximately 112 acre Thomas Kohler Planned Commerce District.

Site Character

The land is currently under development with the daycare building. The western side of the property has a 75-foot landscape buffer that was installed after the 1996 zoning approval. The site is a flag-shaped lot with approximately 60 feet of frontage on Emerald Parkway.

Surrounding Zoning and Uses

The site and adjacent properties to the east and north are zoned PCD, Planned Commerce District, as part of the Thomas Kohler Planned Commerce District. The parcels to the north and east, the Camden Professional Office Complex and Emerald Town Center, are both currently under construction. Land to the west is zoned PLR, Planned Low-Density Residential District as part of the Trinity Park Subdivision. The Brighton Woods subdivision is zoned PLR, Planned Low-Density Residential District, and located on the south side of Rings Road.

Plan Description

Overview

This proposal is for the relocation of the sign from the previously approved location along Emerald Parkway on the south side of the entry drive to the north side. The applicant also wishes to revise the layout of the playground to utilize the space more efficiently. Additional pieces of playground equipment are also proposed.

Sign Location

A utility easement runs along the Emerald Parkway frontage of this lot and the applicant has obtained an easement encroachment form to permit the sign location. American Electric Power recently located a utility box in the approved sign location, which created the need for the applicant to move the sign to the opposite side of the entry drive. This request is only for a change in sign location, no other details of the previously approved sign will change. The monument sign was approved at a height of six feet with approximately 14 square feet in area. The sign is rectangular in shape with the same brick and stone veneer materials proposed for the building. The proposed sign graphics will be black, individual pin-mounted letters.

This application proposes the relocation of the sign north of the entry drive, adjacent to a sidewalk. Code requires signs to be located eight feet from any right-of-way or property boundary, and as shown the proposed sign location is three feet from the northern property line.

Future Signs

At the February 7, 2008 Planning and Zoning Commission work session, the Commissioners questioned the locations of future signs along this portion of Emerald Parkway and whether or not joint signs would be an option for Tutor Time. Any joint sign would be considered an off-premise sign and therefore not permitted by Code. There are currently no prospective tenants for either the four-acre lot to the north of this site or for the 2.9-acre lot to the south. However, both users will be required to access their sites off the Tutor Time drive. The lot to the south and east of Tutor Time has approximately 425 feet of frontage along Emerald Parkway and the lot to the north has approximately 360 feet. Both lots have adequate frontage to locate signs an adequate distance away from the Tutor Time sign.

Playground Layout

The previously approved playground layout includes a structure with ten play components and a climbing boulder. The surface material was approved as a rubber play surface placed under the playground structure, surrounded by a 4-foot concrete bikepath. The revised playground layout includes additional rubber surface in the southwest corner of the playground. Several pieces of equipment are proposed to be located throughout the play area.

Playground Equipment

Playground equipment in the City of Dublin has generally utilized neutral colors. Color samples for the play structure, including tan, evergreen and brown have been submitted and are in keeping with previously approved color palettes. The additional pieces proposed will match the neutral color scheme of the approved equipment.

SECTION II – REVIEW STANDARDS

Amended Final Development Plan

The purpose of the Planned Unit Development process is to encourage imaginative architectural design and proper site planning in a coordinated and comprehensive manner, consistent with accepted land planning, landscape architecture, and engineering principles. The PUD process consists of up to three stages:

- 1) Concept Plan (Staff, Commission, and/or City Council review and comment);
- 2) Zoning Amendment Request (Preliminary Development Plan; Commission recommends and City Council approves/denies); and
- 3) **Final Development Plan (Commission approves/denies).**

The intent of the final development plan is to show conformance with and provide a detailed refinement of the total aspects of the approved preliminary development plan (rezoning). The final development plan includes all of the final details of the proposed development and is the final stage of the PUD process. The Commission may approve as submitted, approve with modifications agreed to by the applicant, or disapprove and terminate the process. If the application is disapproved, the applicant may respond to Planning and Zoning Commission's concerns and resubmit the plan. This action will be considered a new application for review in all respects, including payment of the application fee. Appeal of any action taken by the Commission shall be to the Court of Common Pleas in the appropriate jurisdiction. Following approval by the Commission, the applicant may proceed with the building permit process. In the event that updated citywide standards are applicable, all subsequently approved final development plans shall comply with the updated standards if the Planning and Zoning Commission determines that the updated standards would not cause undue hardship.

Evaluation and Recommendation based on Amended Final Development Plan Criteria

Section 153.055(B) of the Code identifies criteria for the review and approval for a final development plan. Following is an evaluation by Planning based on those criteria. The criteria are arranged in the following categories and may be in a different order than listed in the Code:

Adopted Policies and Plans (Criteria 1, 3, 9, & 10). The proposed modifications conform to the approved preliminary development plan, have adequate public facilities and open spaces, are carried out in progressive stages, and conform to all other applicable zoning text and Code requirements.

Criteria not met. Permitted use, lot coverage, parking, and sign details meet the text. However, the proposal fails to conform to the development text in terms of required setbacks for the sign, which is shown three feet from the property boundary, where an eight-foot setback is required. However, the Commission was generally supportive at the work session of allowing a deviation from this requirement in this instance. If approved, the easement encroachment form must be amended to indicate the revised sign location.

Site Safety and Circulation (Criteria 2 & 5). The proposed modifications provide for safe and efficient pedestrian and vehicular circulation and provide adequate lighting for such uses.

Criteria met. The proposed modifications do not alter the pedestrian or vehicular circulation of this site.

Development Details (Criteria 4, 6, 7, & 8). The details of the development are sensitive to the natural characteristics of the site, include appropriate landscaping and signs, and provide adequate storm drainage.

Criteria met. The proposed sign location is sensitive to the site characteristics. Locating the sign to the north of the pedestrian path will ensure that there is no conflict between pedestrian and vehicular movement along this intersection.

SECTION III – PLANNING OPINION AND RECOMMENDATION: Approval with Text/Code Modifications

Code Section 153.053(E)(2)(b)(4)(B) permits the Commission to approve deviations from the development text and Zoning Code. The modification requested is:

1. A reduction of the eight-foot setback requirement from a property boundary for the sign to three feet. If this is not approved, a revised site plan conforming to the required setbacks must be submitted. The purpose of this modification is to remedy the issue created by AEP in their utility placement.

These modifications may be approved by the Commission provided that the following findings are made:

- (i) The Planning and Zoning Commission determines that, for this PD, modification ensures that the PD is consistent with the Community Plan and is compatible with existing, approved, or planned adjacent development; and
- (ii) The Planning and Zoning Commission determines that the proposed modification does not significantly alter the list of permitted or conditional uses, cause an inappropriate increase in density or cause inconsistencies with the Community Plan;
- (iii) The proposed modification results in a development of equivalent or higher quality than that which could be achieved through strict application of the requirement(s);
- (iv) The principles of § 153.052(B) are achieved; and

- (v) The development, as proposed on the amended final development plan, will have no adverse impact upon the surrounding properties or upon the health, safety or general welfare of the community.

While, in Planning's opinion, this proposal fails to comply with the amended final development plan criteria set forth in Section 153.055(B) of the Dublin Zoning Code because of three-foot setback from the property line, the Commission generally indicated support for the sign in its proposed location.

Final Development Plan/Amended Final Development Plan

Review Criteria:

In accordance with Section 153.055(B) *Plan Approval Criteria*, the Code sets out the following criteria of approval for a final development plan:

- 1) The plan conforms in all pertinent respects to the approved preliminary development plan provided, however, that the Planning and Zoning Commission may authorize plans as specified in §153.053(E)(4);
- 2) Adequate provision is made for safe and efficient pedestrian and vehicular circulation within the site and to adjacent property;
- 3) The development has adequate public services and open spaces;
- 4) The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations set forth in this Code;
- 5) The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity;
- 6) The proposed signs, as indicated on the submitted sign plan, will be coordinated within the Planned Unit Development and with adjacent development; are of an appropriate size, scale, and design in relationship with the principal building, site, and surroundings; and are located so as to maintain safe and orderly pedestrian and vehicular circulation;
- 7) The landscape plan will adequately enhance the principal building and site; maintain existing trees to the extent possible; buffer adjacent incompatible uses; break up large expanses of pavement with natural material; and provide appropriate plant materials for the buildings, site, and climate;
- 8) Adequate provision is made for storm drainage within and through the site which complies with the applicable regulations in this Code and any other design criteria established by the City or any other governmental entity which may have jurisdiction over such matters;
- 9) If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing conditions are complied with at the completion of each stage; and
- 10) The Commission believes the project to be in compliance with all other local, state, and federal laws and regulations.



PLANNING AND ZONING COMMISSION

RECORD OF ACTION

APRIL 22, 2010

CITY OF DUBLIN.

Land Use and
Long Range Planning
5800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone/ TOD: 614-410-4600
Fax: 614-410-4747
Web Site: www.dublin.oh.us

Creating a Legacy

The Planning and Zoning Commission took the following action at this meeting:

**2. Thomas Kohler PCD, Subarea B-1 – The Gardner School 6145 Emerald Parkway
10-014AFDP Amended Final Development Plan**

Proposal: A two-classroom expansion (approximately 1,150 square feet) of a 9,400-square-foot daycare facility and associated parking and landscaping improvements located on the west side of Emerald Parkway, approximately 500 feet south of Innovation Drive.

Request: Review and approval of an amended final development plan under the Planned District provisions of Zoning Code Section 153.050.

Applicant: Gregel School Property V, LLC; represented by Bryan Lundgren, Civil & Environmental Consultants, Inc.

Planning Contact: Claudia D. Husak, AICP, Planner II.

Contact Information: (614) 410-4675, chusak@dublin.oh.us

MOTION#1: To approve the modification to the development text based on the tenant's assurance that 42 parking spaces are adequate and the provision of additional landscaped area on the site.

VOTE: 5 – 2.

RESULT: This text modification was approved.



City of Dublin

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fax 614.410.4747

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PLANNING AND ZONING COMMISSION

RECORD OF ACTION

SEPTEMBER 6, 2012

The Planning and Zoning Commission took the following action at this meeting:

1. Thomas Kohler PCD, Subarea D – Dublin Memory Care Facility

**Emerald Parkway
Final Development Plan**

12-029FDP

- Proposal: A proposal for a 33,000-square-foot, one-story nursing care facility and all associated site improvements for a vacant, four-acre parcel within Subarea D of Thomas Kohler Planned Commerce District. The site is located on the southwest corner of the intersection of Emerald Parkway with Woerner-Temple Road.
- Request: Review and approval of a final development plan application under the provisions of Zoning Code Section 153.050.
- Applicant: Edwards Land Company, represented by Ben Hale Jr., Smith and Hale LLC.
- Planning Contact: Claudia M. Husak, AICP, Planner II.
- Contact Information: (614) 410-4675, chusak@dublin.oh.us

MOTION #1: To approve this minor text amendment allowing a fence in Subarea D to be taller than four feet in height, in no case shall the fence rails be taller than six feet in height, and masonry accent columns may extend above the height of the fence rails an additional six inches, if architecturally appropriate.

VOTE: 7 – 0.

RESULT: This minor text amendment was approved.

RECORDED VOTES:

- | | |
|-----------------------|-----|
| Chris Amorose Groomes | Yes |
| Richard Taylor | Yes |
| Warren Fishman | Yes |
| Amy Krumb | Yes |
| John Hardt | Yes |
| Joseph Budde | Yes |
| Victoria Newell | Yes |



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PLANNING AND ZONING COMMISSION

RECORD OF ACTION

MAY 2, 2013

The Planning and Zoning Commission took the following action at this meeting:

- 1. Thomas Kohler PCD, Subarea E – Emerald Town Center**
5665-5685 & 5625-5649 Woerner-Temple Road
13-024AFDP/CU Amended Final Development Plan/Conditional Use

Proposal: Outdoor dining patios for two restaurants within the Emerald Town Center shopping center. The site is located at the southeast corner of the intersection of Emerald Parkway with Woerner-Temple Road.

Request: Review and approval of an amended final development plan under the provisions of Zoning Code Section 153.050 and review and approval of a conditional use under the provisions of Zoning Code Section 153.236.

Applicant: Joel Sigler, architect; representing Carey Emerald LLC, owner.

Planning Contact: Claudia D. Husak, AICP, Planner II.

Contact Information: (614) 410-4675, chusak@dublin.oh.us

MOTION #1: To approve the Minor Development Text modification to permit a patio for Building 3 to encroach a maximum of 10 feet into the required building setback along Emerald Parkway because the required text modification is minor in nature and the surrounding landscape mound will partially screen the patio.

VOTE: 7 – 0.

RESULT: This Minor Development Text modification was approved.

RECORDED VOTES:

Chris Amorose Groomes	Yes
Richard Taylor	Yes
Warren Fishman	Yes
Amy Kramb	Yes
John Hardt	Yes
Joseph Budde	Yes
Victoria Newell	Yes



City of Dublin

Land Use and Long
Range Planning

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PLANNING AND ZONING COMMISSION

RECORD OF ACTION

FEBRUARY 5, 2015

The Planning and Zoning Commission took the following action at this meeting:

**1. Thomas Kohler PCD, Subarea E, Emerald Town Center – Elli Nail Spa
14-115AFDP/CU 5681 Woerner-Temple Road
Amended Final Development Plan/Conditional Use**

Proposal: A minor modification to the development text to permit beauty salon as a conditional use within an existing shopping center at the southeast corner of the intersections of Emerald Parkway and Woerner-Temple Road. This is also a proposal for a 1,480-square-foot tenant space to be used as a nail salon.

Request: Review and approval of an amended final development plan under the provisions of Code Section 153.050 and a request for review and approval of a conditional use under the provisions of Zoning Code Section 153.236.

Applicant: Lisa Tebbetts, Continental Realty for Elli Nail Spa, LLC.

Planning Contact: Claudia D. Husak, AICP, Planner II

Contact Information: (614) 410-4675, chusak@dublin.oh.us

MOTION #1: Todd Zimmerman moved, Amy Salay seconded, to approve this minor text modification to modify the development text to include a provision to allow personal services as a conditional use for Subarea E of the Thomas Kohler Planned Commerce District, because as proposed use is compatible with existing uses in the shopping center area.

VOTE: 6 – 0.

RESULT: This Minor Text Modification was approved.

RECORDED VOTES:

Victoria Newell	Yes
Amy Salay	Yes
Chris Brown	Absent
Cathy De Rosa	Yes
Bob Miller	Yes
Deborah Mitchell	Yes
Todd Zimmerman	Yes



PLANNING AND ZONING COMMISSION

RECORD OF ACTION

AUGUST 6, 2015

The Planning and Zoning Commission took the following action at this meeting:

- 3. Thomas Kohler PCD, Subarea E - Emerald Town Center – Veterinary Clinic**
15-064AFDP/CU **5601-5691 Woerner Temple Road**
Amended Final Development Plan/Conditional Use

Proposal: A minor modification to the development text to permit office of Veterinarians and Animal Hospitals as a conditional use within an existing shopping center at the southeast corner of the intersections of Emerald Parkway and Woerner Temple Road. This is also a proposal for an existing tenant space to be used as a veterinary clinic.

Request: Review and approval of an amended final development plan under the provisions of Zoning Code Section 153.050 and a request for review and approval of a conditional use under the provisions of Zoning Code Section 153.236.

Applicant: Michael Henricks, DMV
Planning Contact: Claudia D. Husak, AICP, Planner II
Contact Information: (614) 410-4675, chusak@dublin.oh.us

MOTION #1: Victoria Newell moved, Chris Brown seconded, to approve this Minor Text Modification to modify the development text to include a provision to allow office of veterinarians as a conditional use in Subarea E of the Thomas Kohler Planned Commerce District, because it is minor in nature and as proposed use is compatible with existing uses in the shopping center area.

VOTE: 7 – 0.

RESULT: The Minor Text Modification was approved.

RECORDED VOTES:

Victoria Newell	Yes
Amy Salay	Yes
Chris Brown	Yes
Cathy De Rosa	Yes
Bob Miller	Yes
Deborah Mitchell	Yes
Steve Stidhem	Yes

MOTION #2: Victoria Newell moved, Amy Salay seconded, to approve the Amended Final Development Plan because it complies with all the applicable review criteria.

VOTE: 7 – 0.

PLANNING AND ZONING COMMISSION

RECORD OF ACTION

AUGUST 6, 2015

The Planning and Zoning Commission took the following action at this meeting:

- 3. Thomas Kohler PCD, Subarea E - Emerald Town Center – Veterinary Clinic
15-064AFDP/CU 5601-5691 Woerner Temple Road
Amended Final Development Plan/Conditional Use**

RESULT: The Amended Final Development Plan was approved.

RECORDED VOTES:

Victoria Newell	Yes
Amy Salay	Yes
Chris Brown	Yes
Cathy De Rosa	Yes
Bob Miller	Yes
Deborah Mitchell	Yes
Steve Stidhem	Yes

MOTION #3: Victoria Newell moved, Amy Salay seconded, to approve the Conditional Use application because it complies with all applicable review criteria.

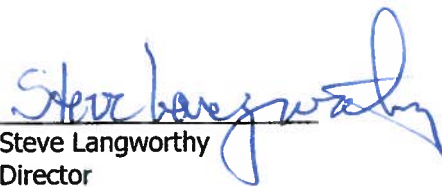
VOTE: 7 – 0.

RESULT: The Conditional Use was approved.

RECORDED VOTES:

Victoria Newell	Yes
Amy Salay	Yes
Chris Brown	Yes
Cathy De Rosa	Yes
Bob Miller	Yes
Deborah Mitchell	Yes
Steve Stidhem	Yes

STAFF CERTIFICATION


Steve Langworthy
Director