



72/84 n high street

ARB conceptual design review // dublin, ohio
february 24, 2021

project brief

The proposed concept for 72/84 N High Street is a contextual solution designed to be an architectural and programmatic bridge, connection historic Old Dublin with the contemporary developments to the immediate north and across the Scioto River to Bridge Park. Taking on an under-utilized site and unfit series of buildings, the project aims to create a transformative, dynamic mixed-use development that will help anchor the west bank of the Scioto River, meeting the city's expectations and inspirations, which have already been put forth in the investments and developments adjacent to this property.

The scheme calls for a total redevelopment of the current site, demolishing the existing series of non-historic contributing structures that front the northeast corner of the intersection of North High Street and North Street, along with the expansive surface parking lot behind. Utilizing the site's topography, which falls off dramatically as you move from west to east, the proposed structure reads as a two-and-half story building from the main vantage point, the North High and North Street intersection. This optimization of the site topography allows the project to meet the requirements of the project scope, while most importantly, doing so in a respective, contextual scale and proportion found in the historic district. The project scope calls for a range of program / uses including: retail, restaurant, event space, multi-family residential, 'embedded' parking garage, and a multitude of public courtyard spaces and vistas.

Architecturally, the massing is designed to reduce the scale of the project to align with its neighbors while maximizing the sight lines and vistas, both from public and private spaces. The overall design intent is contextual: scale, proportion, detailing, colors, material palette, etc. - all of these attributes continue to be carefully considered and studied to contribute to the historic urban fabric that Old Dublin is recognized for.

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archall



existing conditions // plan view

NOT TO SCALE

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existing conditions // southwest aerial

NOT TO SCALE

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02



mixed-use building
2.5 level building w/ lower level use / access

commercial building
2.0 level building



site boundaries

site boundaries



n high street frontage

EXISTING CONDITIONS



site boundaries

n high street elevation

north street elevation

site boundaries



north street frontage

EXISTING CONDITIONS



program key

- 6,000 SF** event
- 2,400 SF** restaurant
- 1,800 SF** retail
- 68** multi-family residential units
- 80** parking spaces (garage)

- attributes**
- public plaza
- pedestrian access from both north high and north streets
 - public courtyard / river vista
 - outdoor seating areas
 - covered outdoor event space
 - rooftop terrace

- pedestrian access
- vehicular access



proposed site plan

SCALE: 1" = 50'-0"







eave line



ground plane

The proposed N High Street façade takes its massing and scale from an in-depth study of the existing context located just south of the property at the intersection of Bridge Street and High Street. Maintaining the two- and two-and-half story appearance along N High Street was a critical element to maintain in the design process, in order to respectfully blend into the existing historical fabric of the neighborhood.

Varied massing and moments of perpendicular roof lines and gables creates the look and feel of smaller, multiple buildings within the overall footprint.

eave line



ground plane



This exhibit shows an expanded view of the North Street + North High Street intersection looking east towards the river. This view incorporates a rendering of the approved CoHatch building currently construction (Tim Lai Architect).

The scale and massing of the proposed structure complements the scale of the existing and proposed structures to the south, despite the difference in programming and density. In addition, the proposed footprint at this intersection is set back, providing for a public plaza that complements the grand public stair of the library to the west.





extg eave line



This exhibit shows the current conditions vs. the proposed design address the North Street streetscape.

The proposed structure provides a unified composition of varied materials, massing, and detailing to give the image of a series of building footprints, completing the North Street streetscape, from North High Street east to North Riverview Street.

To break up the street edge further, at the recommendation of staff, the proposed structure provides a public passage-way from the right-of-way through to the public courtyard at the heart of the project.

extg eave line



proposed pedestrian passage-way through to public courtyard



Although one continuous building, the North Street façade (south elevation) is articulated to portray a series of individual buildings through various massing techniques, roof lines, material and paint designations, and detailing / trim. This varied approach takes its cue from existing historic Dublin context (shown above) at the southeast corner of Bridge Street + High Street.

In comparison, the overall length of the proposed building is roughly 160'-0", which is about 3'-0" longer than the contextual set of buildings shown above.







extg eave line



This exhibit shows the current conditions vs. the proposed design address and how it addresses the intersection of North Riverview + North Streets.

Currently, the existing building is pulled away from the intersection, with a curb cut to an existing surface parking lot located at this corner.

The proposed structure anchors the corner, removing the existing curb cut and parking lot, while the proposed grading and landscaping mounds up to soften the street edge, also providing the necessary view triangle clearances.

extg eave line



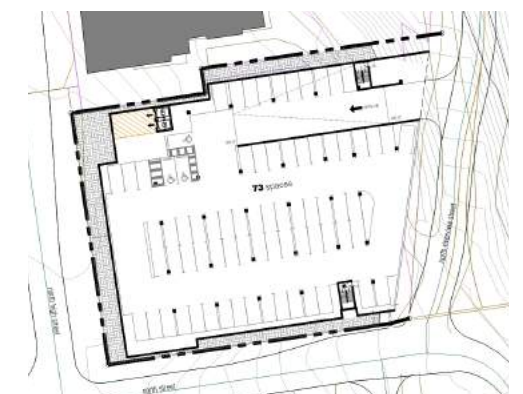
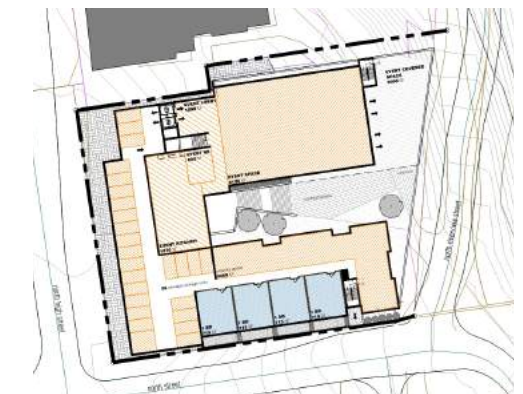
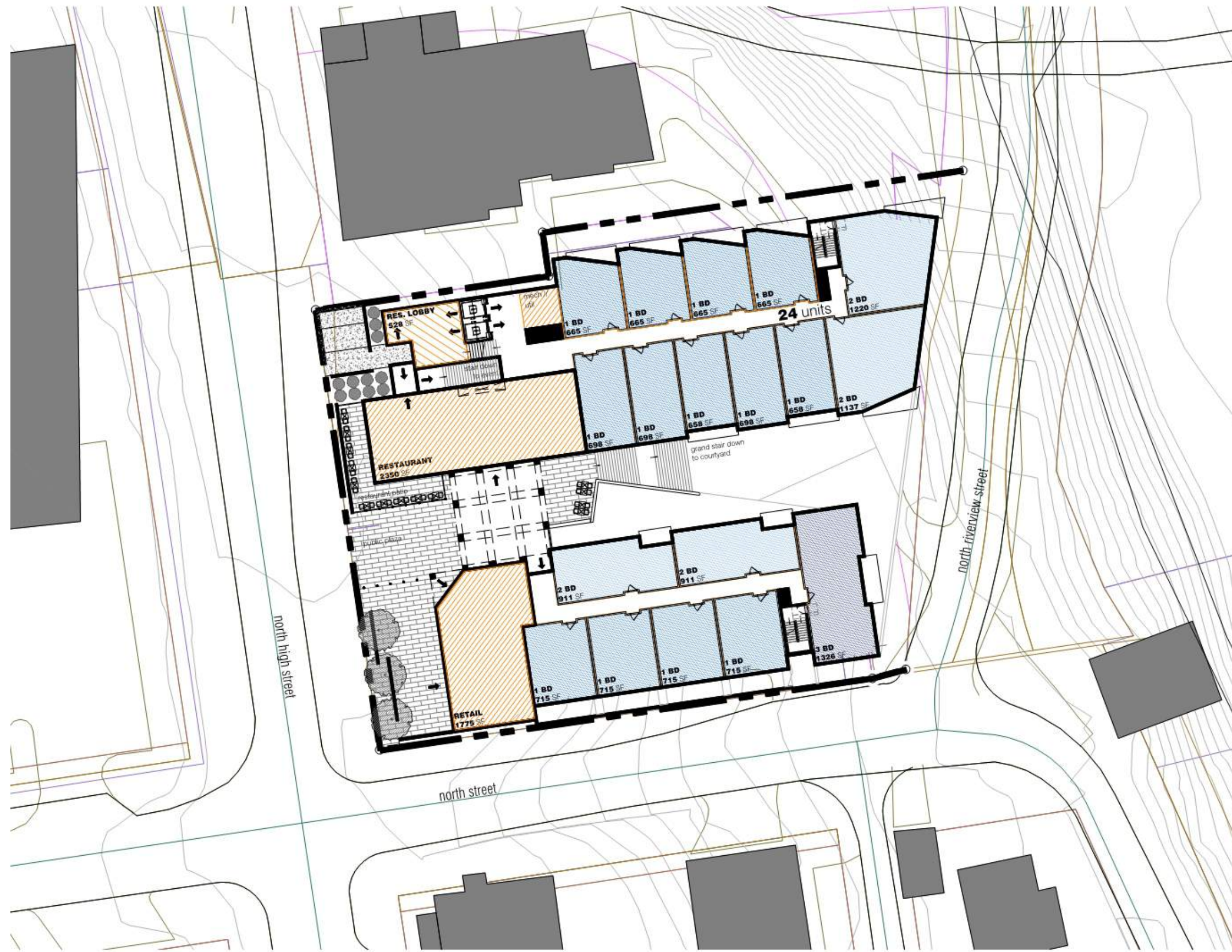








view // courtyard views - from residential balcony (left) and from public plaza (right)



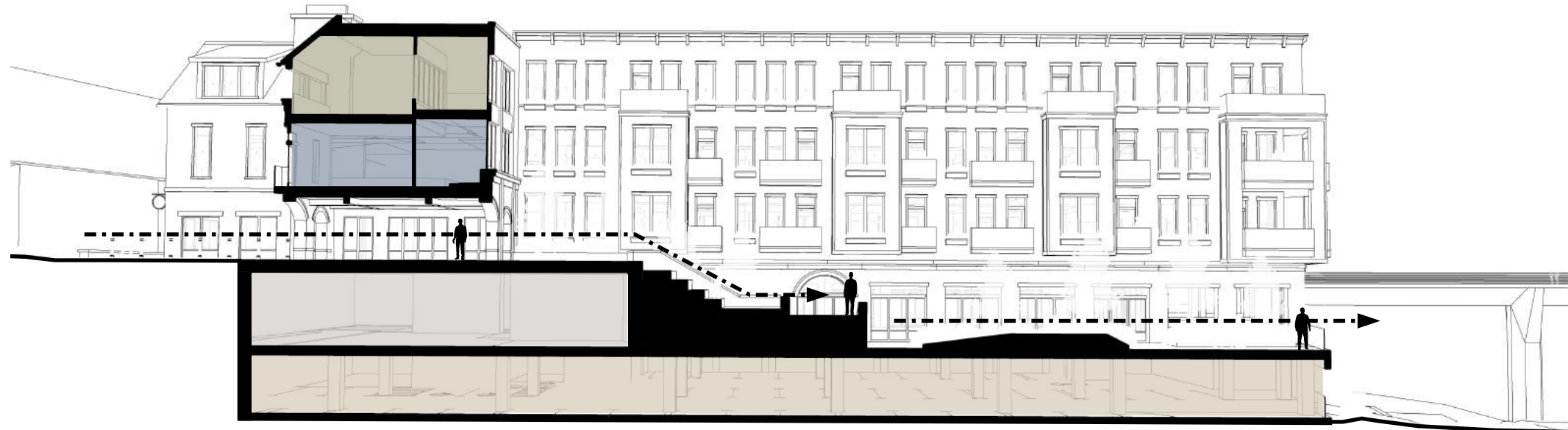
proposed floor plans

SCALE: 1" = 40'-0"



building section // 01

NOT TO SCALE



building section // 02

NOT TO SCALE

program key



multi-family residential units
studio, 1 BD, 2 BD, and 2+ BD



residential amenity
rooftop terrace // fitness // lounge // etc.



event space
indoor | outdoor programmable space



service core
kitchen // storage units // utilities



parking garage
'embedded' parking spaces (residential)





