



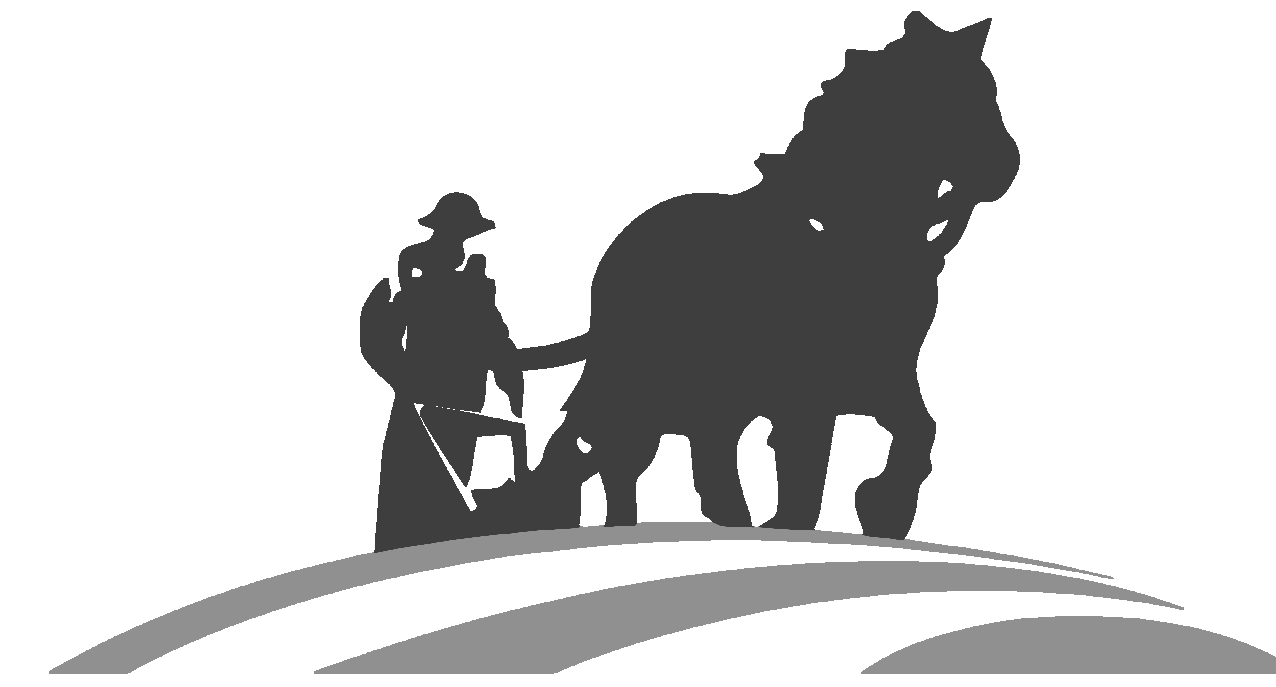
HEARTLAND BANK

HEARTLAND BANK

RENOVATION OF HEARTLAND BANK DUBLIN

6500 FRANTZ ROAD
DUBLIN, OH 43017

PREPARED FOR:



HEARTLAND BANK

430 N. HAMILTON ROAD
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PREPARED BY:

CIVIL ENGINEER



300 SPRUCE STREET
SUITE 200
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PLUMBING, MECHANICAL &
ELECTRICAL ENGINEER



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COLUMBUS, OH 43215

PHONE: (614) 486-4778

FINAL DEVELOPMENT PLAN 05/12/2021

ABBREVIATIONS

SYMBOLS

Table with 2 columns: Symbol and Description. Includes symbols for AND, ANGLE, AT, NUMBER / POUND, CENTERLINE, PROPERTY LINE, ANCHOR BOLT, ABOVE, AIR CONDITIONING / AIR CONDITIONER, ACQUIS, ACUSTICAL, ACUSTIC CEILING TILE, AREA DRAIN, ADJ, ADJ, AFF, AGOR, ALUM, ALT, AP, APPROX, APT, ARCH, ASB, ASPH, AV, BOTTOM OF CURB BOARD, BETWEEN, BIT, BUILDING, BLKG, BM, BSC, BOT, BRG, BSMT, BUR, CABINET, CATCH BASIN, CEM, CIP, CAST IN PLACE, CURB INLET, CONTROL JOINT, CENTERLINE, CEILING, CLGS, CLR, CM, CONCRETE MASONRY UNIT, CNSK, CO, COLUMN, CONC, CONN, CONST, CONT, CONTR, CORR, CPT, CRS, CT, CTR, CW, DOUBLE, DEMO, DEPT, DET, DETAIL, DRINKING FOUNTAIN, DIA, DIM, DISP, DIV, DL, DOWN, DO, DS, DW, DWG, EAST, EACH, EC, EF, EFS, EJ, EL, ELEV, ELEV, EMER, ENCL, EP, EQ, EQUIP, EST, EW, EXH, EXP, EXPO, EXIST, EXT, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FIN, FIN, FLR, FLG, FLUOR, FD, FR, FRMG, FRP, FT, FTG, FLRN, FLRR, FWC

G

Table with 2 columns: Symbol and Description. Includes GA, GALV, GB, GC, GEN, GFI, GFRC, GFCMU, QL, GND, GYP, GWB, HEIGHT / HIGH, HOSE BIB, HOLLOW CORE, HARBOR, HDCP, HDO, HDR, HDW, HDWD, HGT, HM, HORIZ, HR, HTG, HVAC, HW, JAN, JBOX, JST, JT, KITCHEN, KNOCKOUT, ID, INSIDE DIAMETER, IN, INCH, INCL, INCL, INSUL, INT, INV, LAB, LABORATORY, LAM, LAM, LAV, LAVATORY, LCM, LCM, LGTH, LH, LL, LLH, LLL, LTG, MASONRY, MATERIAL, MAX, MDM, MDO, MECH, MED, MEMB, MEZZ, MFR, MH, MIN, MIN, MISC, MO, MTD, MTF, MTL, MUL, N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

H

Table with 2 columns: Symbol and Description. Includes H, HB, HC, HD, HDW, HDWD, HGT, HM, HORIZ, HR, HTG, HVAC, HW, JAN, JBOX, JST, JT, KITCHEN, KNOCKOUT, ID, INSIDE DIAMETER, IN, INCH, INCL, INCL, INSUL, INT, INV, LAB, LABORATORY, LAM, LAM, LAV, LAVATORY, LCM, LCM, LGTH, LH, LL, LLH, LLL, LTG, MASONRY, MATERIAL, MAX, MDM, MDO, MECH, MED, MEMB, MEZZ, MFR, MH, MIN, MIN, MISC, MO, MTD, MTF, MTL, MUL, N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

I

Table with 2 columns: Symbol and Description. Includes I, ID, INSIDE DIAMETER, IN, INCH, INCL, INCL, INSUL, INT, INV, LAB, LABORATORY, LAM, LAM, LAV, LAVATORY, LCM, LCM, LGTH, LH, LL, LLH, LLL, LTG, MASONRY, MATERIAL, MAX, MDM, MDO, MECH, MED, MEMB, MEZZ, MFR, MH, MIN, MIN, MISC, MO, MTD, MTF, MTL, MUL, N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

J

Table with 2 columns: Symbol and Description. Includes J, JAN, JBOX, JST, JT, KITCHEN, KNOCKOUT, ID, INSIDE DIAMETER, IN, INCH, INCL, INCL, INSUL, INT, INV, LAB, LABORATORY, LAM, LAM, LAV, LAVATORY, LCM, LCM, LGTH, LH, LL, LLH, LLL, LTG, MASONRY, MATERIAL, MAX, MDM, MDO, MECH, MED, MEMB, MEZZ, MFR, MH, MIN, MIN, MISC, MO, MTD, MTF, MTL, MUL, N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

K

Table with 2 columns: Symbol and Description. Includes K, LAB, LABORATORY, LAM, LAM, LAV, LAVATORY, LCM, LCM, LGTH, LH, LL, LLH, LLL, LTG, MASONRY, MATERIAL, MAX, MDM, MDO, MECH, MED, MEMB, MEZZ, MFR, MH, MIN, MIN, MISC, MO, MTD, MTF, MTL, MUL, N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

L

Table with 2 columns: Symbol and Description. Includes L, LAB, LABORATORY, LAM, LAM, LAV, LAVATORY, LCM, LCM, LGTH, LH, LL, LLH, LLL, LTG, MASONRY, MATERIAL, MAX, MDM, MDO, MECH, MED, MEMB, MEZZ, MFR, MH, MIN, MIN, MISC, MO, MTD, MTF, MTL, MUL, N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

M

Table with 2 columns: Symbol and Description. Includes M, MAS, MASONRY, MATERIAL, MAX, MDM, MDO, MECH, MED, MEMB, MEZZ, MFR, MH, MIN, MIN, MISC, MO, MTD, MTF, MTL, MUL, N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

N

Table with 2 columns: Symbol and Description. Includes N, NORTH, NIC, NO, NOM, NTS, OBS, ON CENTER, OD, OFC, OH, OPNG, OPP, OSB, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

O

Table with 2 columns: Symbol and Description. Includes O, OVERALL, OSCURE, ON CENTER, OUTSIDE DIAMETER, OFC, OFFICE, OVERHEAD, OPENING, OPP, OPPOSITE, OSB, ORIENTED STRAND BOARD, EAST EACH, ELECTRICAL CONTRACTOR, EXHAUST FAN / EACH FACE, EXTERIOR INSULATION FINISH SYSTEM, EXPANSION JOINT, ELEVATION ABOVE GRADE, ELECTRICAL, ELEVATION (BUILDING ELEVATION), ELEVATOR, EMERGENCY, ENCLOSURE, ELECTRICAL PANEL / EDGE OF PAVEMENT, EQUAL, EQUIPMENT, ESTIMATE, EACH WAY, ELECTRIC WATER COOLER, EXHAUST, EXPANSION, EXPOSED, EXISTING, EXTERIOR, FIRE ALARM, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR, FIRE HOSE CABINET, FINISH OR FINISHED, FLOOR, FLASHING, FLUORESCENT, FACE OF, FIREPROOF, FRAMING, FIBER REINFORCED PLASTIC, FOOT OR FEET, FOOTING, FURNACE, FURNING, FABRIC WALLCOVERING

P

Table with 2 columns: Symbol and Description. Includes PC, PRE-CAST, PERE, PL, PLAM, PLAS, PLBG, PLYWD, PNL, PORC, PSF, PSF, PSF, PSI, PT, PTD, PVM, PWT, PWR, QUARRY TILE QUANTITY, SOUTH, SUPPLY AIR, SANITARY, SOLID CORE / SEALED CONCRETE, SCHEDULE, SMOKE DETECTOR / STORM DRAIN, SECTION, SHEATHING, SHOWER, SHEET, SHEATHING, SIMILAR, SHORT LEG VERTICAL SPECIFICATION, SPEAKER, SQUARE, STAINLESS STEEL, SERVICE SINK, STATION, STANDARD, STEEL, STEAM, STORAGE, STRUCTURAL, SUSPENDED, SHEET VINYL, SQUARE YARD, SYMMETRICAL, TREAD, TOP AND BOTTOM, TONGUE AND GROOVE, TOP OF CURB, TELEPHONE, THICKNESS, TOP OF FOOTING, TOP OF STEEL, TOP OF WALL, TOP OF PAVEMENT, TUBE STEEL, TELEVISION, TOP OF WALL, TYPICAL, TERRAZZO, WEST / WIDTH, WIDE FLANGE, WITH, WITHOUT, WATER CLOSET, WOOD, WROUGHT IRON, WATERPROOF, WATER RESISTANT, WANSKOT, WEIGHT, WATER, WELDED WIRE FABRIC, YARD / YARD DRAIN

Q

Table with 2 columns: Symbol and Description. Includes Q, QUARRY TILE QUANTITY, SOUTH, SUPPLY AIR, SANITARY, SOLID CORE / SEALED CONCRETE, SCHEDULE, SMOKE DETECTOR / STORM DRAIN, SECTION, SHEATHING, SHOWER, SHEET, SHEATHING, SIMILAR, SHORT LEG VERTICAL SPECIFICATION, SPEAKER, SQUARE, STAINLESS STEEL, SERVICE SINK, STATION, STANDARD, STEEL, STEAM, STORAGE, STRUCTURAL, SUSPENDED, SHEET VINYL, SQUARE YARD, SYMMETRICAL, TREAD, TOP AND BOTTOM, TONGUE AND GROOVE, TOP OF CURB, TELEPHONE, THICKNESS, TOP OF FOOTING, TOP OF STEEL, TOP OF WALL, TOP OF PAVEMENT, TUBE STEEL, TELEVISION, TOP OF WALL, TYPICAL, TERRAZZO, WEST / WIDTH, WIDE FLANGE, WITH, WITHOUT, WATER CLOSET, WOOD, WROUGHT IRON, WATERPROOF, WATER RESISTANT, WANSKOT, WEIGHT, WATER, WELDED WIRE FABRIC, YARD / YARD DRAIN

R

Table with 2 columns: Symbol and Description. Includes R, RADIUS / RISER, RETURN AIR, RUBBER BASE, ROOF DRAIN, REFRIGERATOR / REFERENCE, REINFORCED, RESILIENT, REVISION, RIGHT HAND, ROOM, REMOVE, ROUGH OPENING, RIGHT OF WAY, RAIN WATER LEADER, SOUTH, SUPPLY AIR, SANITARY, SOLID CORE / SEALED CONCRETE, SCHEDULE, SMOKE DETECTOR / STORM DRAIN, SECTION, SHEATHING, SHOWER, SHEET, SHEATHING, SIMILAR, SHORT LEG VERTICAL SPECIFICATION, SPEAKER, SQUARE, STAINLESS STEEL, SERVICE SINK, STATION, STANDARD, STEEL, STEAM, STORAGE, STRUCTURAL, SUSPENDED, SHEET VINYL, SQUARE YARD, SYMMETRICAL, TREAD, TOP AND BOTTOM, TONGUE AND GROOVE, TOP OF CURB, TELEPHONE, THICKNESS, TOP OF FOOTING, TOP OF STEEL, TOP OF WALL, TOP OF PAVEMENT, TUBE STEEL, TELEVISION, TOP OF WALL, TYPICAL, TERRAZZO, WEST / WIDTH, WIDE FLANGE, WITH, WITHOUT, WATER CLOSET, WOOD, WROUGHT IRON, WATERPROOF, WATER RESISTANT, WANSKOT, WEIGHT, WATER, WELDED WIRE FABRIC, YARD / YARD DRAIN

S

Table with 2 columns: Symbol and Description. Includes S, SOUTH, SUPPLY AIR, SANITARY, SOLID CORE / SEALED CONCRETE, SCHEDULE, SMOKE DETECTOR / STORM DRAIN, SECTION, SHEATHING, SHOWER, SHEET, SHEATHING, SIMILAR, SHORT LEG VERTICAL SPECIFICATION, SPEAKER, SQUARE, STAINLESS STEEL, SERVICE SINK, STATION, STANDARD, STEEL, STEAM, STORAGE, STRUCTURAL, SUSPENDED, SHEET VINYL, SQUARE YARD, SYMMETRICAL, TREAD, TOP AND BOTTOM, TONGUE AND GROOVE, TOP OF CURB, TELEPHONE, THICKNESS, TOP OF FOOTING, TOP OF STEEL, TOP OF WALL, TOP OF PAVEMENT, TUBE STEEL, TELEVISION, TOP OF WALL, TYPICAL, TERRAZZO, WEST / WIDTH, WIDE FLANGE, WITH, WITHOUT, WATER CLOSET, WOOD, WROUGHT IRON, WATERPROOF, WATER RESISTANT, WANSKOT, WEIGHT, WATER, WELDED WIRE FABRIC, YARD / YARD DRAIN

T

Table with 2 columns: Symbol and Description. Includes T, TREAD, TOP AND BOTTOM, TONGUE AND GROOVE, TOP OF CURB, TELEPHONE, THICKNESS, TOP OF FOOTING, TOP OF STEEL, TOP OF WALL, TOP OF PAVEMENT, TUBE STEEL, TELEVISION, TOP OF WALL, TYPICAL, TERRAZZO, WEST / WIDTH, WIDE FLANGE, WITH, WITHOUT, WATER CLOSET, WOOD, WROUGHT IRON, WATERPROOF, WATER RESISTANT, WANSKOT, WEIGHT, WATER, WELDED WIRE FABRIC, YARD / YARD DRAIN

U

Table with 2 columns: Symbol and Description. Includes U, UNFINISHED, UNLESS NOTED OTHERWISE, URINAL, VINYL COMPOSITION TILE, VAPOR BARRIER / VINYL BASE, VERTICAL, VESTIBULE, VERIFY IN FIELD, VINYL WALL COVERING, WEST / WIDTH, WIDE FLANGE, WITH, WITHOUT, WATER CLOSET, WOOD, WROUGHT IRON, WATERPROOF, WATER RESISTANT, WANSKOT, WEIGHT, WATER, WELDED WIRE FABRIC, YARD / YARD DRAIN

V

Table with 2 columns: Symbol and Description. Includes V, VINYL COMPOSITION TILE, VAPOR BARRIER / VINYL BASE, VERTICAL, VESTIBULE, VERIFY IN FIELD, VINYL WALL COVERING, WEST / WIDTH, WIDE FLANGE, WITH, WITHOUT, WATER CLOSET, WOOD, WROUGHT IRON, WATERPROOF, WATER RESISTANT, WANSKOT, WEIGHT, WATER, WELDED WIRE FABRIC, YARD / YARD DRAIN

W

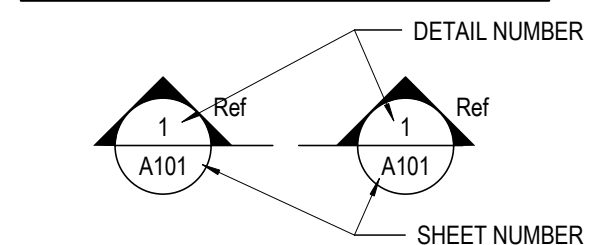
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Y

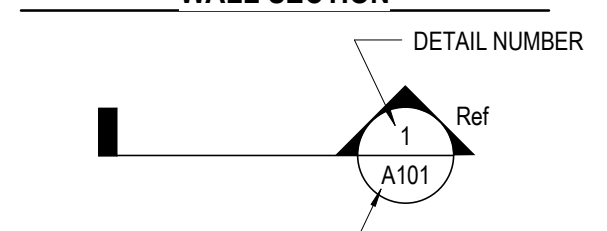
Table with 2 columns: Symbol and Description. Includes Y, YARD / YARD DRAIN

SYMBOLS LEGEND

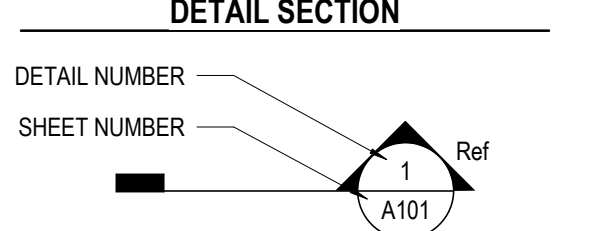
BUILDING SECTION



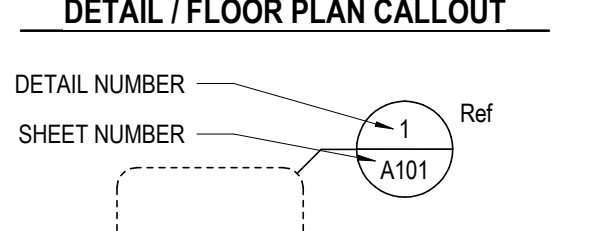
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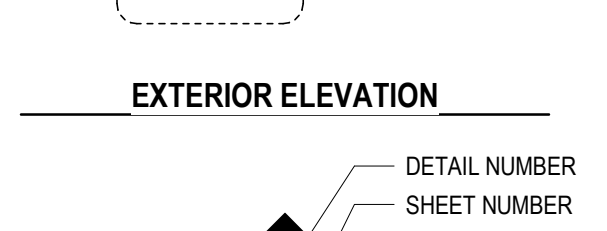
DETAIL SECTION



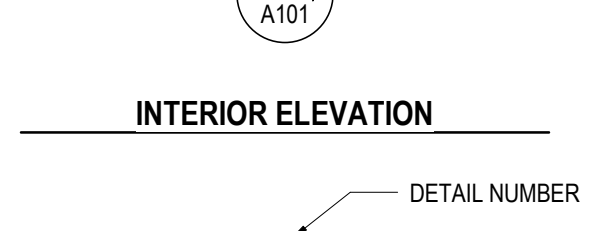
DETAIL / FLOOR PLAN CALLOUT



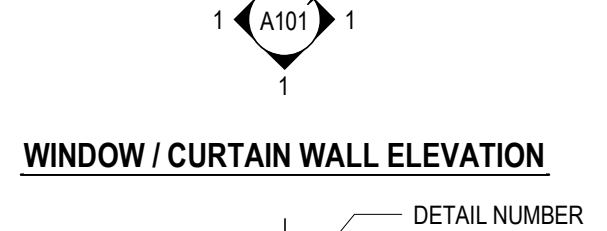
EXTERIOR ELEVATION



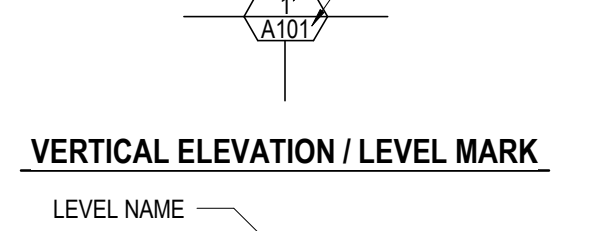
INTERIOR ELEVATION



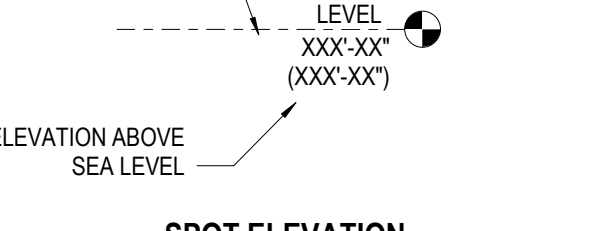
WINDOW / CURTAIN WALL ELEVATION



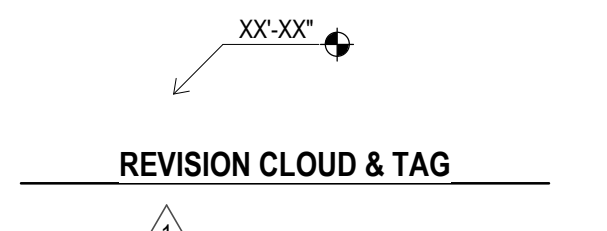
VERTICAL ELEVATION / LEVEL MARK



SPOT ELEVATION



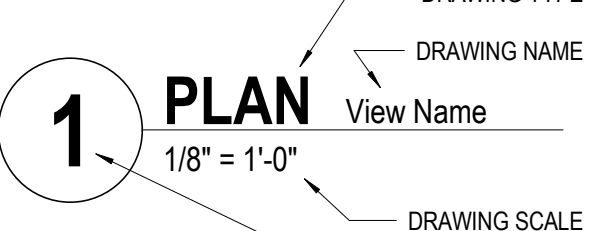
REVISION CLOUD & TAG



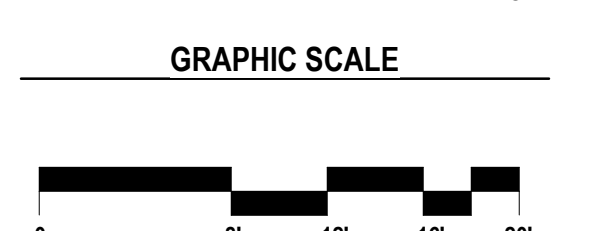
VIEW TITLE



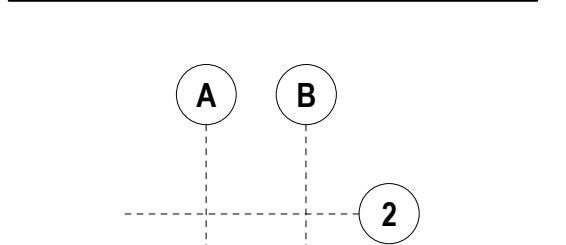
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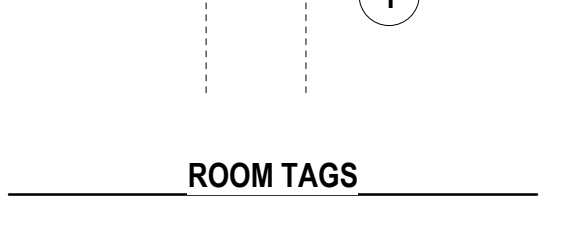
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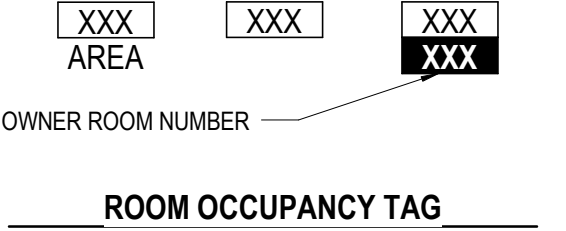
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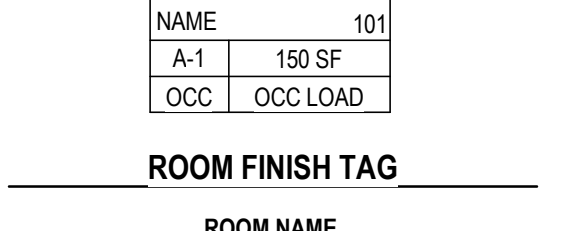
ROOM TAGS



ROOM OCCUPANCY TAG



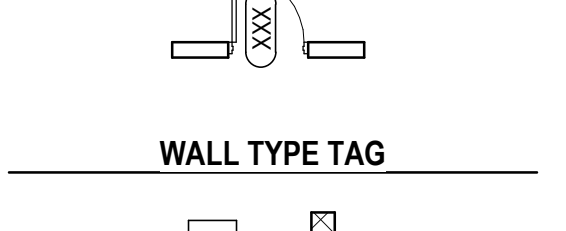
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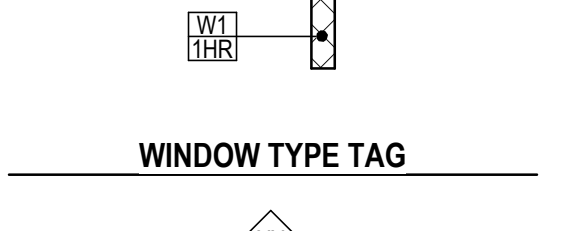
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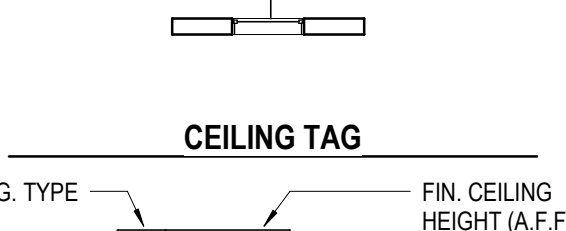
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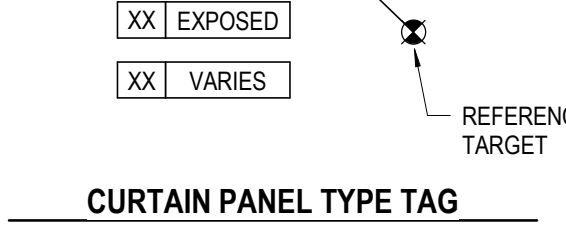
WINDOW TYPE TAG



CEILING TAG



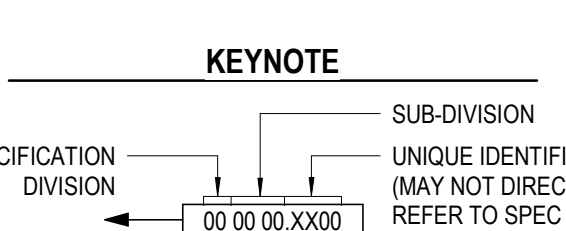
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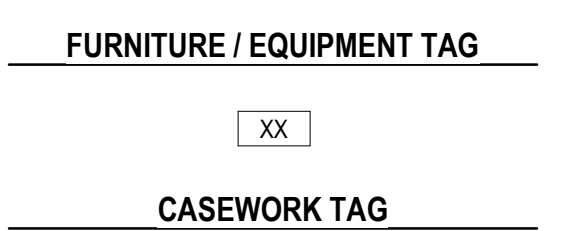
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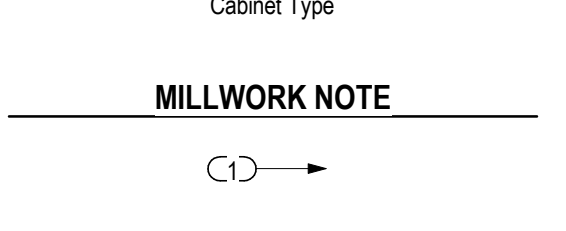
KEYNOTE



FURNITURE / EQUIPMENT TAG



CASEWORK TAG



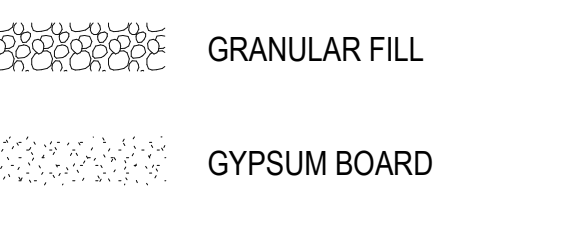
MILLWORK NOTE



NORTH ARROW



AREA TAG



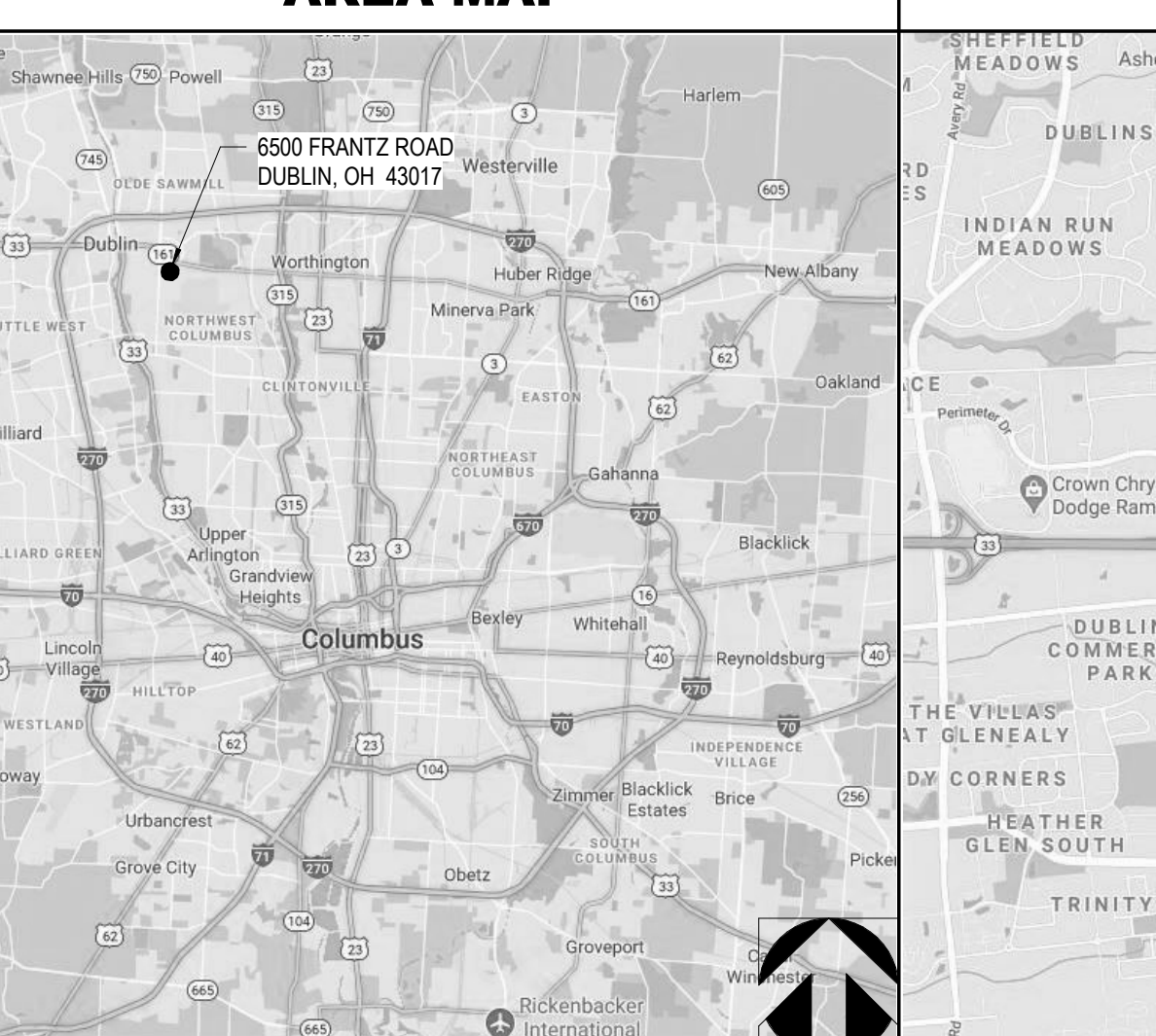
GENERAL CONSTRUCTION NOTES

- 1. THESE DRAWINGS HAVE BEEN PREPARED TO ILLUSTRATE THE DESIGN CONCEPTS AND TO PROVIDE GENERAL CONSTRUCTION INFORMATION FOR THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES AND DIMENSIONS OF MATERIALS AND SYSTEMS FOR ALL INFORMATION THAT PERTAINS TO THE MEANS AND METHODS OF CONSTRUCTION AND FOR PERFORMING THEIR WORK IN A SAFE AND SATISFACTORY MANNER.
2. ALL CONSTRUCTION SHALL CONFORM TO, AND BE IN ACCORDANCE WITH, ALL MUNICIPAL, STATE AND FEDERAL REGULATIONS HAVING JURISDICTION.
3. THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL PROJECT DIMENSIONS AND CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE WORK OF HIS OWN FORCES, HIS SUB-CONTRACTORS, WORK BY OTHER CONTRACTS AND WORK PERFORMED BY THE OWNERS OWN FORCES, AS IT RELATES TO THE WORK OF THIS CONTRACT.
5. THE CONTRACTOR SHALL EXECUTE HIS WORK IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO THE SURROUNDING TENANTS AND OPERATIONS. MAINTAIN ALL EXISTING BUILDING SERVICES AT ALL TIMES UNLESS PERMISSION IS RECEIVED FROM BUILDING MANAGEMENT TO TEMPORARILY INTERRUPT SERVICE. PERMANENTLY RECONNECT ALL SERVICE INTERRUPTED BY THE PROJECT WORK WHETHER WITHIN OR OUTSIDE OF THE CONTRACT LIMIT LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH BUILDING MANAGEMENT RULES AND REGULATIONS ON MATERIAL HANDLING, EQUIPMENT, DEBRIS AND/OR LOADING DOCK AVAILABILITY. CONTRACTORS SHALL MAKE ARRANGEMENTS WITH THE OWNER FOR SPECIFIC REQUIREMENTS RELATING TO ACCESS TO THE PREMISES.
7. 48 HOURS PRIOR TO BEGINNING WORK, CONTACT A UTILITY LOCATING SERVICE. EACH CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE A/E AND OWNER FOR SPECIFIC REQUIREMENTS RELATING TO ACCESS TO THE SITE/BUILDING, INCLUDING USE OF ELECTRIC, WATER AND TOILET FACILITIES.
8. CUTTING & PATCHING: TURN OFF ALL UTILITIES AND DRAIN PIPES ON ALL WORK TO BE CUT. BEFORE CUTTING INVESTIGATE AFFECT ON SURROUNDING WORK. IF IT IS DETERMINED THAT SURROUNDING WORK WILL BE ADVERSELY AFFECTED CONSULT THE ARCHITECT/ENGINEER. TEMPORARILY SUPPORT ALL WORK.
9. THAT IS TO REMAIN UNTIL PERMANENT WORK IS COMPLETE. WHEN PATCHING, MATCH ADJACENT EXISTING ELEVATION, TEXTURE, FINISH AND COLOR.
10. DURING CONSTRUCTION, CONTRACTOR SHALL USE CAUTION NOT TO DAMAGE EXISTING FLOORS, WALLS, CEILINGS OR EQUIPMENT. SHOULD DAMAGE OCCUR, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR AND/OR REPLACE DAMAGED AREAS AND EQUIPMENT TO PRE-EXISTING CONDITIONS.
11. ALL PENETRATIONS INTO OR THROUGH WALLS, FLOORS OR CEILINGS SHALL BE SEALED AIRTIGHT. PENETRATIONS INTO OR THROUGH FIRE OR SMOKE BARRIERS SHALL BE SEALED IN A MANNER TO MAINTAIN REQUIRED RATINGS.
12. CONTRACTOR SHALL PROVIDE MEASURES FOR PROPER DUST CONTROL AND REMOVE FROM SITE ALL RUBBISH RESULTING FROM DEMOLITION AND CONSTRUCTION. CERTAIN REMOVED ITEMS SHALL BE SALVAGED AND TURNED OVER TO THE OWNER.
13. PATCH ALL HOLES AND LEVEL UNEVEN FLOOR SURFACES W/ LATEX GROUT PRIOR TO INSTALLATION OF FINISHED FLOORING SYSTEM.
14. APPLY A THIN BEAD OF SEALANT AROUND PERIMETER OF DOOR FRAMES AND BETWEEN DISSIMILAR MATERIALS.
15. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER OR SUPPLIER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT SHALL DETERMINE THE SUITABILITY OF THE SUBSTITUTE BASED UPON THE INFORMATION SUPPLIED BY THE CONTRACTOR. EXCEPTIONS WILL NOT BE ALLOWED WITHOUT THE WRITTEN AUTHORIZATION OF THE OWNER, OR THE OWNERS REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE ORDER.
16. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.
17. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
18. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
19. THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS AND SAMPLE SUBMITTALS TO THE ARCHITECT, PRIOR TO THE COMMENCEMENT OF ORDERING AND/OR FABRICATION. SAMPLES OF FINISHES THAT ARE TO BE FIELD APPLIED SHALL BE SUBMITTED ON THE MATERIALS ON WHICH THEY ARE TO BE TESTED. THE OWNER AND ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF COLORS AND APPROVALS OF CONTRACTOR SUBMITTED COLORS AND/OR FINISHES TO MATCH EXISTING.
20. EACH CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THEIR DIVISION OF WORK.
21. THE CONTRACTOR WILL PROVIDE THE OWNER W/ A ONE YEAR WARRANTY.

INDEX OF DRAWINGS

Table with 2 columns: SHEET NUMBER and SHEET NAME. Includes GENERAL, CIVIL, LANDSCAPE, STRUCTURAL, DEMOLITION, ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL.

AREA MAP



VICINITY MAP



MATERIALS LEGEND

Table with 2 columns: Material Name and Symbol. Includes ALUMINUM, ACOUSTIC CEILING, BRICK, CONCRETE, CONCRETE MASONRY, CONCRETE (SURFACE), EARTH, GLASS - LARGE SCALE, GLASS - SMALL SCALE, GRANULAR FILL, GYPSUM BOARD, INSULATION - BATT, INSULATION - RIGID, PLYWOOD, STEEL, WOOD - ROUGH FRAMING, WOOD - ROUGH BLOCKING, WOOD - FINISHED.

Table with 3 columns: #, DATE, CHANGE DESCRIPTION.

RENOVATION OF HEARTLAND BANK DUBLIN. 6500 FRANTZ ROAD, DUBLIN, OH 43017. HEARTLAND BANK.

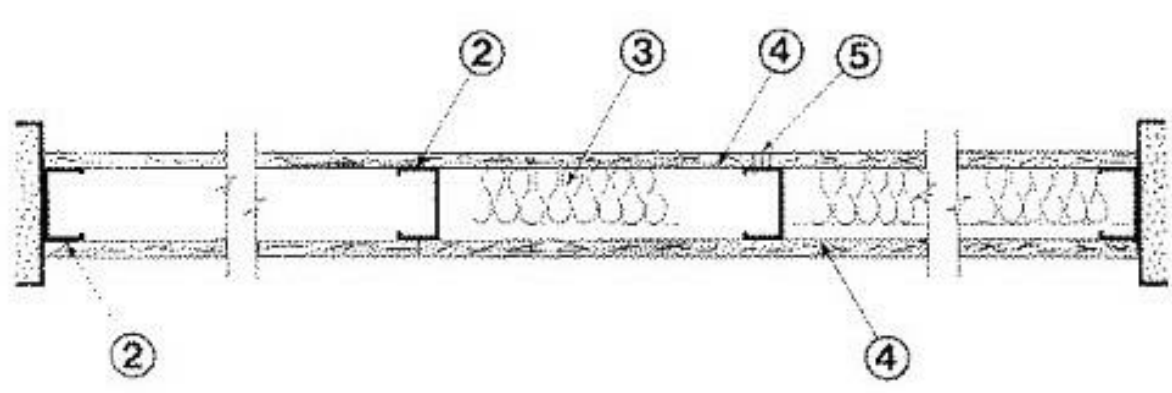
MOODY-NOLAN. 300 SPRUCE STREET, SUITE 300, COLUMBUS, OHIO 43215. PHONE: (614) 461-4664. FAX: (614) 280-8881.

DRAWING TITLE: DRAWING INDEX, GENERAL NOTES. DATE: 05/12/2021. DRAWN BY: XXXX, CHECKED BY: XXXX. PROJECT: PROGRESS DRAWING NOT FOR CONSTRUCTION. SHEET: G001. FINAL DEVELOPMENT PLAN.

Design No. U465

July 12, 2018
Nonbearing Wall Rating – 1HR

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



1. Floor and Ceiling Runners — (Not Shown) — Channel shaped runners, 3-5/8 in. deep (min), 1-1/4 in. legs, formed from min No. 25 MSG galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

1A. Framing Members* — Floor and Ceiling Runners — (Not Shown) — As an alternate to Item 1 — Channel shaped, min 3-5/8 in. deep, attached to floor and ceiling with fasteners 24 in. OC max.

ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System

CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System

QUAL RUN BUILDING MATERIALS INC — Type SUPREME Framing System

SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME Framing System

UNITED METAL PRODUCTS INC — Type SUPREME Framing System

1B. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2B, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper20™ Track

MARINOWARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track

FUSION BUILDING PRODUCTS — Viper20™ Track

IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track

1C. Floor and Ceiling Runners — (Not Shown) — For use with Item 2C — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, min depth to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners spaced max 24 in. OC.

1D. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1C — For use with Item 2D and 4G only, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

CLARKDIETRICH BUILDING SYSTEMS — CD ProTRAK

DMFCVBS L L C — ProTRAK

MBA METAL FRAMING — ProTRAK

RAM SALES L L C — Ram ProTRAK

STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProTRAK

1E. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1D — For use with Item 2E and 4I only, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

TELLING INDUSTRIES L L C — TRUE-TRACK™

1F. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1E — For use with Item 2, channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 25 MSG steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

KIRRI (HONG KONG) LTD — Type KIRRI

1G. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1F — For use with Item 2, channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide, attached to floor and ceiling with fasteners spaced 24 in. OC max.

STUDDO BUILDING SYSTEMS — CROCSTUD Track

1H. Floor and Ceiling Runners — (Not Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min width to accommodate stud size, with min 1 in. long legs, for use with studs specified below and fabricated from min 0.02 in. thick galv steel or thicker, attached to floor and ceiling with fasteners spaced max 24 in. OC.

MARINOWARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track VT100

FUSION BUILDING PRODUCTS — Viper20™ Track T100

IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track VT100

1I. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2H, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

TELLING INDUSTRIES L L C — Viper20™ Track

1J. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 — For use with Item 2 L, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

STEEL INVESTMENT GROUP L L C — AlphaTRAK

1K. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2M, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness), attached to floor and ceiling with fasteners spaced 24 in. OC max.

CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X Track

1L. Framing Members* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2N, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

CRACO MFG INC — SmartTrack20™

2. Steel Studs — Channel shaped, 3-5/8 in. deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.

2A. Framing Members* — Steel Studs — As an alternate to Item 2 — Channel shaped studs, min 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.

ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System

CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System

QUAL RUN BUILDING MATERIALS INC — Type SUPREME Framing System

SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME Framing System

UNITED METAL PRODUCTS INC — Type SUPREME Framing System

2B. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1B, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less than length than assembly height.

CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper20™

CRACO MFG INC — SmartStud20™

MARINOWARE, DIV OF WARE INDUSTRIES INC — Viper20™

FUSION BUILDING PRODUCTS — Viper20™

IMPERIAL MANUFACTURING GROUP INC — Viper20™

2C. Steel Studs — (As an alternate to Item 2, For use with Item 4E) — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3/12 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and ceiling runners. Studs to be cut 5/8 to 3/4 in. less than assembly height.

2D. Framing Members* — Steel Studs — As an alternate to Items 2 through 2C — For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.

CLARKDIETRICH BUILDING SYSTEMS — CD ProSTUD

DMFCVBS L L C — ProSTUD

MBA METAL FRAMING — ProSTUD

RAM SALES L L C — Ram ProSTUD

STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProSTUD

2E. Framing Members* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.

TELLING INDUSTRIES L L C — TRUE-STUD™

2F. Framing Members* — Steel Studs — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped studs, min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.

KIRRI (HONG KONG) LTD — Type KIRRI

2G. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 through 2F — For use with Item 1G, Proprietary channel shaped studs, minimum 3-5/8 in. wide. Studs to be cut 1/2 in. less than the assembly height.

STUDDO BUILDING SYSTEMS — CROCSTUD

Design No. U465 (continued)

2H. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.

TELLING INDUSTRIES L L C — Viper20™

2I. Framing Members* — Steel Studs — In lieu of Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.

EB METAL INC — NITROSTUD

2J. Framing Members* — Steel Studs — In lieu of Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.

OLMAR SUPPLY INC — PRIMESTUD

2K. Framing Members* — Steel Studs — As an alternate to Item 2 — For use with Item 1B (3-5/8 in. wide track), channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.

MARINOWARE, DIV OF WARE INDUSTRIES INC — StudRite™

2L. Framing Members* — Steel Studs — As an alternate to Items 2 — For use with Item 1J, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.

STEEL INVESTMENT GROUP L L C — AlphaSTUD

2M. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1K, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height.

CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X

2N. Framing Members* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1M, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.

CRACO MFG INC — SmartStud20™

3. Batts and Blankets* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity.

See Batts and Blankets (BZLZ) category for names of Classified companies.

3A. Filler, Sprayfoam™ — As an alternate to Batts and Blankets (Item 3) — (100% Bore Formulation) — Spray applied cellulose material. The filler is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Minimum dry density of 2.2 lb/ft³. Alternate Application Method: The filler is applied without water or adhesive at a nominal dry density of 3.5 lb/ft³, in accordance with the application instructions supplied with the product.

U S GREENFIBER L L C — INS7S & INS74S for use with wet or dry application. INS75LD and INS77LD are to be used for dry application.

3B. Filler, Sprayfoam™ — As an alternate to Batts and Blankets (Item 3) and Item 3A — Spray applied cellulose insulation material. The filler is applied with water to interior surfaces in accordance with the application instructions supplied with the product. Applied to completely fill the enclosed cavity. Minimum dry density of 4.3 pounds per cubic ft.

NI-WOOL CO INC — Cellulose Insulation

3C. Filler, Sprayfoam™ — As an alternate to Batts and Blankets (Item 3) — Spray applied cellulose fiber. The filler is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be 4.30 lb/ft³.

INTERNATIONAL CELLULOSE CORP — Calbar-L

3D. Batts and Blankets* — For use with Item 8. Nom 3 in. thick, minimum 3.4 pfd mineral wool batts, friction fit between the studs and floor and ceiling runners.

See Batts and Blankets (BZLZ) category for names of manufacturers.

3E. Batts and Blankets* — For use with Item 4P and 4R. Installed in stud cavities, any min. 3/4 in. thick, glass fiber insulation bearing the UL Classification Markings as to Surface Burning Characteristics and/or Fire Resistance.

See Batts and Blankets (BZLZ) category for names of Classified companies.

4. Gypsum Board* — 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC, along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly. When attached to Items 5 (resilient channels) or 6A, 6B, 6C, 6D, or 6E (furring channels), gypsum board is screw attached to furring channels with 1 in. long, Type S steel screws spaced 12 in. OC.

ACADIA DRYWALL SUPPLIES LTD — Type X, 5/8 Type X, Type BlueGloss Exterior Sheathing

AMERICAN GYPSUM CO — Types AG-C, AGX-1, M-Glass, LightGloss

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO — Type DBX-1

CGC INC — Types AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint type and compound, Item 5, optional for use with Type USGX)

CERTAINTED GYPSUM INC — Types 1, EGRG, GlasRock, Type X-1, Type X-1, Type X-2, 5/8" Easi-Lite Type X, Easi-Lite Type X-2

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Types LGFC2A, LGFC6A, LGFC-CA, LGFC-WD, LGLXL

GEORGIA-PACIFIC GYPSUM L L C — Types 5, 6, 9, C, DAP, DD, DA, DAPC, DGG, DS, GPFSS, LS, Type X, Water Rated, Type X, Sheathing, Type X, Soffit, Type X, TG-C, GreenGlass Type X, Type X ComfortGuard Sound Deadening Gypsum Board, Type LWX, Veneer Plaster Base-Type LWX, Water Rated-Type LWX, Sheathing Type-LWX, Soffit-Type LWX, Type DGLW, Water Rated-Type DGLW, Sheathing Type-DGLW, Soffit-Type DGLW, Type LWX, Veneer Plaster Base -Type LWX, Water Rated -Type LWX, Sheathing -Type LWX, Soffit -Type DGLW, Water Rated -Type DGLW, Sheathing -Type DGLW

NATIONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSK-R, FSK-W, FSW-G, FSW, FSW-3, FSW-4, FSW-6, FSW-8, FSW-9, FSL

NATIONAL GYPSUM CO — Riyadh, Saudi Arabia — Type FR, or WR

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Types PG-C, PG-8, PG-11, PGS-WRS

PANEL REY S A — Types GREX, PRC, PR2, PRX, RHX, MDX, ETX

SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop MZTECH, Gyproc FireStop ACTIVAR, Gyproc FireStop MR ACTIVAR, Gyproc FireStop MZTECH ACTIVAR, Gyproc Duraline, Gyproc Duraline MR, Gyproc Duraline MZTECH, Gyproc Duraline ACTIVAR, Gyproc Duraline MR ACTIVAR, Gyproc Duraline MZTECH ACTIVAR

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD — Type EX-1

THAI GYPSUM PRODUCTS PCL — Type X, Type C

UNITED STATES GYPSUM CO — Type AR, C, FRX-G, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRC, WRX, USGX (Joint type and compound, Item 5, optional for use with Type USGX)

USG BORAL DRYWALL SFZ LLC — Types C, SCX, USGX (Joint type and compound, Item 5, optional for use with Type USGX)

4A. Gypsum Board* — (As alternate to Item 4) — Nom 5/8 in. thick gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Panels attached to steel studs and floor runner with 1 in. long Type S steel screws spaced 8 in. OC along vertical edges and 8 in. OC along vertical and bottom edges and 12 in. OC in the field when panels are applied vertically. When used in walls other than 48 in., gypsum panels to be installed horizontally.

CERTAINTED GYPSUM INC — Type X, Type X-1, Type C, Type X-2, Type EGRG/ GlasRock, GlasRock-2, Type SilerFX, Easi-Lite Type X-2

CGC INC — Types AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint type and compound, Item 5, optional for use with Type USGX)

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Types LGFC2A, LGFC6A, LGFC-CA, LGFC-WD

GEORGIA-PACIFIC GYPSUM L L C — Types DAP, DAPC, DGG, DGS

SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop MZTECH, Gyproc FireStop ACTIVAR, Gyproc FireStop MR ACTIVAR, Gyproc FireStop MZTECH ACTIVAR, Gyproc Duraline, Gyproc Duraline MR, Gyproc Duraline MZTECH, Gyproc Duraline ACTIVAR, Gyproc Duraline MR ACTIVAR, Gyproc Duraline MZTECH ACTIVAR

THAI GYPSUM PRODUCTS PCL — Type X, Type C

UNITED STATES GYPSUM CO — Types AR, C, FRX-G, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRC, WRX, USGX (Joint type and compound, Item 5, optional for use with Type USGX)

USG BORAL DRYWALL SFZ LLC — Types C, SCX, USGX (Joint type and compound, Item 5, optional for use with Type USGX)

USG MEXICO S A DE C V — Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint type and compound, Item 5, optional for use with Type USGX)

4B. Gypsum Board* — (As an alternate to Items 4 or 4A) — Nom 3/4 in. thick, 4 ft wide, installed as described in Item 4A with screw length increased to 1-1/4 in.

CGC INC — Types AR, IP-AR

UNITED STATES GYPSUM CO — Types AR, IP-AR

USG MEXICO S A DE C V — Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint type and compound, Item 5, optional for use with Type USGX)

4C. Gypsum Board* — As an alternate to Items 4, 4A, 4B and 4C — Nom. 5/8 in. thick gypsum panels, with square edges, applied horizontally. Gypsum panels fastened to framing with 1 in. long toggle head steel screws spaced a max 8 in. OC, with last 2 screws 3/4 in. and 4 in. from each edge of board. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs on interior walls need not be staggered or backed by steel framing.

GEORGIA-PACIFIC GYPSUM L L C — Type DGG, GreenGlass Type X

4D. Gypsum Board* — As an alternate to Items 4, 4A, 4B, and 4C — Nom. 5/8 in. thick gypsum panels applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Gypsum panels fastened to framing with 1 in. long Type S steel screws 12 in. OC along vertical edges and in the field. Screws spaced a max 12 in. along the top and bottom edges of the wall. For use with both vertical and horizontal applications. When used in walls other than 48 in., gypsum panels to be installed horizontally.

NATIONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSK-R, FSK-W, FSW-G, FSW, FSW-3, FSW-4, FSW-6, FSW-8, FSK-R, C

Design No. U465 (continued)

4E. Gypsum Board* — (As an alternate to Items 4 through 4D) — Installed as described in Item 4, 5/8 in. thick, 4 ft wide, applied vertically only and fastened to the studs and plates with 1 in. long, Type S steel screws spaced 8 in. OC.

NATIONAL GYPSUM CO — SoundBreak XP Type X Gypsum Board

4F. Gypsum Board* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C) — Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Gypsum board secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field.

RAY-BAR ENGINEERING CORP — Type RC-LBG

4G. Gypsum Board* — (As an alternate to Items 4 through 4F) — For use with Items 1D and 2D only, 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC, along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly.

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Type LGFC6A, LGFC-CA

NATIONAL GYPSUM CO — Types FSW

UNITED STATES GYPSUM CO — Type SCX

USG BORAL DRYWALL SFZ LLC — Type SCX

4H. Gypsum Board* — (As an alternate to Items 4 through 4G) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically and secured as described in Item 4.

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock ES

4I. Gypsum Board* — (As an alternate to Items 4 through 4F) — For use with Items 1E and 2E only, 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC, along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly.

UNITED STATES GYPSUM CO — Type SCX

USG BORAL DRYWALL SFZ LLC — Type SCX

4J. Gypsum Board* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C) — Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Gypsum board secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. To be used with Lead Batten Strips (see Item 9A) or Lead Discs (see Item 10A).

MAYCO INDUSTRIES INC — Type X-Ray Shielded Gypsum

4K. Gypsum Board* — (As an alternate to Item 4 and 4A, not for use with Items 1D, 1E, 2D and 2E) — Nom. 5/8 in. thick gypsum panels with beveled, square or tapered edges installed as described in Item 4.

CGC INC — Type ULX

UNITED STATES GYPSUM CO — Type ULX

USG MEXICO S A DE C V — Type ULX

4L. Gypsum Board* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C). Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Walls and ceiling attached to studs with 1-1/4 in. long Type S-12 steel screws gypsum panel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum board and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 8 ft long with a max thickness of 0.14 in. placed on the face of the stud and attached to the stud with construction adhesive and two 1 in. long Type S-12 pan head steel screws, one at the top of the stud and one at the bottom of the stud. Lead discs, nominal 5/8 in. diam by max 0.05 in. thick, Compression fitted or adhered over the screw heads. Lead batten strips and discs to have a purity of 99.9% meeting the Federal specification QQ-L-2011, Grade "C".

RADIATION PROTECTION PRODUCTS INC — Type RPP - Lead Lined Drywall

4M. Gypsum Board* — (For use with Item 8) — 5/8 in. thick, 4 ft wide, applied vertically over Mineral and Fiber Board (Item 8) with vertical joints located anywhere over stud cavities. Secured to mineral and fiber boards with 1-1/2 in. Type G Screws spaced 8 in. OC along edges of each vertical joint and 12 in. OC in intermediate field of the Mineral and Fiber Board (Item 8). Secured to cement studs and floor and ceiling runners with 2 in. long Type S screws spaced 8 in. OC. Gypsum Board joints covered with paper tape and joint compound. Screw heads covered with joint compound.

BUILDING INFORMATION	
TENANT	HEARTLAND BANK
OWNER NAME	HEARTLAND BANK
OWNER ADDRESS	430 N. Hamilton Road Whitehall, OH 43213
OWNER PHONE	614-839-2265
SITE ADDRESS	6500 FRANTZ ROAD DUBLIN, OH 43017

SITE INFORMATION	
SITE ZONING	-
SITE AREA	0.913 ACRES
PARKING REQUIRED	(4386/1000x2.5) = 11 SPACES
PARKING SHOWN	19 SPACES
HANDICAPPED PARKING	2 SPACES
TOTAL PARKING	21

BUILDING CODES	
TITLE	EDITION
OHIO BUILDING CODE	2017 OBC
OHIO PLUMBING CODE	2017 OPC
OHIO MECHANICAL CODE	2017 OMC
NATIONAL ELECTRICAL CODE	2017 NEC - NFPA 70
INTERNATIONAL FUEL GAS CODE	2015 IFGC
INTERNATIONAL ENERGY CONSERVATION CODE	2012 IECC
ASHRAE 90.1 - 2010 ENERGY STANDARDS FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS	2010 ASHRAE 90.1
ICC A117.1 - 2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES	2009 ANSI A117.1
OHIO FIRE CODE	2017 OFC
NATIONAL FIRE ALARM AND SIGNALING CODE	NFPA 72-10

GENERAL BUILDING HEIGHTS AND AREAS		
CONSTRUCTION TYPE	TYPE 5B	602.5
USE GROUP	B - BUSINESS	304
ALLOWABLE HEIGHT	40 FT	TABLE 504.3
ACTUAL HEIGHT	26 FT	
ALLOWABLE AREA	9,000 SF	TABLE 506.2
ACTUAL FIRST FLOOR AREA	2,280 SF	
ACTUAL BASEMENT AREA	2,106 SF	

TYPES OF CONSTRUCTION		
CONSTRUCTION TYPE	5B	TABLE 601
EXTERIOR BEARING WALLS	0	TBD
EXTERIOR NON-BEARING WALLS	0	TBD
INTERIOR BEARING WALLS	0	TBD
INTERIOR NON-BEARING WALLS	0	TBD
EXTERIOR COLUMNS	0	TBD
INTERIOR COLUMNS	0	TBD
BEAMS, GIRDERS, TRUSSES	0	TBD
FLOORS	0	TBD
ROOF	0	TBD
EXTERIOR WALL OPENINGS	0 DISTANCE ≥ 30 FT	TABLE 602

FIRE-RESISTIVE-RATED CONSTRUCTION		
STAIRWAY ENCLOSURES	0	1019.3.1
VERTICAL OPENINGS	0	712.1.9
SHAFT ENCLOSURES	1	713.4
ENCLOSURE AT THE BOTTOM	OPEN TO BASEMENT	713.11 EXCEPTION 3
ENCLOSURE AT TOP	EXTEND TO DECK	713.12
CORRIDORS	0	1020.1 EXCEPTION 4

INTERIOR FINISHES		
CLASSIFICATION	B BUSINESS	803
WALL AND CEILING - INT EXIT STAIRWAYS	CLASS B	TABLE 803.11
WALL AND CEILING - EXIT CORRIDORS	CLASS B	TABLE 803.11
WALL AND CEILING - ROOMS	CLASS C	TABLE 803.11
FLOOR COVERINGS	DOC FF-1 "PILL TEST" OR ASTM D2859	804.4

FIRE PROTECTION SYSTEMS		
SPRINKLER AND STANDPIPE SYSTEMS	N/A	
FIRE EXTINGUISHERS	CLASS 2A - 75' TRAVEL DISTANCE / 3,000 SF	906 / NFPA 10
FIRE ALARM SYSTEM	N/A	
FIRE COMMAND PANEL	N/A	
EMERGENCY POWER	N/A	
FIRE AND SMOKE DETECTORS	N/A	

MEANS OF EGRESS		
OCCUPANCY CALCULATION	TBD	1004
FIRST FLOOR	2,094 SF / 100 SF GROSS/PERSON = 21 CONFERENCE 103 TOTAL 34	
BASEMENT	OCCUPANCY BASED ON USE = 5 CONFERENCE 001 TOTAL 60	
BUILDING TOTAL	94	
EGRESS WIDTH	44"	TABLE 1020.2
STAIRWAY WIDTH	46" (EXISTING)	
STAIRWAY EGRESS CAPACITY	0.3 INCH / OCCUPANT / FLOOR: 46" = 153	1005.3.1
DOOR EGRESS CAPACITY	0.2 INCH / OCCUPANT / FLOOR: 72" = 360	1005.3.2
MINIMUM NUMBER OF EXITS	FIRST FLOOR - 34 OCCUPANTS = 1 EXIT	TABLE 1006.2.1
TRAVEL DISTANCE LIMITATIONS	75' (CL ≥ 30)	TABLE 1006.2.1
MINIMUM NUMBER OF EXITS	BASEMENT - 70 OCCUPANTS = 2 EXITS	TABLE 1006.3.1
TRAVEL DISTANCE LIMITATIONS	200' (CL ≥ 30)	TABLE 1017.2
COMMON PATH OF TRAVEL	75'	TABLE 1006.2.1
EXIT SEPARATION	1/2 OF DIAGONAL DISTANCE OF THE SPACE	1007.1.1

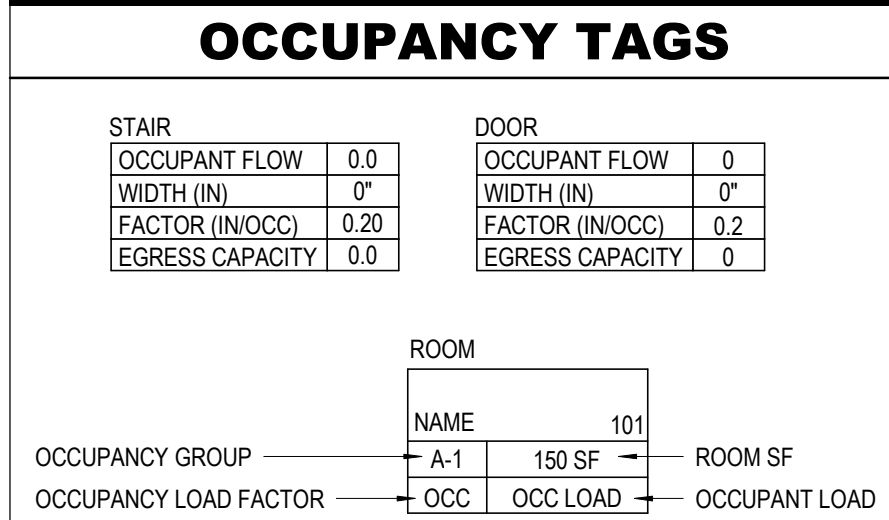
GENERAL NOTES - CODE PLAN	
1.	TBD
2.	TBD
3.	TBD
4.	TBD

CODED NOTE LEGEND	
(X) TBD	
(X) TBD	
(X) TBD	
(X) TBD	

FIRE EQUIPMENT LEGEND	
(FE)	FIRE EXTINGUISHER
(FEC)	FIRE EXTINGUISHER AND CABINET
(FECV)	FIRE EXTINGUISHER / VALVE CABINET
(FV)	FIRE DEPARTMENT / VALVE CABINET

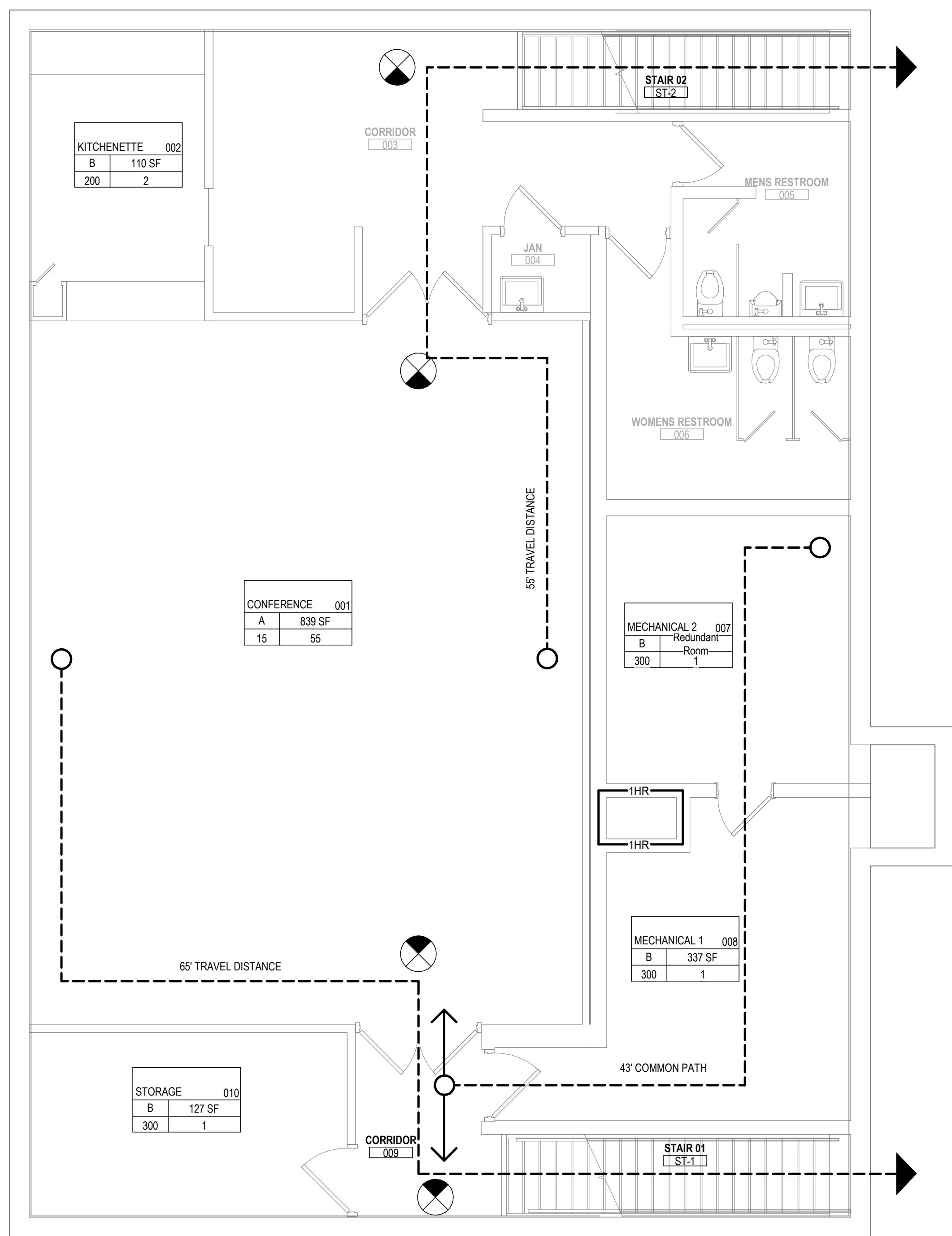
RATED WALL LEGEND	
(1HR)	EXISTING (1 HOUR) FIRE RESISTANT RATED PARTITION

OCCUPANCY TAGS					
STAIR	OCCUPANT FLOW	0.0	DOOR	OCCUPANT FLOW	0
	WIDTH (IN)	0"		WIDTH (IN)	0"
	FACTOR (IN/OCC)	0.20		FACTOR (IN/OCC)	0.2
	EGRESS CAPACITY	0.0		EGRESS CAPACITY	0

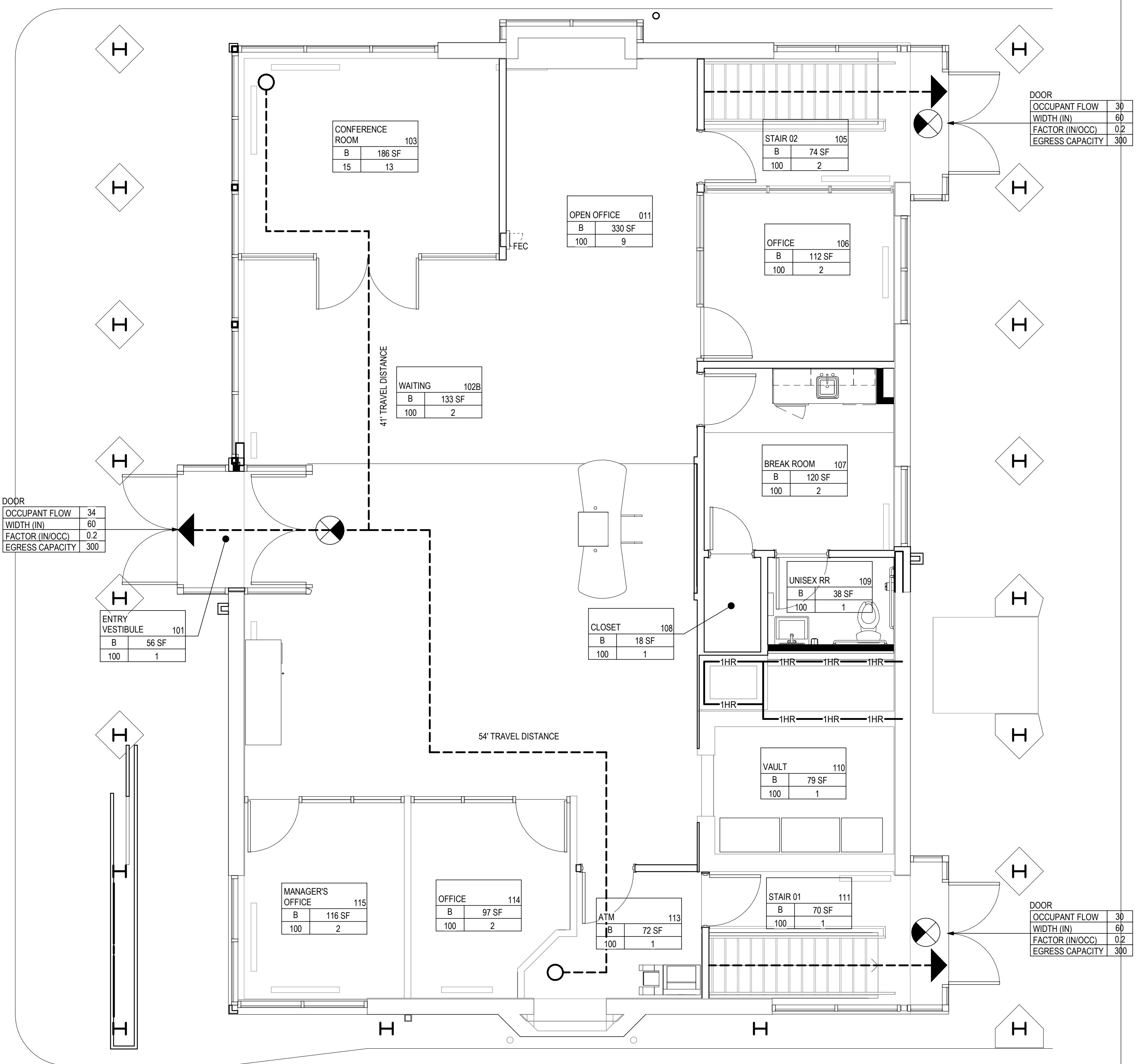


BASED ON 2017 IBC															
PLUMBING FIXTURE TOTALS															
	OCCUPANCY		WATER CLOSETS		URINALS PERMITTED FOR SUBSTITUTION		WATER CLOSETS MINUS URINALS		LAVATORIES		BATHS & SHOWERS	DRINKING FOUNTAINS	SERVICE SINKS	KITCHEN SINKS	AUTO CLOTHES WASHER COWNS
	MALE	FEMALE	MALE	FEMALE			MALE	FEMALE	MALE	FEMALE					
SUBTOTAL	47	47	1.88	1.88			1.18	1.18			0.00	0.94			0
TOTAL	94		4		1		3		4		0	1	1	0	0

PLUMBING FIXTURE CALCULATOR												
CLASSIFICATION	OCCUPANCY TYPE	DESCRIPTION	OCCUPANCY TOTAL	GENDER OCCUPANCY TOTALS		WATER CLOSETS		URINALS	LAVATORIES	BATHTUBS OR SHOWERS	DRINKING FOUNTAINS	OTHER
BUSINESS	B	Buildings for the transaction of business, profess. services, other services involving merchandise, office bldgs, banks, light industrial and similar uses	94	MALE	FEMALE	MALE	FEMALE		MALE	FEMALE	0.94	*1 SERVICE SINK
				47	47	1.88	1.88	0.92	1.18	1.18		TOTAL: 1



2 PLAN BASEMENT - CODE PLAN
1/4" = 1'-0"



1 PLAN FIRST FLOOR - CODE PLAN
1/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

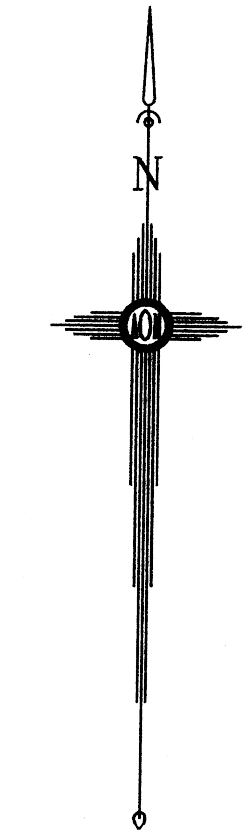
MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

CODE DATA AND PLANS

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: xxx CHECKED BY: xxx
	20022
G100	
FINAL DEVELOPMENT PLAN	

Situated in the State of Ohio, County of Franklin, City of Dublin, being all of the land conveyed to Heartland Bank as shown of Record O.R.V. 21589 J01, Recorder's Office, Franklin County, Ohio.

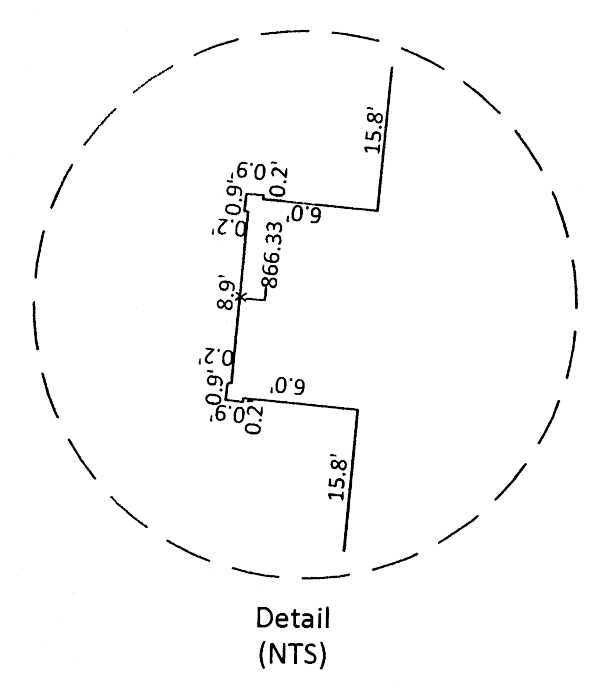
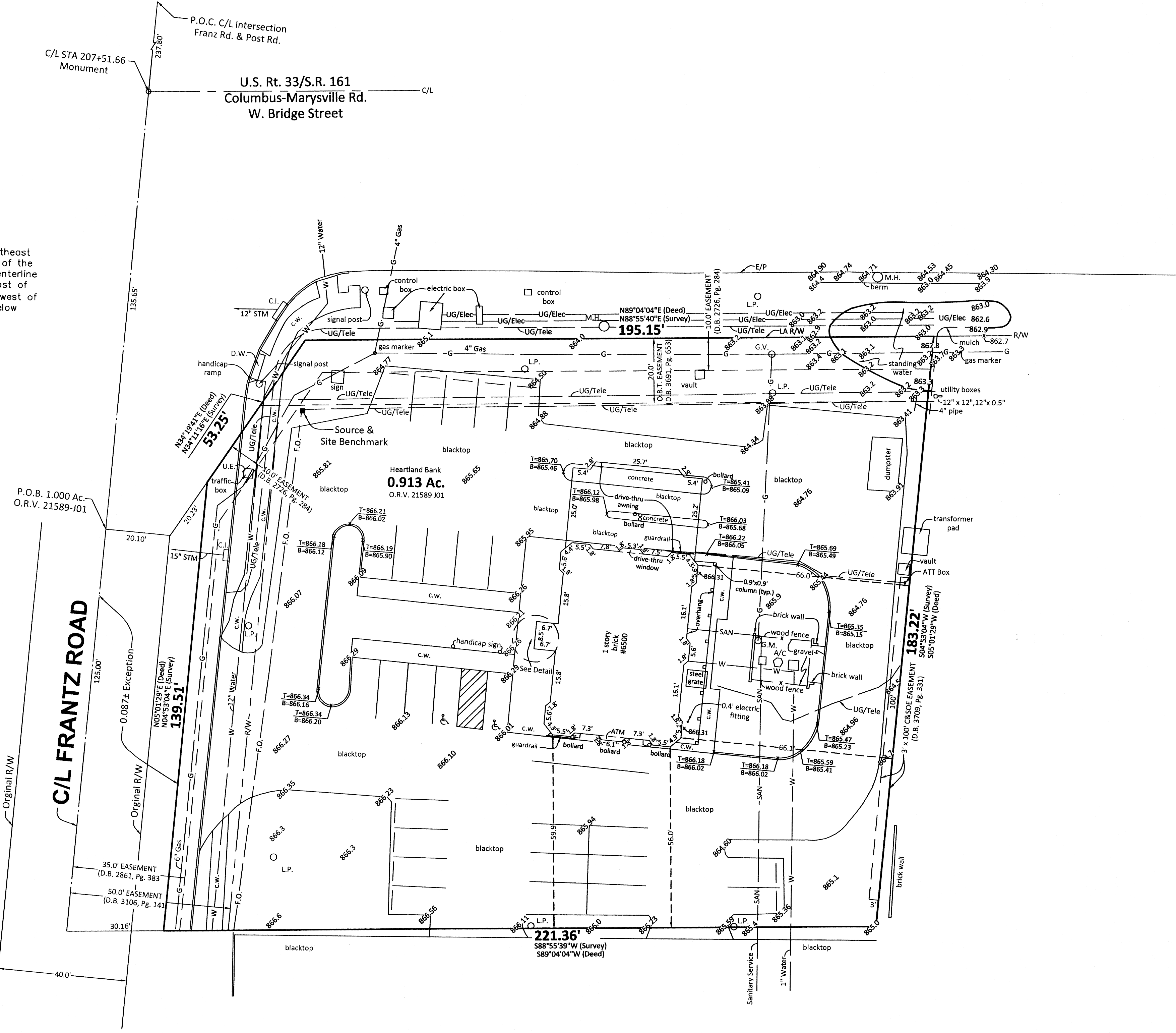
REVISIONS:			
No.	Date	Description	By
1	01/21/2021	Topo Expanded	JPM



TOPOGRAPHIC SURVEY
Scale: 1" = 20'
July 30, 2020

Address: 6500 Frantz Road
Dublin, OH 43017

Source & Site Benchmark - V21
Brass plug in concrete monument at the southeast corner of S.R. 161 and Frantz Road, in front of the Ohio Federal Bank, 63.8 Feet south of the centerline of the S.R. 161 eastbound lanes, 18.2 feet east of the back of curb of Frantz Road, 12.7' southwest of a concrete base for a bank sign, 9 inches below the ground.
Elevation = 864.965' (NAVD 88)



- EASEMENTS**
Lawyers Title Insurance Corporation
Policy Date: January 20, 1993
Policy Number: 113-00-763041
- Item 5. Easement to Columbus and Southern Ohio Electric Company over part of a larger tract of which insured premises is a part, of record in Deed Book 1127, page 69; Deed Book 1955, page 275; and Deed Book 2669, Page 3. All Do Not Apply.
 - Item 6. Easement to State of Ohio over part of a larger tract of which insured premises is a part, of record in Deed Book 2669, Page 396 - Wrong Page Number
 - Item 7. Easement to Columbia Gas of Ohio, Inc. over an unspecified location affecting a tract of land of which insured premises is a part, of record in Deed Book 2726, page 284 and Deed Book 2861, Page 383. PLOTTED
 - Item 8. Easement to County of Franklin, of record in Deed Book 3106, Page 141. PLOTTED
 - Item 9. Easement to Columbus and Southern Ohio Electric Company, of record in Deed Book 3709, Page 331. PLOTTED
 - Item 10. Easement to The Ohio Bell Telephone Company, of record in Deed Book 3691, Page 653. PLOTTED
 - Item 11. Easement to Southwick, Solove and Company, of record in Official Record 20376C19, Blanket Easement over drive areas and access to streets, highways and alleys.

Legend

P.B.	=	Pilot Book
D.B.	=	Deed Book
O.R.V.	=	Official Records Volume
Inst.No.	=	Instrument Number
I.P.	=	Iron Pipe
RR Spk.	=	Railroad Spike
C/L	=	Centerline
R/W	=	Right-of-Way
LA R/W	=	Limited Access Right-of-Way
M.H.	=	Manhole
C.B.	=	Catch Basin
F.H.	=	Fire Hydrant
U.P.	=	Utility Pole
L.P.	=	Light Pole
E.	=	Electric
U.E.	=	Underground Electric
E.M.	=	Electric Meter
E.T.	=	Electric Transformer
G.	=	Gas
G.M.	=	Gas Meter
G.V.	=	Gas Valve
W.	=	Water
W.M.	=	Water Meter
W.V.	=	Water Valve
T.P.	=	Telephone Pedestal
T.	=	Telephone
O.B.T.	=	Ohio Bell Telephone
CASCO	=	Cable & Southern Ohio Electric
CATV	=	Cable Television
R.P.	=	Record Plan
San.	=	Sanitary Sewer
Stm.	=	Storm Sewer
Comb.	=	Combination Sewer
T.C.	=	Top of Casting
INW.	=	Iron Nail
c.w.	=	Concrete Walk
c.s.	=	Concrete Stoop/Steps
c.s.	=	Clonemat
d.s.	=	Downspout
868.4	=	Spot Elevation 868.4
868.4	=	Existing Striped Parking Space

To: **Heartland Bank**
and/or
Moody Engineering

We hereby certify that the foregoing Topographic Survey was prepared from actual field measurements in July, 2020. Basis of Bearings is the Ohio State Plane Coordinate System, Ohio South Zone, NAD83 (2011). The bearing herein are based on GPS observations using the CORS Network to determine a grid bearing of North 88°55'40" East for the south right of way of U.S. Rt. 33.

By: *Joseph P. Myers* 01/21/2021
Joseph P. Myers, Professional Surveyor No. 7361



Utility Warning

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Myers Surveying
2740 E. Main St., Beavley, Ohio 43209-2577
(614) 235-4677 - (614) 235-4559 fax
info@myerssurveying.com

MOODY ENGINEERING
300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY-ENG.COM

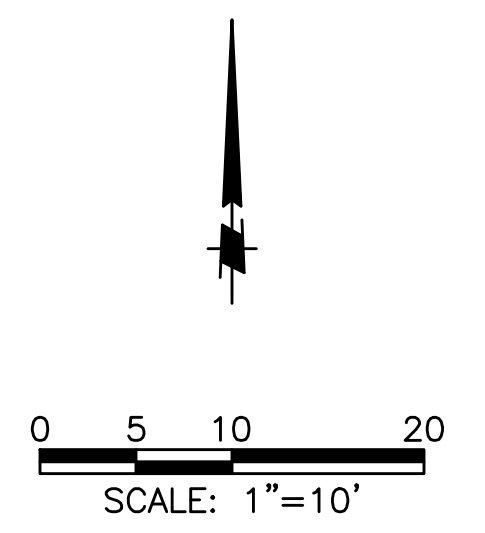
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

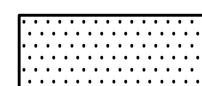


MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE: **SITE SURVEY**

05/12/2021
DRAWN BY: MSL CHECKED BY: MSL
20022
C100
FINAL DEVELOPMENT PLAN



LEGEND

-  CONCRETE SIDEWALK REMOVED AND REPLACED
-  ASPHALT PAVEMENT REMOVED FOR REPLACEMENT
-  ASPHALT PAVEMENT TO BE REMOVED

- NOTE:**
- 1) SEE ARCHITECTURAL SITE PLAN FOR PROPOSED LOT STRIPING
 - 2) CONTRACTOR IS TO TIE PROPOSED DOWNSPOUTS TO EXISTING UNDERGROUND LINES. EXCAVATE AS REQUIRED TO INSTALL NEW DOWNSPOUT ADAPTER AND REPAIR PAVEMENT TO MATCH EXISTING. WHERE CONCRETE PAVEMENT IS DISTURBED REPLACE FULL PANEL TO THE NEAREST JOINT.
 - 3) ALL DISTURBED AREAS NOT RECEIVING NEW PAVEMENT ARE TO HAVE A MINIMUM OF 6" TOPSOIL PLACED AND BE SEEDED AND MULCHED. SEE LANDSCAPE DRAWINGS FOR PLANTING MATERIALS AND PLACEMENT.

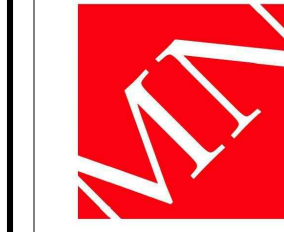


**300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215**
P: 614 280 8999
MOODY-ENG.COM

#	DATE	CHANGE DESCRIPTION




RENOVATION OF HEARTLAND BANK DUBLIN
800 FRONT ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK



300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

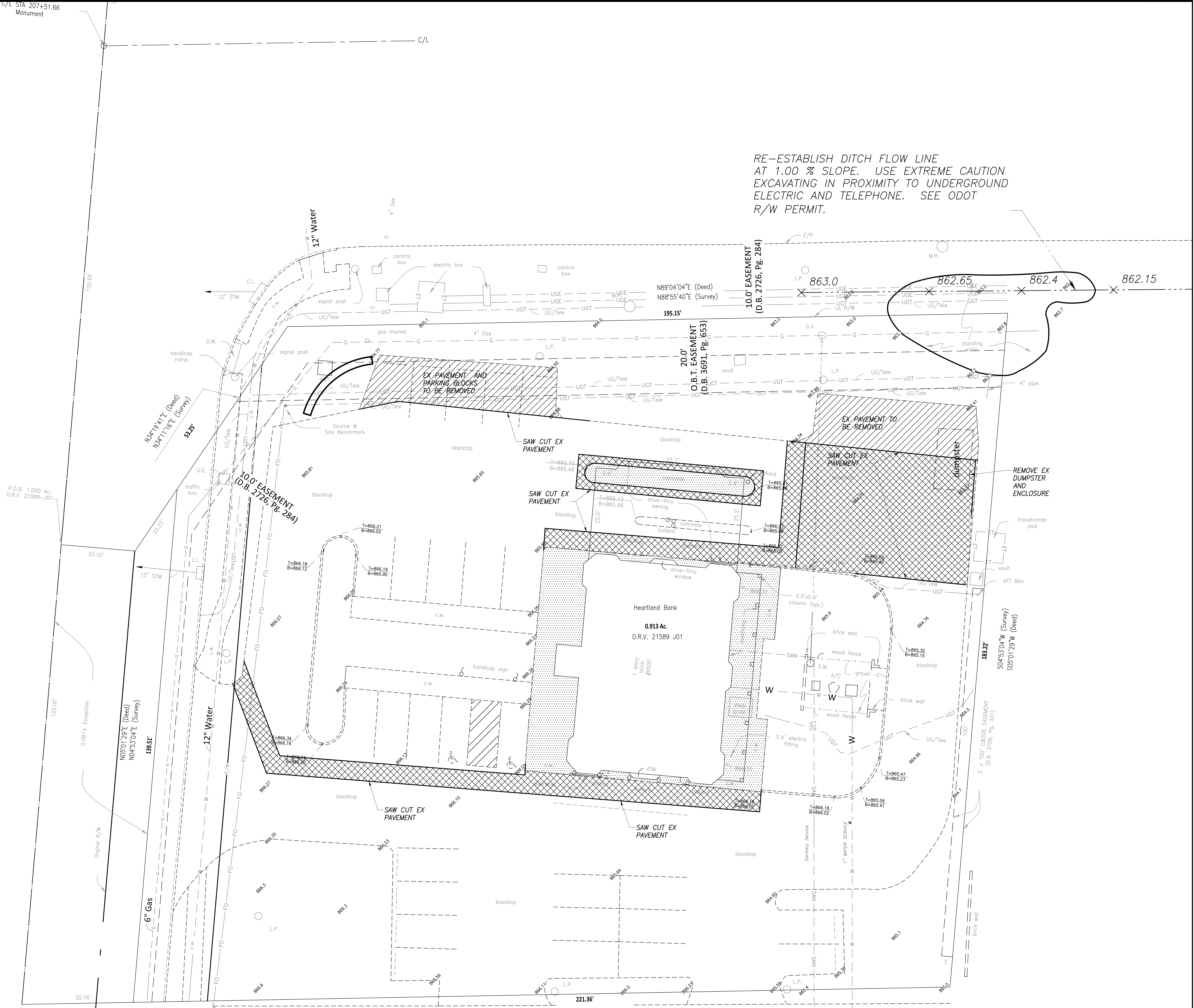
DRAWING TITLE:
SITE DEMOLITION PLAN

05/12/2021
DRAWN BY: MSL CHECKED BY: MSL
20022
C101
FINAL DEVELOPMENT PLAN



Mark Larrimer

RE-ESTABLISH DITCH FLOW LINE AT 1.00 % SLOPE. USE EXTREME CAUTION EXCAVATING IN PROXIMITY TO UNDERGROUND ELECTRIC AND TELEPHONE. SEE ODOT R/W PERMIT.



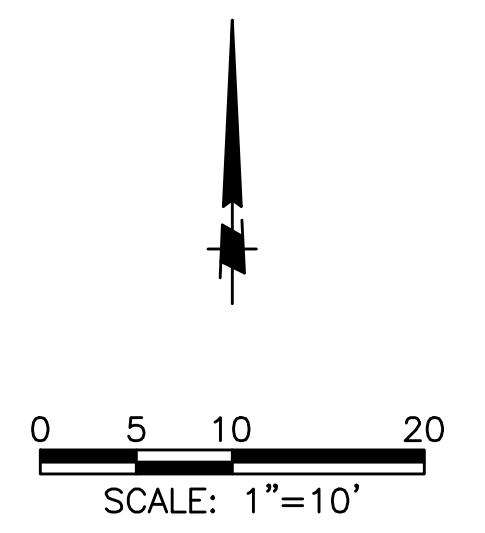
C/L STA 207+51.66 Monument

C/L

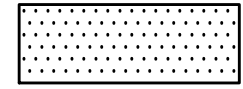
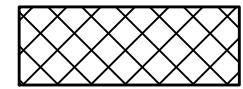
P.O.B. 1.000 Ac. O.R.V. 21589-J01

Heartland Bank
0.913 Ac.
O.R.V. 21589 J01

221.36'
S88°55'39"W (Survey)
S89°04'04"W (Deed)



LEGEND

-  CONCRETE SIDEWALK REPLACEMENT
-  ASPHALT PAVEMENT REPLACEMENT

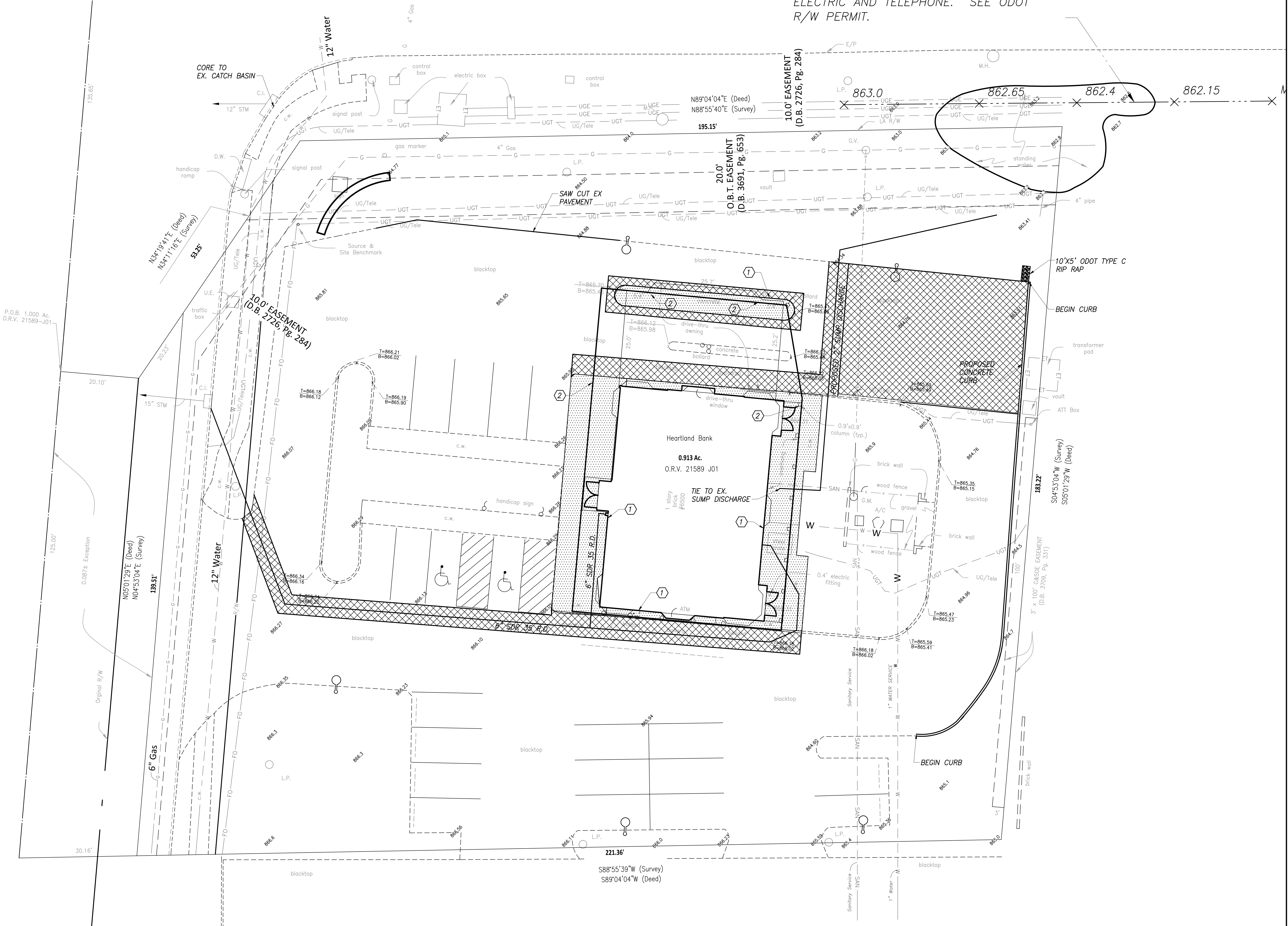
CODED NOTES

- ① INSTALL NEENAH CAST IRON BOOT. TIE TO EXISTING STORM SYSTEM WITH SDR-35 PIPE AND PATCH PAVEMENT AS REQUIRED.
- ② REMOVE EXISTING DOWNSPOUT BOOT AND INSTALL NEENAH CAST IRON BOOT. TIE TO EXISTING UNDERGROUND PIPING. PROVIDE PIPE, ADAPTER AND PATCHING AS REQUIRED.

NOTES

- NOTE:
- 1) SEE ARCHITECTURAL SITE PLAN FOR PROPOSED LOT STRIPING
 - 2) CONTRACTOR IS TO TIE PROPOSED DOWNSPOUTS TO EXISTING UNDERGROUND LINES. EXCAVATE AS REQUIRED TO INSTALL NEW DOWNSPOUT ADAPTER AND REPAIR PAVEMENT TO MATCH EXISTING. WHERE CONCRETE PAVEMENT IS DISTURBED REPLACE FULL PANEL TO THE NEAREST JOINT. WHERE EXISTING PIPING IS NOT AVAILABLE FOR NEW LOCATIONS, PROVIDE SDR-35 PIPING TO NEAREST STORM STRUCTURE TO OUTLET.
 - 3) EXISTING PARKING LOT LIGHTING IS TO BE REPLACED REMOVE EXISTING AND REPLACE PER ELECTRIC PLAN ES 100

RE-ESTABLISH DITCH FLOW LINE AT 1.00 % SLOPE. USE EXTREME CAUTION EXCAVATING IN PROXIMITY TO UNDERGROUND ELECTRIC AND TELEPHONE. SEE ODOT R/W PERMIT.



M 300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY ENGINEERING MOODY-ENG.COM

#	DATE	CHANGE DESCRIPTION

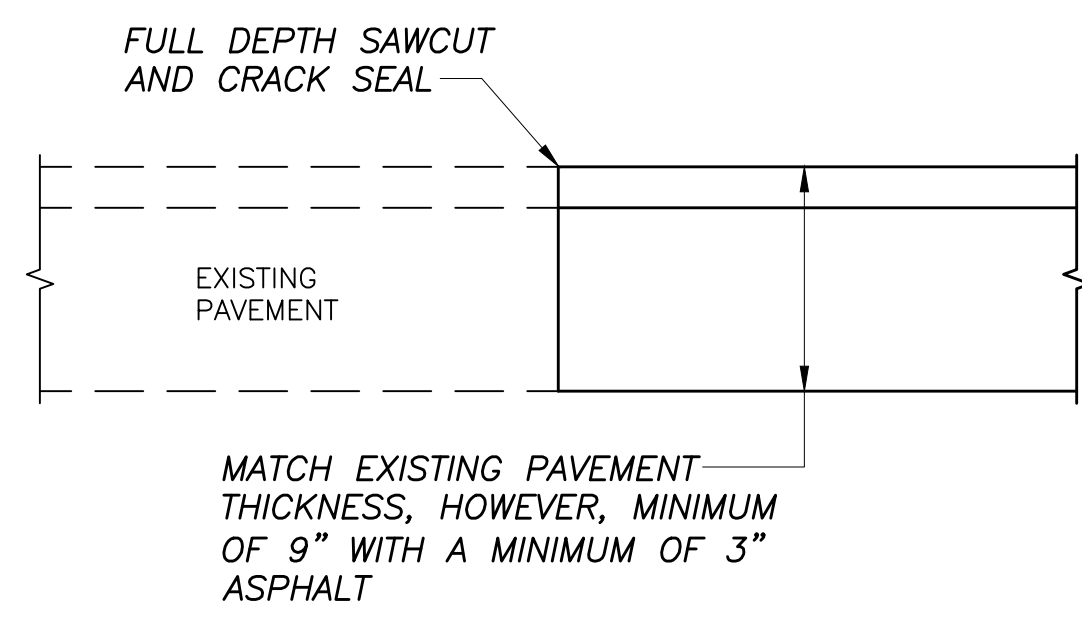
RENOVATION OF HEARTLAND BANK DUBLIN
500 FRONT ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

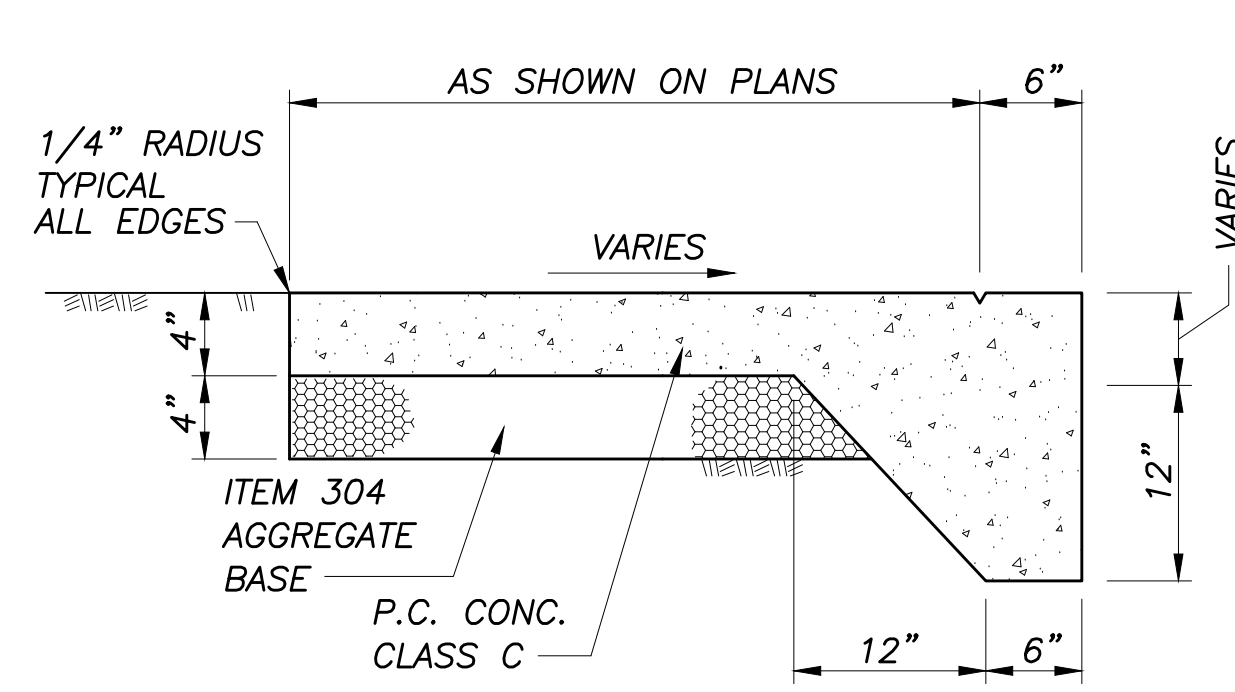
DRAWING TITLE: **SITE PLAN**

05/12/2021
DRAWN BY: MSL CHECKED BY: MSL
20022
C102
FINAL DEVELOPMENT PLAN

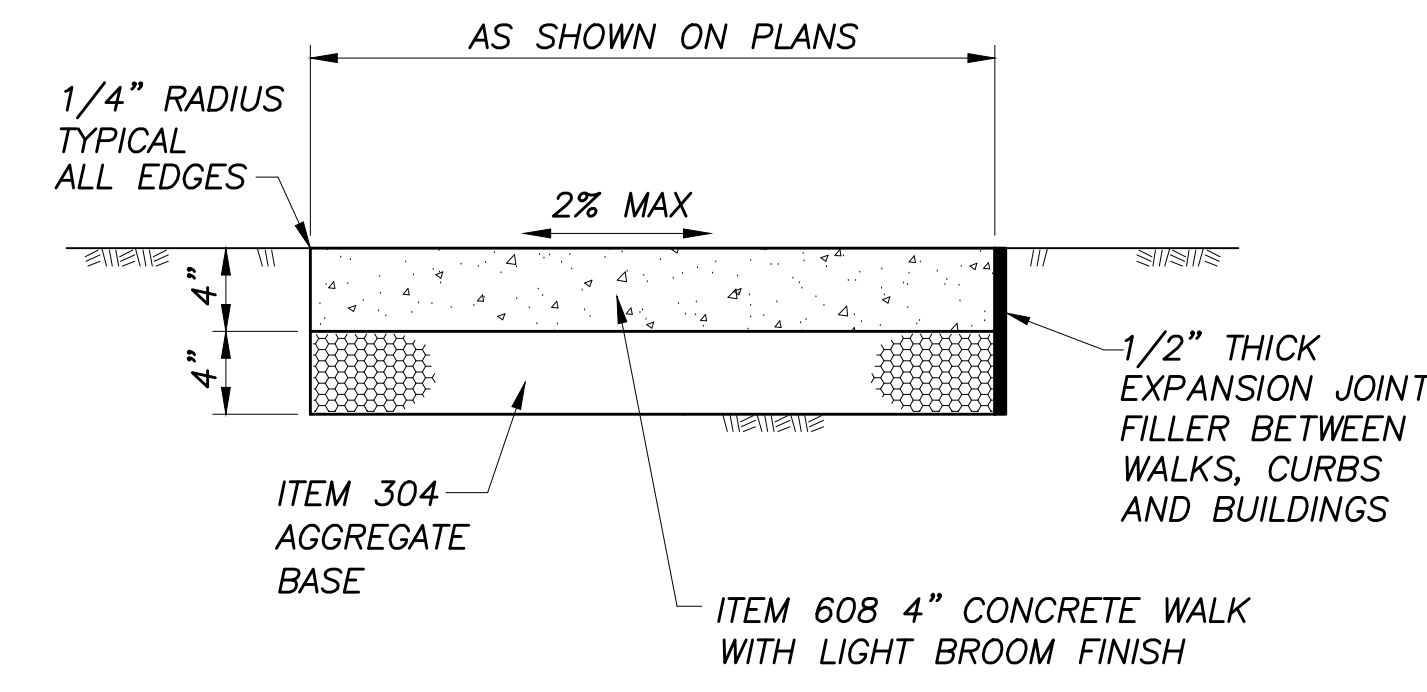

Mark Larimer



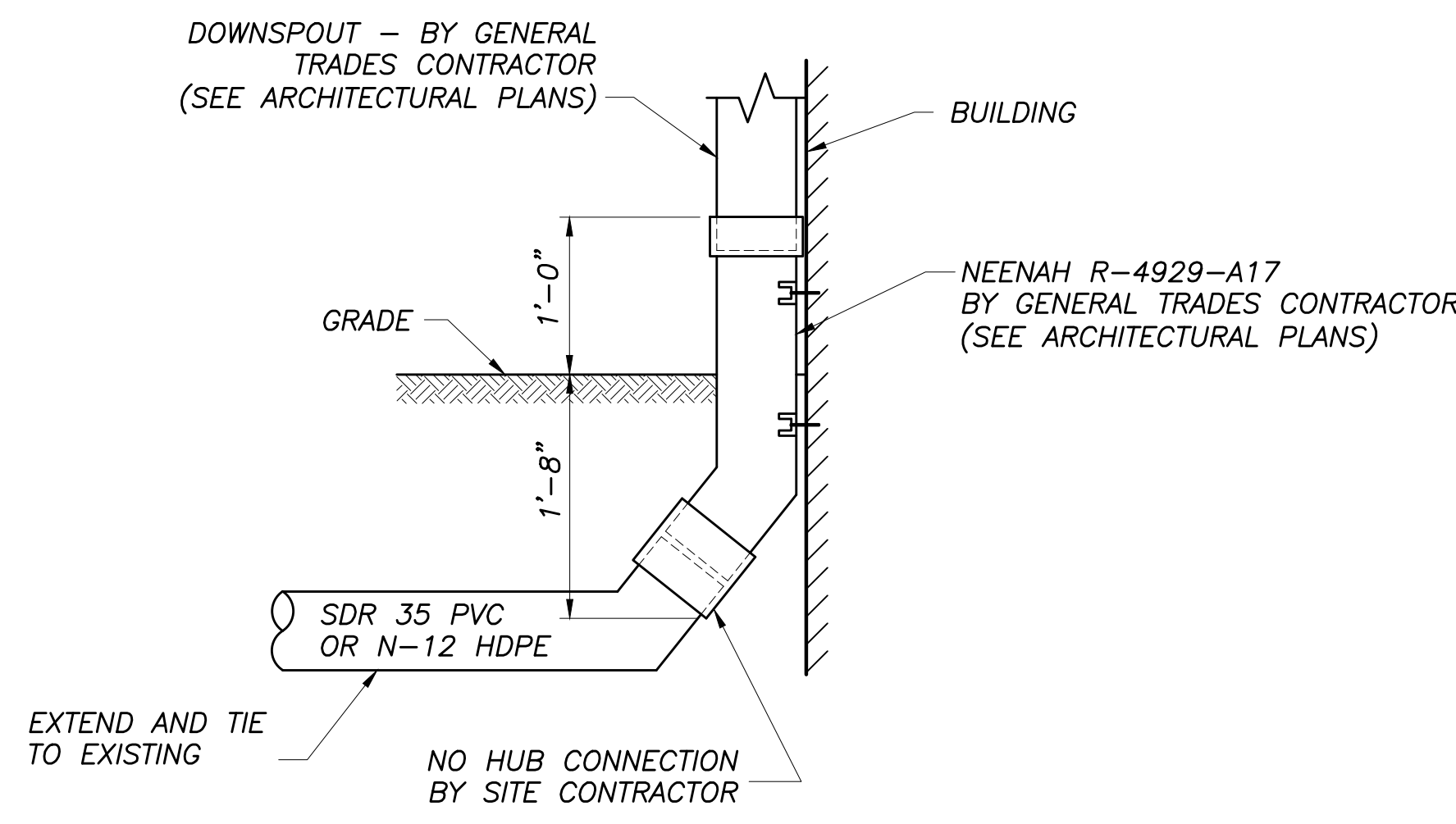
1 ASPHALT PAVEMENT REPAIR
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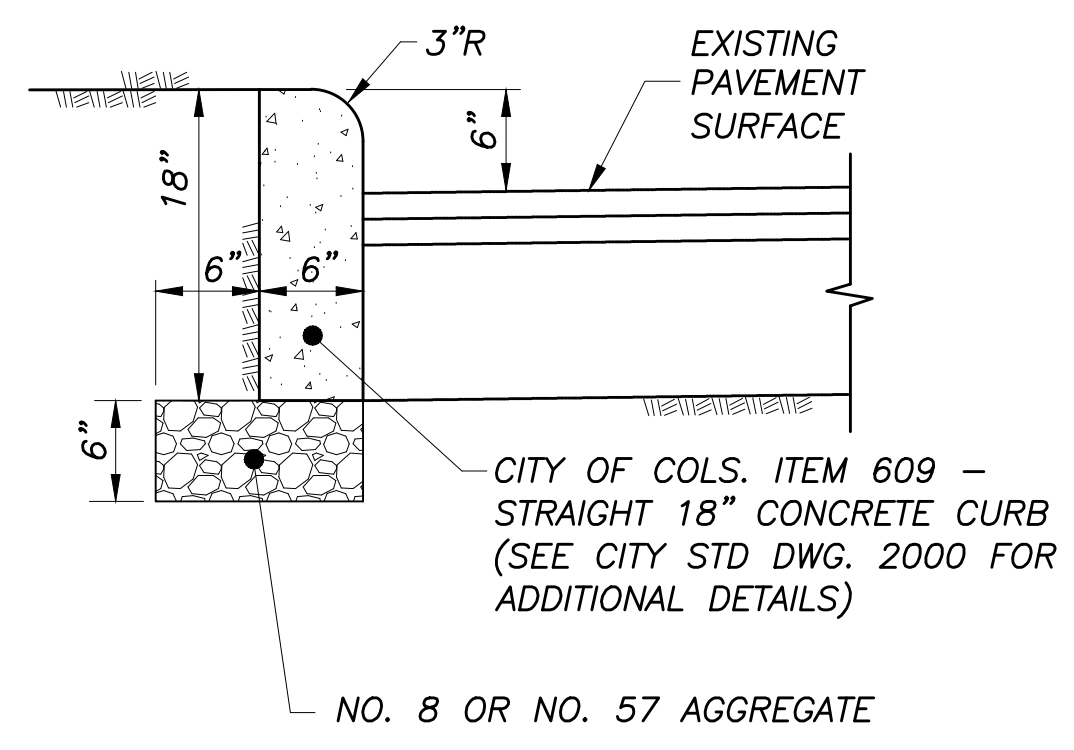
2 SIDEWALK WITH INTEGRAL CURB
NO SCALE



3 CONCRETE WALKS
NO SCALE



4 DOWNSPOUT w/ CAST IRON BOOT CONNECTION
NO SCALE



5 CONCRETE CURBS
NO SCALE

M 300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P: 614 280 8999
MOODY ENGINEERING MOODY-ENG.COM

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6000 FRANTZ ROAD
DUBLIN, OH 43077
FOR
HEARTLAND BANK

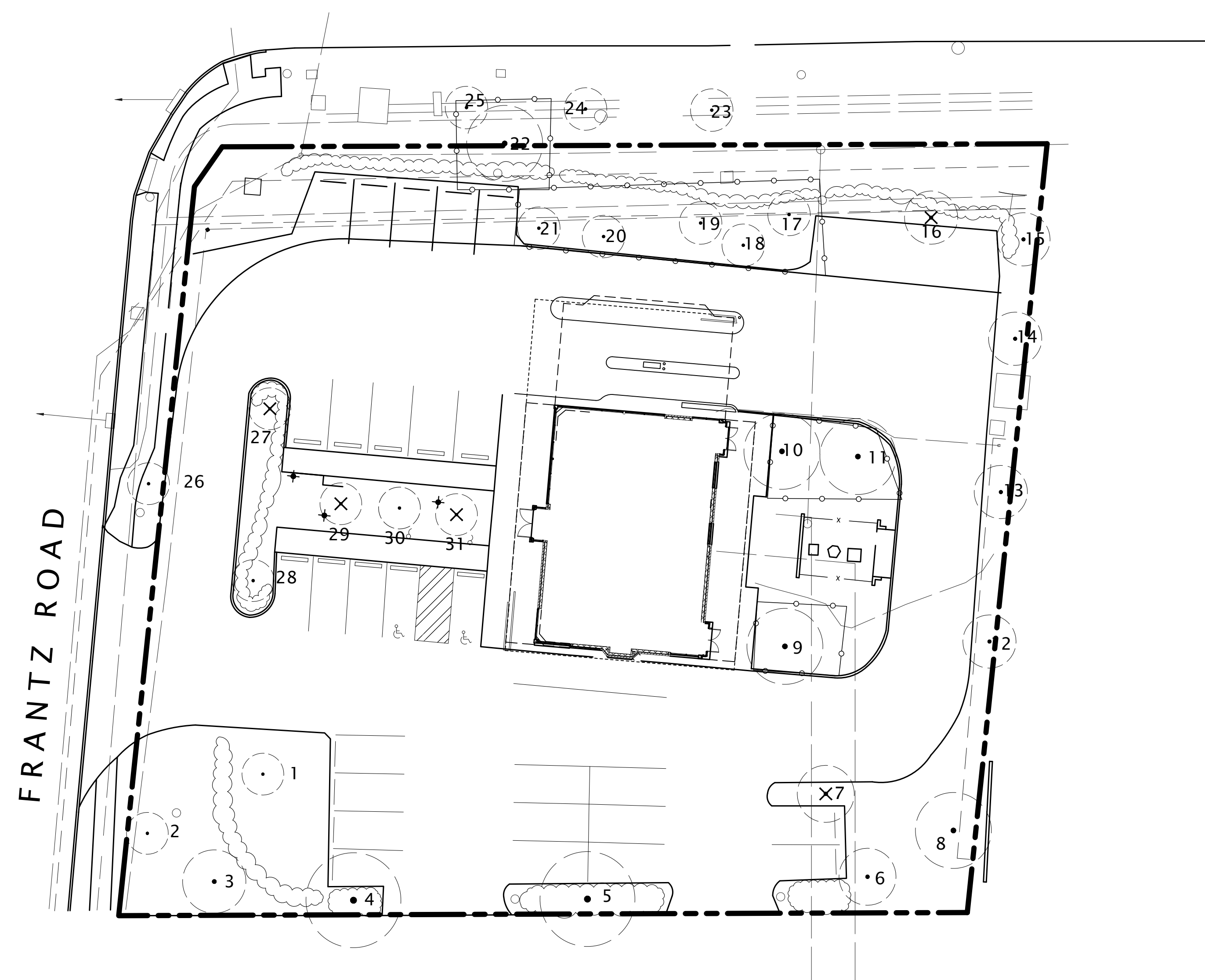
MOODY-NOLAN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

SITE DETAILS

05/12/2021
DRAWN BY: MSL CHECKED BY: MSL
2002
C303
FINAL DEVELOPMENT PLAN

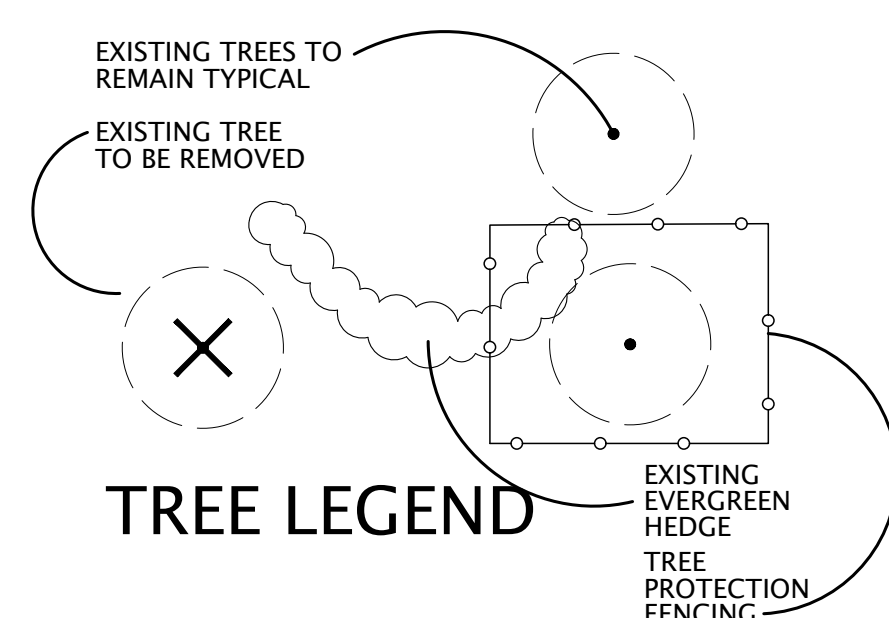
Mark Larimer

WEST BRIDGE STREET



EXISTING TREE LEGEND

NO.	TREE TYPE	SIZE	CONDITION	
1	GINKGO	2" CALIPER	GOOD	RETAIN
2	CRABAPPLE	3" CALIPER	GOOD	RETAIN
3	ZELCOVA	4" CALIPER	GOOD	RETAIN
4	ZELCOVA	6" CALIPER	GOOD	RETAIN
5	ZELCOVA	6" CALIPER	GOOD	RETAIN
6	ZELCOVA	3" CALIPER	GOOD	RETAIN
7	OAK	3" CALIPER	POOR	REPLACE
8	MAPLE	20" CALIPER	GOOD	RETAIN
9	HONEYLOCUST	15" CALIPER	GOOD	RETAIN
10	HONEYLOCUST	17" CALIPER	GOOD	RETAIN
11	HONEYLOCUST	15" CALIPER	GOOD	RETAIN
12	PEAR	6" CALIPER	GOOD	RETAIN
13	PEAR	6" CALIPER	GOOD	RETAIN
14	PEAR	6" CALIPER	GOOD	RETAIN
15	PEAR	6" CALIPER	GOOD	RETAIN
16	ZELCOVA	4" CALIPER	POOR	REPLACE
17	ZELCOVA	3" CALIPER	GOOD	RETAIN
18	GINKGO	1" CALIPER	GOOD	RETAIN
19	ZELCOVA	11" CALIPER	GOOD	RETAIN
20	GINKGO	2" CALIPER	GOOD	RETAIN
21	GINKGO	2" CALIPER	GOOD	RETAIN
22	OAK	24" CALIPER	GOOD	RETAIN
23	LILAC	4" CALIPER	GOOD	RETAIN
24	LILAC	5" CALIPER	GOOD	RETAIN
25	LILAC	8" CALIPER	GOOD	RETAIN
26	LILAC	3" CALIPER	GOOD	RETAIN
27	MAPLE	5" CALIPER	POOR	REPLACE
28	LINDEN	5" CALIPER	GOOD	RETAIN
29	MAGNOLIA	5" CALIPER	GOOD	REMOVE
30	MAGNOLIA	5" CALIPER	GOOD	RETAIN
31	MAGNOLIA	5" CALIPER	GOOD	REMOVE



1 TREE DEMOLITION AND PRESERVATION PLAN

#	DATE	CHANGE DESCRIPTION

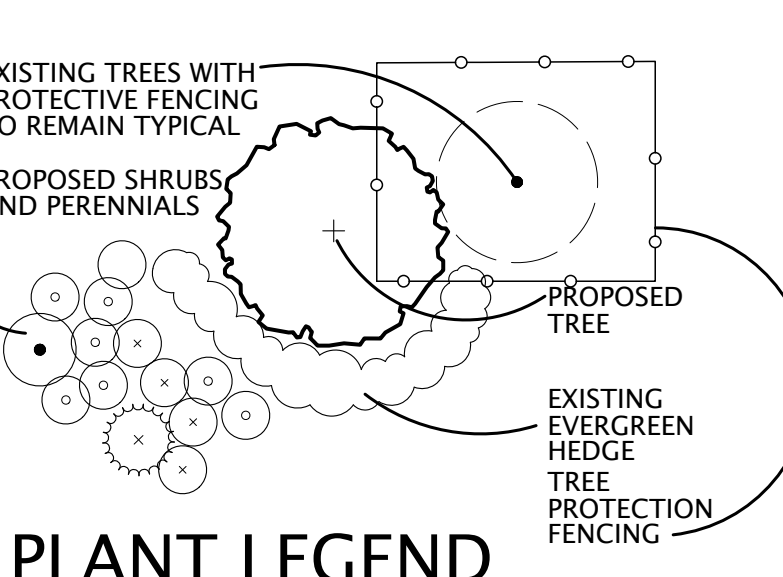
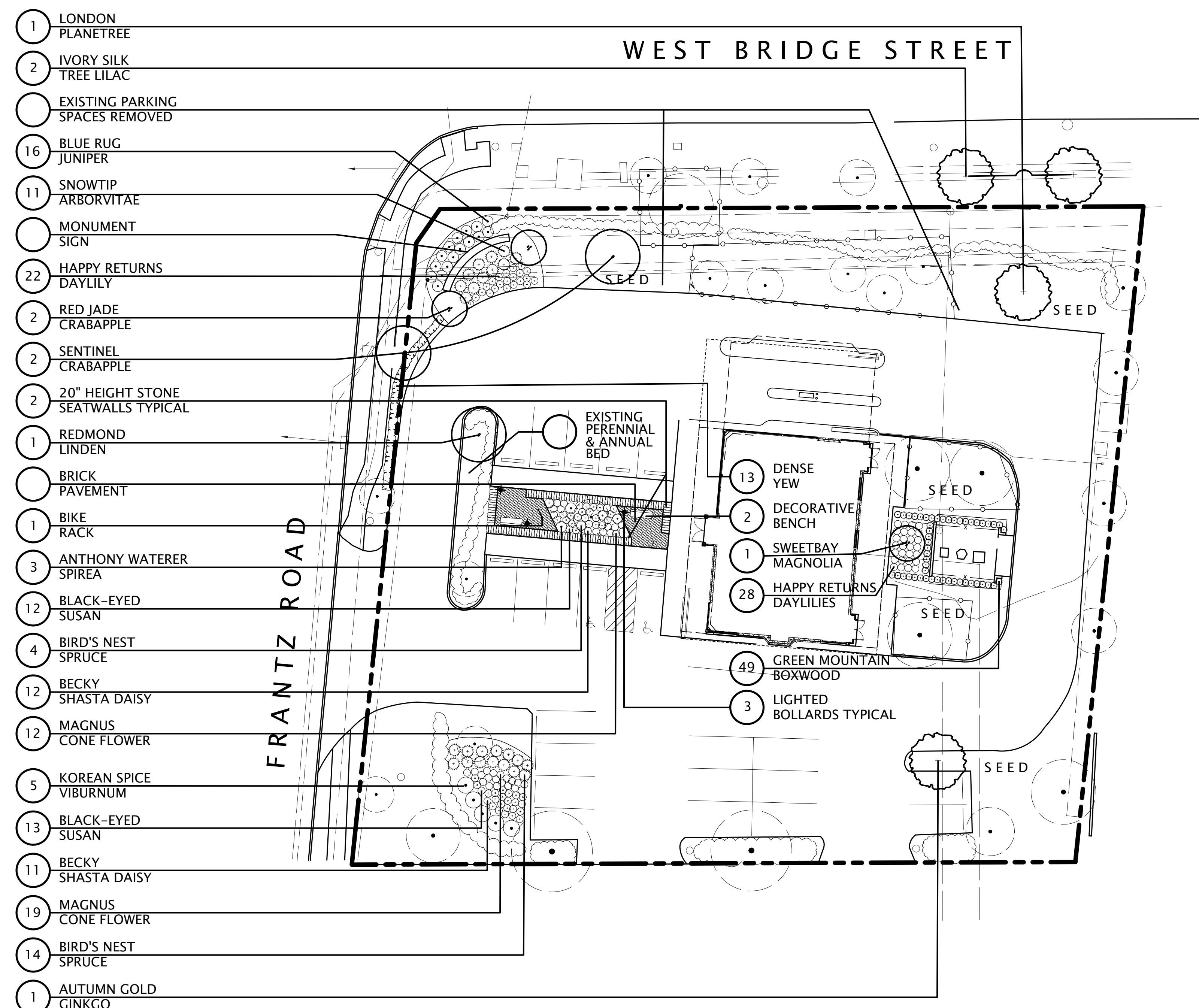
RENOVATION OF HEARTLAND BANK DUBLIN
 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR:
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
TREE DEMOLITION AND PRESERVATION PLAN

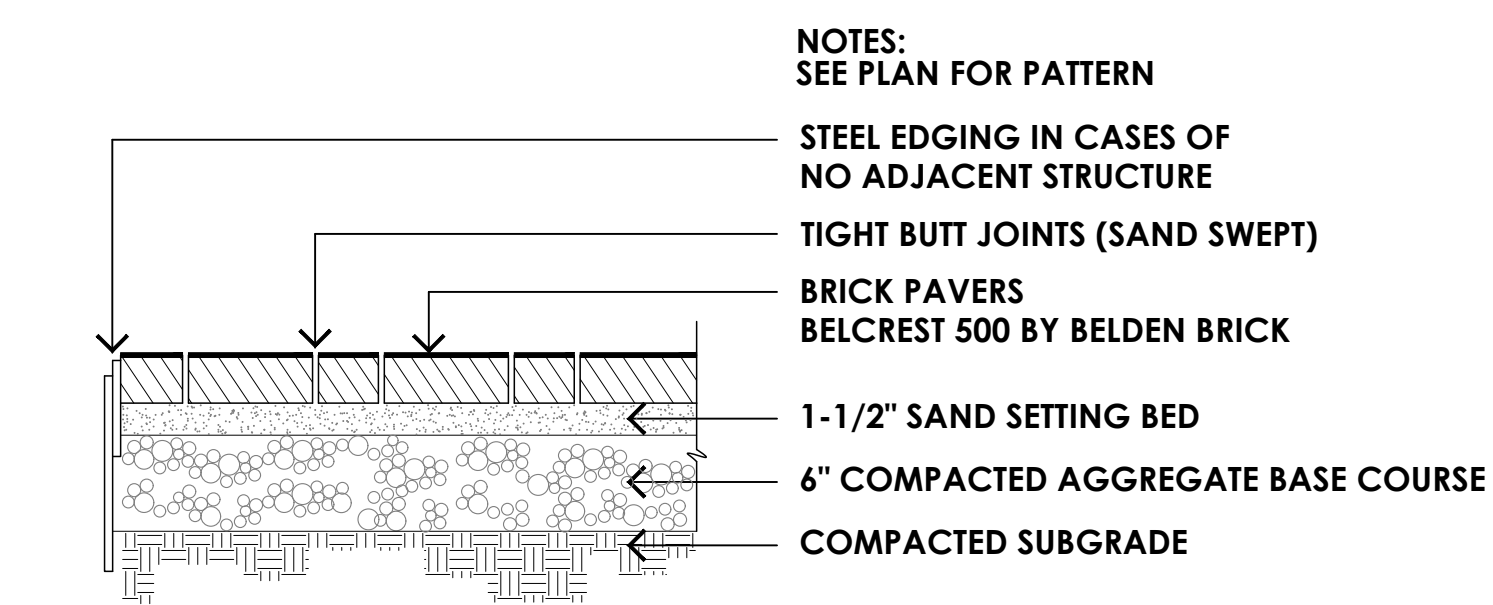
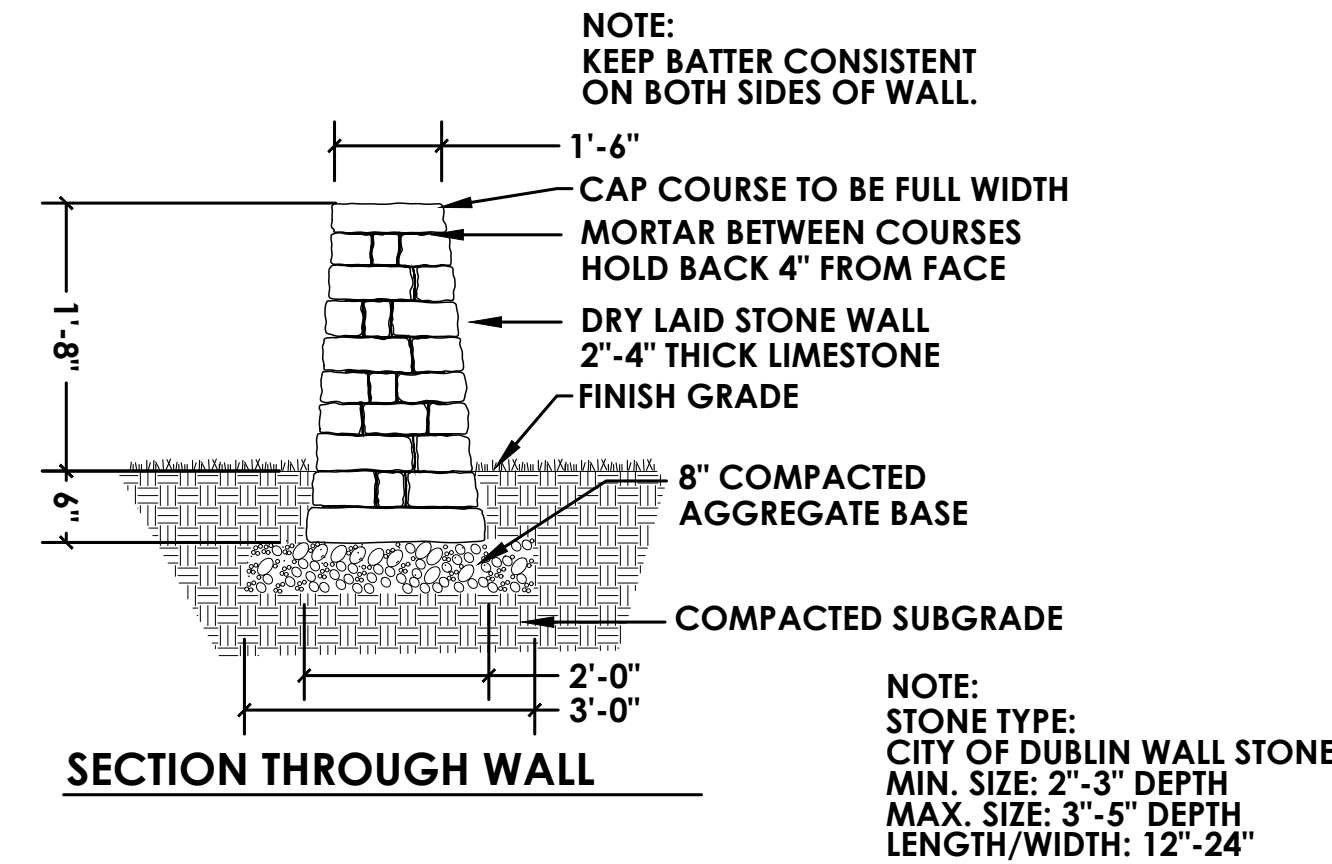
05/12/2021	
DRAWN BY: GK	CHECKED BY: GK
20022	
L1.01	
FINAL DEVELOPMENT PLAN	

GREGORY F. KROBOT
GrKLA
 LANDSCAPE ARCHITECTURE
 131 SUITE 115, AVENUE
 COLUMBUS, OHIO 43215
 614.461.4664
 GREGORY.KROBOT@GMAIL.COM

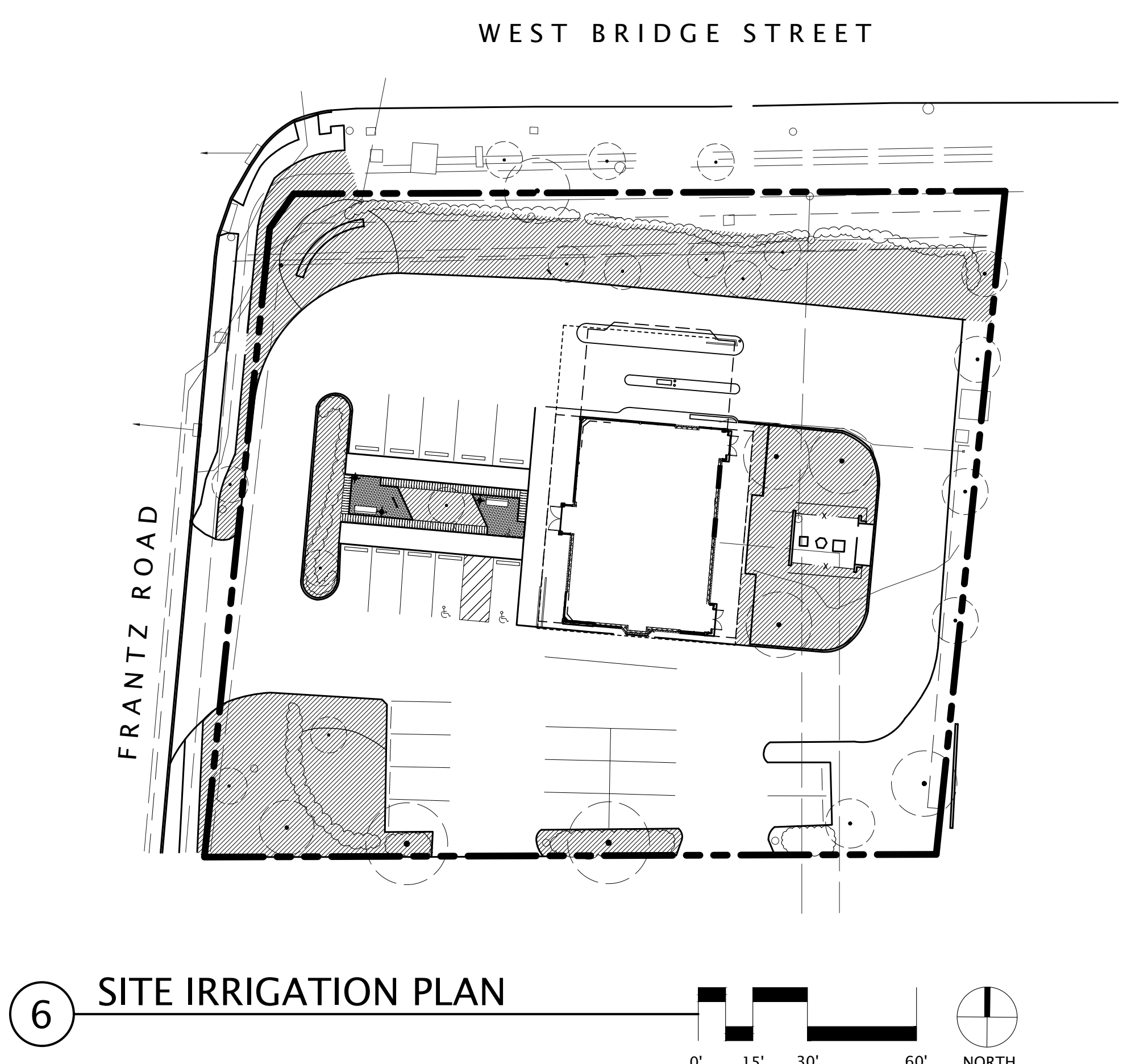


PLANT MATERIALS LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
5	SKYLINE HONEYLOCUST	Geditsia t. l. 'Skyline'	2 1/2" Cal.	B&B
3	SOMERSET MAPLE	Acer rubrum 'Somerset'	2 1/2" Cal.	B&B
1	REDMOND LINDEN	Tilia americana 'Redmond'	2 1/2" Cal.	B&B
1	LONDON PLANETREE	Platanus x acerifolia	2 1/2" Cal.	B&B
2	IVORY SILK TREE LILAC	Syringa reticulata 'Ivory Silk'	2" Cal.	B&B
2	RED JADE CRABAPPLE	Malus 'Red Jade'	1 3/4" Cal.	B&B
2	SENTINEL CRABAPPLE	Malus 'Sentinel'	1 3/4" Cal.	B&B
1	AUTUMN GOLD GINKGO	Ginkgo 'Autumn Gold'	2 1/2" Cal.	B&B
1	SWEETBAY MAGNOLIA	Magnolia virginiana	6" Hgt. Multistem	B&B
SHRUBS AND PERENNIALS				
11	SNOWTIP ARBORVITAE	Thuja occidentalis 'Snowtip'	5' Hgt.	B&B
13	DENSE YEW	Taxus x media 'Densiformis'	24" Hgt.	B&B
16	BLUE RUG JUNIPER	Juniperus horizontalis 'Blue Rug'	18" Spr.	Cont.
18	BIRD'S NEST SPRUCE	Picea abies 'Nidiformis'	15" Spr.	Cont.
5	KOREAN SPICE VIBURNUM	Viburnum carlesii	24" Hgt.	Cont.
3	ANTHONY WATERER SPIREA	Spiraea 'Anthony Waterer'	24" Spr.	Cont.
23	BECKY SHASTA DAISY	Leucanthemum x superbum 'Becky'	Clump	#2 Cont.
25	BLACK-EYED SUSAN	Rudbeckia fulgida 'Goldsturm'	Clump	#2 Cont.
31	MAGNUS CONE FLOWER	Echinacea 'Magnus'	Clump	#2 Cont.
50	HAPPY RETURNS DAYLILY	Hemerocallis 'Happy Returns'	Clump	#2 Cont.
26	GREEN MOUNTAIN BOXWOOD	Buxus x 'Green Mountain'	24" Hgt.	Cont.



- GENERAL PLANTING NOTES**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
 - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
 - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
 - ALL PLANT MASSES TO BE CONTAINED WITHIN 2" DEEP HARDWOOD BARK MULCH BED. ALL PLANT MASSES TO BE INCORPORATED BY CONTINUOUS MULCH BED TO LIMITS SHOWN.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN PLANTING BED AREAS.
 - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
 - CONTRACTOR SHALL SEED ALL AREAS DISTURBED DURING CONSTRUCTION.
 - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
 - EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
 - ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
 - CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT MATERIALS LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
 - CONTRACTOR TO PROVIDE A COMPLETE 1 YEAR WARRANTY OF PLANT MATERIAL INCLUDING PLANTS AS VIABLE AND THRIVING. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL AND LAWNS FOR THE ENTIRE LENGTH OF THE WARRANTY PERIOD.
 - ANY SUBSTITUTIONS OF PLANT MATERIAL OR CHANGES TO THE DESIGN SHALL BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
 - BIKE RAKE AND BENCHES TO BE INSTALLED WITH AN EMBEDDED METHOD AS SPECIFIED BY THE MANUFACTURER.
 - IRRIGATION IS TO BE A DESIGN / BUILD PROJECT UTILIZING THE EXISTING SYSTEM AS MUCH AS IS POSSIBLE. SEE SPECIFICATIONS.



#	DATE	CHANGE DESCRIPTION

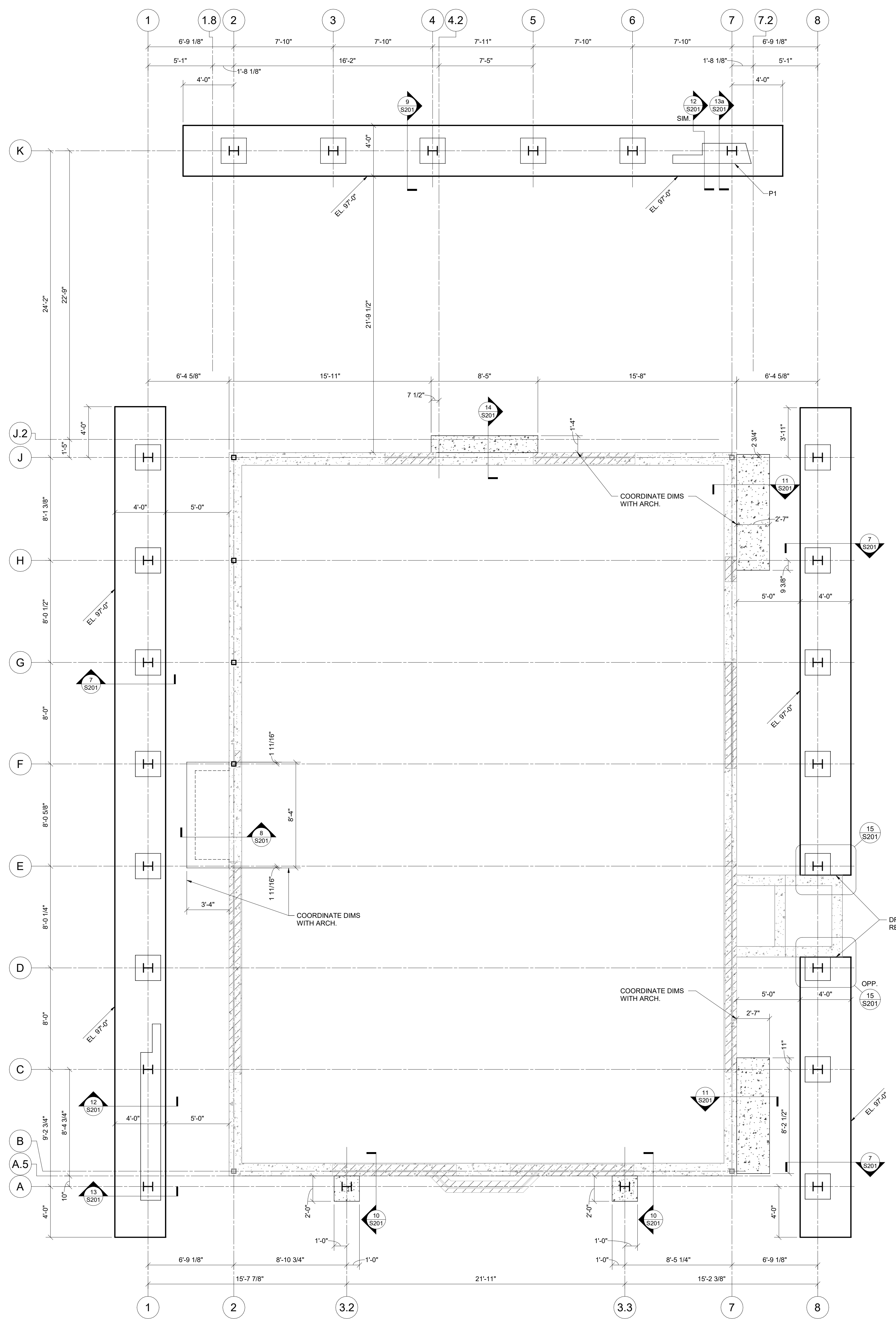
RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR:
HEARTLAND BANK

MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

SITE LANDSCAPE AND IRRIGATION PLANS

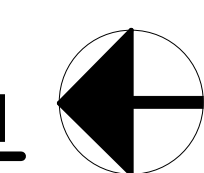
GREGORY R. KROBOT
GrKLA
LANDSCAPE ARCHITECTURE
231 BUTTLES AVENUE
COLUMBUS, OHIO 43215
614-461-1443
GREGORY.KROBOT@GMAIL.COM

05/12/2021
DRAWN BY: GJK CHECKED BY: GJK
20022
L1.02
FINAL DEVELOPMENT PLAN



FOUNDATION/FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"



- FOUNDATION NOTES**
- DESIGN SOIL BEARING PRESSURE = 3,000 PSF. SEE S001 FOR REFERENCE SOILS REPORT INFORMATION. REFERENCE THIS REPORT FOR ANY REQUIRED SITE BUILDING PREPARATION PRIOR TO FOUNDATION AND/OR SLAB ON GRADE CONSTRUCTION. FOOTING LOCATIONS MAY BE REQUIRED TO EXTEND THROUGH EXISTING FILL, RESULTING IN THEM TO BEAR ON SUITABLE MATERIAL. OVER-SLABS SHALL BE TO BE FILLED WITH LEAN CONCRETE UP TO THE PLANNED BOTTOM OF FOOTING ELEVATION. PLACE NO CONCRETE PRIOR TO INSPECTION AND APPROVAL OF BEARING SURFACES BY SOILS ENGINEER.
 - KEEP FOUNDATIONS FREE OF WATER AT ALL TIMES. REPLACE WEAKENED SOIL WITH LEAN CONCRETE OR FLOWABLE FILL.
 - BOTTOM OF FOOTINGS ARE TO BE AT LEAST 36 INCHES BELOW THE ADJACENT EXTERIOR FINISHED GRADE FOR FROST PROTECTION.
 - ELEVATIONS SHOWN ON FOOTINGS INDICATE ELEVATION AT TOP OF FOOTING. REFERENCE ELEVATION TOP OF CONCRETE SLAB ELEVATION AS NOTED ON PLANS. COORDINATE ABSOLUTE ELEVATION OF TOP OF SLAB WITH SITE DRAWINGS.
 - PROVIDE CORNER BARS AT ALL FOOTING AND CONCRETE WALL INTERSECTIONS PER DETAIL S201
 - SEE SECTION 41001 FOR TYPICAL INDOOR AND OUTDOOR MECHANICAL EQUIPMENT PADS.
 - EXISTING BUILDING STRUCTURE SHOWN IS BASED ON LIMITED FIELD INVESTIGATION. EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. ARE TO BE VERIFIED PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MATERIAL BY CONTRACTOR PERFORMING WORK IN EXISTING AREAS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY. DO NOT REMOVE EXISTING LOAD-BEARING WALLS, COLUMNS, OR ANY SUB-STRUCTURE WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. WHERE NEW STRUCTURE IS TO BE INSTALLED, PROVIDE SHORING AND BRACING AS REQUIRED TO PROPERLY SUPPORT THE REMAINING STRUCTURE UNTIL THE NEW STRUCTURE IS IN PLACE AND PROPERLY BRACED.
 - SEE SHEET S001 FOR GENERAL STRUCTURAL INFORMATION.

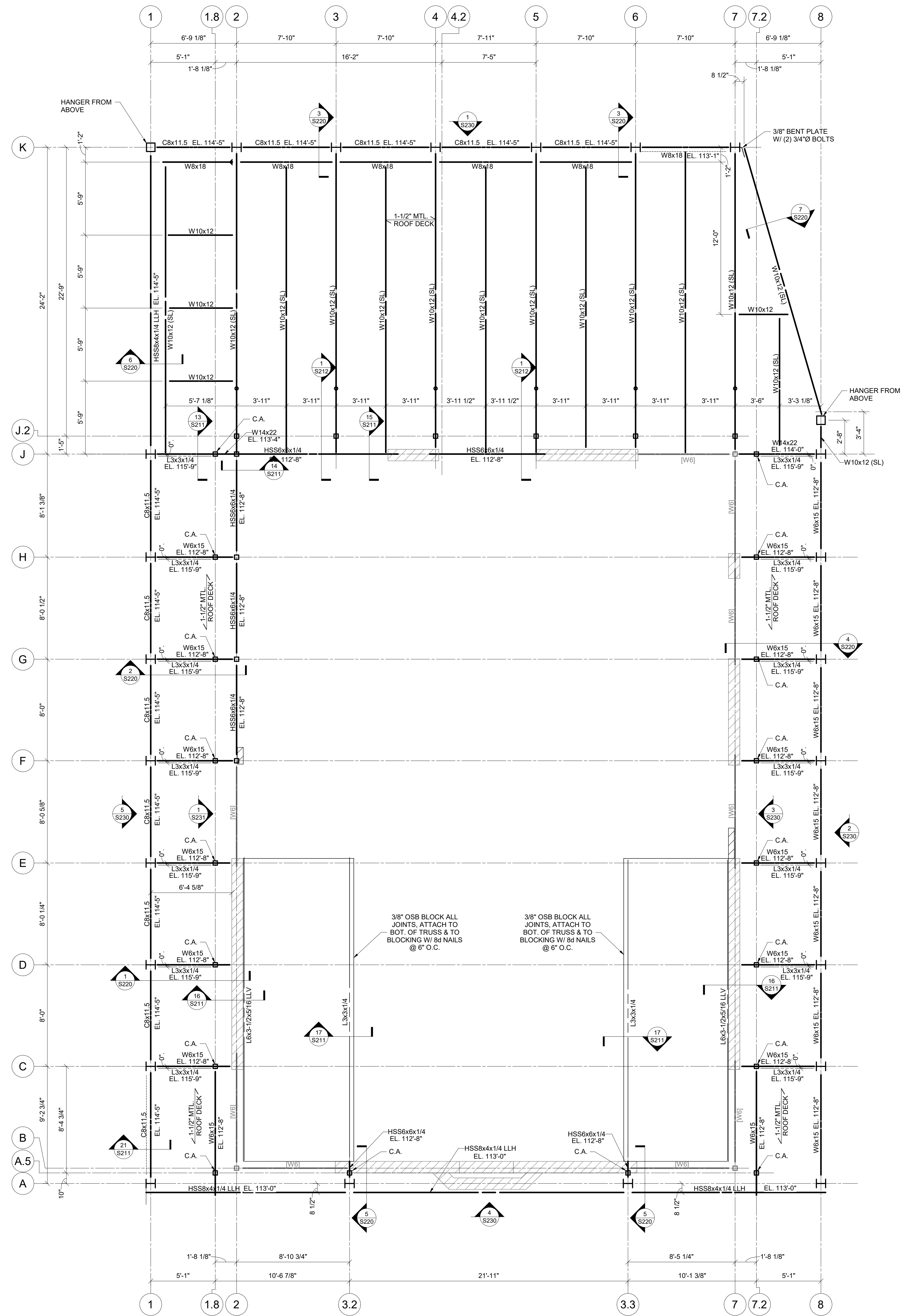
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5303 FRANTZ ROAD,
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
1ST FLOOR FRAMING PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: MM CHECKED BY: JC
	20022
S101	
FINAL DEVELOPMENT PLAN	

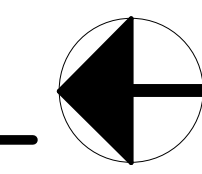


ROOF FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING NOTES

- DESIGN LIVE LOADS:
 - FLAT ROOF LIVE: 20 PSF
 - SLOPED ROOF LIVE: 16 PSF
 - FLAT ROOF SNOW: 20 PSF - DRIFT
 - SLOPED ROOF SNOW: 15 PSF
 - WIND (ASD NET UPLIFT): 15 PSF
 - COLLATERAL: 5 PSF
- ROOF CONSTRUCTION:
 - 1-1/2" x 18 GA WIDE RIB METAL DECK. SEE SECTION 3/5210 FOR TYPICAL ATTACHMENT TO SUPPORTING STRUCTURE.
- TOP OF STEEL AS NOTED. REFERENCE ELEVATION 100'-0" TOP OF FIRST FLOOR SLAB ON GRADE.
- INDICATES MOMENT CONNECTION PER SECTIONS 6 & W5210.
- SEE S210 FOR TYPICAL STEEL FRAMING DETAILS.
- SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS NOT INDICATED HEREIN.
- EXISTING BUILDING STRUCTURE SHOWN IS BASED ON ORIGINAL BUILDING DRAWINGS AND/OR LIMITED FIELD INVESTIGATION. EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. ARE TO BE VERIFIED PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MATERIAL BY CONTRACTOR PERFORMING WORK IN EXISTING AREAS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY. DO NOT REMOVE EXISTING LOAD-BEARING WALLS, COLUMNS OR ANY SUCH STRUCTURE WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. WHERE NEW STRUCTURE IS TO BE INSTALLED, PROVIDE SHORING AND BRACING AS REQUIRED TO PROPERLY SUPPORT THE REMAINING STRUCTURE UNTIL THE NEW STRUCTURE IS IN PLACE AND PROPERLY BRACED.
- SEE SHEET S001 FOR GENERAL STRUCTURAL INFORMATION.



#	DATE	CHANGE DESCRIPTION

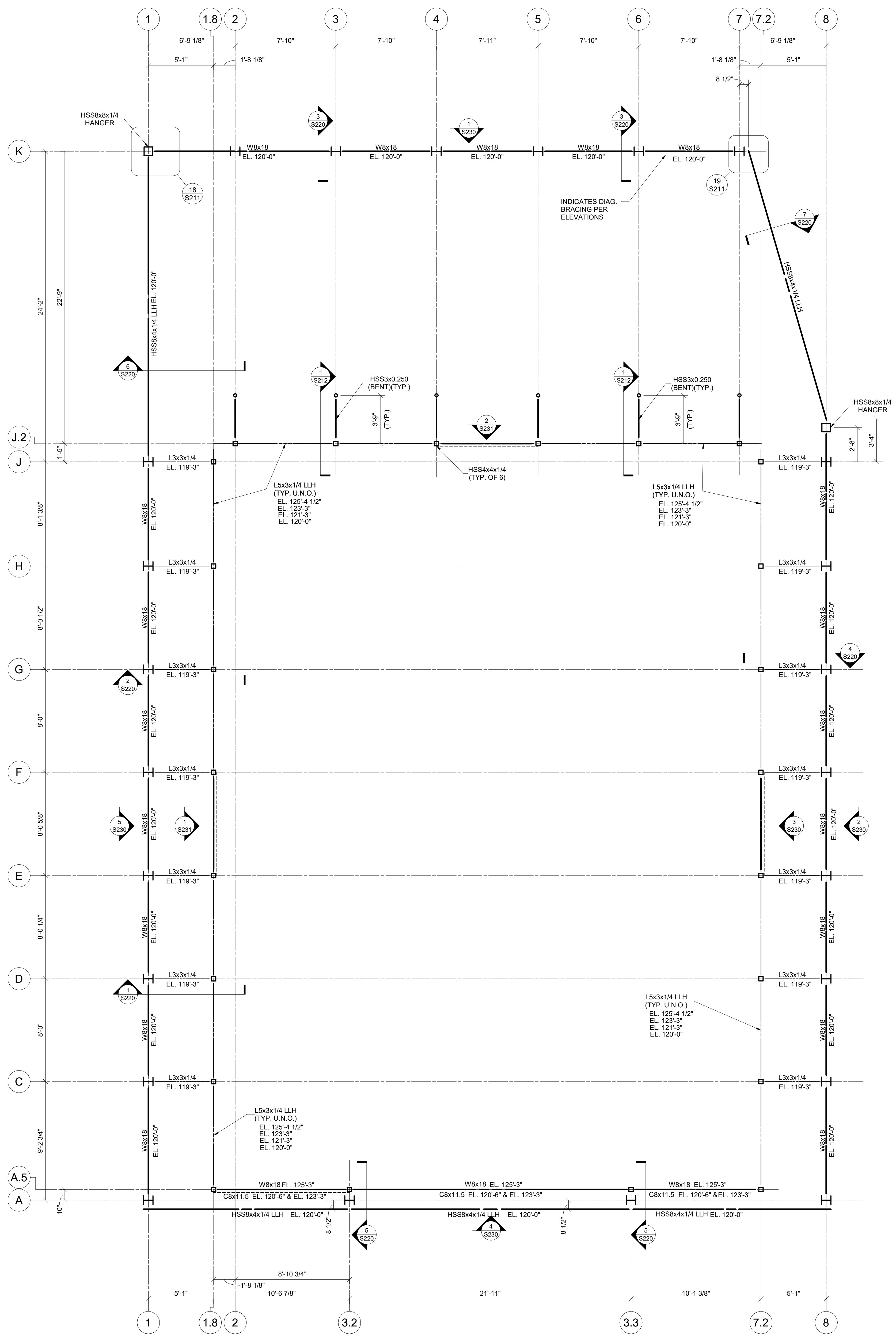
RENOVATION OF HEARTLAND BANK DUBLIN
 6303 FRANTZ ROAD,
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
ROOF FRAMING PLAN

05/12/2021
 DRAWN BY: MM CHECKED BY: JC
 20022
S102
 FINAL DEVELOPMENT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION



SCREENWALL FRAMING PLAN

1/4" = 1'-0"

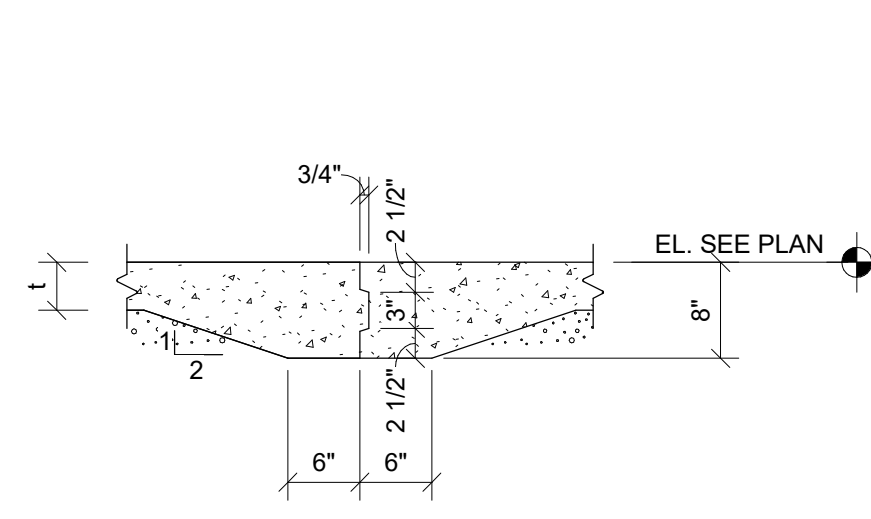
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5303 FRANTZ ROAD,
 DUBLIN OH - 43017
 FOR
HEARTLAND BANK

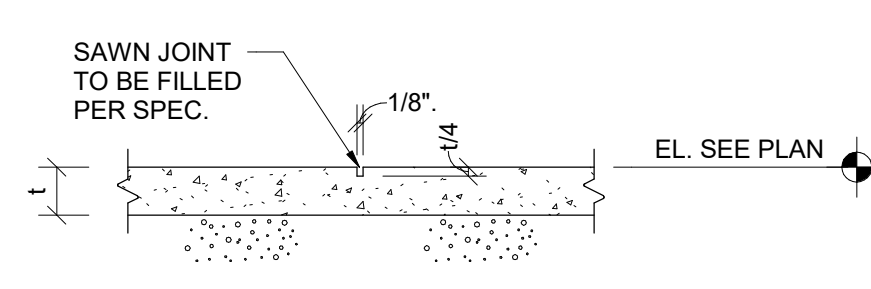
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
SCREENWALL FRAMING PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: MM CHECKED BY: JC
	20022
S103	
FINAL DEVELOPMENT PLAN	

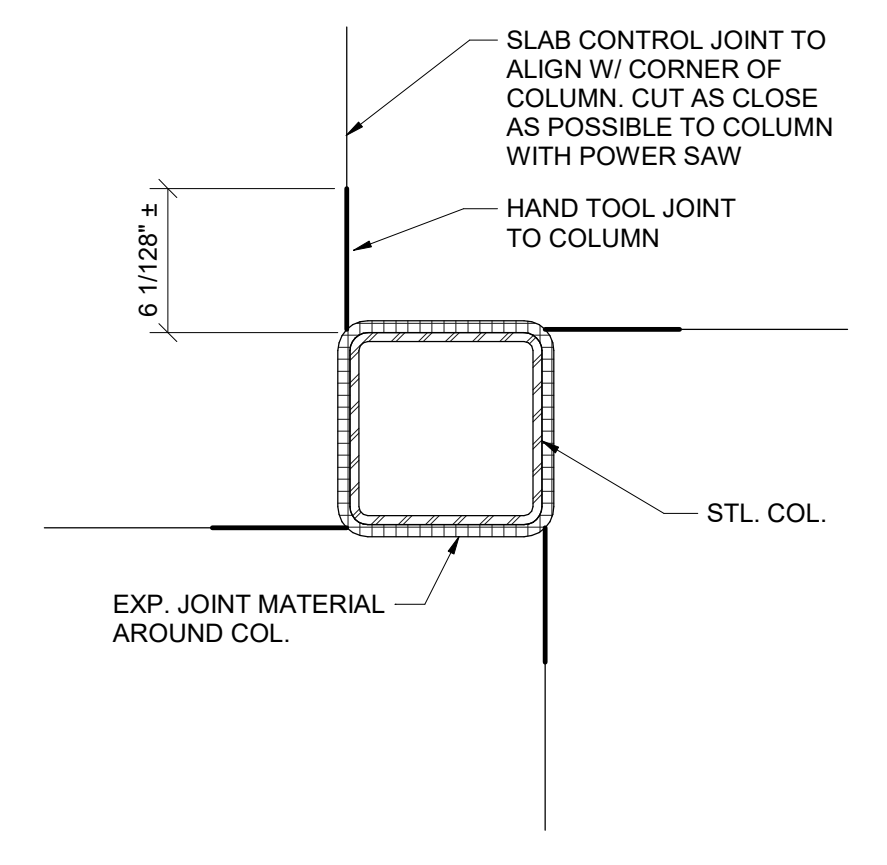


TYPICAL FLOOR CONSTRUCTION JOINT



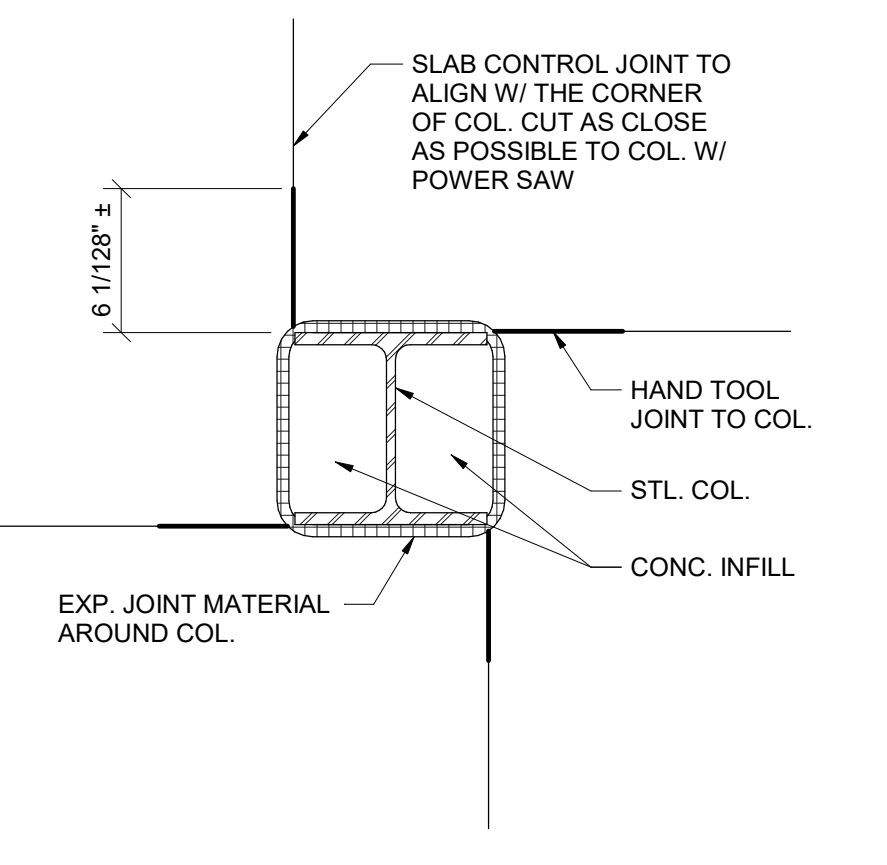
TYPICAL FLOOR CONTROL JOINT

SECTION 1
3/4" = 1'-0"



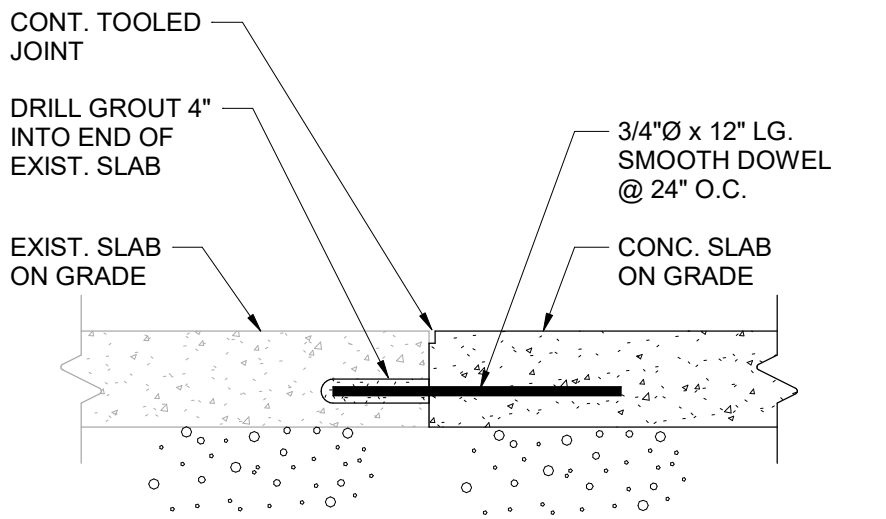
CONTROL JOINTS AT SQUARE COLUMN

SECTION 2
1 1/2" = 1'-0"



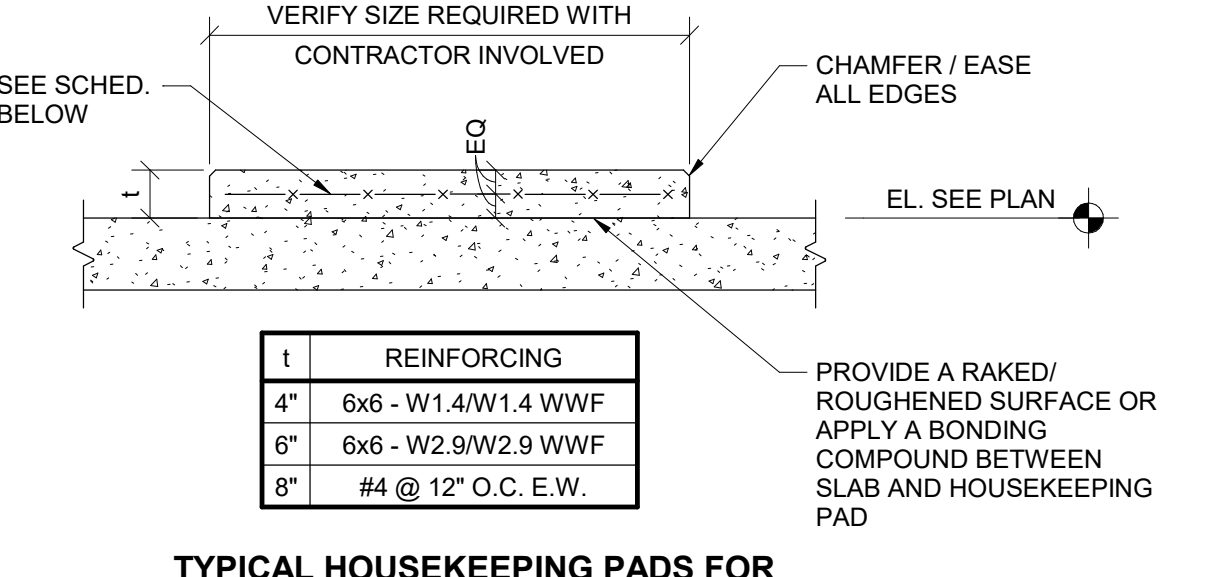
CONTROL JOINTS AT W COLUMN

SECTION 3
1 1/2" = 1'-0"



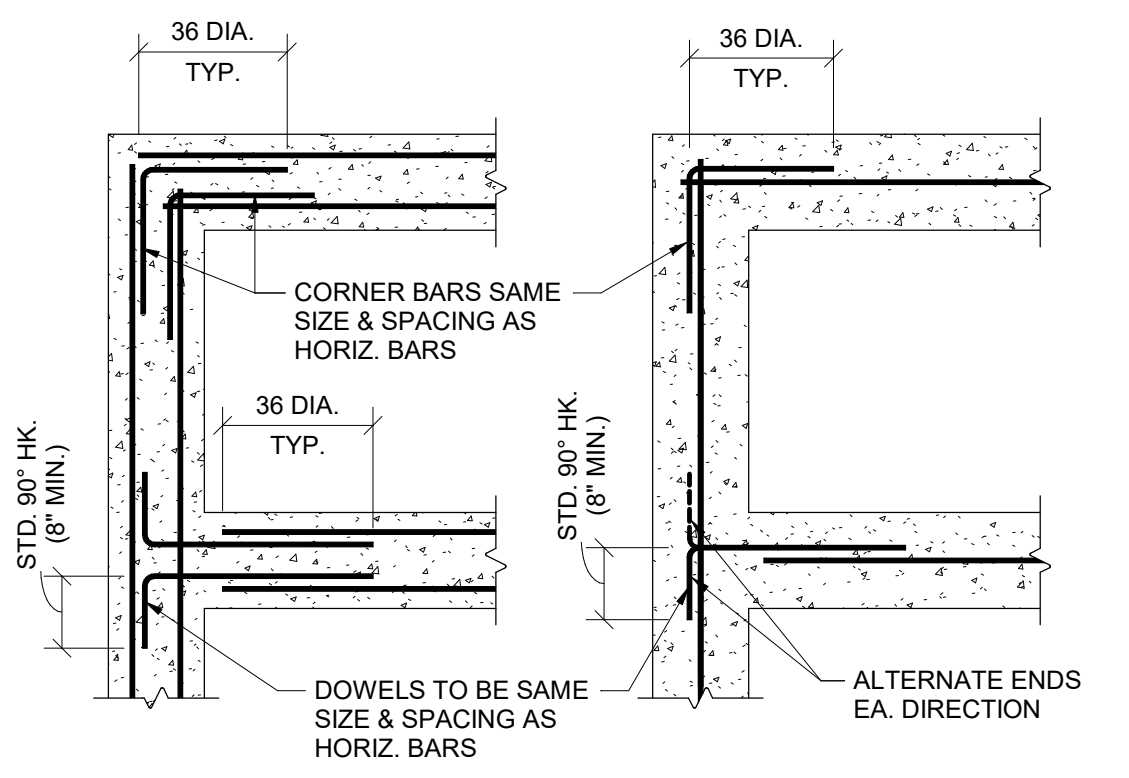
TYPICAL NEW-TO-EXISTING SLAB TRANSITION

SECTION 4
1 1/2" = 1'-0"



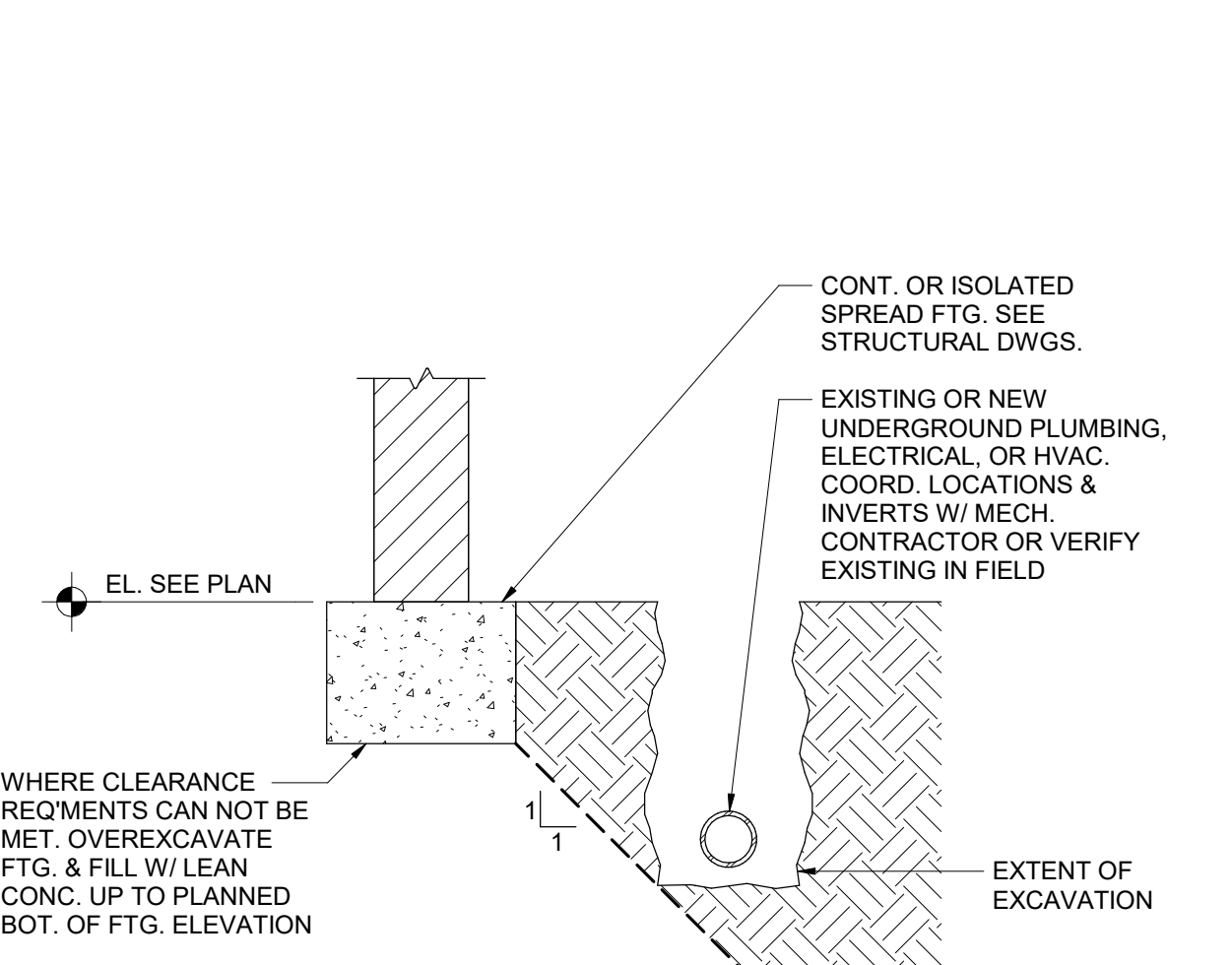
TYPICAL HOUSEKEEPING PADS FOR SLABS ON GRADE & STRUCTURAL DECK

SECTION 5
3/4" = 1'-0"



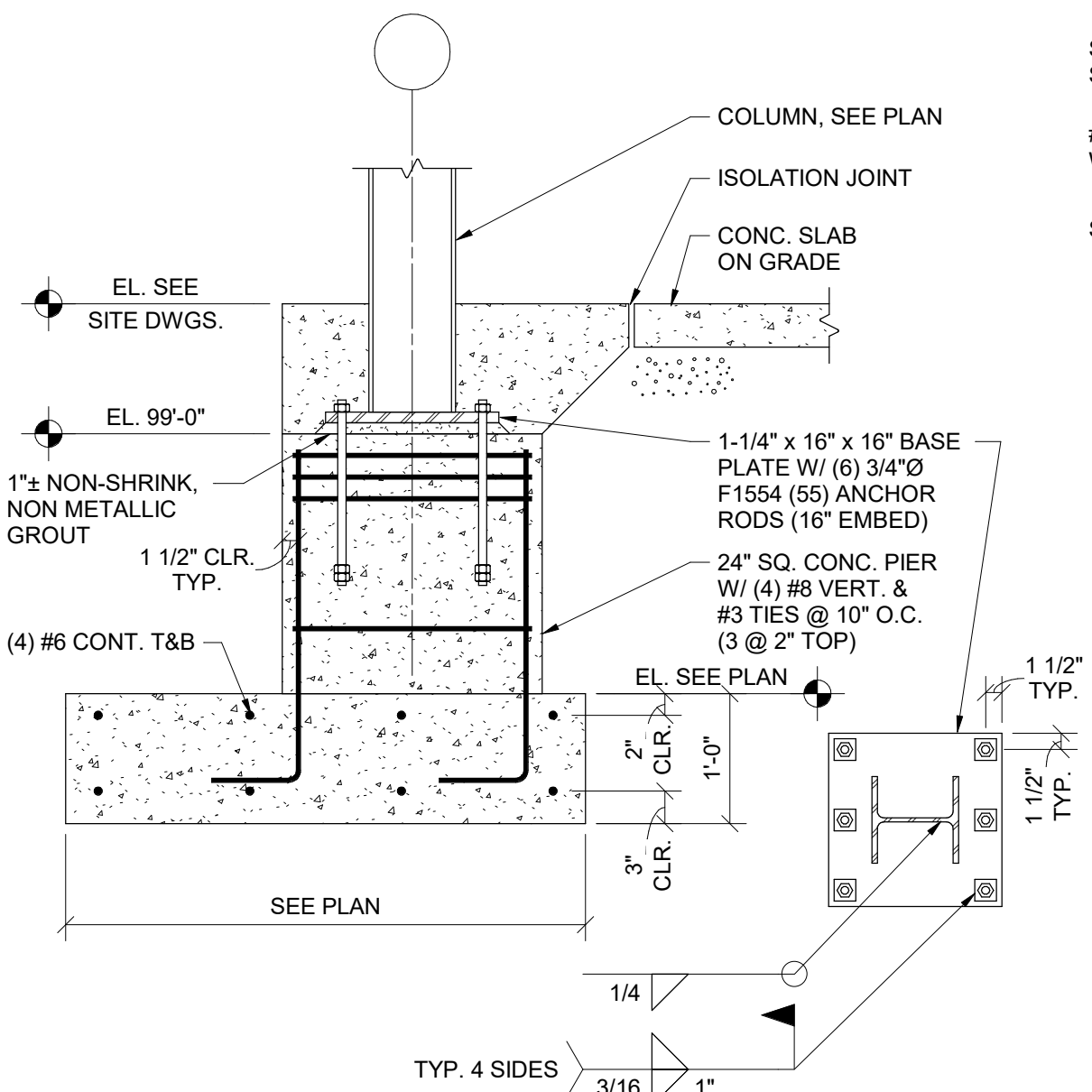
TYPICAL CORNER BARS FOR CONCRETE WALL AND FOOTING CONSTRUCTION

SECTION 6
3/4" = 1'-0"

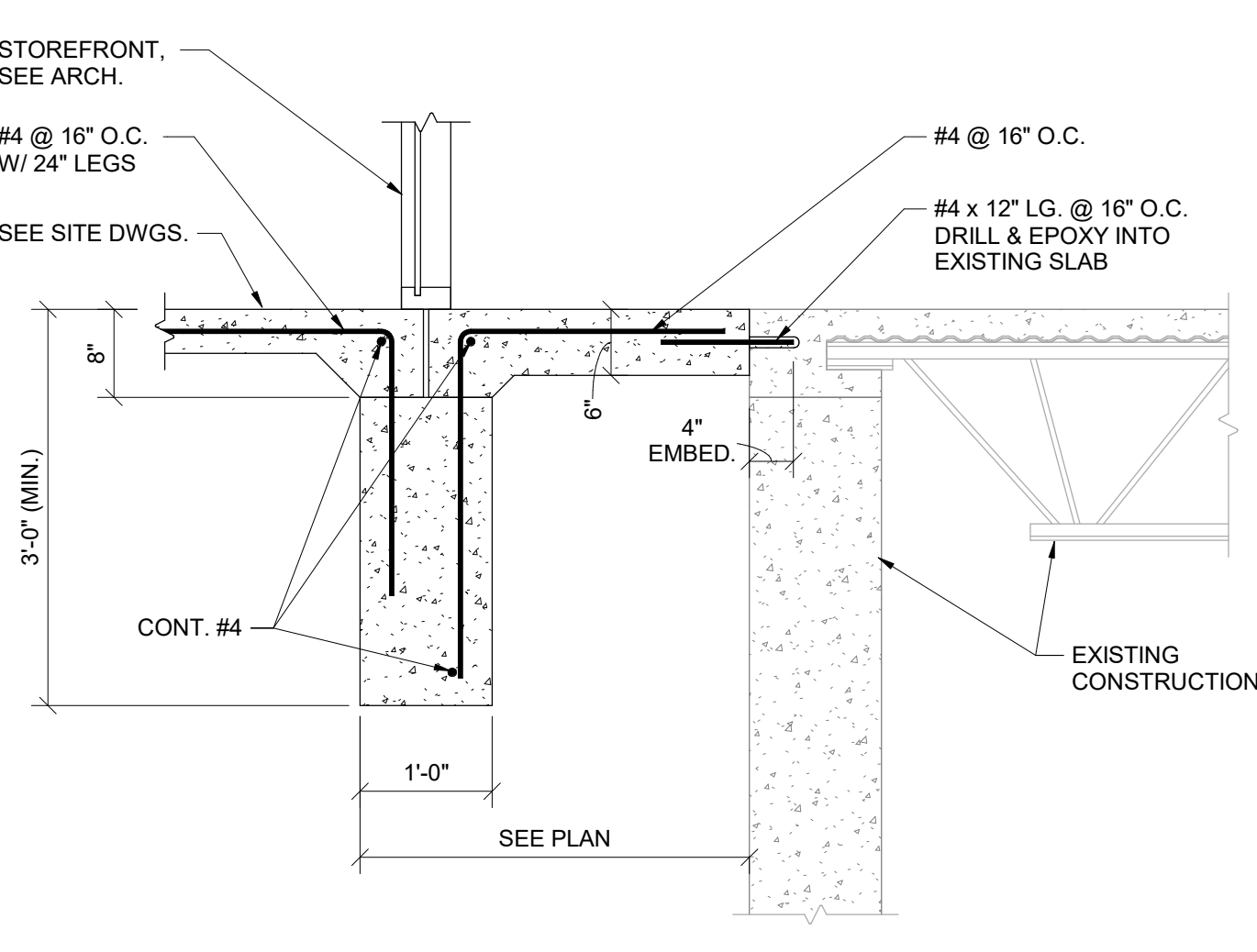


TYPICAL EXCAVATION CLEARANCE REQUIREMENTS

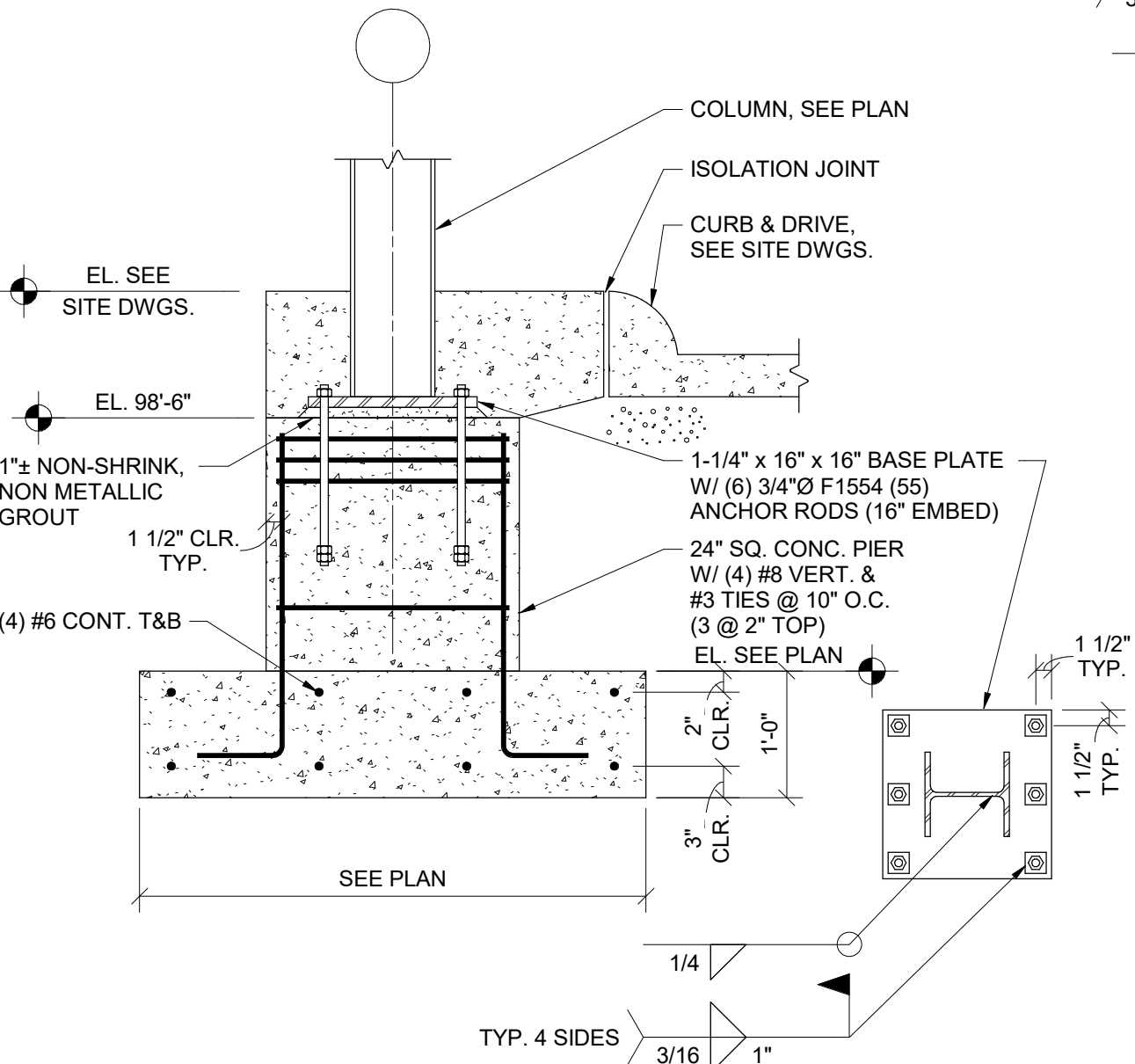
SECTION 7
3/4" = 1'-0"



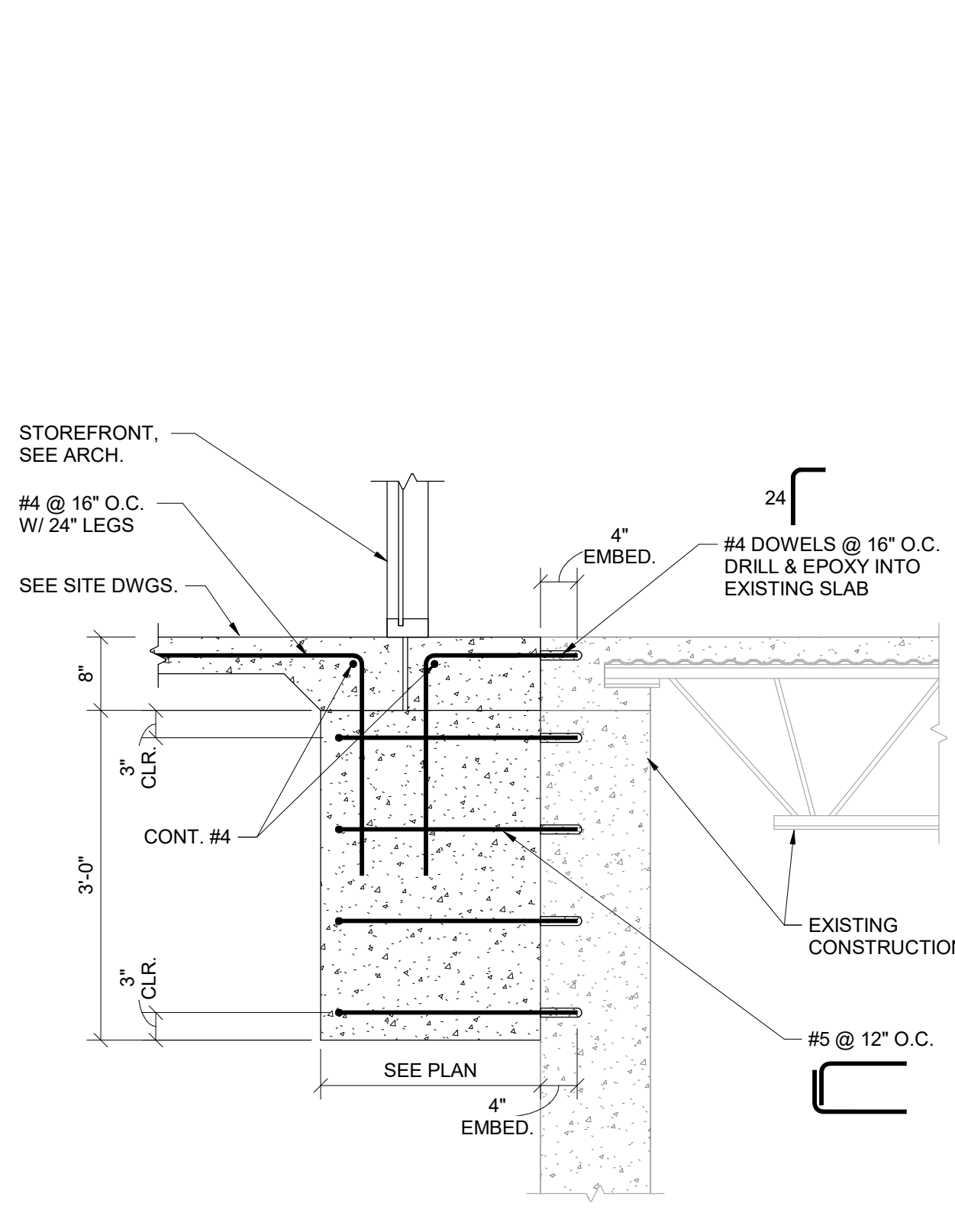
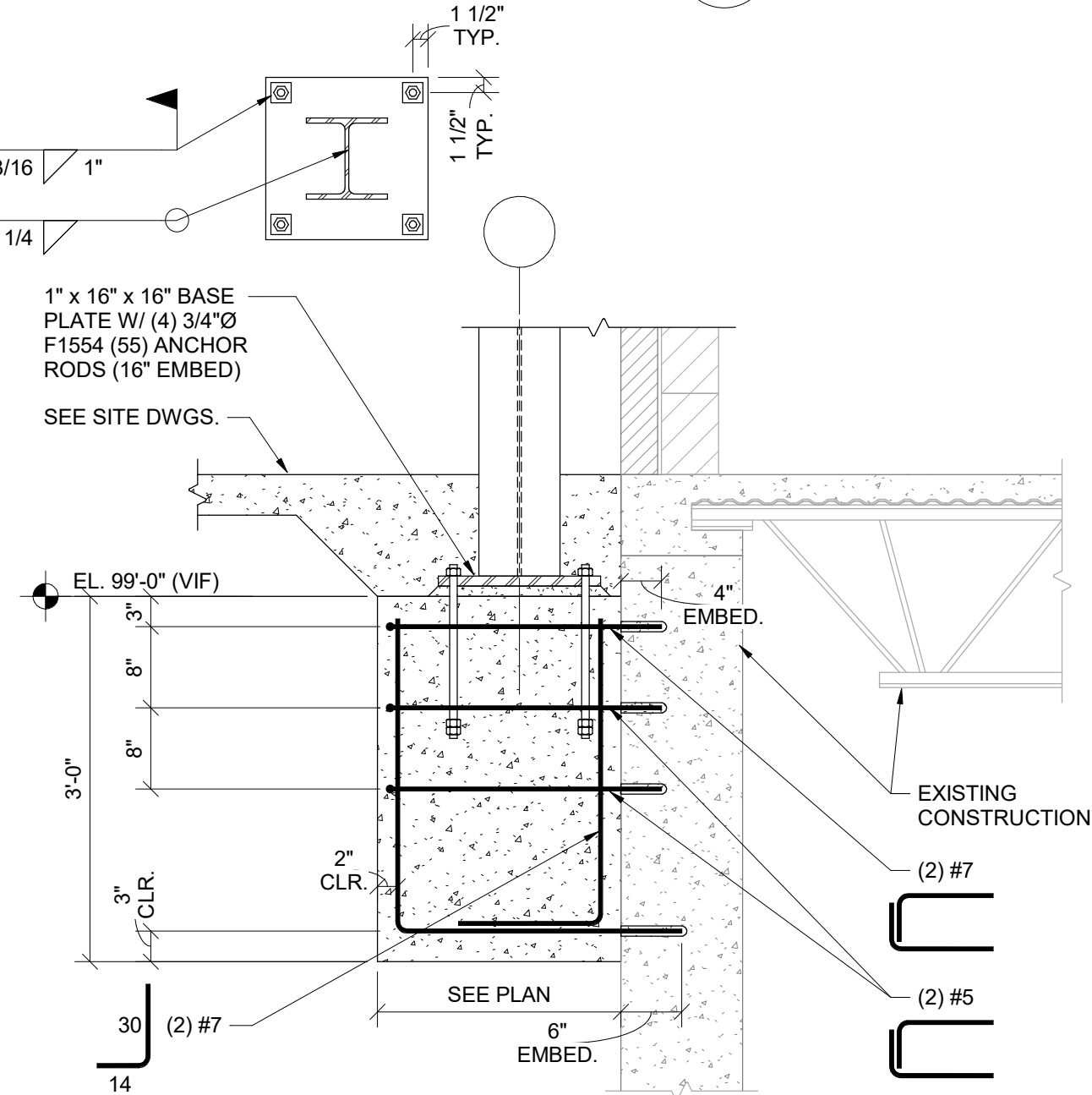
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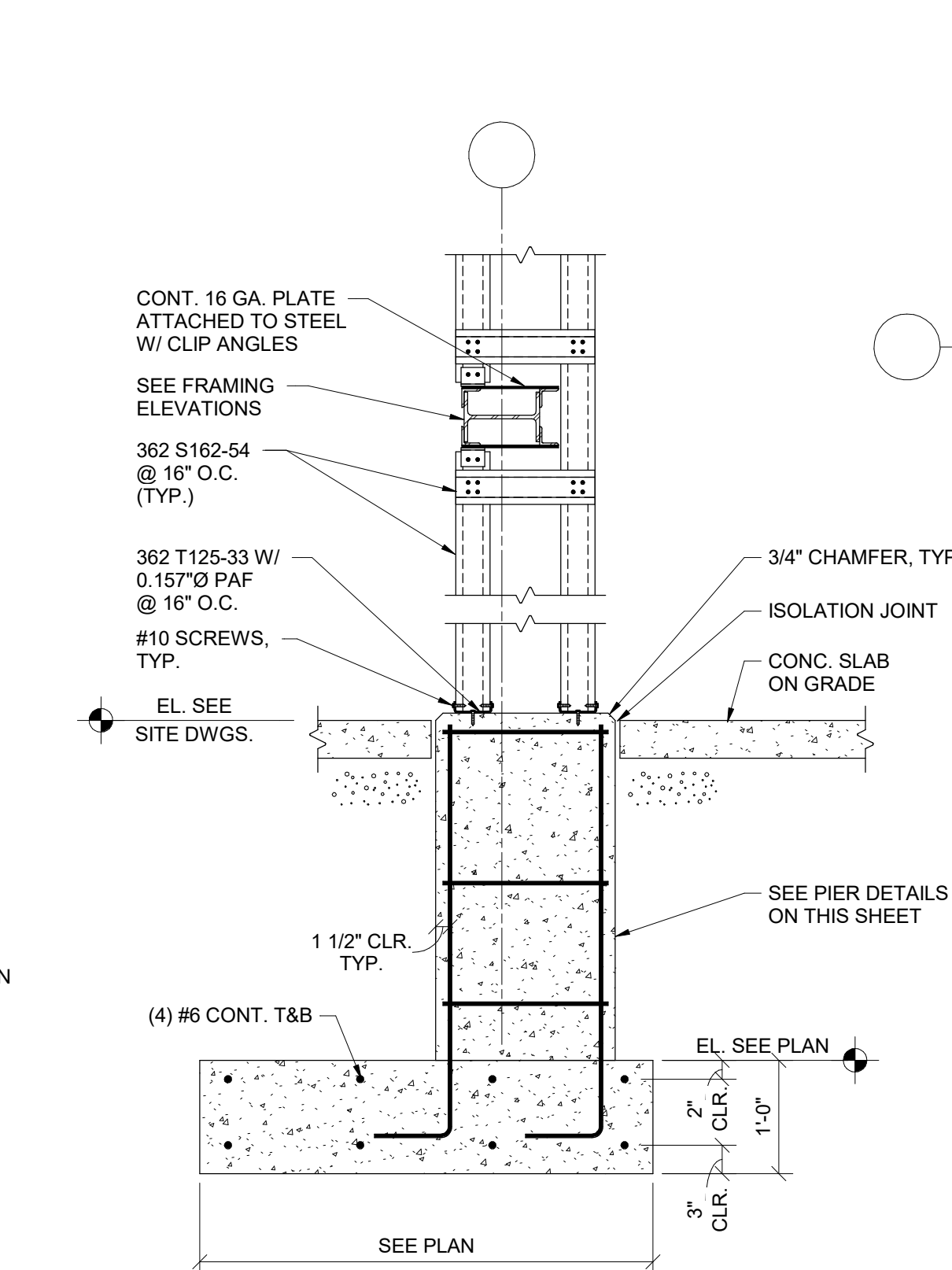
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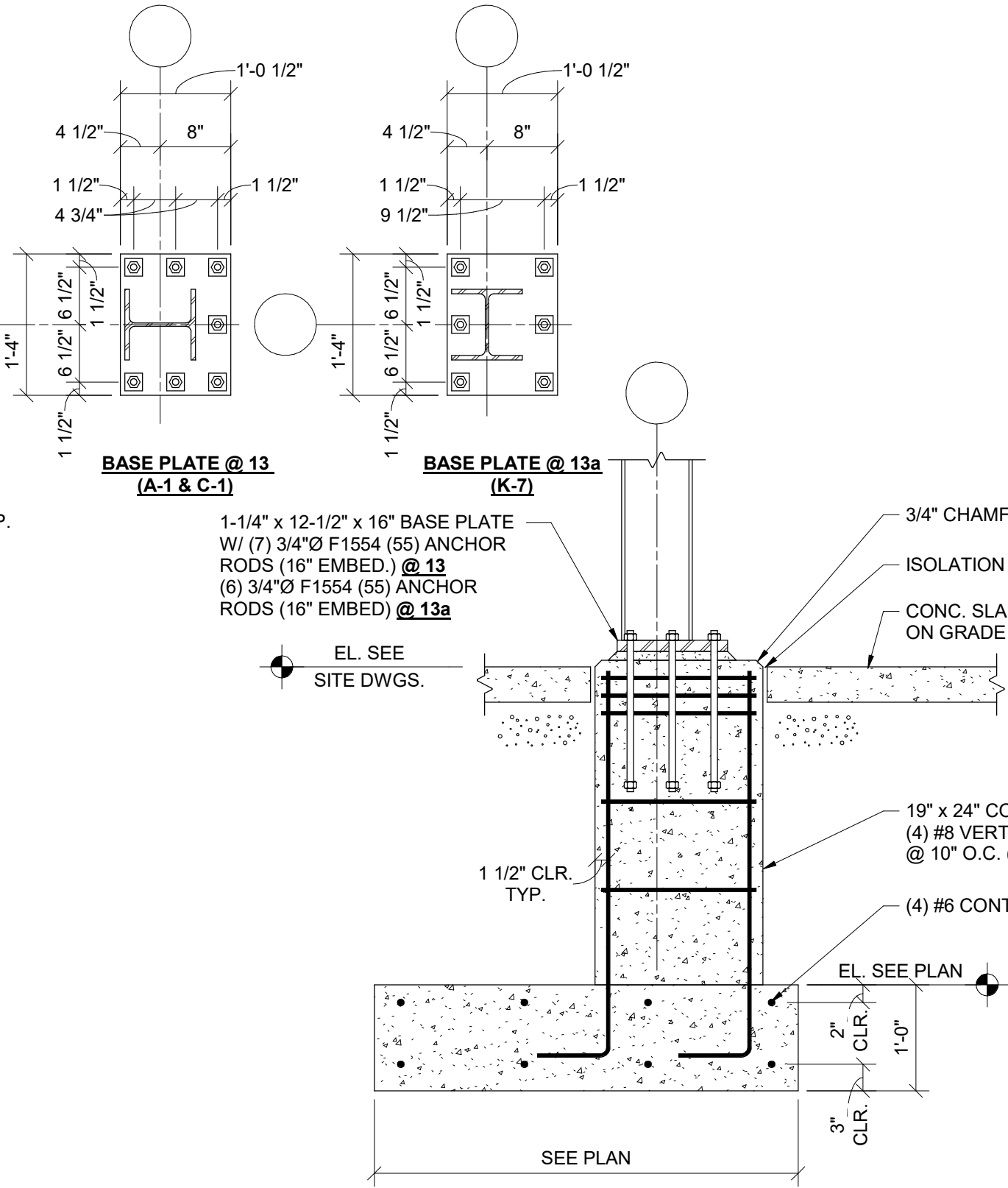
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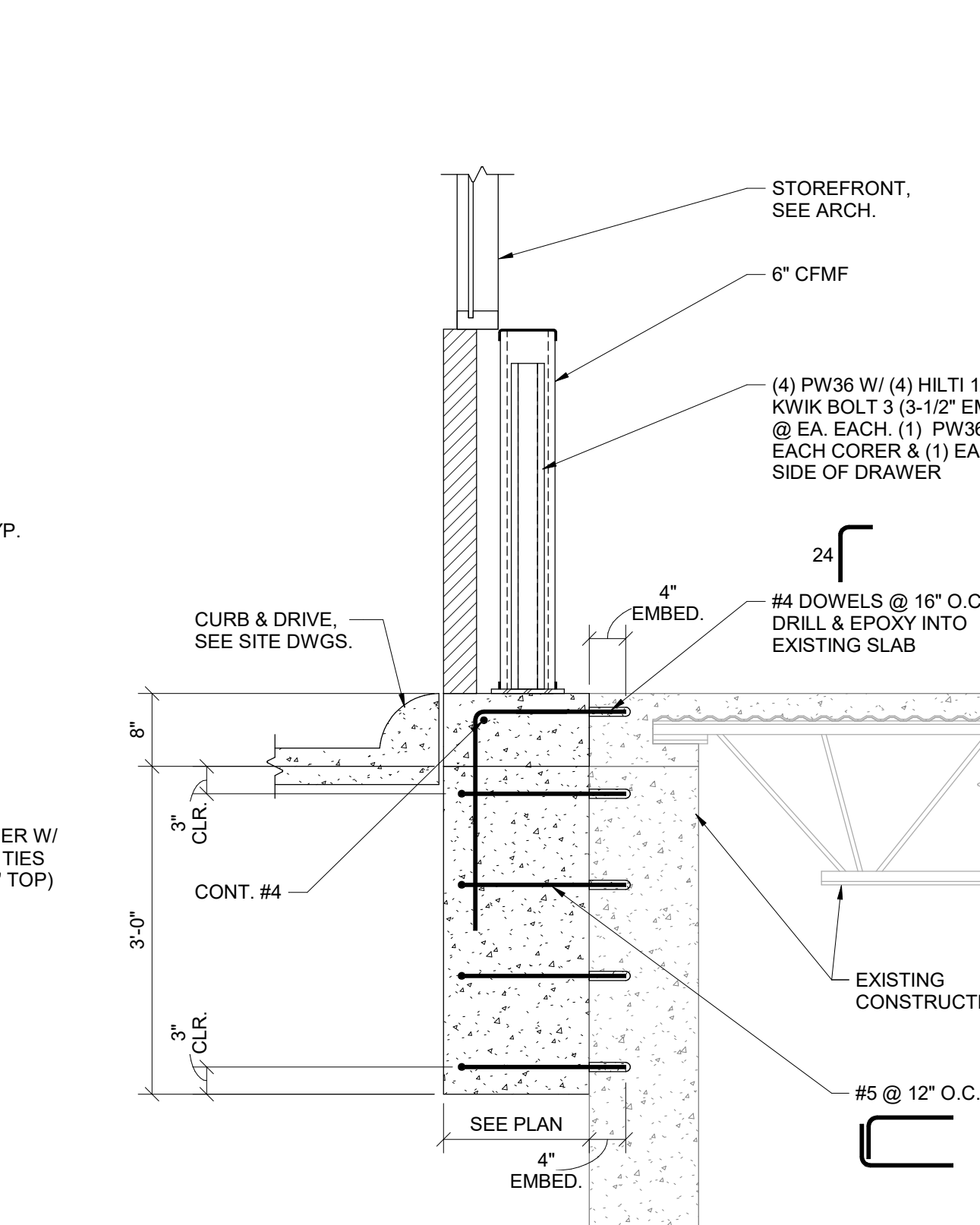
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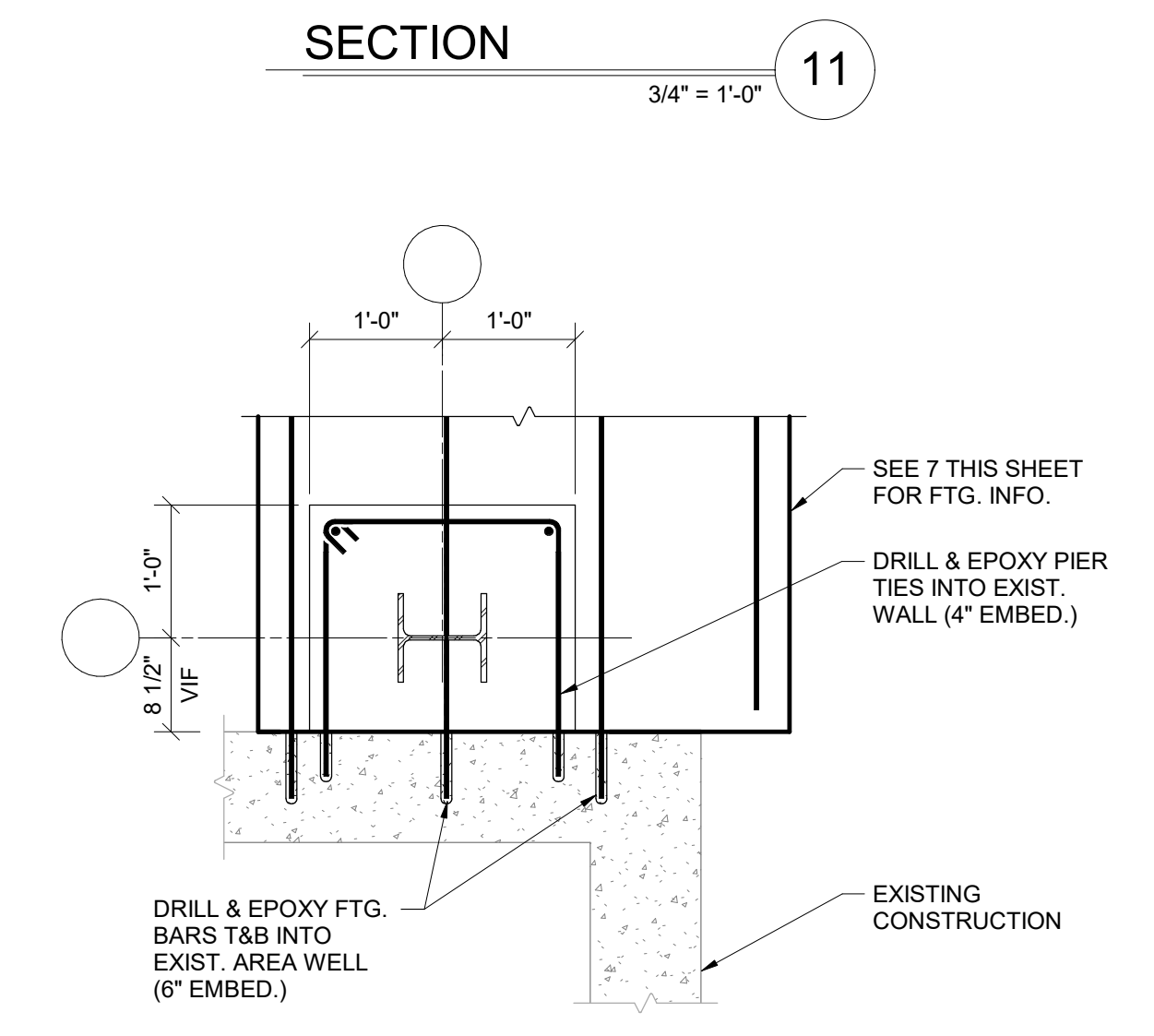
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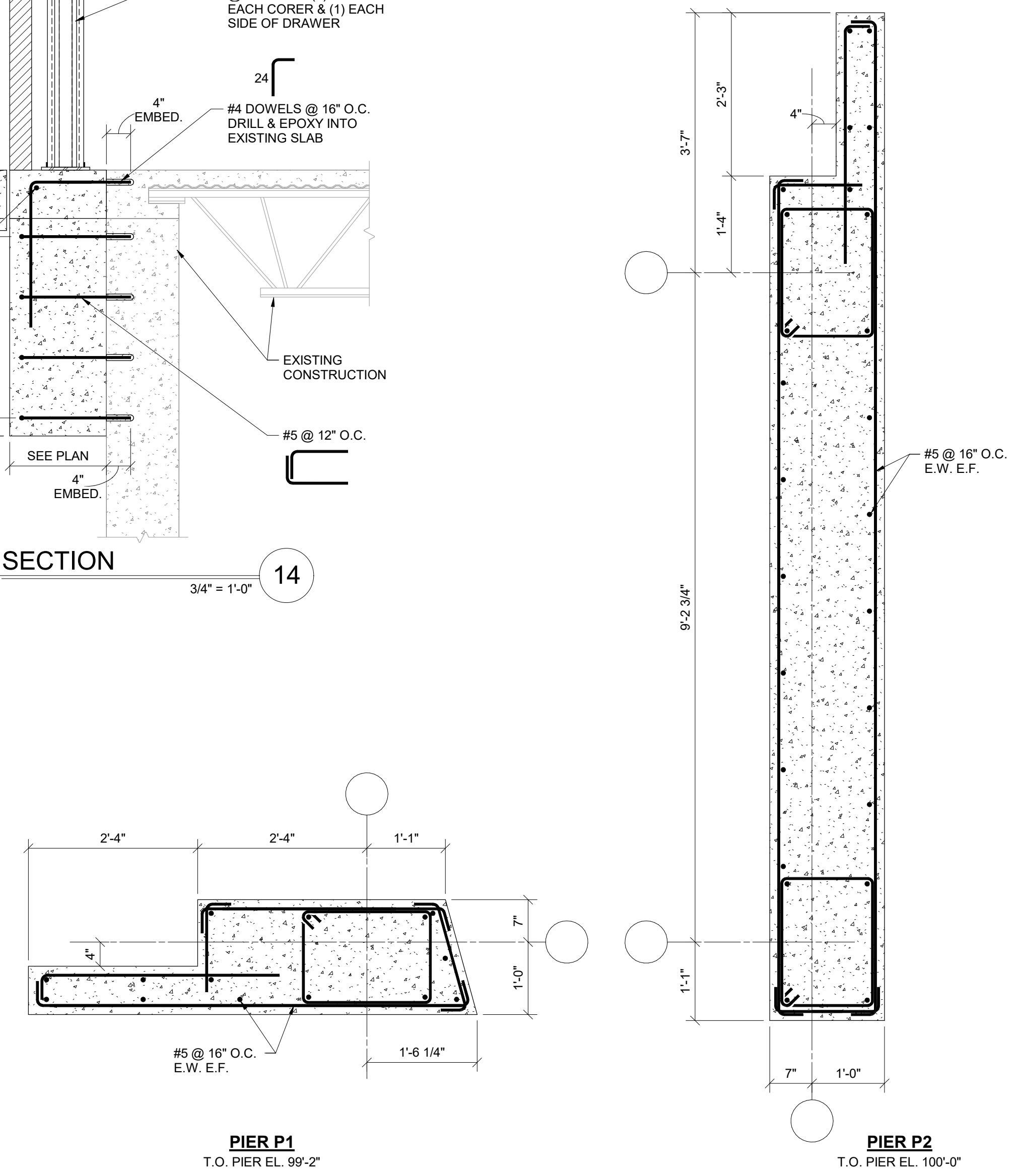
SECTION 13 13a
3/4" = 1'-0"



SECTION 14
3/4" = 1'-0"



SECTION 15
3/4" = 1'-0"



PIER P1
T.O. PIER EL. 99'-2"

PIER P2
T.O. PIER EL. 100'-0"

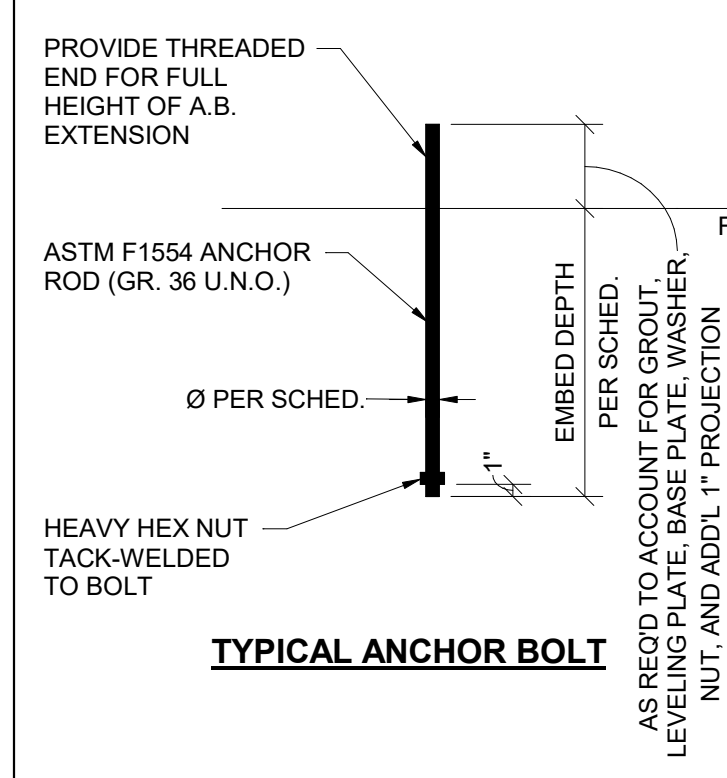
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5303 FRANTZ ROAD,
 DUBLIN OH 43017
 FOR
HEARTLAND BANK

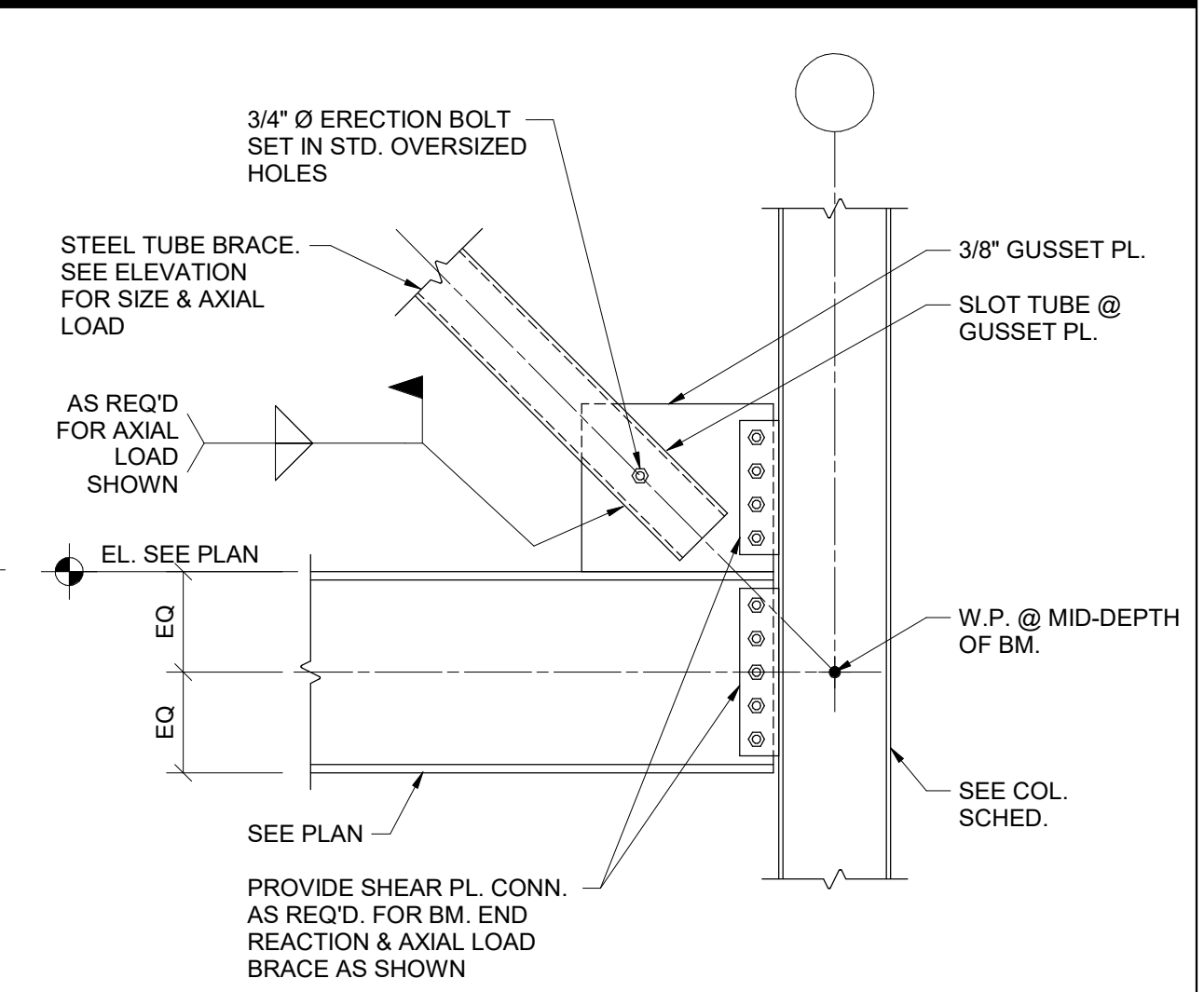
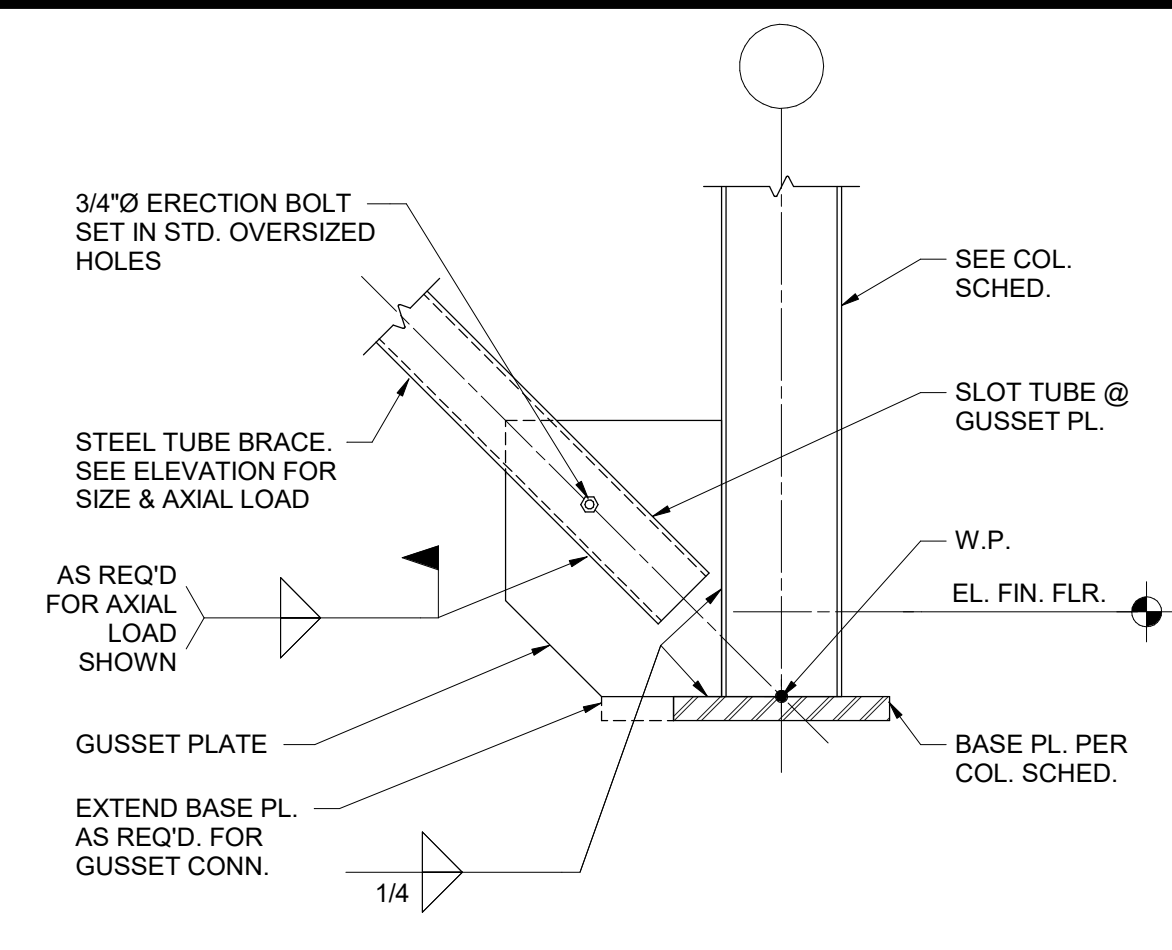
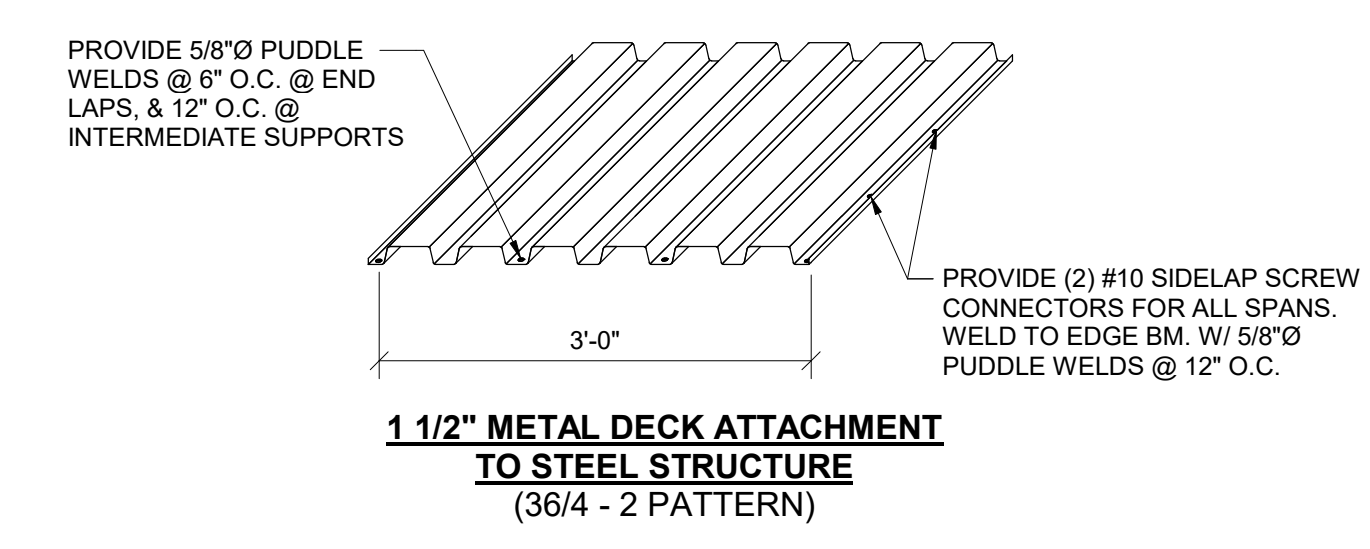
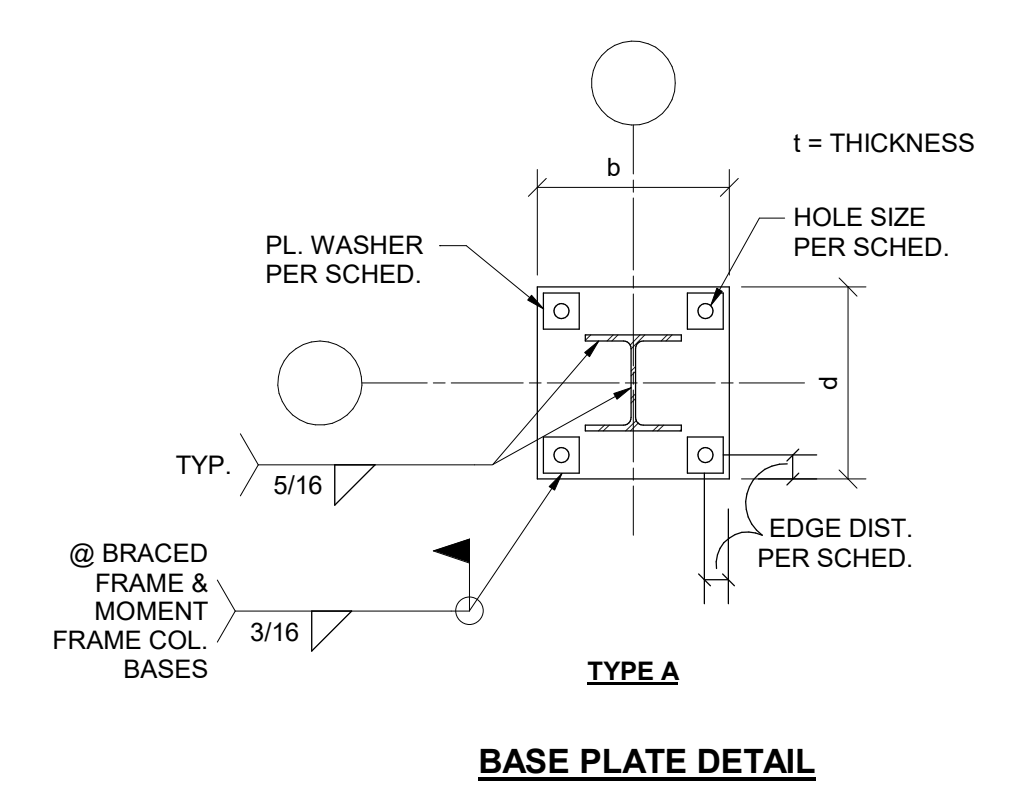
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

FOUNDATION DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021	CHECKED BY: JC
	20022	
	S201	
FINAL DEVELOPMENT PLAN		



BASE PLATE DETAILING SCHEDULE			
BOLT SIZE	BASE PLATE HOLE SIZE	EDGE DISTANCE	PLATE WASHER
3/4"Ø	1-5/16"Ø	1-1/2"	1/4" x 2-1/2" SQ.
1"Ø	1-13/16"Ø	2"	3/8" x 3" SQ.
1-1/4"Ø	2-1/16"Ø	2"	1/2" x 3" SQ.
1-1/2"Ø	2-5/16"Ø	2-1/2"	1/2" x 3-1/2" SQ.
1-3/4"Ø	2-3/4"Ø	3"	5/8" x 4" SQ.
2"Ø	3-1/4"Ø	3-1/2"	3/4" x 5" SQ.



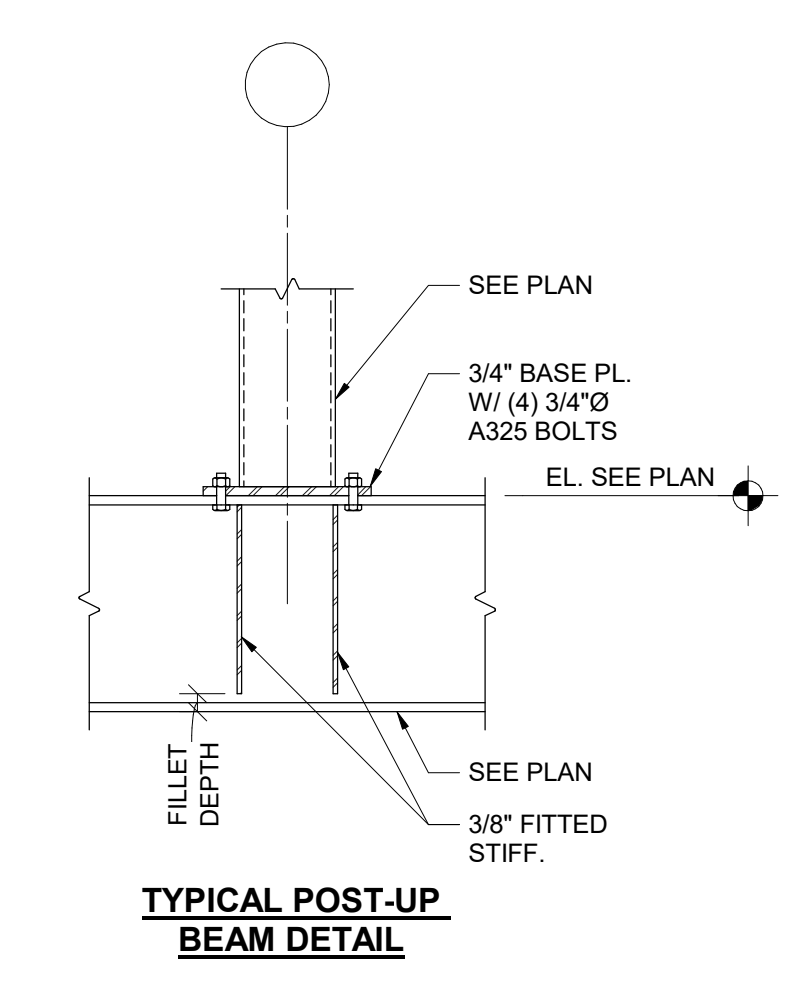
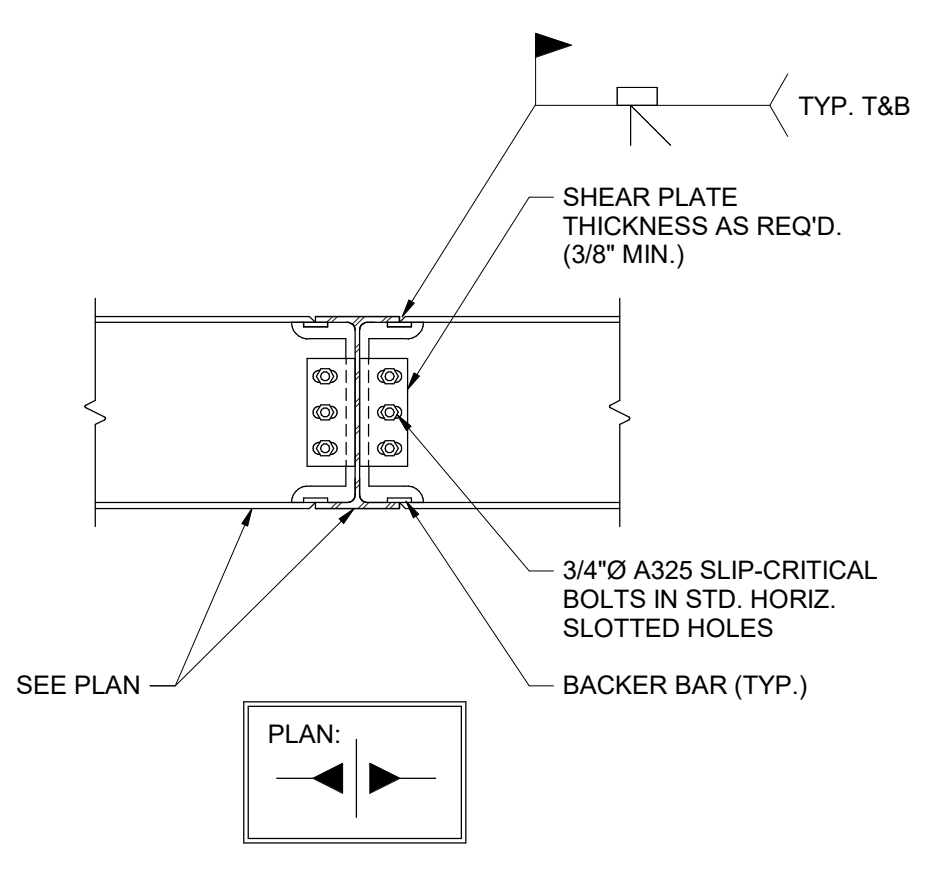
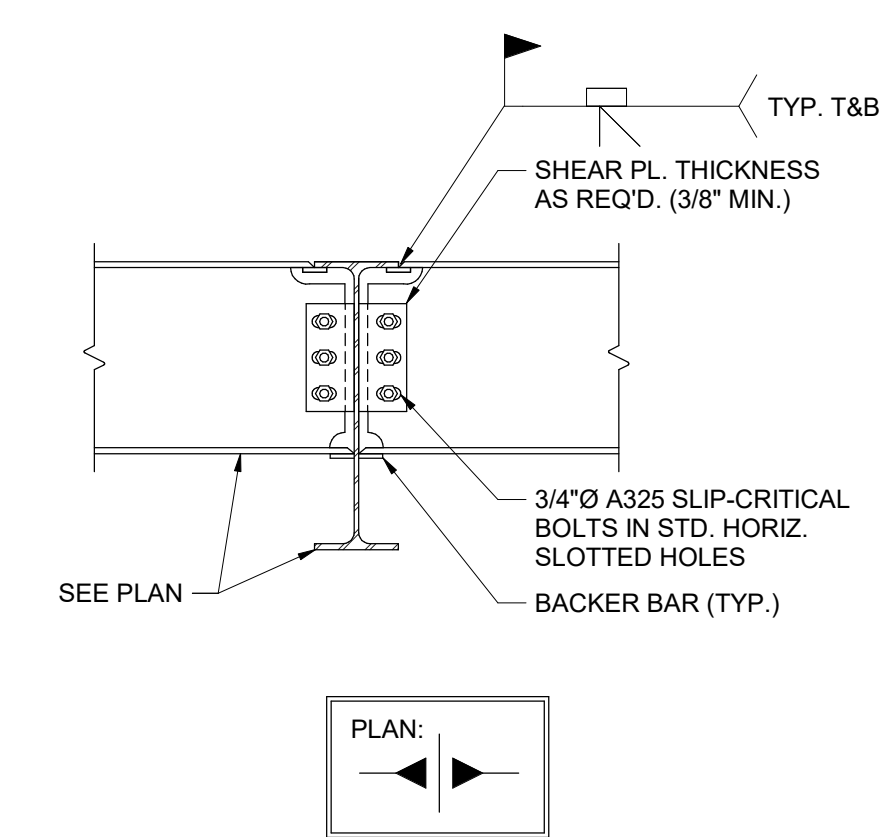
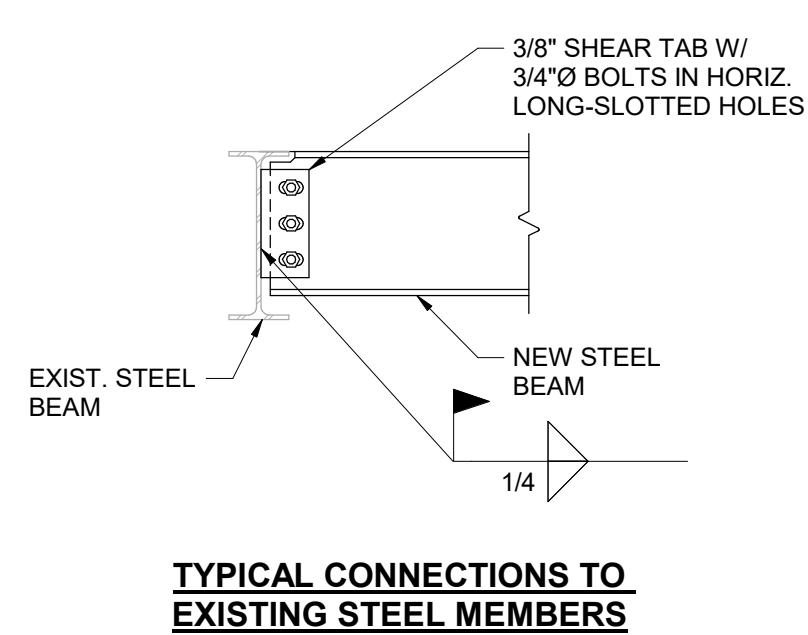
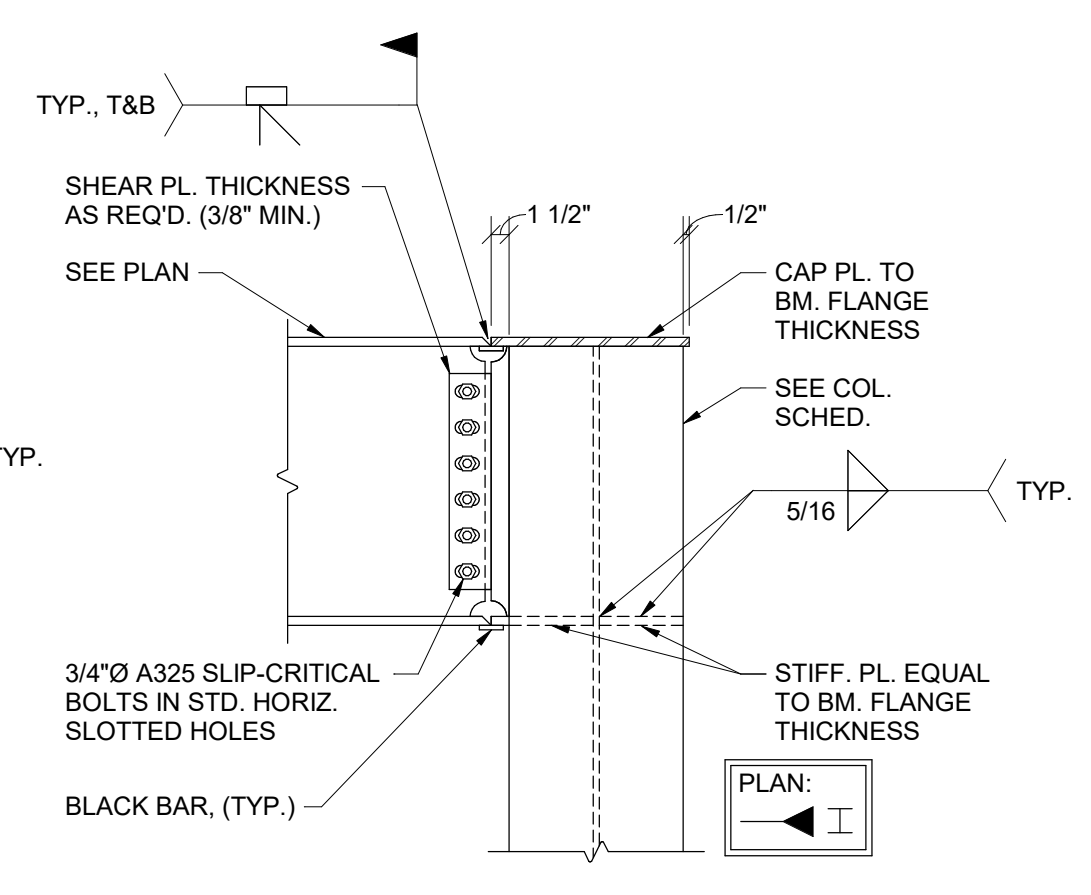
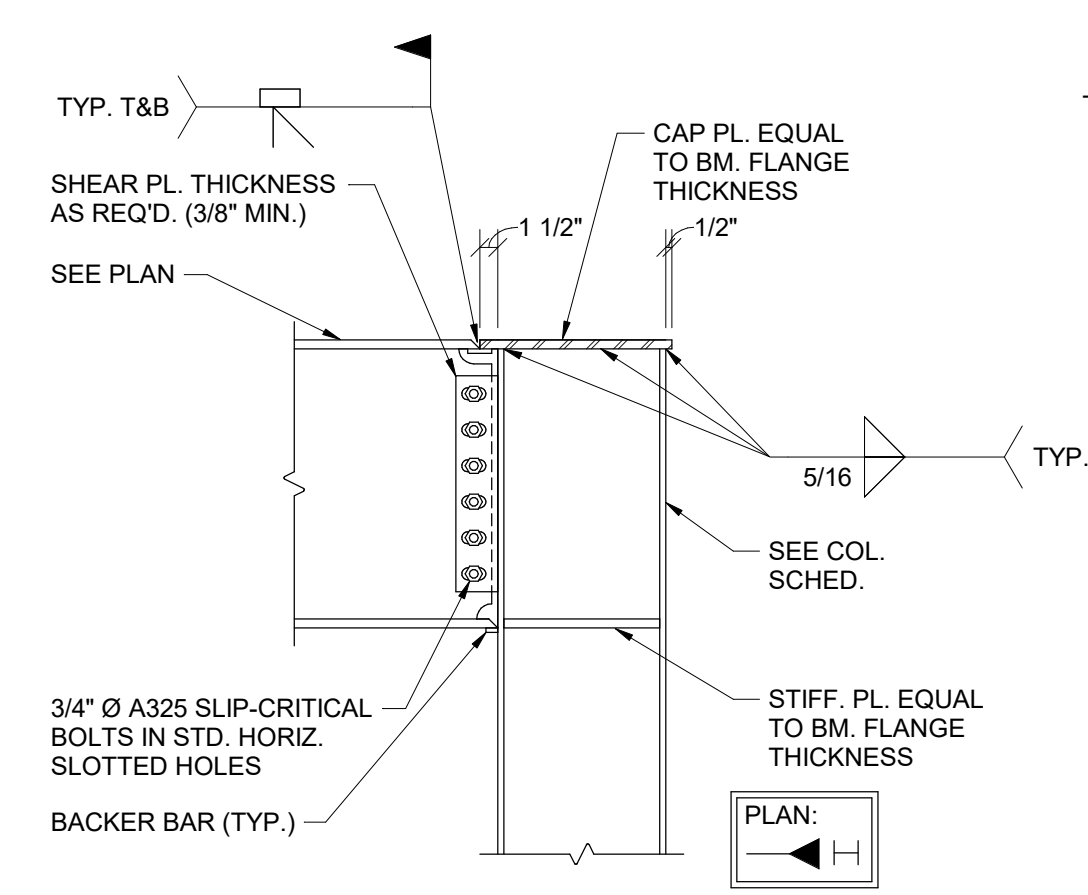
SECTION 1
3/4" = 1'-0"

SECTION 2
3/4" = 1'-0"

SECTION 3
3/4" = 1'-0"

SECTION 4
3/4" = 1'-0"

SECTION 5
3/4" = 1'-0"



SECTION 6
3/4" = 1'-0"

SECTION 7
3/4" = 1'-0"

SECTION 8
3/4" = 1'-0"

SECTION 9
3/4" = 1'-0"

SECTION 10
3/4" = 1'-0"

SECTION 11
3/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5305 FRANTZ ROAD,
 DUBLIN OH - 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE: **FRAMING DETAILS**

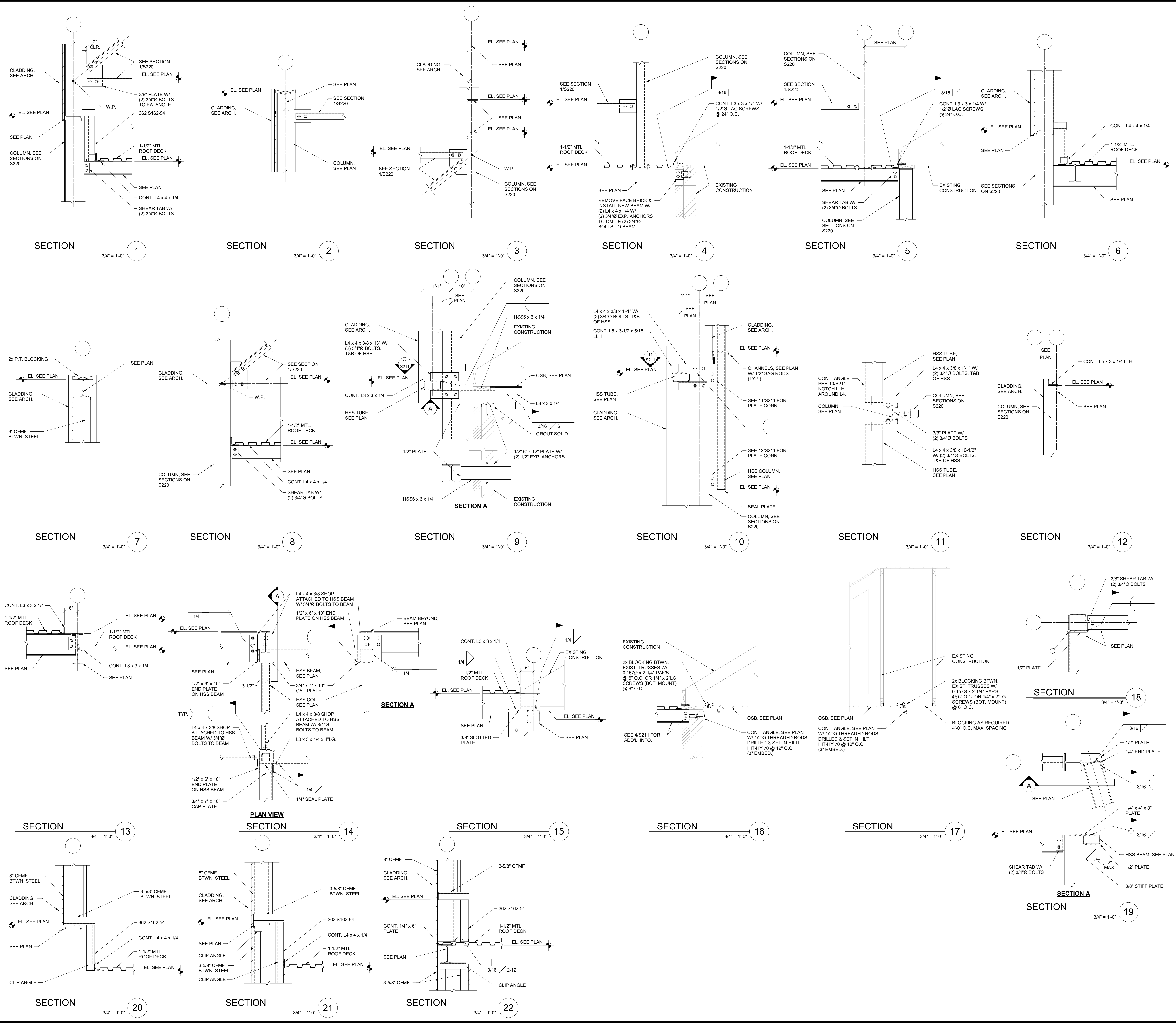
PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021
 DRAWN BY: MM | CHECKED BY: JC
 20022

S210

FINAL DEVELOPMENT PLAN

© 2018 MOODY-NOLAN INC. PRINT DATE: 05/12/2021 9:21 AM FILE INFO: BIM:360.00.008 - Heartland Bank (20) 21



#	DATE	CHANGE DESCRIPTION

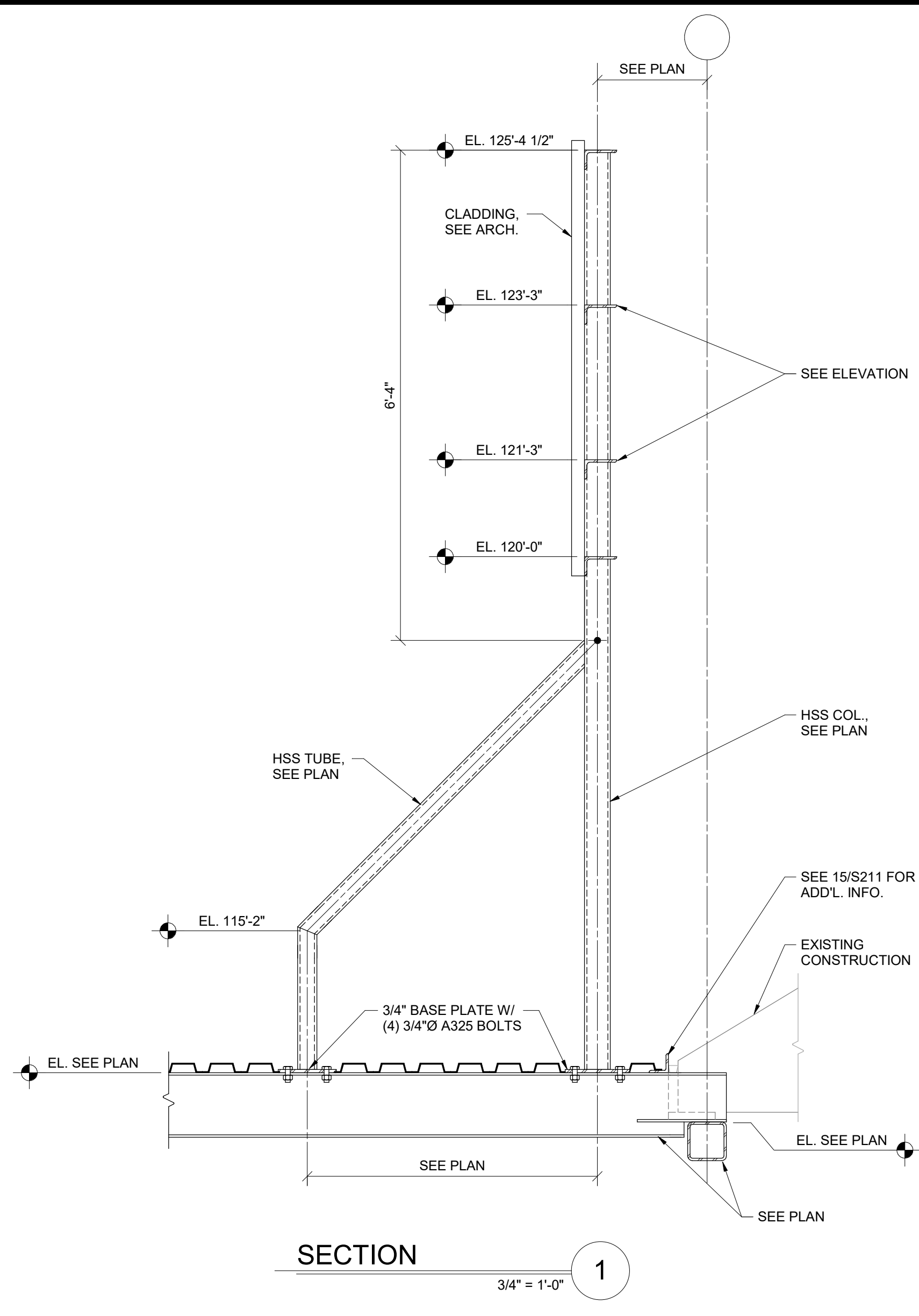
RENOVATION OF HEARTLAND BANK DUBLIN
 5303 FRANTZ ROAD,
 DUBLIN OH - 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

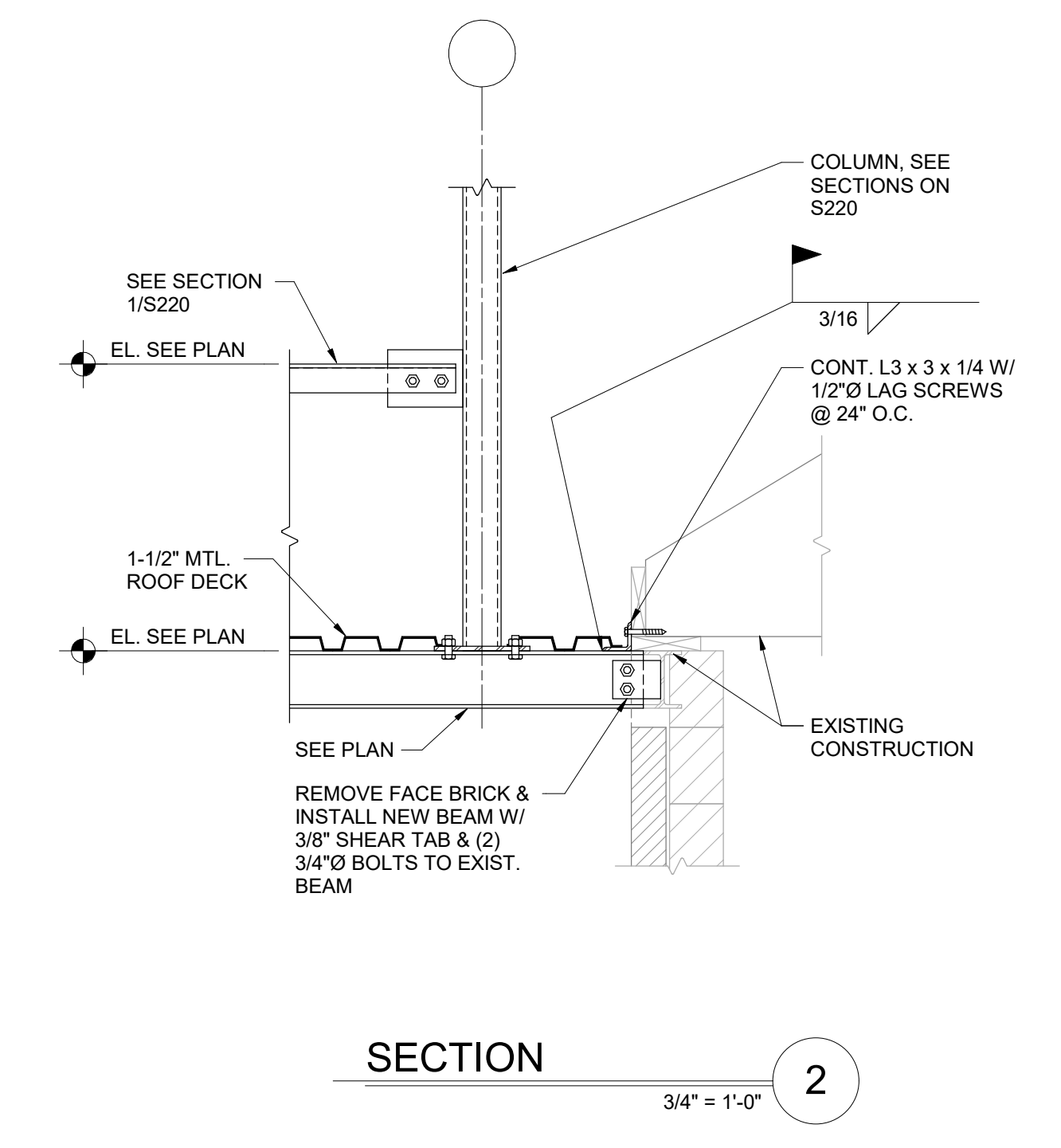
DRAWING TITLE: **FRAMING DETAILS**

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021
 DRAWN BY: MM CHECKED BY: JC
 20022
S211
 FINAL DEVELOPMENT PLAN



SECTION 1
3/4" = 1'-0"



SECTION 2
3/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

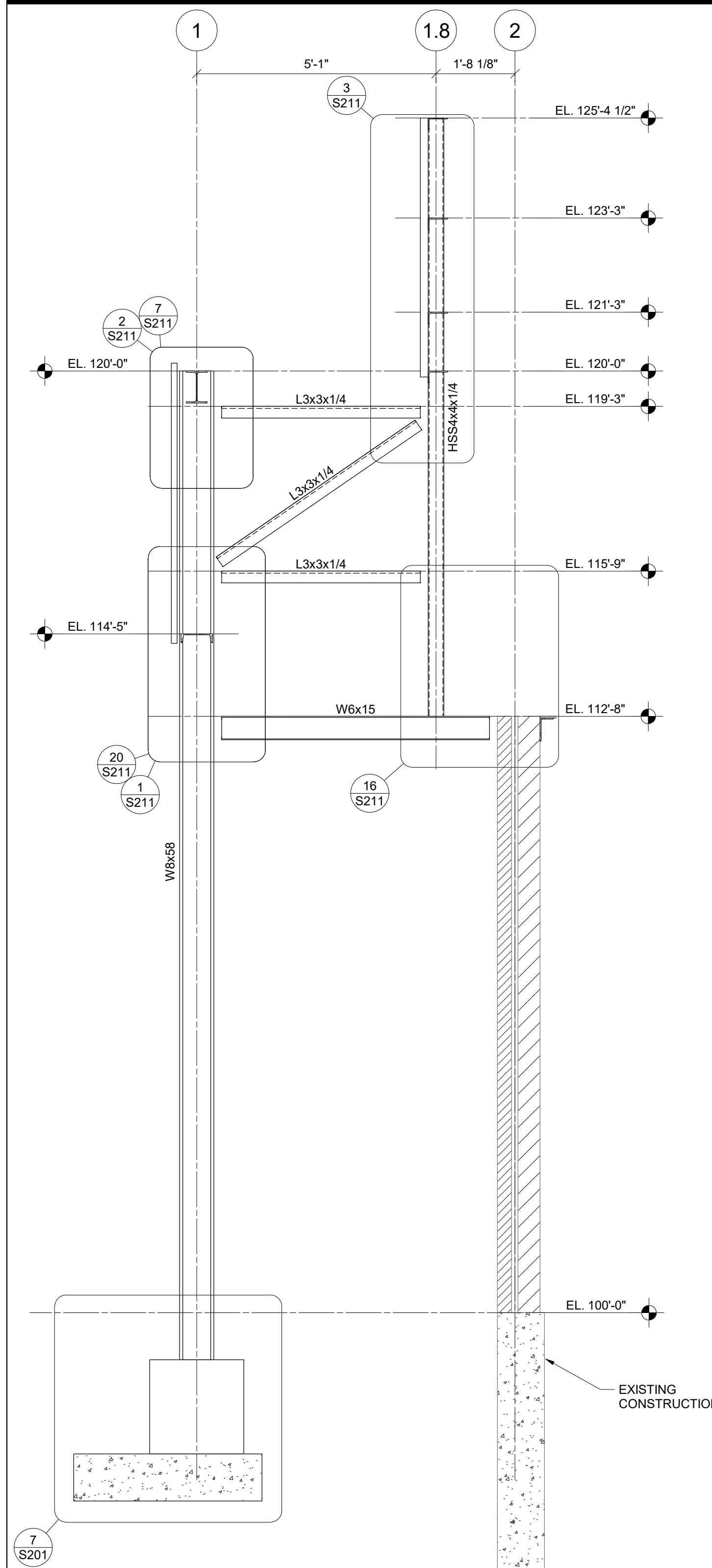
RENOVATION OF HEARTLAND BANK DUBLIN
 6300 FRANTZ ROAD,
 DUBLIN OH - 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

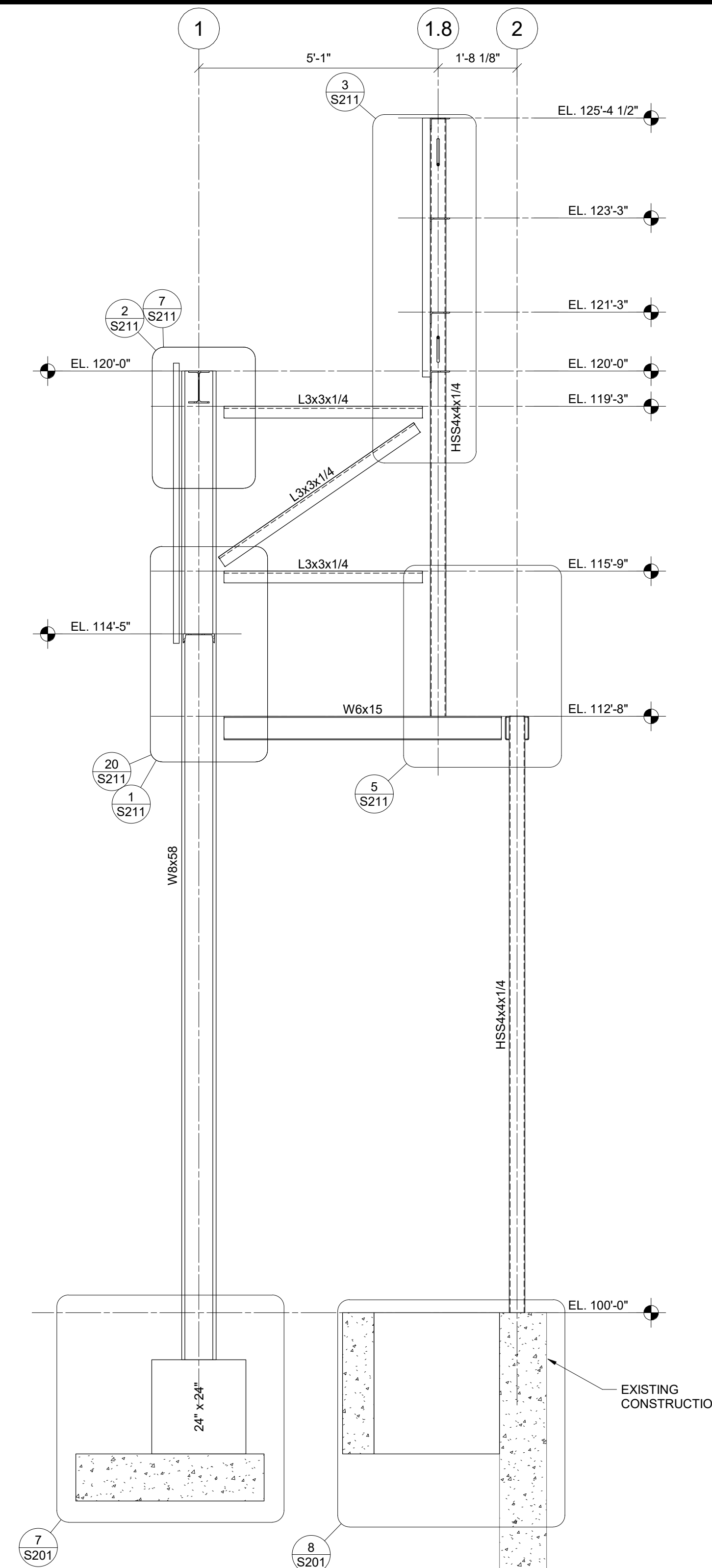
DRAWING TITLE:
FRAMING DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: MM CHECKED BY: JC
	20022
	S212

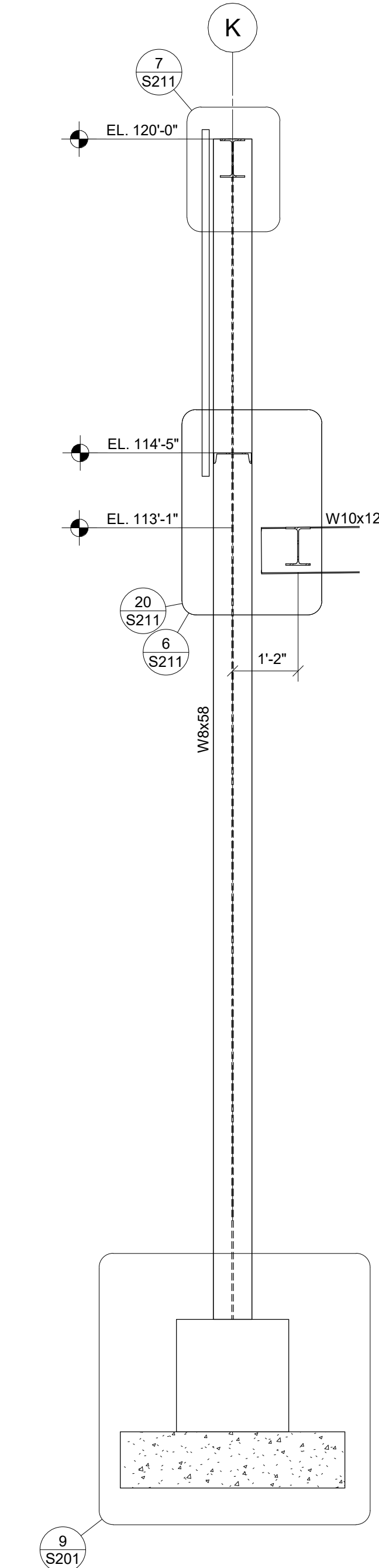
FINAL DEVELOPMENT PLAN



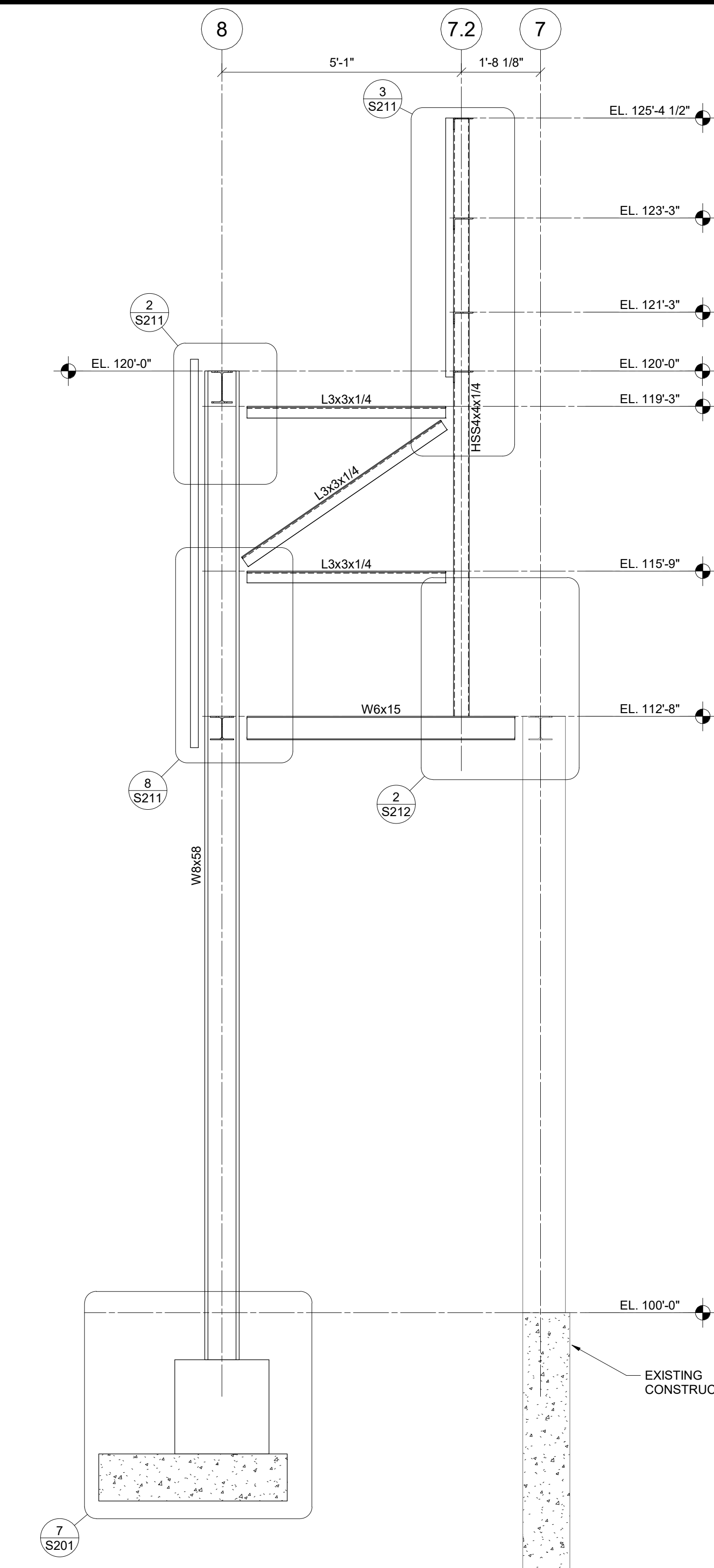
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1/2" = 1'-0"



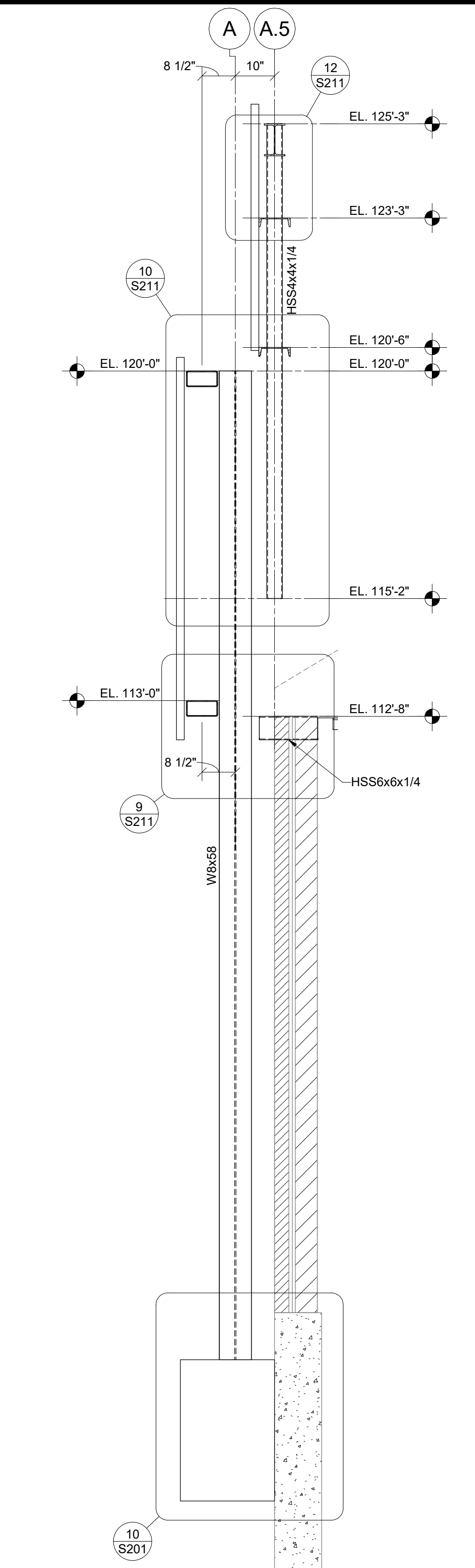
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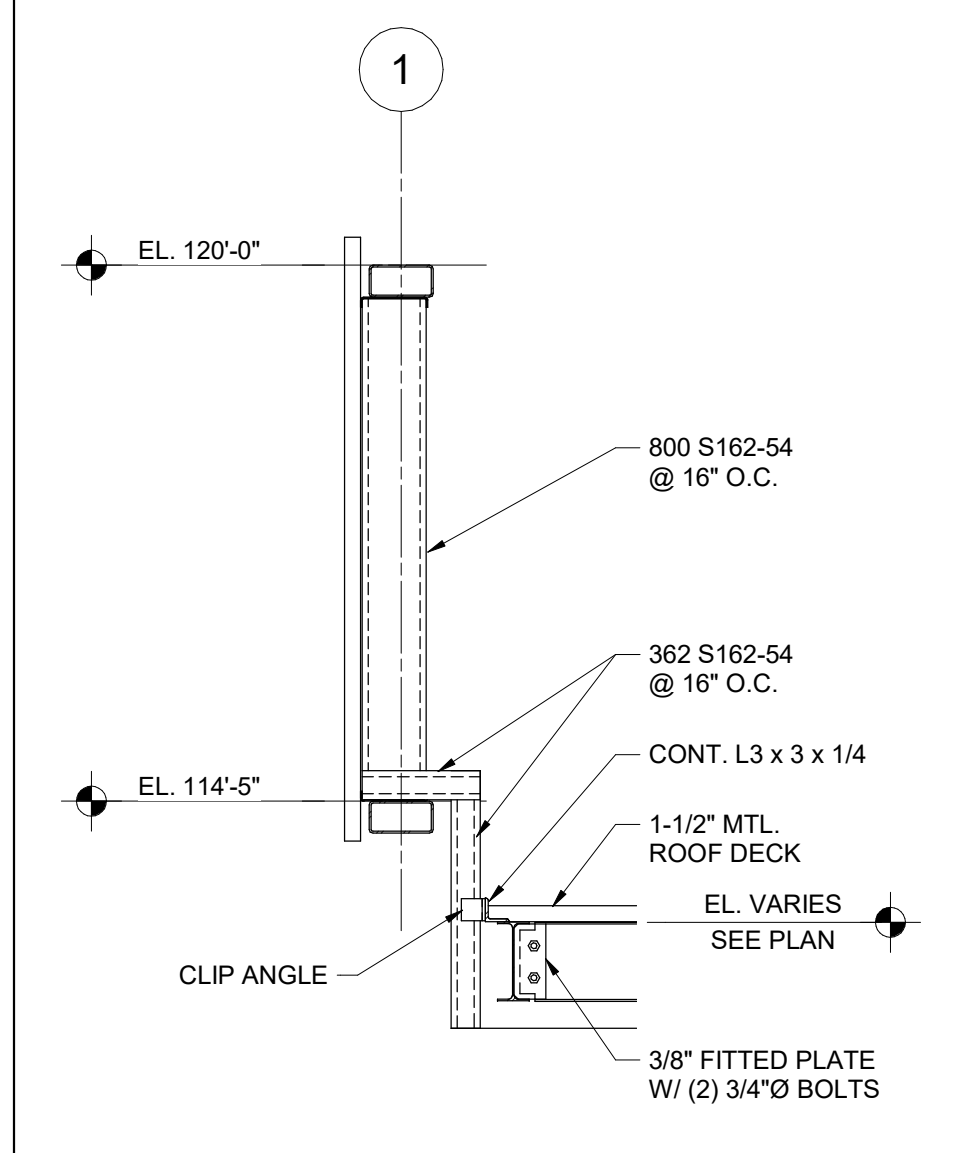
SECTION 3
1/2" = 1'-0"



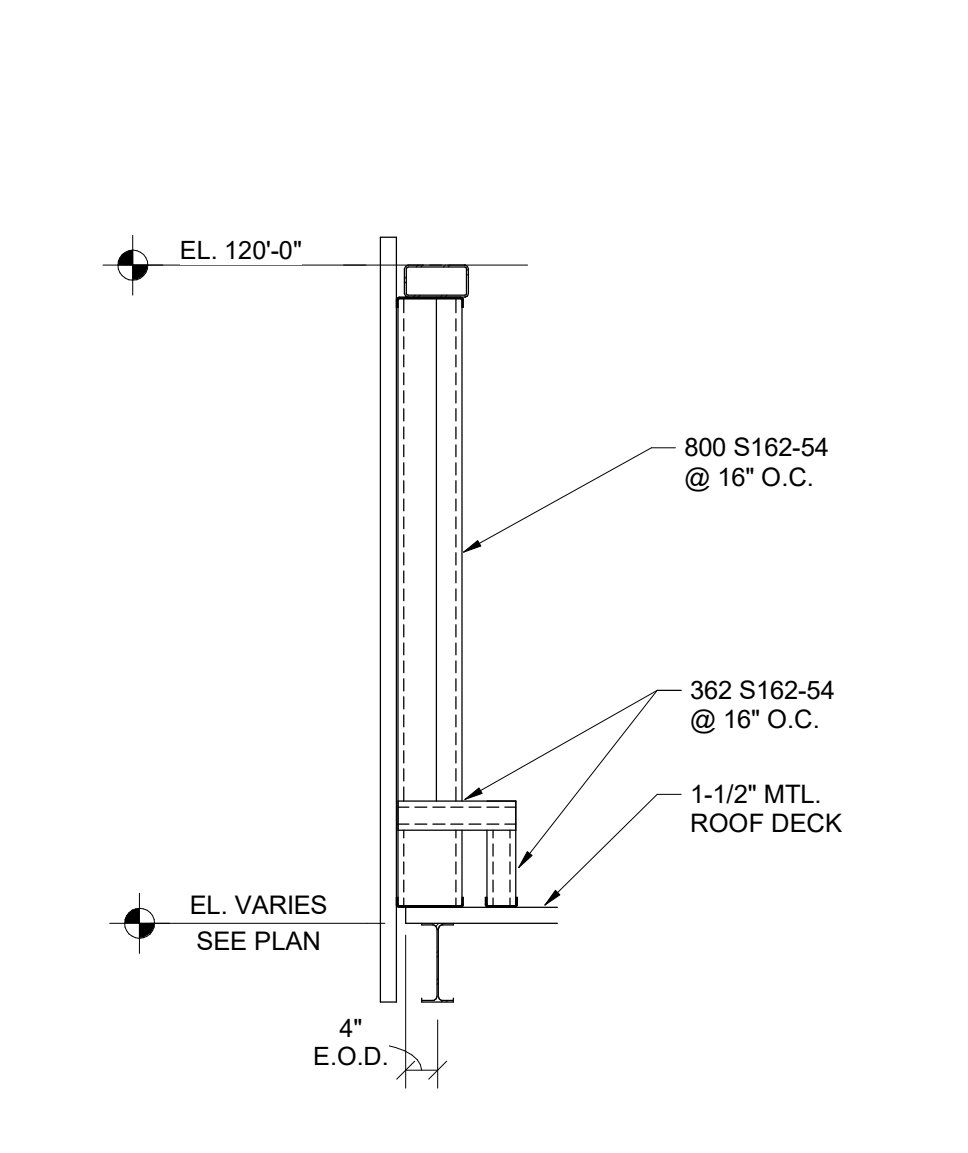
SECTION 4
1/2" = 1'-0"



SECTION 5
1/2" = 1'-0"



SECTION 6
1/2" = 1'-0"



SECTION 7
1/2" = 1'-0"

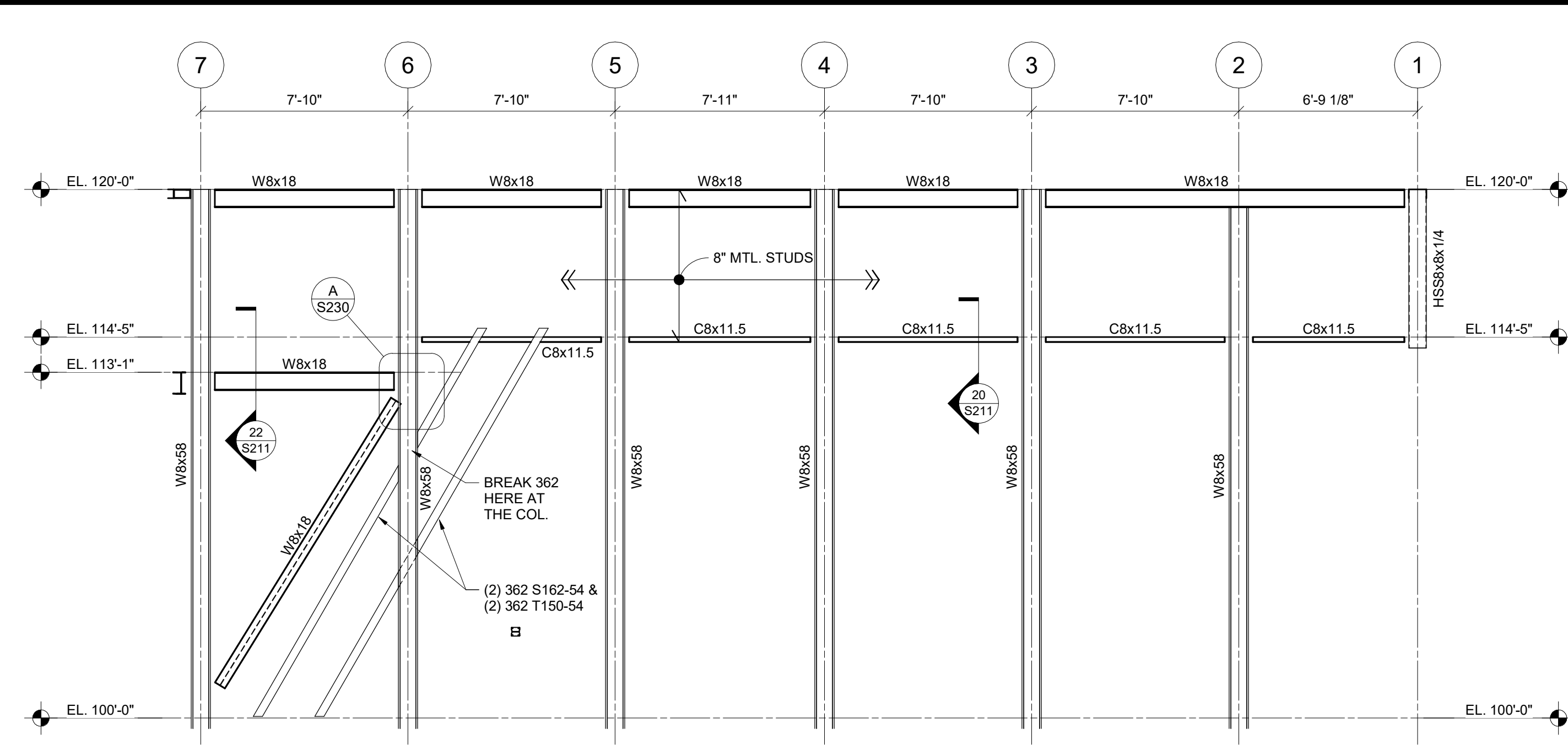
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5303 FRANTZ ROAD, DUBLIN OH - 43017
 FOR HEARTLAND BANK

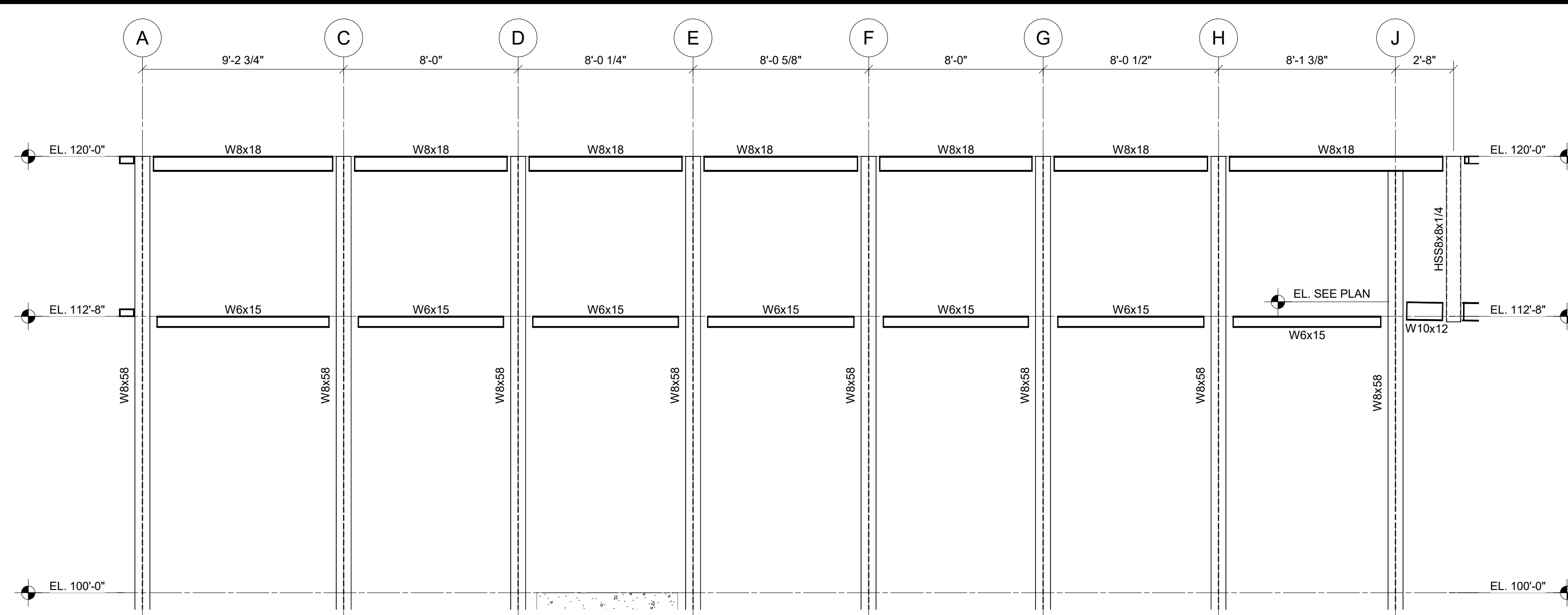
MOODY-NOLAN
 300 SPRUCE STREET SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE: **FRAMING DETAILS**

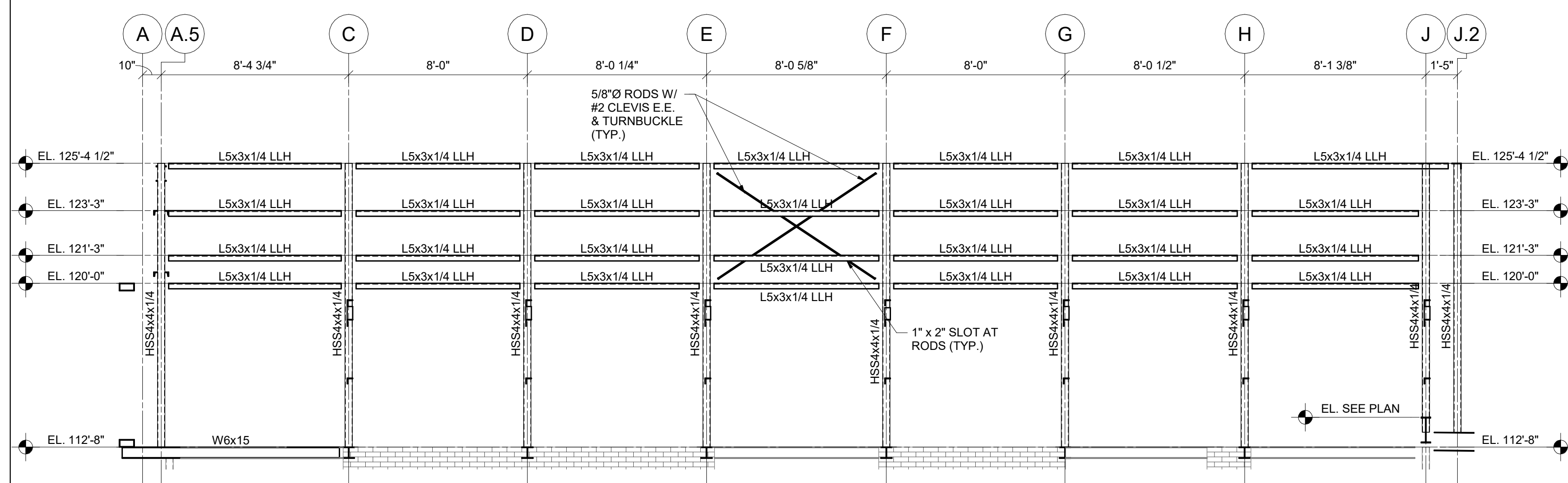
PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: MM CHECKED BY: JC
	20022
S220	
FINAL DEVELOPMENT PLAN	



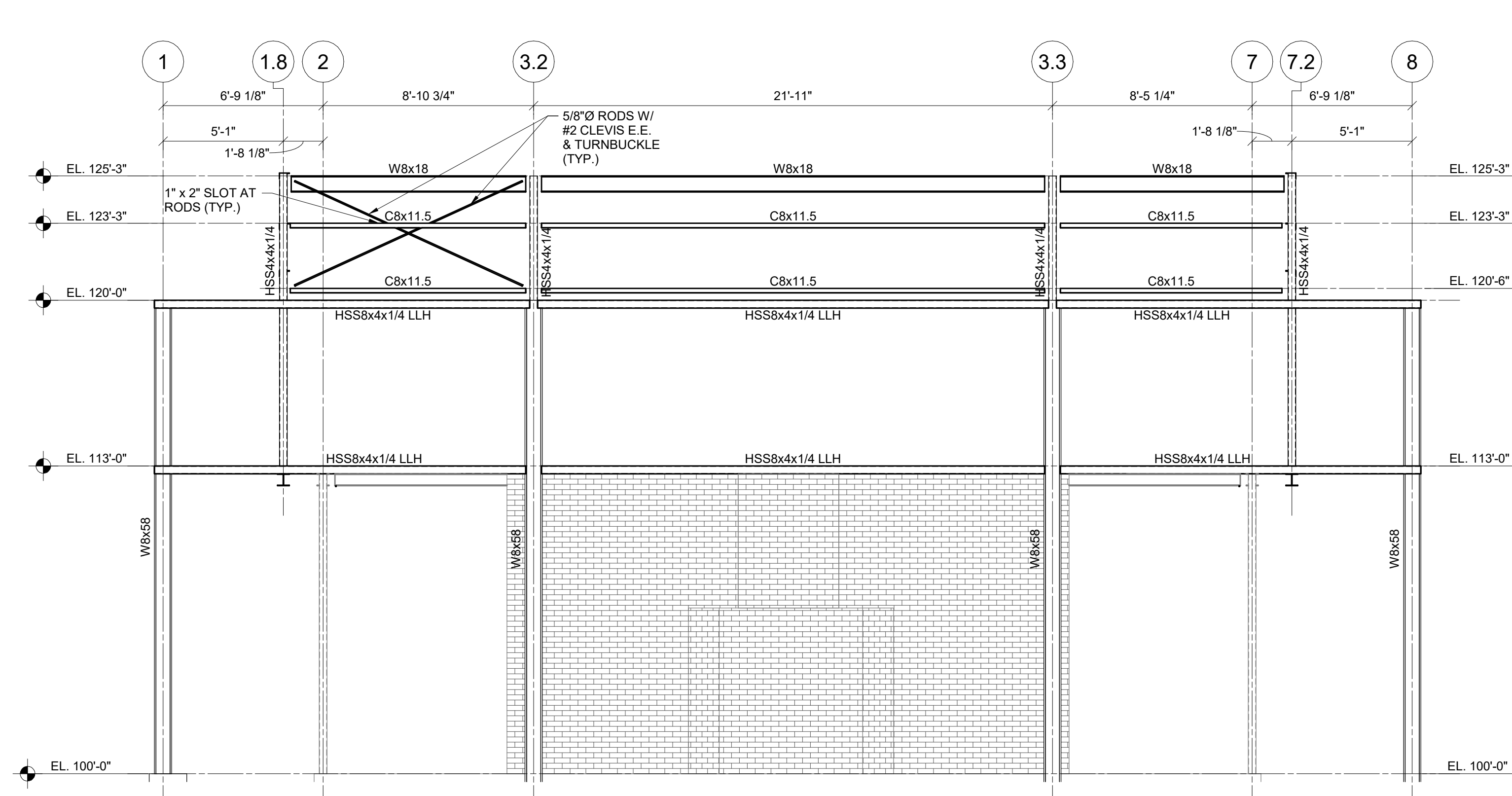
ELEVATION LINE K
1/4" = 1'-0"



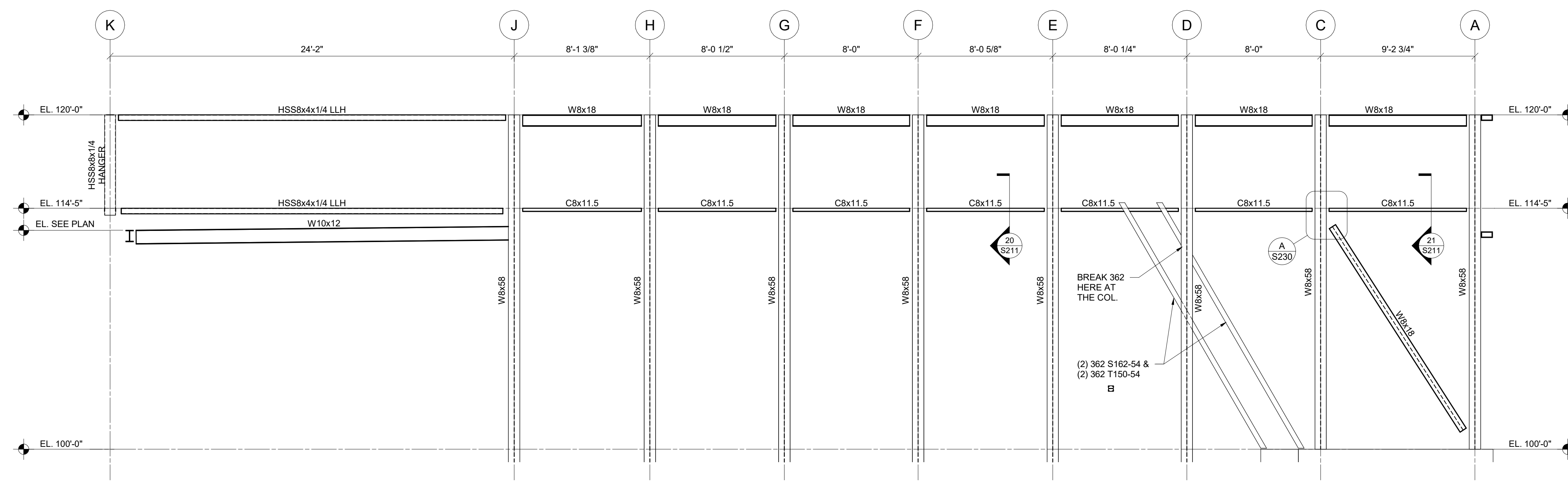
ELEVATION LINE 8
1/4" = 1'-0"



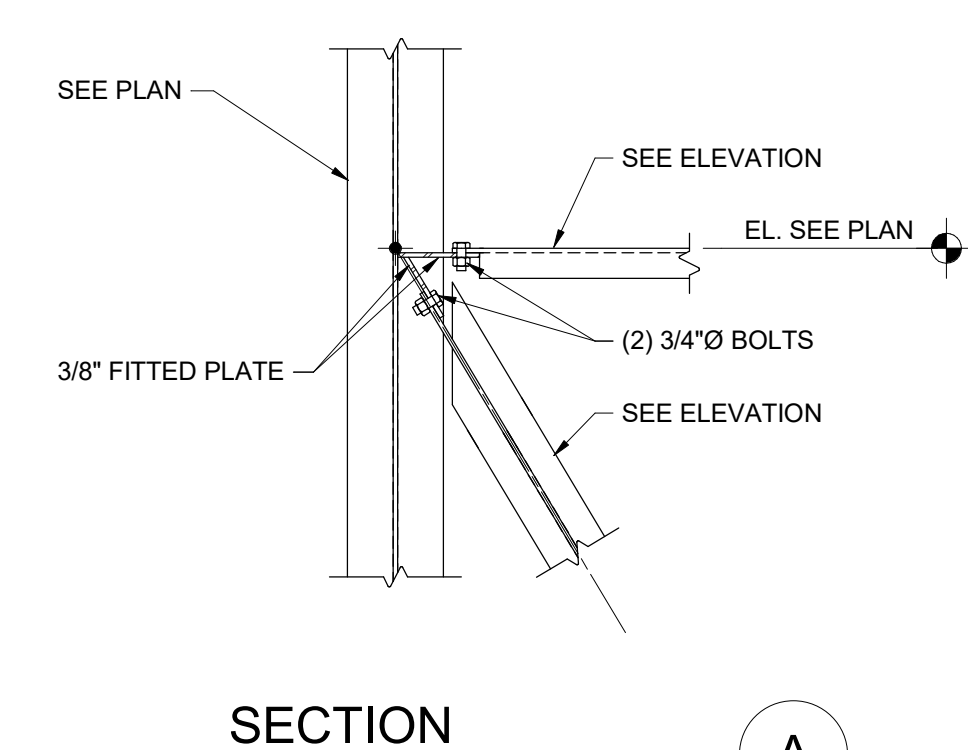
ELEVATION LINE 7.2
1/4" = 1'-0"



ELEVATION LINE A
1/4" = 1'-0"



ELEVATION LINE 1
1/4" = 1'-0"



SECTION
3/4" = 1'-0"

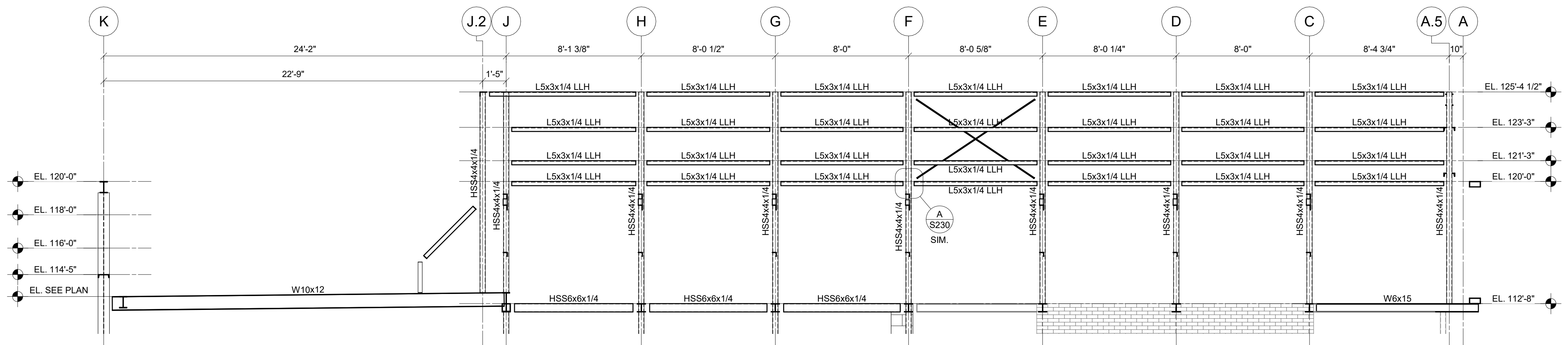
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5303 FRANTZ ROAD,
 DUBLIN, OH - 43017
 FOR
HEARTLAND BANK

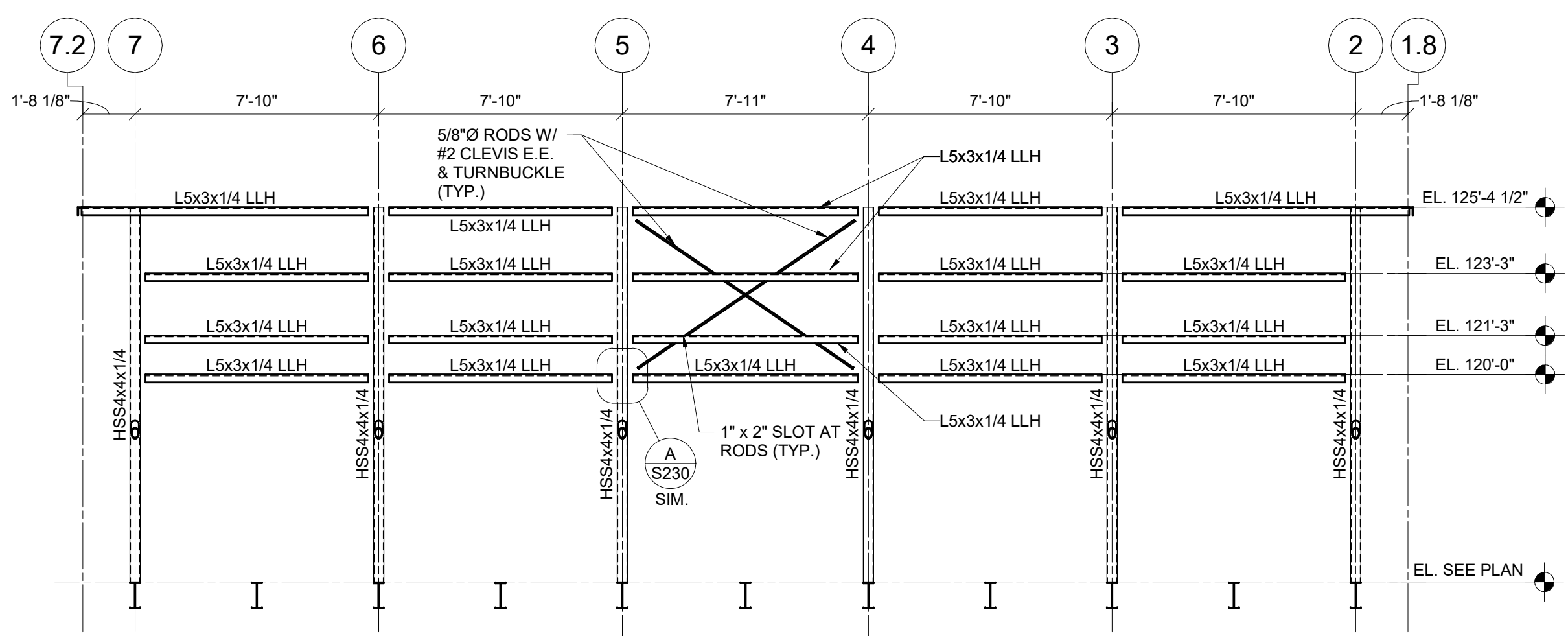
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
FRAMING ELEVATIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: MM CHECKED BY: JC
	20022
S230	
FINAL DEVELOPMENT PLAN	



ELEVATION LINE 1.8
1/4" = 1'-0"



ELEVATION
1/4" = 1'-0"

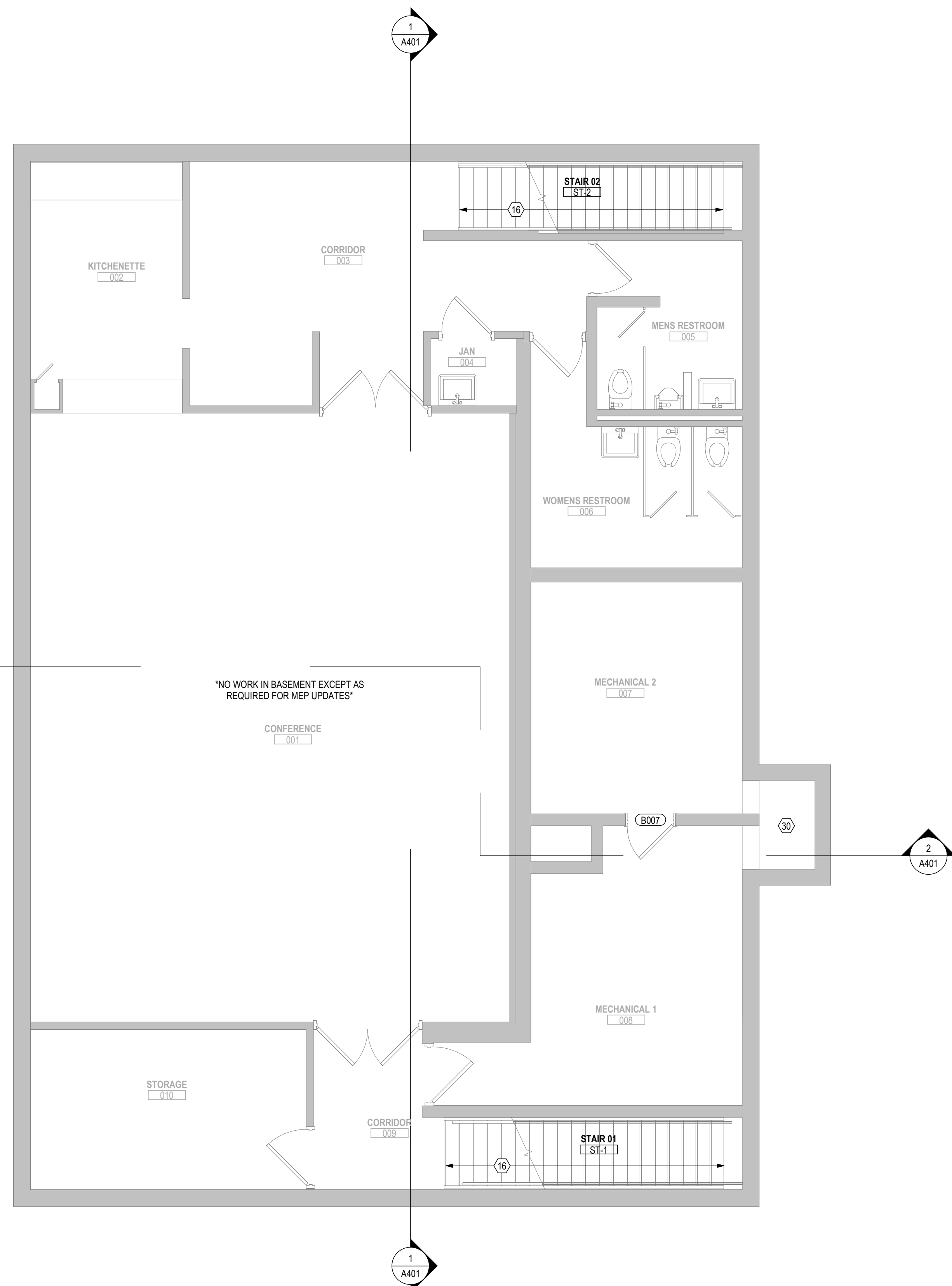
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6303 FRANTZ ROAD,
 DUBLIN OH - 43017
 FOR
HEARTLAND BANK

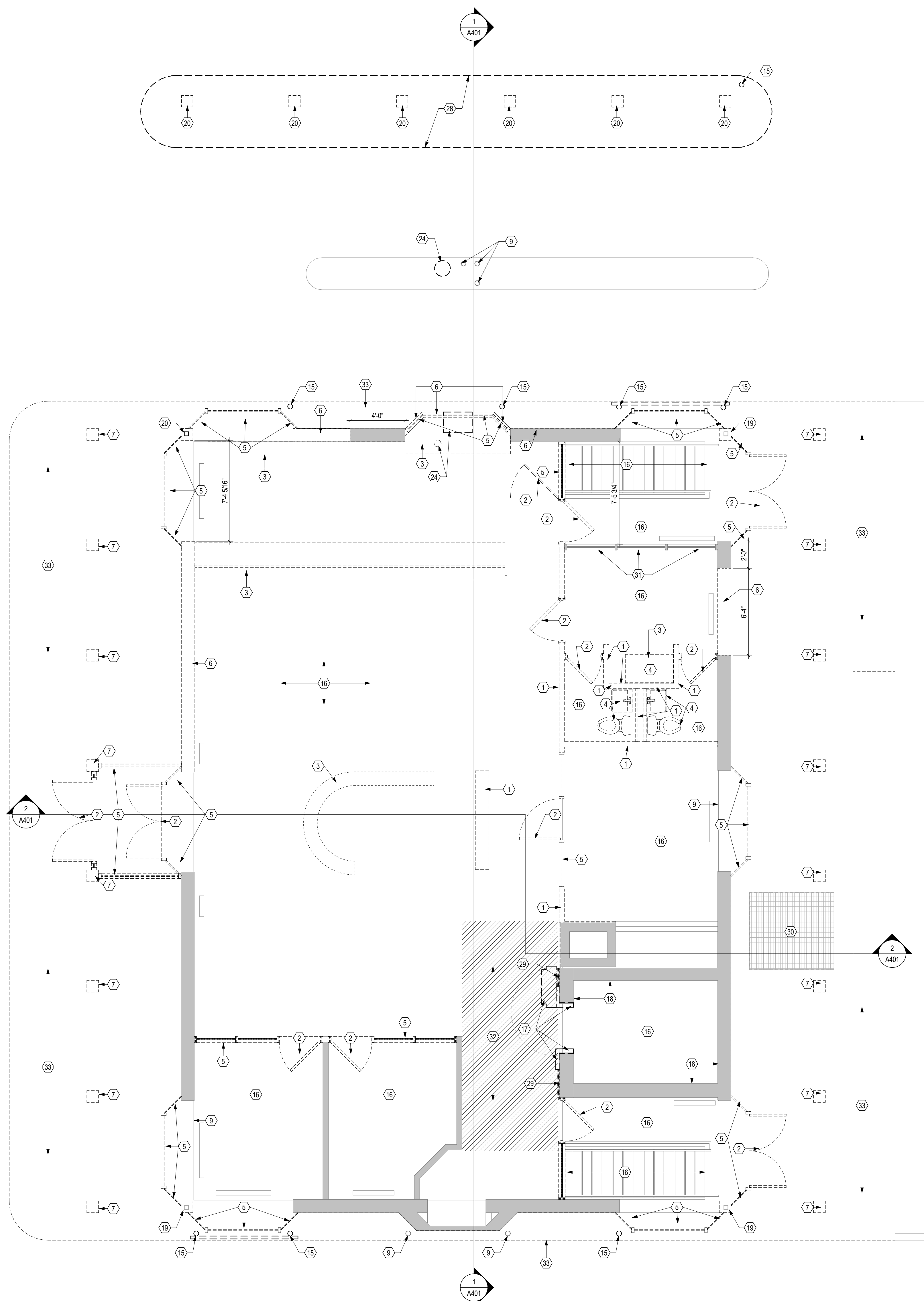
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
FRAMING ELEVATIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021 DRAWN BY: MM CHECKED BY: JC
	20022
	S231
	FINAL DEVELOPMENT PLAN



2 PLAN BASEMENT DEMO
 1/4" = 1'-0"



1 PLAN FIRST FLOOR DEMO
 1/4" = 1'-0"

GENERAL NOTES - DEMOLITION PLANS

1. PRIOR TO BEGINNING OF DEMOLITION, COORDINATE w/OWNER REGARDING:
 - A. TIMING OF WORK AND SCHEDULE
 - B. COORDINATE ALL DEMOLITION WORK w/ RELATED WORK IN PLUMBING, HVAC AND ELECTRICAL DRAWINGS
2. UNLESS NOTED OTHERWISE, THE DEMOLITION OF ANY WALL SHALL BE FROM FLOOR SLAB TO STRUCTURE ABOVE AND SHALL INCLUDE THE REMOVAL OF EVERYTHING CONTAINED IN OR ATTACHED TO THE WALL.
3. AREAS IMPACTED BY FLOORING REMOVAL ARE TO BE PATCHED, REPAIRED AND SUITABLY PREPPED PRIOR TO INSTALLATION OF NEW FLOORING.
4. CEILING REMOVAL IS TO BE LIMITED TO THOSE AREAS NOTED ON THE DEMOLITION PLANS. WHERE NOTED, ALL SUSPENDED CEILING SYSTEMS (TILES, GRIDS, HANGERS) ARE TO BE REMOVED.
5. IN AREAS OF EXISTING WALL REMOVAL, FLOOR SURFACE IS TO BE PATCHED, REPAIRED AND LEVELLED IN PREPARATION FOR NEW FLOOR INSTALLATION.
6. REMOVE EXISTING FLOORING ON THE ENTIRE 1st FLOOR UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING BATT INSULATION THAT IS SITTING ON TOP OF THE DROP CEILING AS WELL AS THE FOIL FACED BATT INSULATION INSTALLED BETWEEN THE TRUSSES. THIS APPLIES TO THE ENTIRE 1st FLOOR CEILING. EXISTING WALLS TO REMAIN ARE SHADED.

DEMOLITION LEGEND

- XXX ROOM NUMBER
- CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- DOOR TO REMAIN
- DOOR TO BE REMOVED

CODED DEMOLITION NOTES

- 1 REMOVE EXISTING WALL IN ITS ENTIRETY.
- 2 REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
- 3 REMOVE EXISTING CASEWORK & COUNTERTOPS IN THEIR ENTIRETY.
- 4 REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK ON PLUMBING DRAWINGS.
- 5 REMOVE EXISTING STOREFRONT WINDOW & FRAMING IN ITS ENTIRETY.
- 6 REMOVE PORTION OF EXISTING EXTERIOR WALL AS SHOWN ON PLAN.
- 7 REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
- 8 REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING & PLASTER CEILING. COORDINATE w/ RELATED MEP & STRUCTURAL WORK.
- 9 EXISTING STEEL BOLLARD TO REMAIN.
- 10 REMOVE A PORTION OF THE EXISTING BRICK CHIMNEY AND STONE CAP.
- 11 REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK, STRUCTURAL FRAMING & PLASTER C.G. SEE STRUCT DWGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. COORDINATE w/ RELATED MEP WORK.
- 12 REMOVE EXISTING BAY WINDOW - WALL AND ROOF IN THEIR ENTIRETY.
- 13 REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
- 14 EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING.
- 15 EXISTING BOLLARD AND ANY ATTACHED GUARDRAILS TO BE REMOVED IN ITS ENTIRETY.
- 16 REMOVE EXISTING FLOORING MATERIAL AND ADHESIVE FOR PROPER INSTALL OF NEW FLOORING.
- 17 REMOVE EXISTING VAULT DOOR. CONTRACTOR TO REMOVE DOOR & FRAME. REMOVE STL CHANNEL ON ONE SIDE TO ADJUST FOR NEW DOOR DIMENSIONS. COORDINATE WORK WITH VAULT DOOR INSTALLER.
- 18 REMOVE WALLPAPER AND ADHESIVE OFF OF THE STEEL PLATES IN VAULT AND PREP FOR NEW FINISHES.
- 19 REMOVE EXISTING WOOD WRAP AROUND EXIST COLUMNS TO REMAIN.
- 20 REMOVE EXISTING STEEL COLUMN w/ WOOD WRAP - REFER TO STRUCTURAL FOR DETAILS.
- 21 EXISTING SLATE ROOF TO REMAIN UNLESS NOTED OTHERWISE.
- 22 REMOVE EXISTING LIGHTS - REFER TO ELECTRICAL FOR DETAILS.
- 23 REMOVE EXISTING CEILING PANELS AND GRID AS REQUIRED IN THE BASEMENT FOR MEP WORK AND SALVAGE FOR RE-INSTALLATION. COORDINATE EXTENTS OF WORK WITH MEP SHEETS.
- 24 REMOVE EXISTING TELLER TUBE TERMINAL SYSTEM AND DEAL DRAWER (INSIDE / OUTSIDE).
- 25 REMOVE EXISTING CEILING GRID AND TILE IN ITS ENTIRETY. COORDINATE w/ RELATED MEP WORK.
- 26 REMOVE EXISTING GYPSUM BOARD SOFFIT/CEILING IN ITS ENTIRETY. COORDINATE w/ RELATED MEP WORK.
- 27 REMOVE EXISTING SPLINE CEILING IN ITS ENTIRETY. COORDINATE w/ RELATED MEP WORK.
- 28 REMOVE EXISTING CONCRETE ISLAND & SURROUNDING ASPHALT PAVEMENT AS REQ'D TO INSTALL FOOTINGS. REFER TO CIVIL SHEETS FOR REPLACEMENT DETAILS.
- 29 REMOVE EXISTING DECORATIVE WOOD STRIPS AND GIB FROM EXISTING FRAME TO REMAIN.
- 30 EXISTING METAL GRATE AND MECHANICAL ACCESS TO BASEMENT.
- 31 EXISTING INTERIOR GLASS AND FRAMING TO REMAIN.
- 32 THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
- 33 REMOVE EXISTING CONCRETE WALK - SEE CIVIL FOR DETAILS.

#	DATE	CHANGE DESCRIPTION

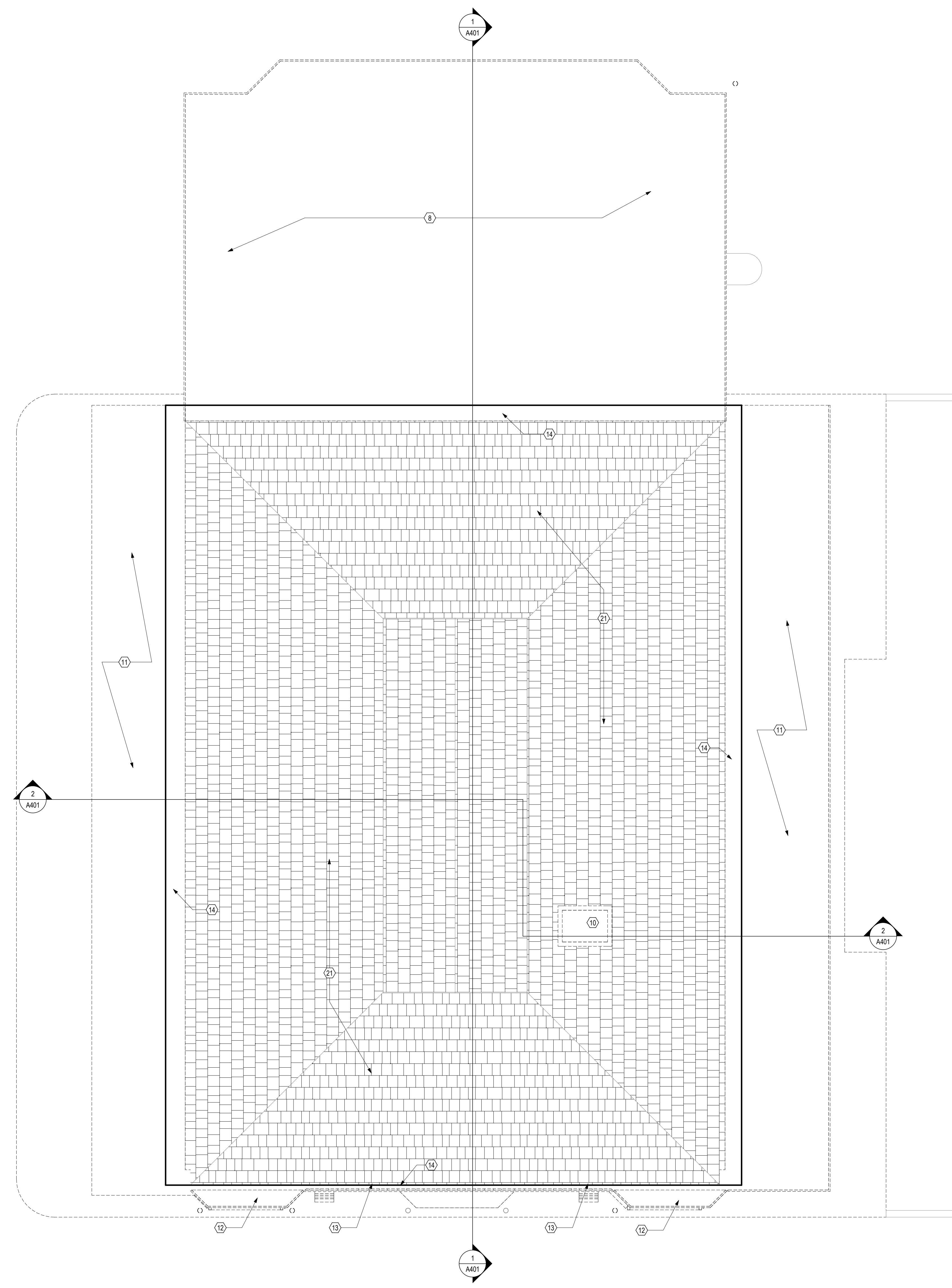
RENOVATION OF HEARTLAND BANK DUBLIN
 500 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:

DEMO PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021 DRAWN BY: Author CHECKED BY: Checker
	2022
	AD101 FINAL DEVELOPMENT PLAN

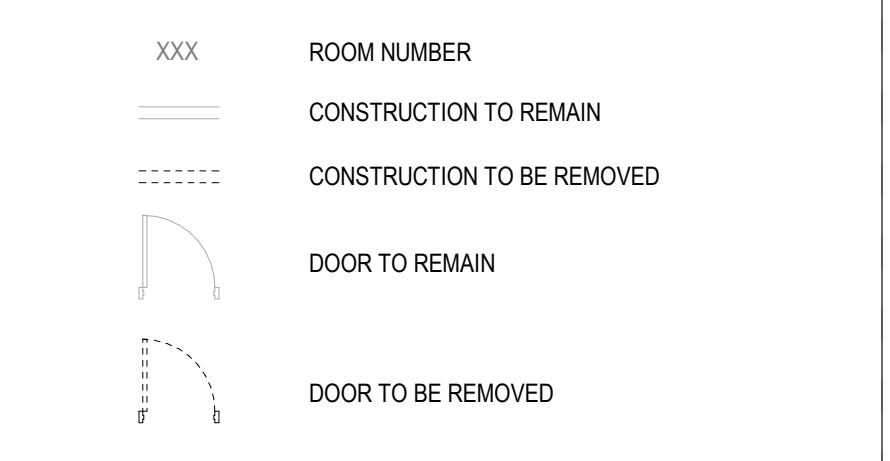


1 PLAN ROOF DEMO
 1/4" = 1'-0"

GENERAL NOTES - DEMOLITION PLANS

1. PRIOR TO BEGINNING OF DEMOLITION, COORDINATE w/OWNER REGARDING:
 - A. TIMING OF WORK AND SCHEDULE
 - B. COORDINATE ALL DEMOLITION WORK w/ RELATED WORK IN PLUMBING, HVAC AND ELECTRICAL DRAWINGS
2. UNLESS NOTED OTHERWISE, THE DEMOLITION OF ANY WALL SHALL BE FROM FLOOR SLAB TO STRUCTURE ABOVE AND SHALL INCLUDE THE REMOVAL OF EVERYTHING CONTAINED IN OR ATTACHED TO THE WALL.
3. AREAS IMPACTED BY FLOORING REMOVAL ARE TO BE PATCHED, REPAIRED AND SUITABLY PREPPED PRIOR TO INSTALLATION OF NEW FLOORING.
4. CEILING REMOVAL IS TO BE LIMITED TO THOSE AREAS NOTED ON THE DEMOLITION PLANS. WHERE NOTED, ALL SUSPENDED CEILING SYSTEMS (TILES, GRIDS, HANGERS) ARE TO BE REMOVED.
5. IN AREAS OF EXISTING WALL REMOVAL, FLOOR SURFACE IS TO BE PATCHED, REPAIRED AND LEVELLED IN PREPARATION FOR NEW FLOOR INSTALLATION.
6. REMOVE EXISTING FLOORING ON THE ENTIRE 1st FLOOR UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING BATT INSULATION THAT IS SITTING ON TOP OF THE DROP CEILING AS WELL AS THE FOIL FACED BATT INSULATION INSTALLED BETWEEN THE TRUSSES. THIS APPLIES TO THE ENTIRE 1st FLOOR CEILING. EXISTING WALLS TO REMAIN ARE SHADED.

DEMOLITION LEGEND



CODED DEMOLITION NOTES

1. REMOVE EXISTING WALL IN ITS ENTIRETY.
2. REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
3. REMOVE EXISTING CASEWORK & COUNTERTOPS IN THEIR ENTIRETY.
4. REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK ON PLUMBING DRAWINGS.
5. REMOVE EXISTING STOREFRONT WINDOW & FRAMING IN ITS ENTIRETY.
6. REMOVE PORTION OF EXISTING EXTERIOR WALL AS SHOWN ON PLAN.
7. REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
8. REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING & PLASTER CEILING. COORDINATE w/ RELATED MEP & STRUCTURAL WORK.
9. EXISTING STEEL BOLLARD TO REMAIN.
10. REMOVE A PORTION OF THE EXISTING BRICK CHIMNEY AND STONE CAP.
11. REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING DECK, STRUCTURAL FRAMING & PLASTER C.G. SEE STRUCT DWGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. COORDINATE w/ RELATED MEP WORK.
12. REMOVE EXISTING BAY WINDOW -WALL AND ROOF IN THEIR ENTIRETY.
13. REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
14. EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING.
15. EXISTING BOLLARD AND ANY ATTACHED GUARDRAILS TO BE REMOVED IN ITS ENTIRETY.
16. REMOVE EXISTING FLOORING MATERIAL AND ADHESIVE FOR PROPER INSTALL OF NEW FLOORING.
17. REMOVE EXISTING VAULT DOOR. CONTRACTOR TO REMOVE DOOR & FRAME. REMOVE STL CHANNEL ON ONE SIDE TO ADJUST FOR NEW DOOR DIMENSIONS. COORDINATE WORK WITH VAULT DOOR INSTALLER.
18. REMOVE WALLPAPER AND ADHESIVE OFF OF THE STEEL PLATES IN VAULT AND PREP FOR NEW FINISHES.
19. REMOVE EXISTING WOOD WRAP AROUND EXIST COLUMNS TO REMAIN.
20. REMOVE EXISTING STEEL COLUMN w/ WOOD WRAP - REFER TO STRUCTURAL FOR DETAILS.
21. EXISTING SLATE ROOF TO REMAIN UNLESS NOTED OTHERWISE.
22. REMOVE EXISTING LIGHTS - REFER TO ELECTRICAL FOR DETAILS.
23. REMOVE EXISTING CEILING PANELS AND GRID AS REQUIRED IN THE BASEMENT FOR MEP WORK AND SALVAGE FOR RE-INSTALLATION. COORDINATE EXTENTS OF WORK WITH MEP SHEETS.
24. REMOVE EXISTING TELLER TUBE TERMINAL SYSTEM AND DEAL DRAWER (INSIDE / OUTSIDE).
25. REMOVE EXISTING CEILING GRID AND TILE IN ITS ENTIRETY. COORDINATE w/ RELATED MEP WORK.
26. REMOVE EXISTING GYPSUM BOARD SOFFIT/CEILING IN ITS ENTIRETY. COORDINATE w/ RELATED MEP WORK.
27. REMOVE EXISTING SPLINE CEILING IN ITS ENTIRETY. COORDINATE w/ RELATED MEP WORK.
28. REMOVE EXISTING CONCRETE ISLAND & SURROUNDING ASPHALT PAVEMENT AS REQ'D TO INSTALL FOOTINGS. REFER TO CIVIL SHEETS FOR REPLACEMENT DETAILS.
29. REMOVE EXISTING DECORATIVE WOOD STRIPS AND GWB FROM EXISTING FRAME TO REMAIN.
30. EXISTING METAL GRATE AND MECHANICAL ACCESS TO BASEMENT.
31. EXISTING INTERIOR GLASS AND FRAMING TO REMAIN.
32. THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
33. REMOVE EXISTING CONCRETE WALK - SEE CIVIL FOR DETAILS.

#	DATE	CHANGE DESCRIPTION

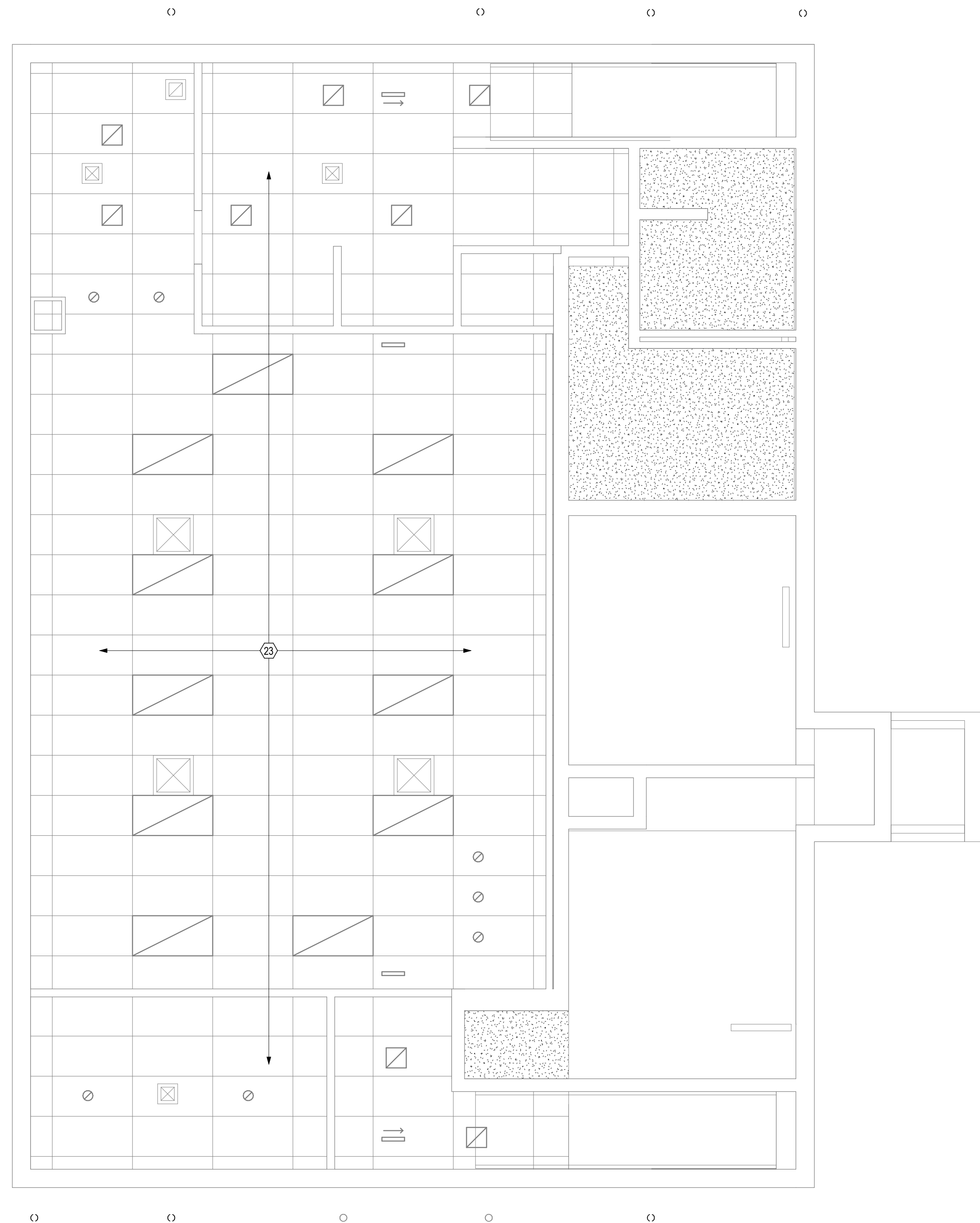
RENOVATION OF HEARTLAND BANK DUBLIN
 5303 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
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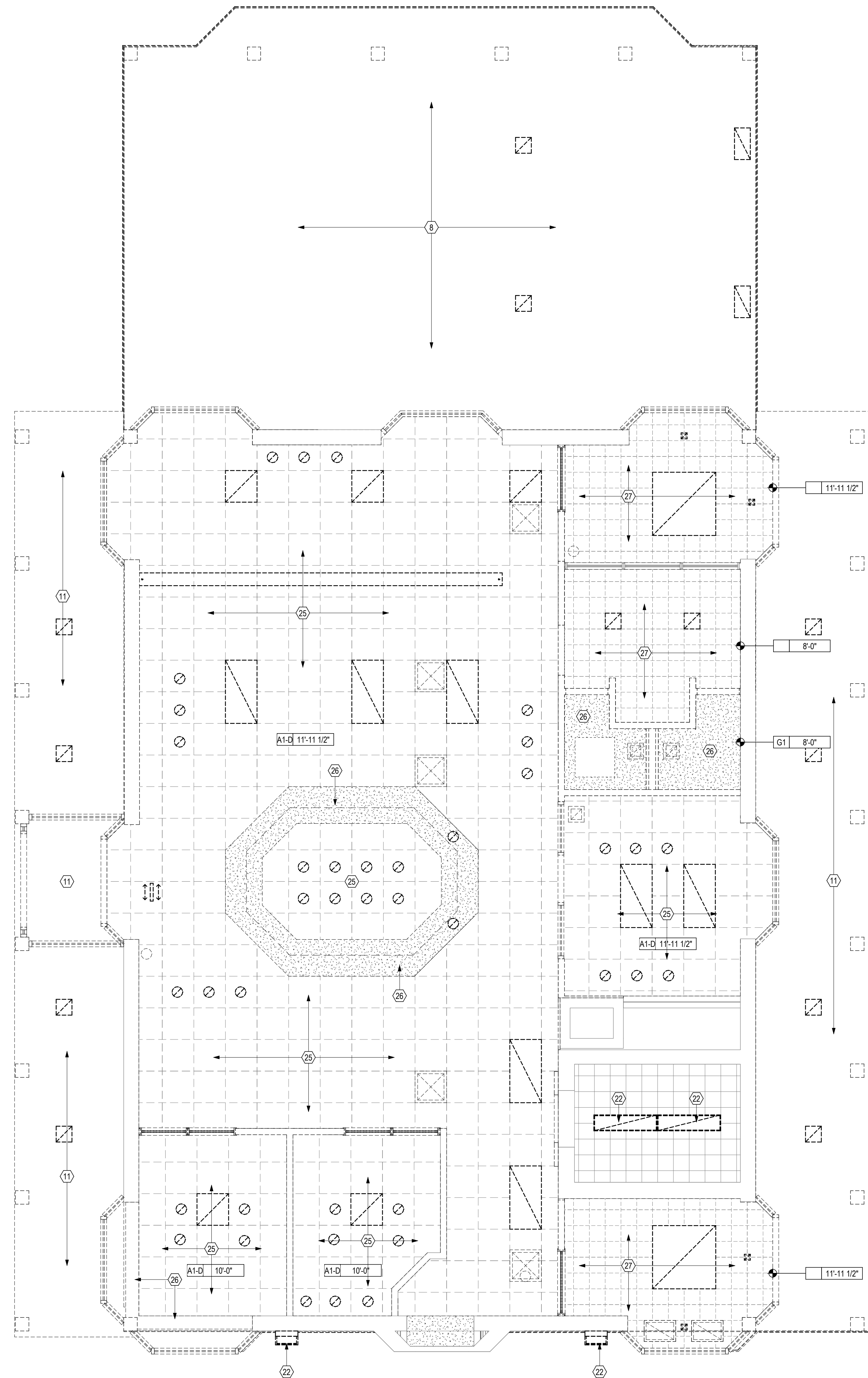
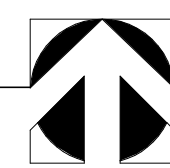
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ROOF DEMO PLAN

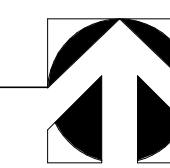
PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021 DRAWN BY: Author CHECKED BY: Checker
	20022
	AD102
	FINAL DEVELOPMENT PLAN



2 RCP BASEMENT DEMO RCP
 1/4" = 1'-0"



1 RCP FIRST FLOOR DEMO RCP
 1/4" = 1'-0"



GENERAL NOTES - DEMOLITION PLANS

1. PRIOR TO BEGINNING OF DEMOLITION, COORDINATE w/OWNER REGARDING:
 - A. TIMING OF WORK AND SCHEDULE
 - B. COORDINATE ALL DEMOLITION WORK w/ RELATED WORK IN PLUMBING, HVAC AND ELECTRICAL DRAWINGS
2. UNLESS NOTED OTHERWISE, THE DEMOLITION OF ANY WALL SHALL BE FROM FLOOR SLAB TO STRUCTURE ABOVE AND SHALL INCLUDE THE REMOVAL OF EVERYTHING CONTAINED IN OR ATTACHED TO THE WALL.
3. AREAS IMPACTED BY FLOORING REMOVAL ARE TO BE PATCHED, REPAIRED AND SUITABLY PREPPED PRIOR TO INSTALLATION OF NEW FLOORING.
4. CEILING REMOVAL IS TO BE LIMITED TO THOSE AREAS NOTED ON THE DEMOLITION PLANS. WHERE NOTED, ALL SUSPENDED CEILING SYSTEMS (TILES, GRIDS, HANGERS) ARE TO BE REMOVED.
5. IN AREAS OF EXISTING WALL REMOVAL, FLOOR SURFACE IS TO BE PATCHED, REPAIRED AND LEVELED IN PREPARATION FOR NEW FLOOR INSTALLATION.
6. REMOVE EXISTING FLOORING ON THE ENTIRE 1st FLOOR UNLESS NOTED OTHERWISE.
7. REMOVE EXISTING BATT INSULATION THAT IS SITTING ON TOP OF THE DROP CEILING AS WELL AS THE FOIL FACED BATT INSULATION INSTALLED BETWEEN THE TRUSSES. THIS APPLIES TO THE ENTIRE 1st FLOOR CEILING. EXISTING WALLS TO REMAIN ARE SHADED.

DEMOLITION LEGEND

- XXX ROOM NUMBER
- CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- DOOR TO REMAIN
- DOOR TO BE REMOVED

CODED DEMOLITION NOTES

1. REMOVE EXISTING WALL IN ITS ENTIRETY.
2. REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
3. REMOVE EXISTING CASEWORK & COUNTERTOPS IN THEIR ENTIRETY.
4. REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK ON PLUMBING DRAWINGS.
5. REMOVE EXISTING STOREFRONT WINDOW & FRAMING IN ITS ENTIRETY.
6. REMOVE PORTION OF EXISTING EXTERIOR WALL AS SHOWN ON PLAN.
7. REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
8. REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING & PLASTER CEILING. COORDINATE w/ RELATED MEP & STRUCTURAL WORK.
9. EXISTING STEEL BOLLARD TO REMAIN.
10. REMOVE A PORTION OF THE EXISTING BRICK CHIMNEY AND STONE CAP.
11. REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING DECK, STRUCTURAL FRAMING & PLASTER C.G. SEE STRUCT DWGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. COORDINATE w/ RELATED MEP WORK.
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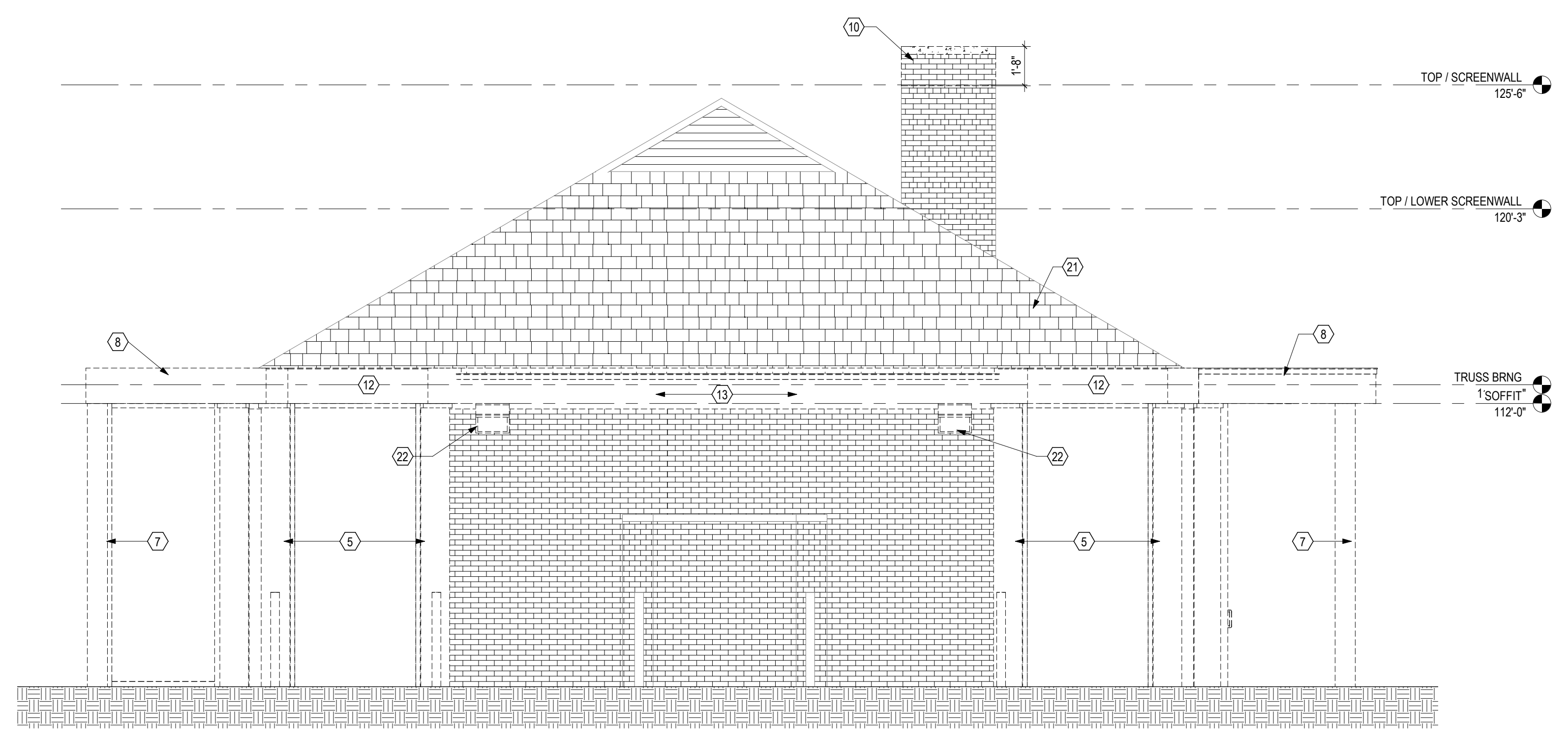
RENOVATION OF HEARTLAND BANK DUBLIN
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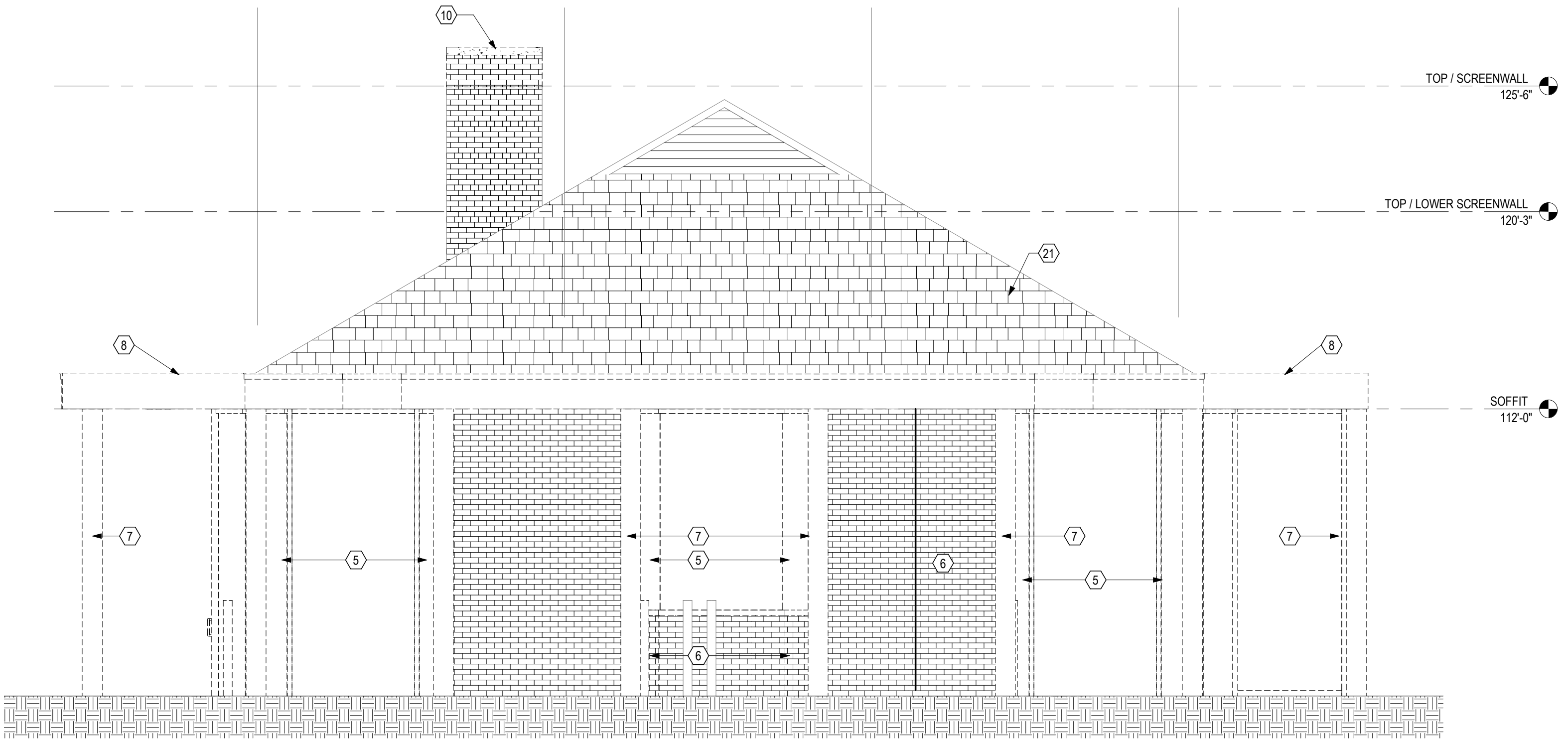
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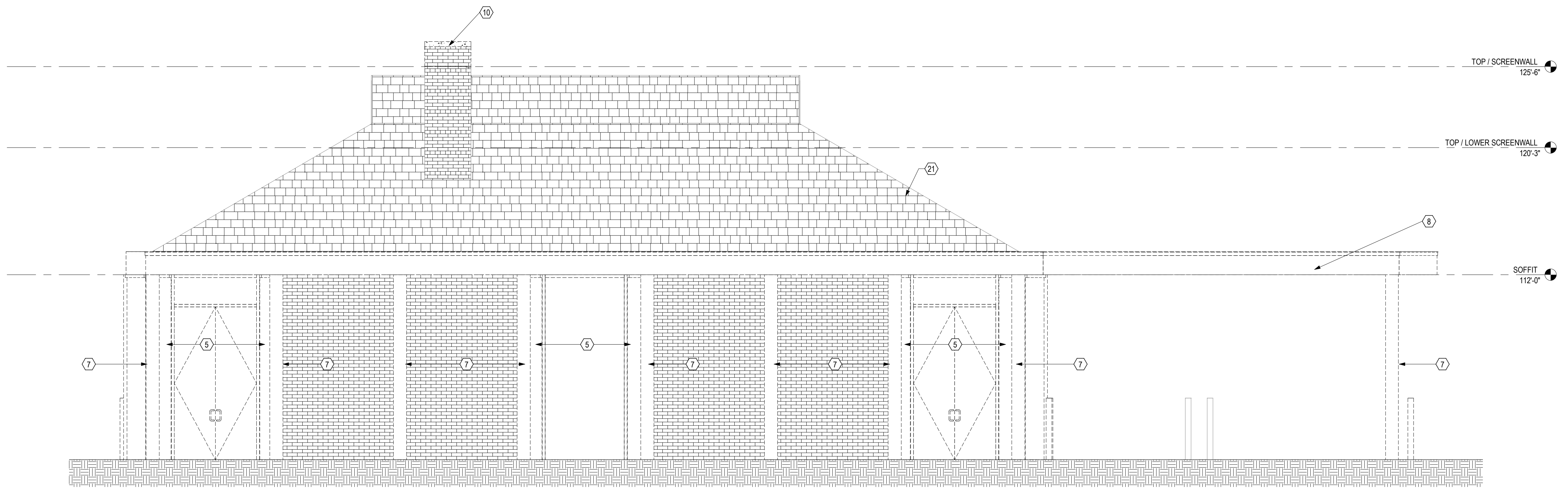
PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021 DRAWN BY: Author CHECKED BY: Checker
	20022
	AD201 FINAL DEVELOPMENT PLAN



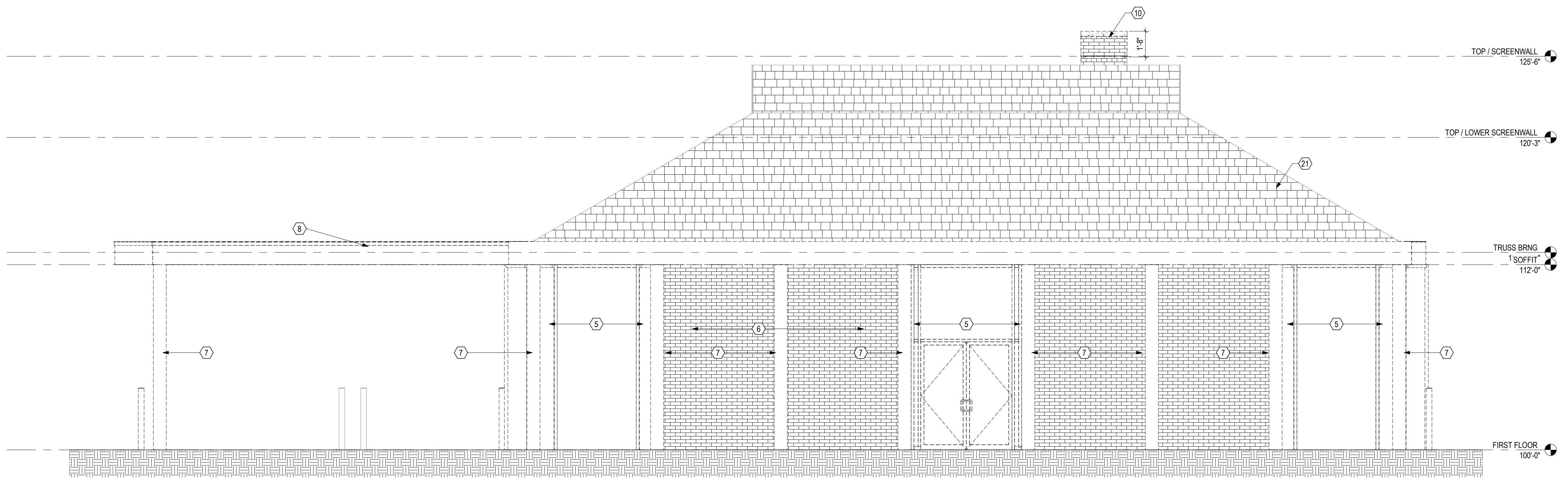
4 ELEVATION SOUTH DEMO
 1/4" = 1'-0" REF: 1 / A910



3 ELEVATION NORTH DEMO
 1/4" = 1'-0" REF: 1 / A910



2 ELEVATION EAST DEMO
 1/4" = 1'-0"



1 ELEVATION WEST DEMO
 1/4" = 1'-0"

GENERAL NOTES - DEMOLITION PLANS

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9. EXISTING WALLS TO REMAIN ARE SHADED.

DEMOLITION LEGEND

- XXXX ROOM NUMBER
- CONSTRUCTION TO REMAIN
- - - CONSTRUCTION TO BE REMOVED
- DOOR TO REMAIN
- - - DOOR TO BE REMOVED

CODED DEMOLITION NOTES

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- 32 THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
- 33 REMOVE EXISTING CONCRETE WALK - SEE CIVIL FOR DETAILS.

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 8300 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE: **DEMO ELEVATIONS**

DATE: 05/12/2021

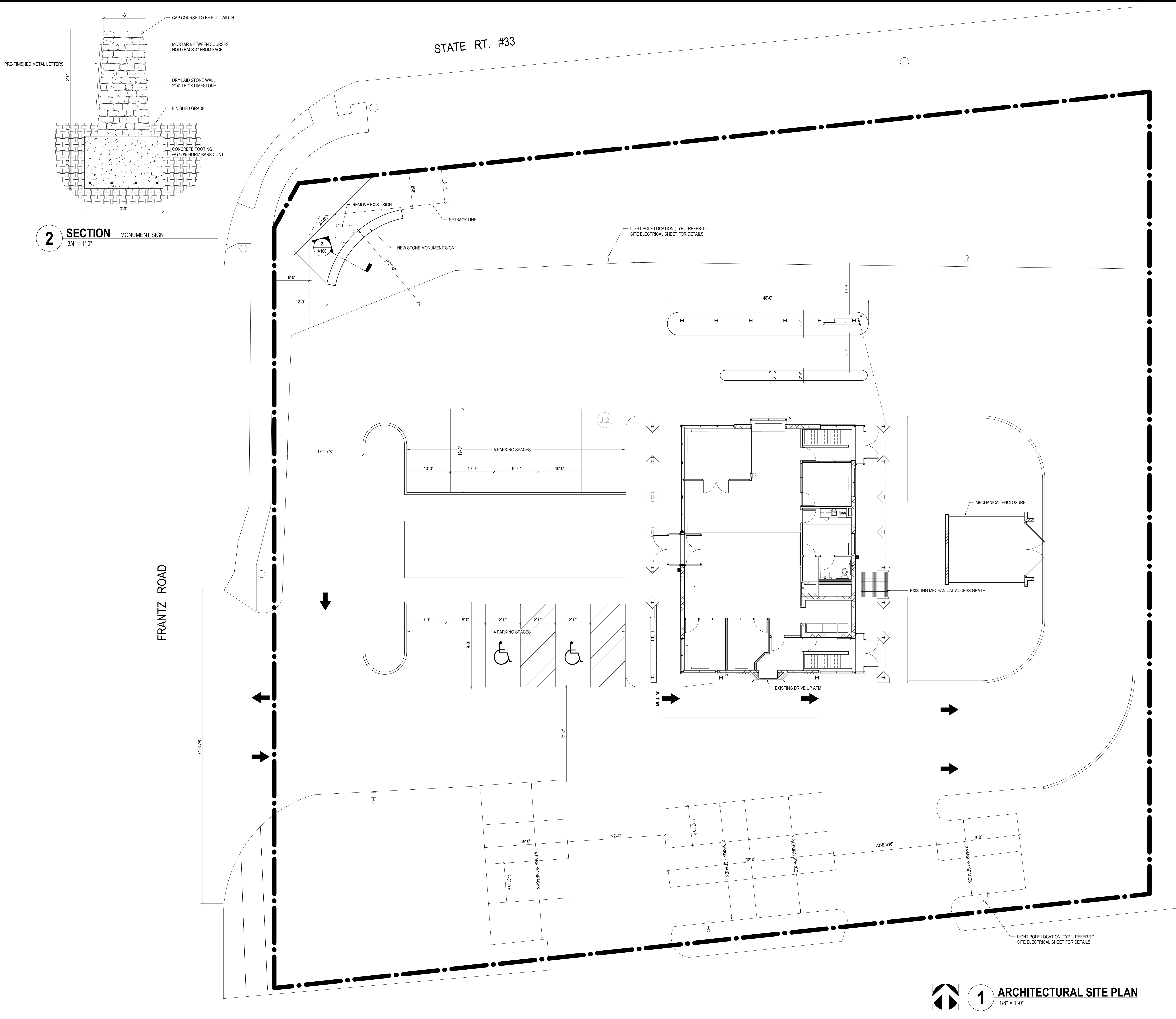
DRAWN BY: Author CHECKED BY: Checker

20022

AD301

FINAL DEVELOPMENT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION



2 SECTION
 MONUMENT SIGN
 3/4" = 1'-0"

GENERAL NOTES - PARKING PLAN

- THIS PROJECT INVOLVES THE RENOVATION OF AN EXISTING BUILDING AND SITE WITH 27 EXISTING PARKING SPACES. DURING THE DESIGN PROCESS THE SITE LAYOUT AND PARKING COUNT AS IS. DURING THE DESIGN PROCESS SOME MINOR REVISIONS WERE MADE TO THE SITE LAYOUT THAT RESULTED IN THE ELIMINATION OF 6 PARKING SPACES. OUR FINAL SITE PLAN NOW HAS 21 PARKING SPACES. SINCE WE HAVE MADE A CHANGE TO THE SITE, WE ARE NOW TECHNICALLY EXCEEDING THE ALLOWABLE NUMBER OF PARKING SPACES BY SIX. HEARTLAND BANK WANTS TO MAINTAIN THE SIX EXTRA EXISTING PARKING SPACES AS THEY WILL BE NEEDED SOMETIMES, AND THEY DON'T WANT TO RELY ON THE ADJACENT SHOPPING CENTER PARKING FOR OVERFLOW.
- REFER TO THE CIVIL SHEETS FOR ADDITIONAL SITE WORK AND DETAILS.

BASEMENT - 2,106 SF
 FIRST FLOOR - 2,280 SF
 TOTAL BUILDING - 4,386 SF
 TOTAL PARKING - 21 SPACES
 REQUIRED PARKING (4386/1000x2.5) = 11 SPACES

KEYNOTE LEGEND

#	DATE	CHANGE DESCRIPTION

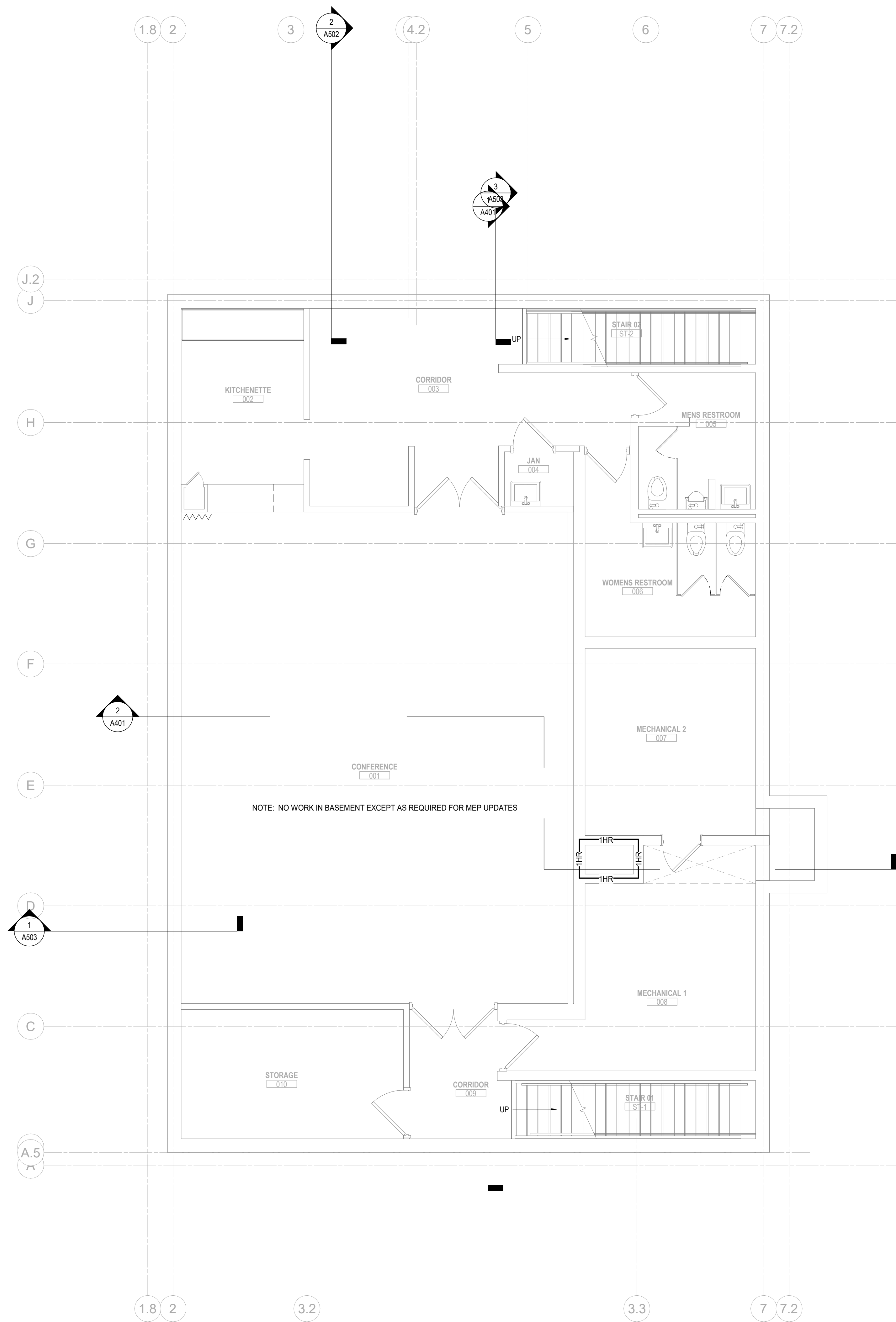
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ARCHITECTURAL SITE PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: Author CHECKED BY: Checker
	20022
A100	
FINAL DEVELOPMENT PLAN	

1 ARCHITECTURAL SITE PLAN
 1/8" = 1'-0"



NOTE: NO WORK IN BASEMENT EXCEPT AS REQUIRED FOR MEP UPDATES

1 PLAN BASEMENT FLOOR PLAN
 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
2. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
3. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/W.F.F., UNLESS NOTED OTHERWISE.

CODED NOTE LEGEND

1. NEW STEEL WALL DOOR PROVIDED BY OWNER. CONTRACTOR TO MODIFY EXIST ROUGH OPENING FOR NEW DOOR. MOVE DOOR FORM TRUCK TO VAULT AND ASSIST IN SETTING THE DOOR. ONCE DOOR IS SET, CONTRACTOR TO GROUT SOLID AROUND THE NEW DOOR FRAME.
2. PROVIDE SERVICE TELLER PER DETAILS ON A850.
3. INFILL EXISTING CONCRETE FLOOR OPENING WHERE DUCTWORK WAS REMOVED.
4. ROOF DRAIN LEADER TO STORM BOOT AND STORM LINE. COORDINATE WITH CIVIL & PLUMBING.
5. ALUMINUM DOWNSPOUT TO CAST IRON STORM BOOT AND CONNECTION TO STORM SYSTEM. REFER TO CIVIL DRAWINGS FOR STORM SEWER CONNECTION.
6. NEW REMOTE PNEUMATIC TELLER TUBE TERMINAL SYSTEM BY OWNER. SEE ELECTRICAL SHEETS FOR CONDUIT AND POWER REQUIREMENTS.
7. NEW DRIVE-UP TELLER RETRACTABLE DEAL DRAWER SYSTEM BY OWNER. COORDINATE W/ ELECTRICAL AND CASEWORK.
8. THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
9. INSTALL 5/8" GWB ON EXISTING WOOD FURRING STRIPS.
10. INFILL EXISTING MASONRY OPENING IN VAULT W/ CMU.
11. EXISTING BOLLARD TO REMAIN - PAINT.
12. CONCRETE ISLAND - REFER TO CIVIL SHEETS FOR DETAILS.
13. CONCRETE WALK - REFER TO CIVIL SHEETS FOR DETAILS.
14. EXISTING WOOD FENCE / GATE TO REMAIN - PAINT.
15. EXISTING BRICK SCREENWALL - PAINT.
16. 4" DIA CONCRETE FILLED STEEL BOLLARD - PAINT. REFER TO CIVIL SHEETS FOR DETAILS.
17. 1 1/2" DIA. HM CANE DETECTION RAILING UNDER STAIRS WHERE THE HEAD HEIGHT IS LESS THAN 80" - PAINT.

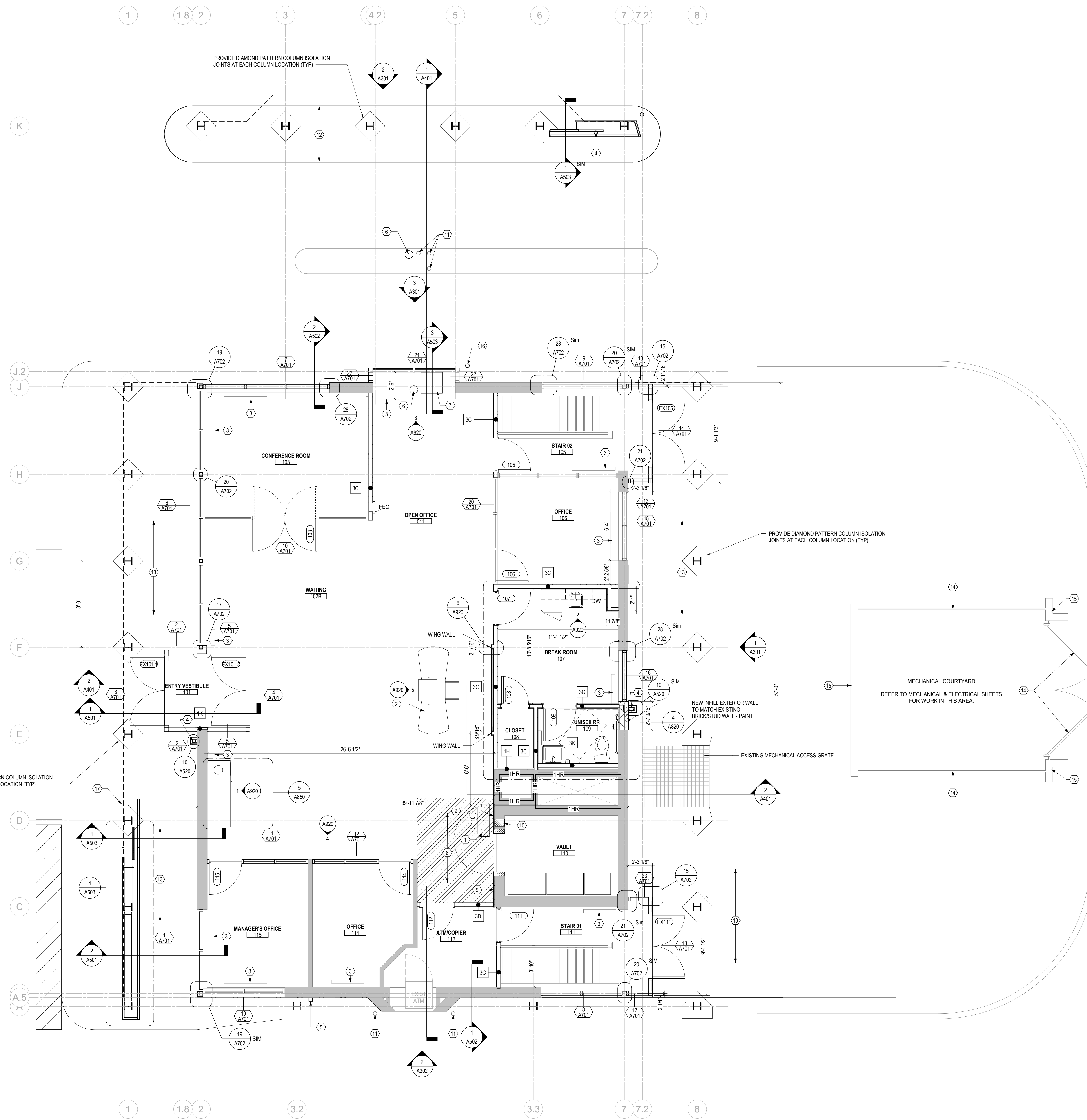
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DRAWING TITLE:
BASEMENT FLOOR PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021	
	DRAWN BY: xxx	CHECKED BY: xxx
	2002	
	A101	
FINAL DEVELOPMENT PLAN		



FLOOR PLAN GENERAL NOTES

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6. NEW REMOTE PNEUMATIC TELLER TUBE TERMINAL SYSTEM BY OWNER. SEE ELECTRICAL SHEETS FOR CONDUIT AND POWER REQUIREMENTS.
7. NEW DRIVE-UP TELLER RETRACTABLE DEAL DRAWER SYSTEM BY OWNER. COORDINATE W/ ELECTRICAL AND CASEWORK.
8. THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
9. INSTALL 5/8" GWB ON EXISTING WOOD FURRING STRIPS.
10. INFILL EXISTING MASONRY OPENING IN VAULT W/ CMU.
11. EXISTING BOLLARD TO REMAIN - PAINT.
12. CONCRETE ISLAND - REFER TO CIVIL SHEETS FOR DETAILS.
13. CONCRETE WALK - REFER TO CIVIL SHEETS FOR DETAILS.
14. EXISTING WOOD FENCE / GATE TO REMAIN - PAINT.
15. EXISTING BRICK SCREENWALL - PAINT.
16. 4" DIA CONCRETE FILLED STEEL BOLLARD - PAINT. REFER TO CIVIL SHEETS FOR DETAILS.
17. 1 1/2" DIA. HM CANE DETECTION RAILING UNDER STAIRS WHERE THE HEAD HEIGHT IS LESS THAN 80" - PAINT.

#	DATE	CHANGE DESCRIPTION

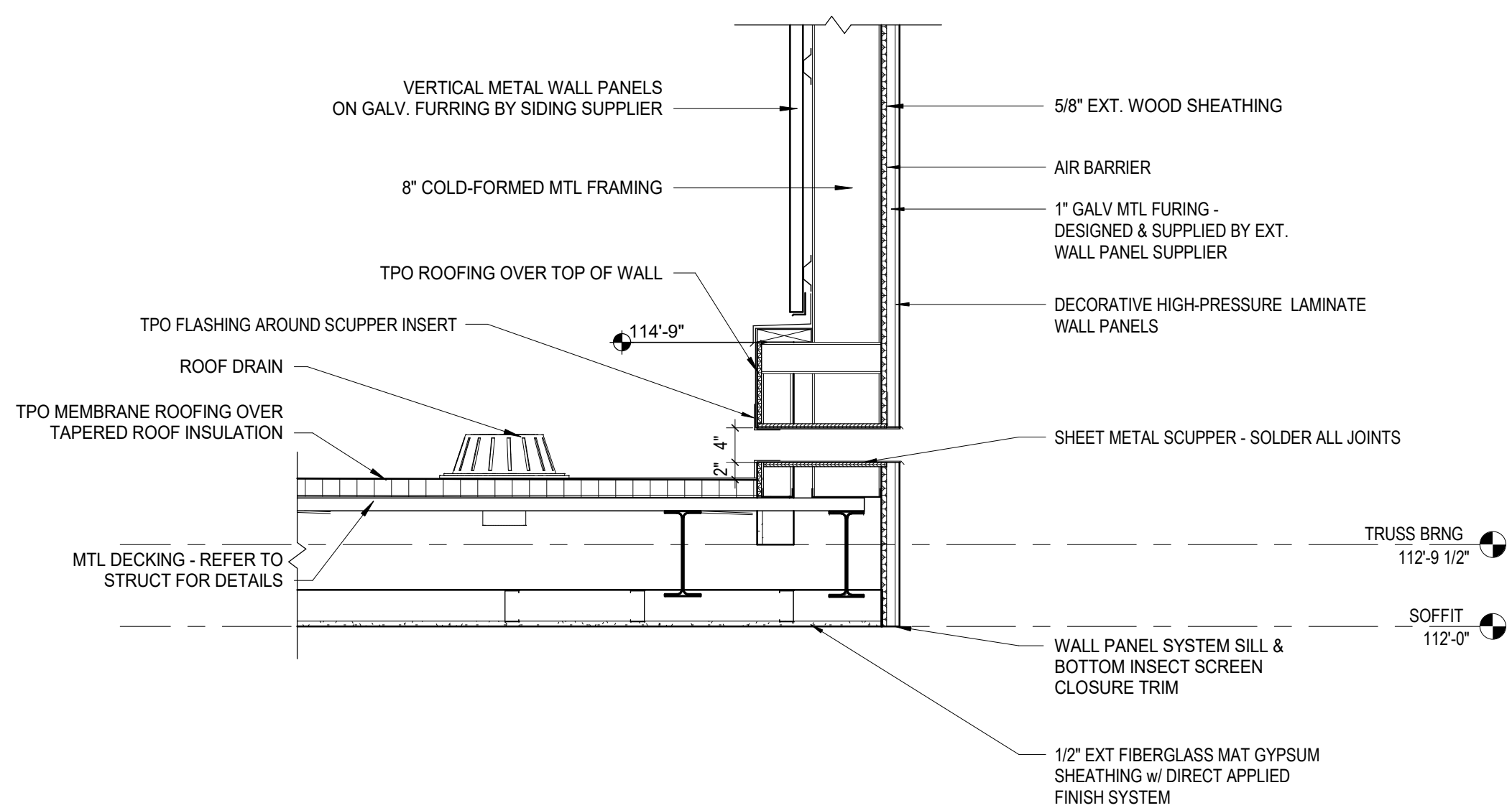
RENOVATION OF HEARTLAND BANK DUBLIN
 5300 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

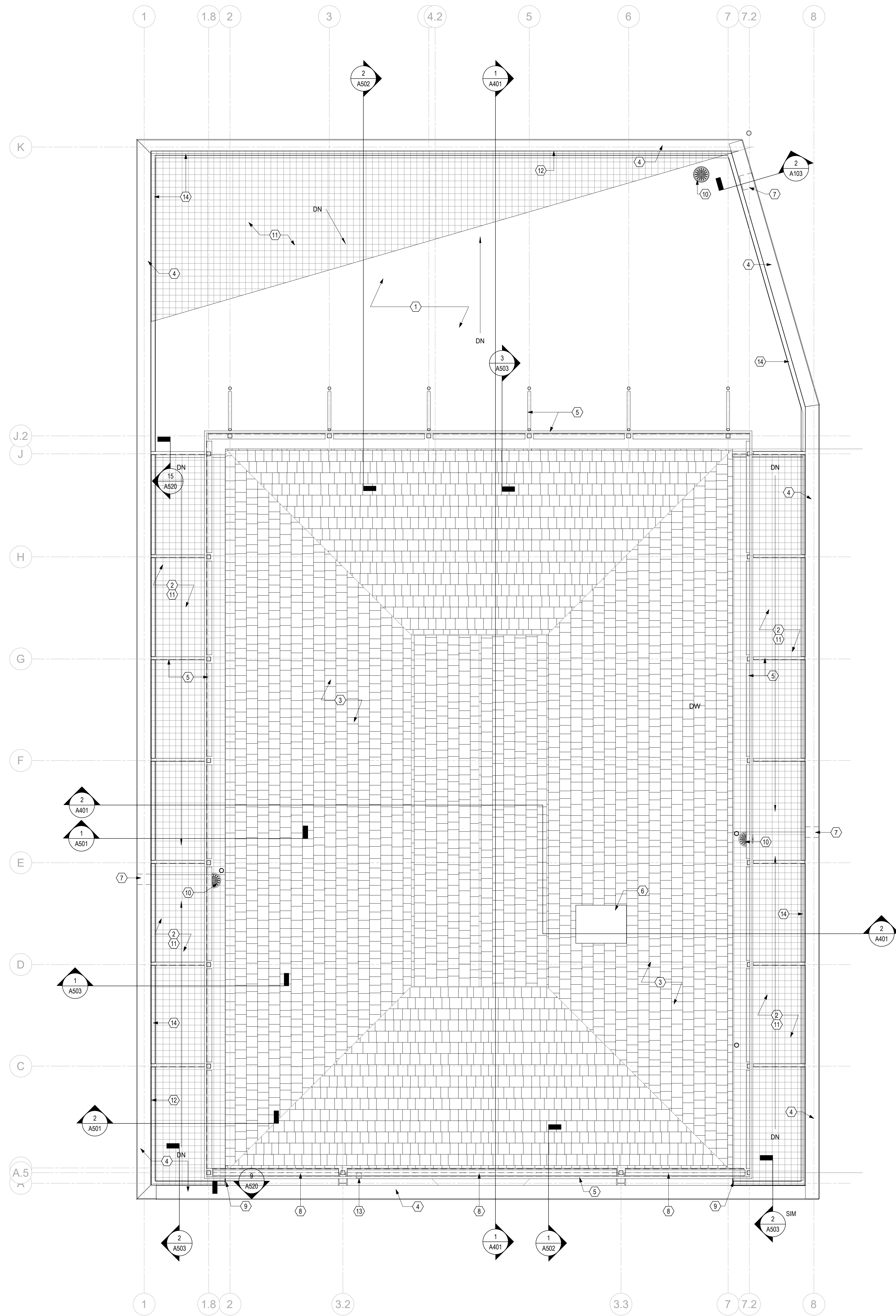
FIRST FLOOR PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021 DRAWN BY: Author CHECKED BY: Checker
	20022
	A102 FINAL DEVELOPMENT PLAN

1 PLAN FIRST FLOOR PLAN
 1/4" = 1'-0"



2 DETAIL SCUPPER - TYP
 3/4" = 1'-0" REF: 1/A103



1 PLAN ROOF PLAN
 1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

- SEE STRUCTURAL DRAWINGS FOR SCREENWALL FRAMING. COORDINATE WITH MECHANICAL ON NEW PLUMBING IN ROOFS.

KEYNOTE LEGEND

- DRIVE-THRU ROOF AREA - TPO ROOFING OVER SLOPED 2" BASE LAYER OF ROOF INSULATION WITH TAPERED ROOF INSULATION 1/4" PER FT. TO DRAINS.
- EAST & WEST OVERHANG ROOF CANOPIES - FLAT METAL ROOF DECK WITH 2" BASE LAYER OF ROOF INSULATION & TAPERED ROOF INSULATION 1/4" PER FT. TO DRAINS.
- EXISTING SLATE ROOF TO REMAIN EXCEPT FOR REMOVAL OF BOTTOM COURSES OF SLATE FOR INTEGRATION WITH NEW TPO ROOFING. SEE ROOF DETAILS FOR INFORMATION.
- PREFINISHED METAL COPING. SEE WALL SECTIONS & DETAILS.
- SCREENWALL METAL PANELS ON EXPOSED GALVANIZED STRUCTURAL STEEL FRAMING. SEE STRUCTURAL DRAWINGS.
- EXISTING CHIMNEY REDUCED IN HEIGHT SO TOP BELOW NEW SCREENWALL PANELS. REWORK MASONRY AS REQUIRED AND COORDINATE NEW CHIMNEY MTL CAP WITH MECHANICAL. REPOINT EXISTING JOINTS AS REQUIRED AND REPAIR EXISTING FLASHING AT ROOF AS NEEDED. PAINT CHIMNEY WITH WATERPROOFING COATING.
- OVERFLOW MTL SCUPPER THRU WALL. PARAPET WALL 10"W X 8"H POSITION SO OUTLET IS 2" ABOVE LOW POINT OF ROOF. PROVIDE ALUM. FLASHING TO MATCH SIDING.
- 4"x4" PRE-FINISHED MTL GUTTER ALONG SOUTH EDGE OF EXISTING ROOF BETWEEN EAST & WEST OVERHANG CANOPIES. SEE WALL SECTIONS & DETAILS.
- TPO ROOF EDGE FASCIA. PROVIDE AT SOUTH END OF OVERHANG CANOPIES WHERE GUTTER BEGINS. ROOF EDGE TO BE THE CANOPY ROOF DRAIN OVERFLOW LOCATION.
- ROOF DRAIN. REFER TO CIVIL & PLUMBING SHEETS FOR DETAILS.
- TAPERED ROOF INSULATION - 1/4" PER FT. TO DRAIN.
- PROVIDE 18" x 16" METAL ACCESS PANEL FOR SIGNAGE POWER CONTROLS.
- 3"x4" PRE-FINISHED MTL DOWNSPOUT TO CAST IRON STORM BOOT. REFER TO CIVIL SHEETS FOR DETAILS.
- PERIMETER PARAPET WALL.

DATE CHANGE DESCRIPTION

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5303 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR HEARTLAND BANK

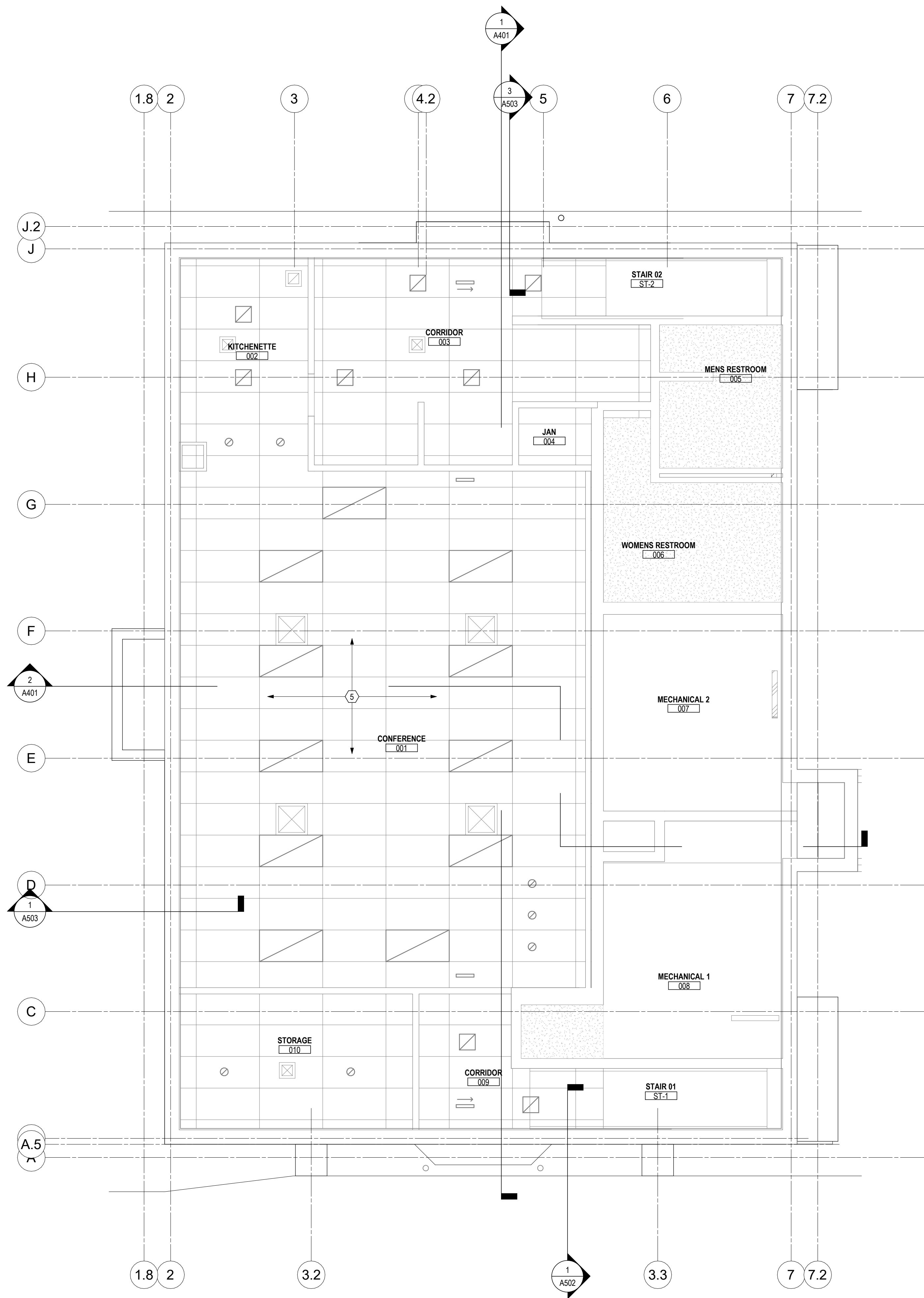
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
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DRAWING TITLE:

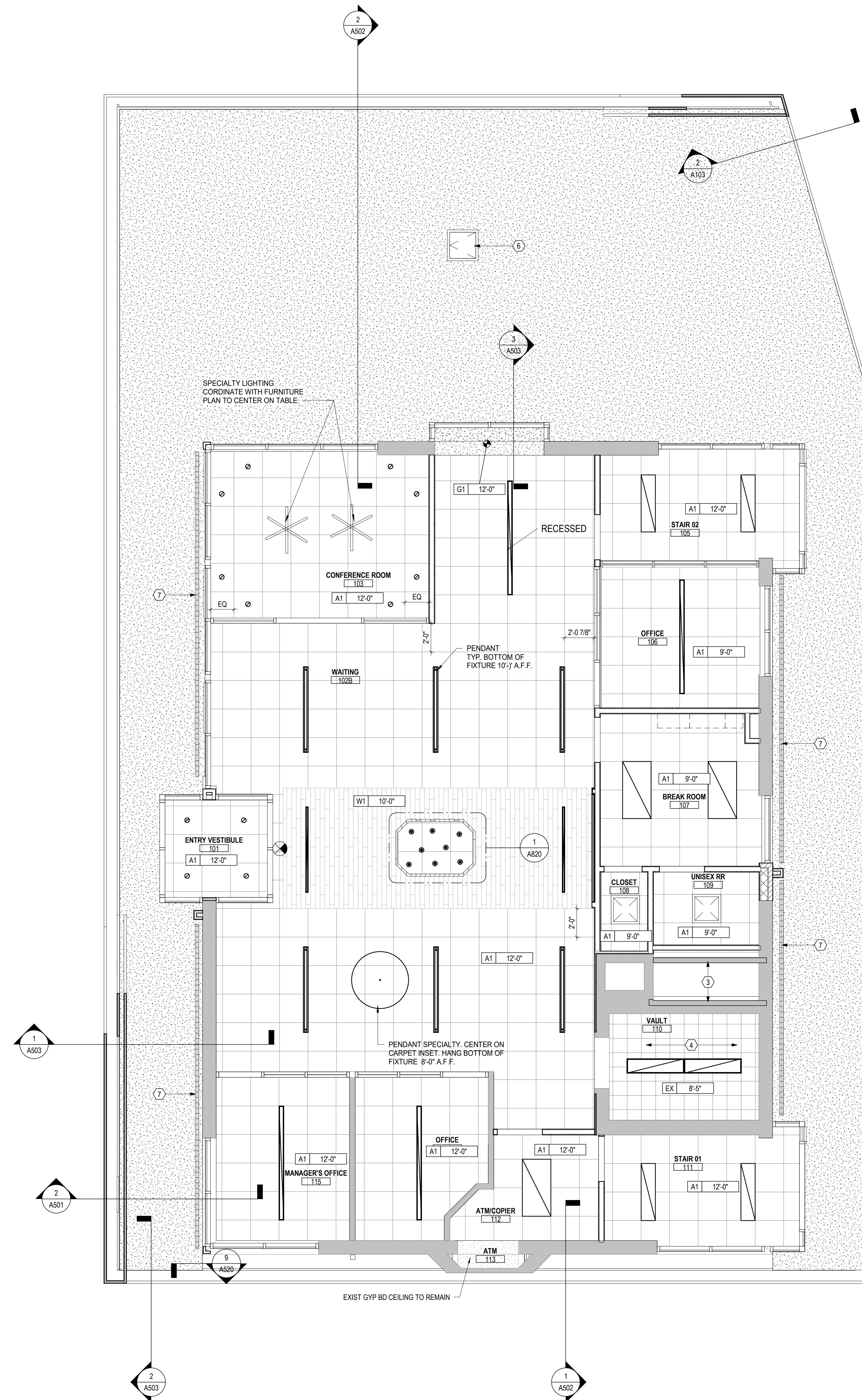
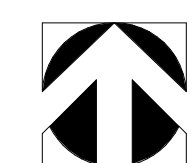
ROOF PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021	CHECKED BY: Checker
	20022	
	A103	

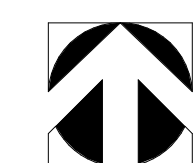
FINAL DEVELOPMENT PLAN



2 RCP OVERALL BASEMENT RCP
 1/4" = 1'-0"



1 RCP OVERALL FIRST FLOOR RCP
 1/4" = 1'-0"



RCP GENERAL NOTES

1. ALL CEILINGS TO BE ARMSTRONG ACT 2X2 ULTIMA COLOR WHITE INSIDE OFFICES AND CONF ROOM. BLACK IN OPEN AREA. TEGULAR 9'16" GRID - MATCH ACT COLOR.
2. LIGHT FIXTURES SHOWN TO INDICATE PROPOSED FIXTURES & GENERAL DESIGN INTENT.
3. FINISHED CEILING HEIGHTS ARE MARKED FROM TOP OF FINISH FLOOR (UNLESS NOTED OTHERWISE).
4. COORDINATE LOCATION OF FIXTURES WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE SUPPRESSION AND TECHNOLOGY DRAWINGS. ANY CONFLICT BETWEEN TRADES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
5. FACE OF BULKHEADS ARE TO ALIGN WITH FACE OF ADJACENT WALLS TO WHICH BULKHEADS ARE PARALLEL, UNLESS NOTED OTHERWISE OR DIMENSIONED.
6. ALL GYPSUM BOARD SOFFITS & CEILINGS TO BE PAINTED FLAT CEILING WHITE (UNLESS NOTED OTHERWISE).
7. PAINT DUCTWORK INSIDE AIR GRILLES FLAT BLACK.
8. CEILING GRIDS ARE CENTERED ON ROOM, U.N.O. OR DIMENSIONED.
9. WHERE EXIT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.
10. ALL CEILING DEVICES TO BE CENTERED IN TILE, U.N.O.

CODED NOTE LEGEND

- 1 ALIGN FEATURES
- 2 OPEN TO ABOVE
- 3 EXTEND 1HR RATED SHAFT WALLS TO DECK. WALLS CONSTRUCTED USING UL DESIGN NO. U465.
- 4 PAINT EXISTING SPLINE CEILING
- 5 REINSTALL SALVAGED CEILING GRID & PANELS THAT WERE REMOVED FOR MEP WORK.
- 6 2' X 2' ACCESS PANEL - LOCATE AS REQUIRED FOR PNEUMATIC TUBE ACCESS. PAINT TO MATCH SOFFIT.
- 7 SOFFIT VENT - 3' WIDE w/ PLASTIC MESH INSECT SCREEN

RCP LEGEND

- A1 ACOUSTIC CEILING TYPE 1: 2x2 LAY-IN CEILING
- E1 EXPOSED STRUCTURE ABOVE
- G1 FIBERGLASS MAT GYPSUM SHEATHING w/ DIRECT APPLIED FINISH SYSTEM
- 2x2 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- 2x4 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- 1x4 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- 1x8 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- RECESSED CAN LIGHT
- SURFACE MOUNTED LIGHT
- LINEAR COVE LIGHT
- EXIT LIGHT
- SUPPLY DIFFUSER
- LINEAR DIFFUSER
- EXHAUST/RETURN GRILLE
- CEILING TAG WITH HEIGHT

NOTE: COORDINATE ARCHITECTURAL REFLECTED CEILING PLANS WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR NUMBER OF, AND LOCATIONS OF, AND TYPES OF FIXTURES AND GRILLES. NOT ALL ITEMS SHOWN ON LEGEND MAY BE PRESENT IN PROJECT.

#	DATE	CHANGE DESCRIPTION

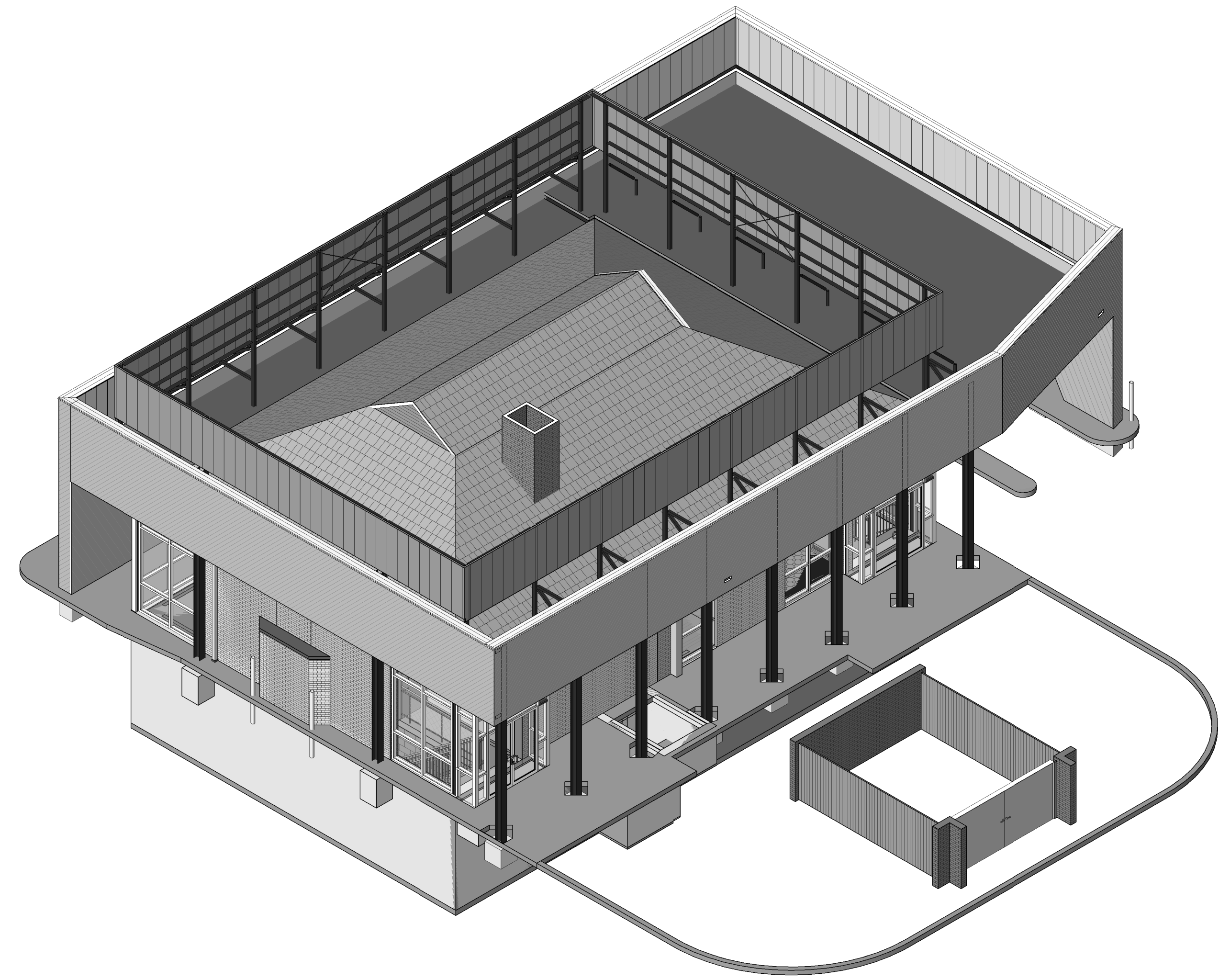
RENOVATION OF HEARTLAND BANK DUBLIN
 5303 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

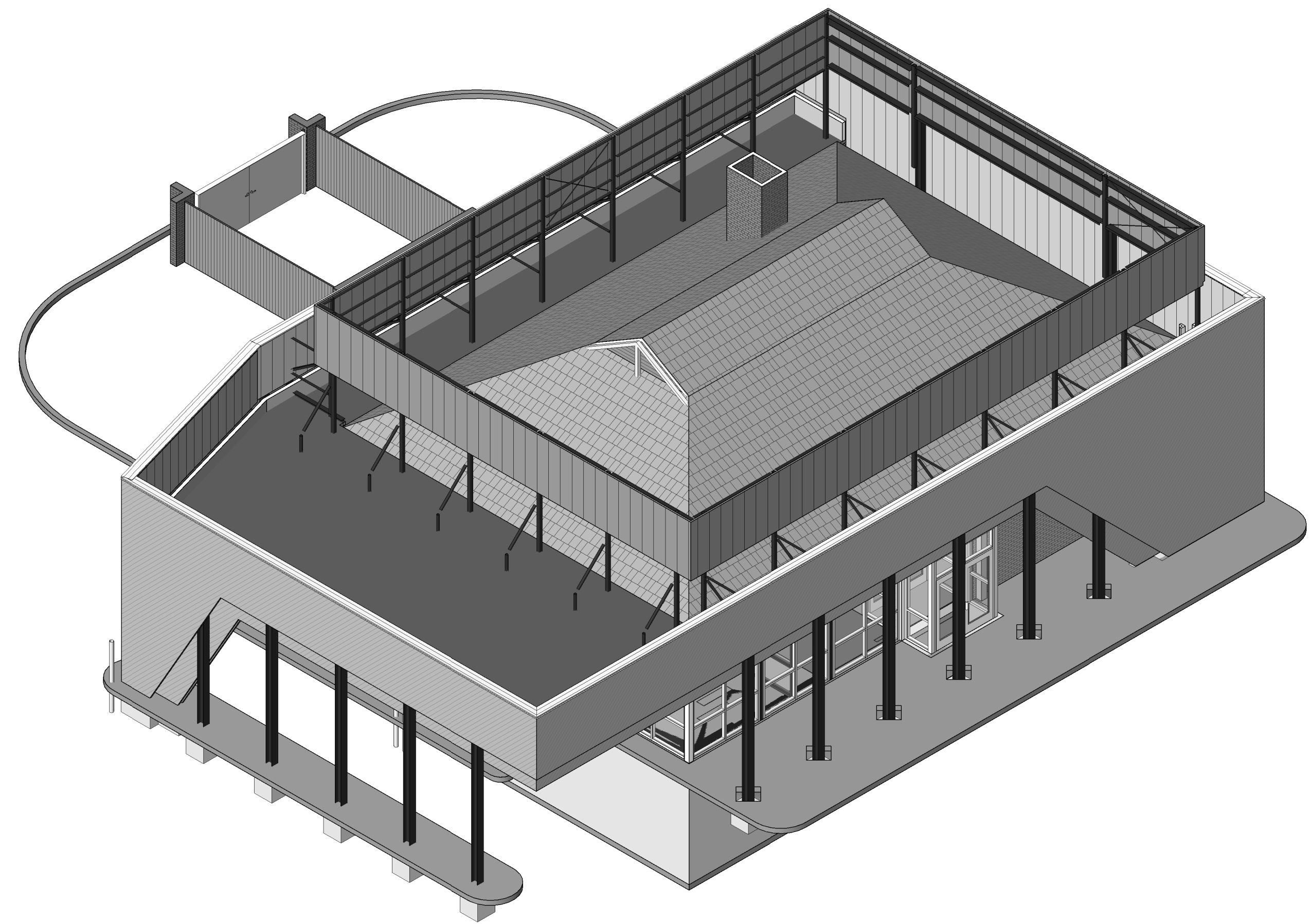
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RCP - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: xxx CHECKED BY: xxx
	20022
A201	
FINAL DEVELOPMENT PLAN	




1 3D AXON - SE



2 3D AXON - NW

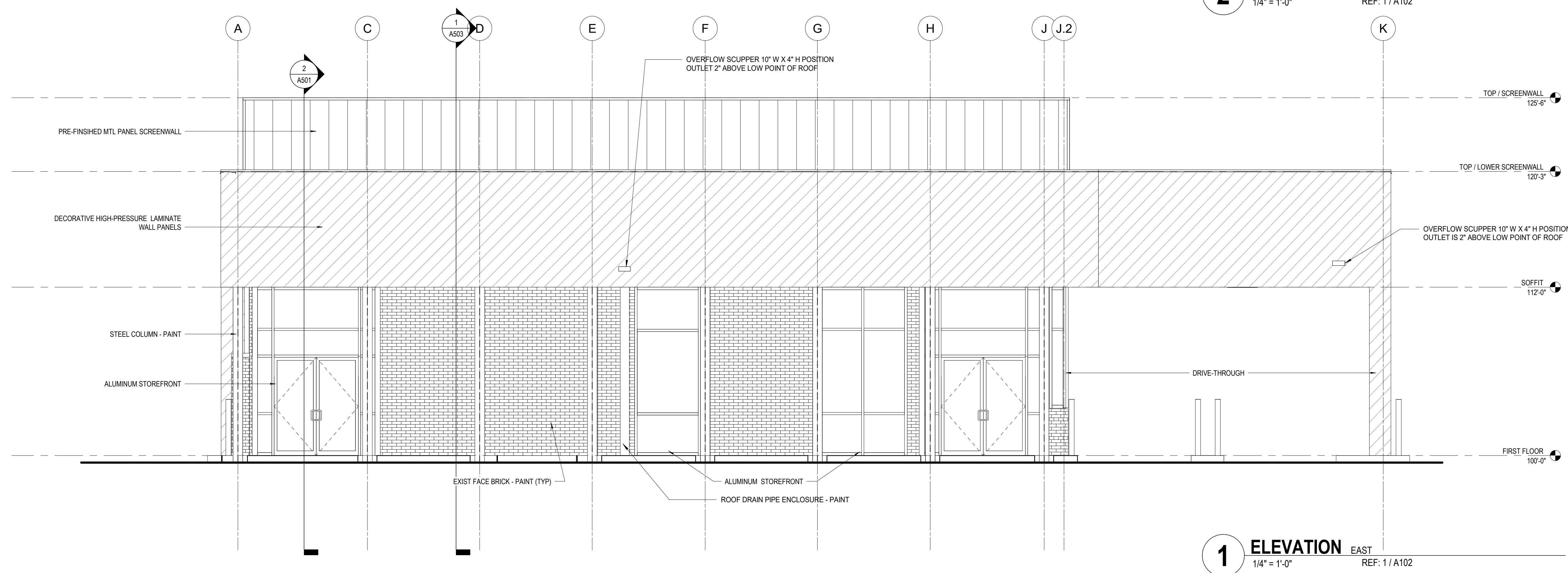
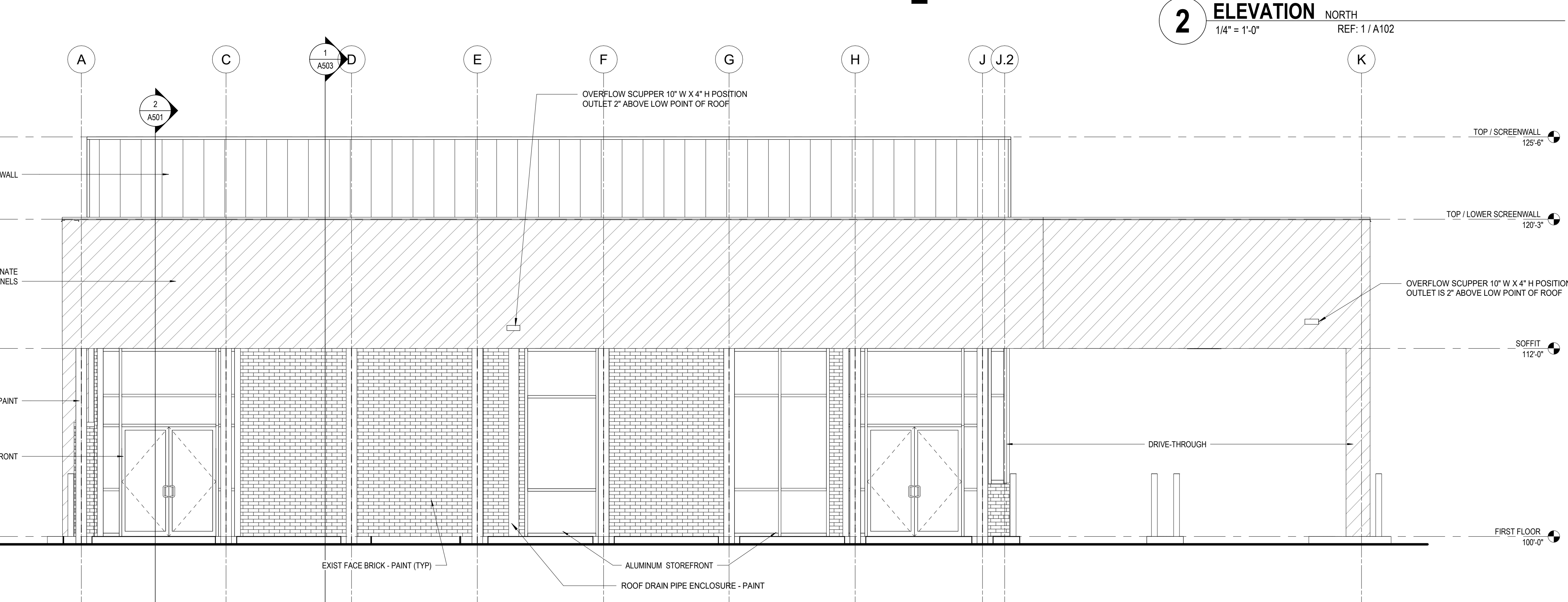
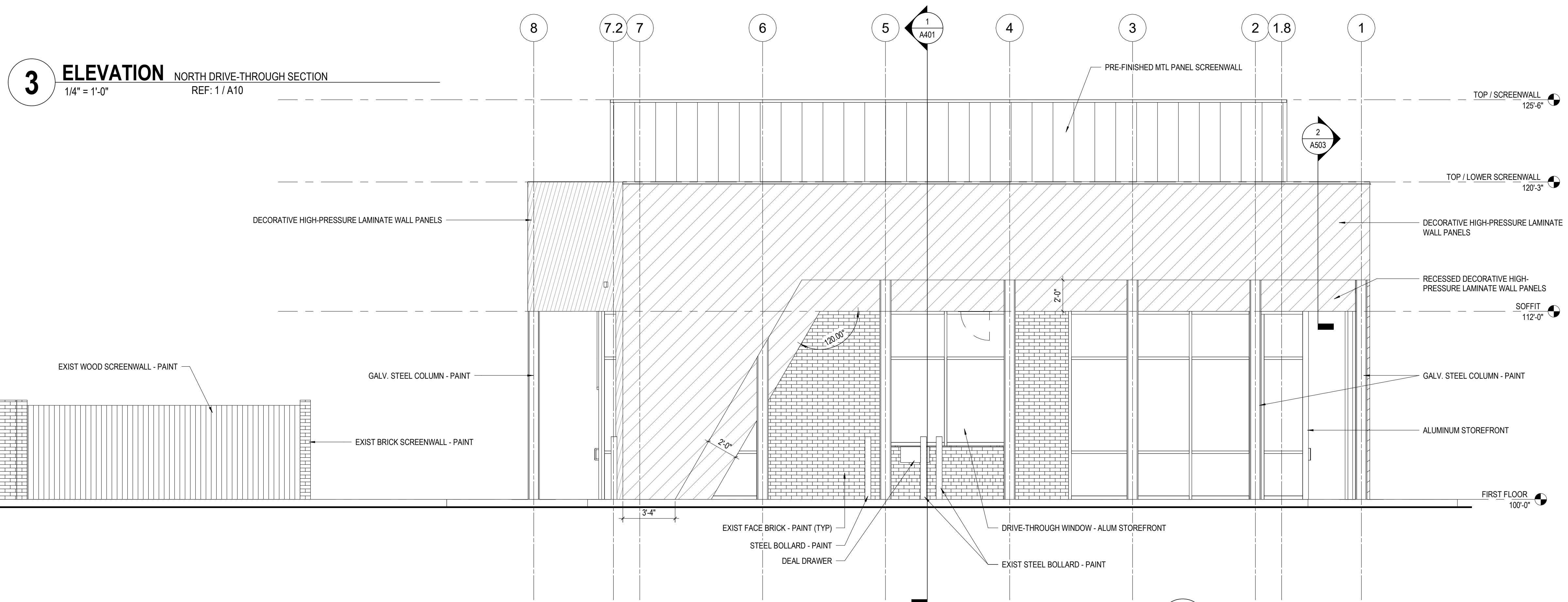
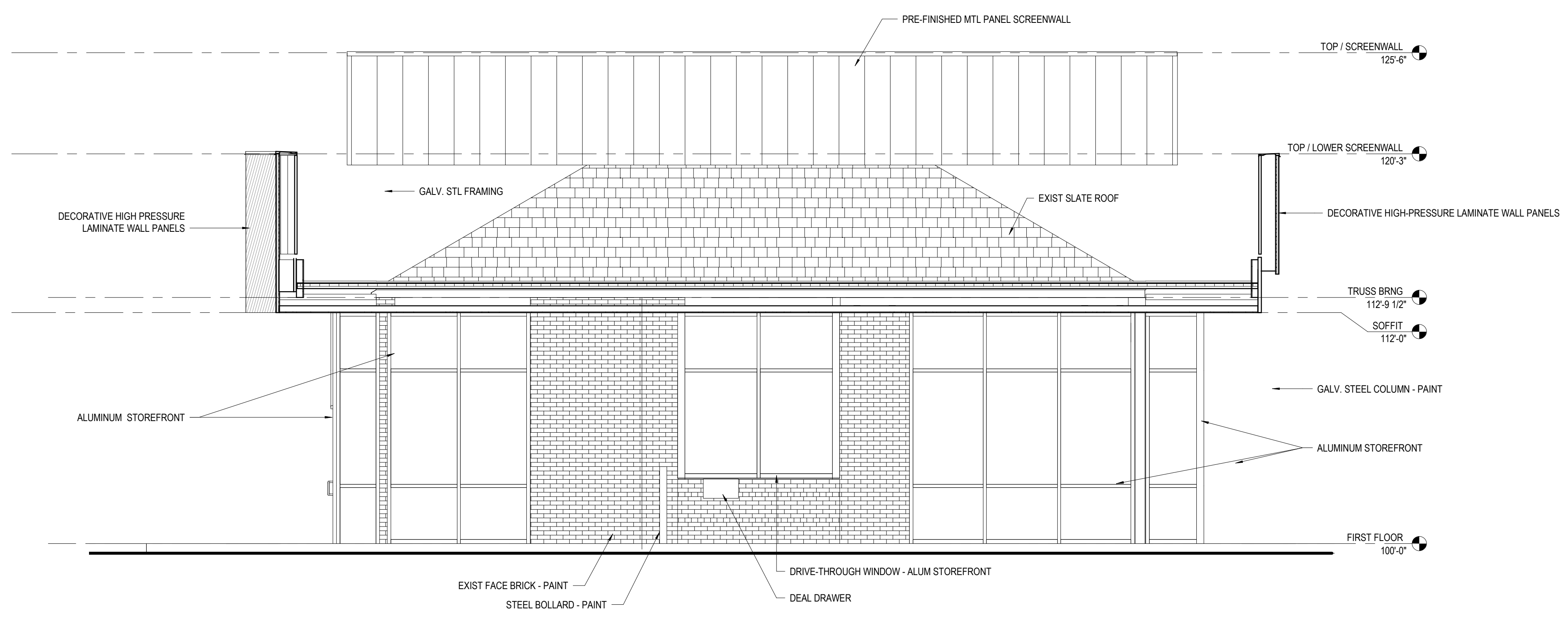
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6300 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

 **MOODY-NOLAN**
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
AXONOMETRIC VIEWS

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: Author CHECKED BY: Checker
	20022
A300	
FINAL DEVELOPMENT PLAN	



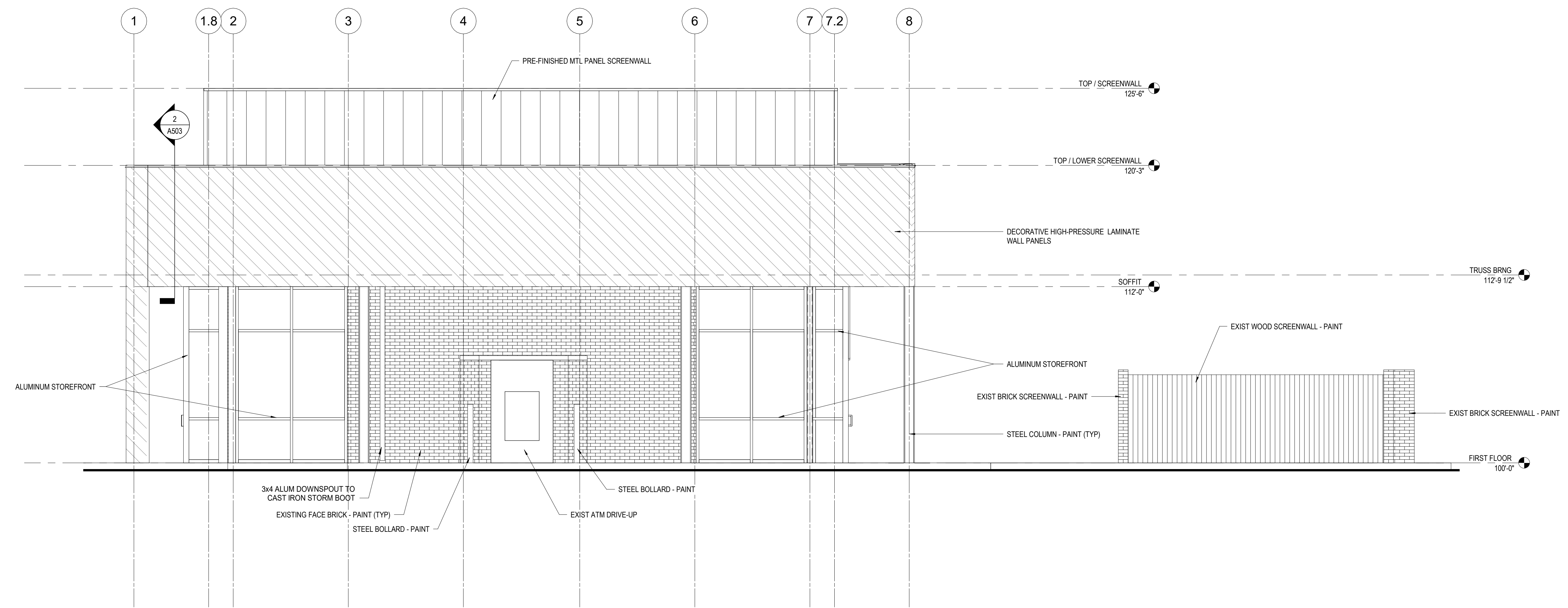
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RENOVATION OF HEARTLAND BANK DUBLIN
 5500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

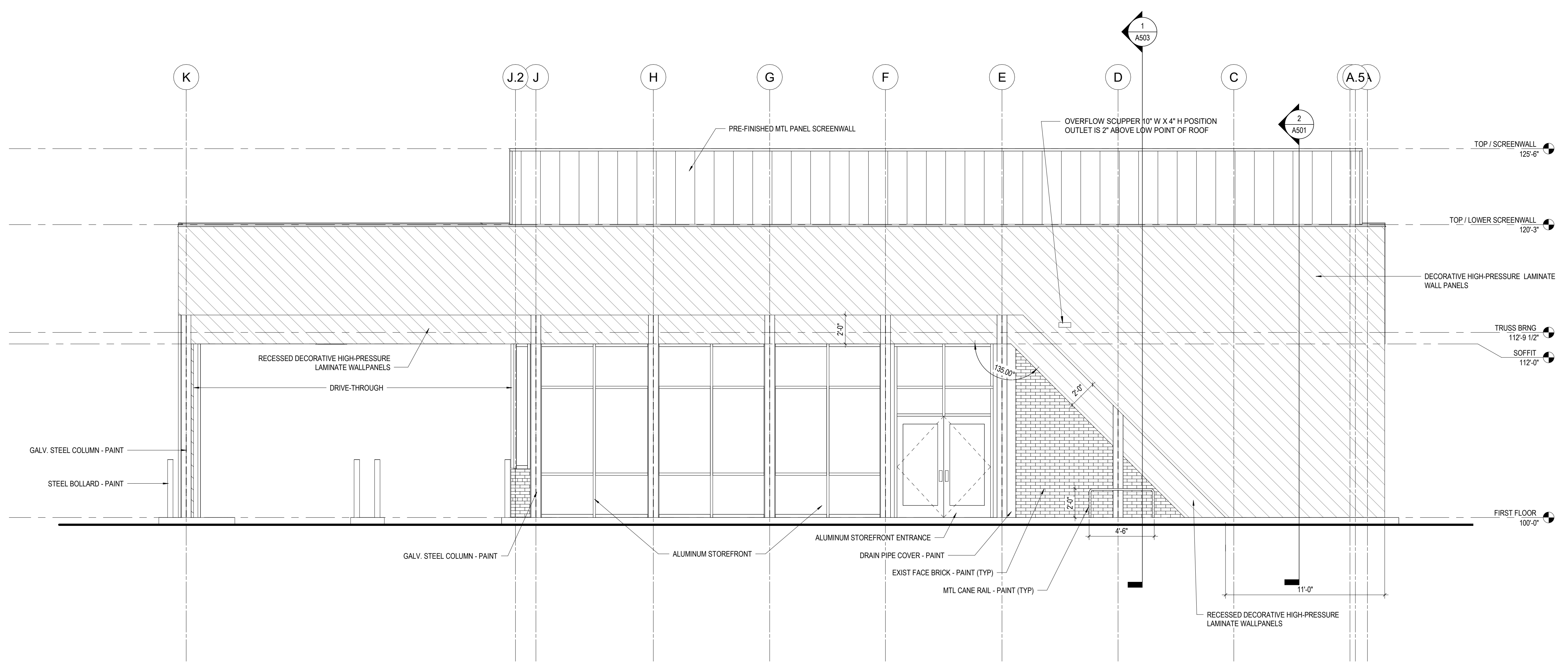
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
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 FAX: (614) 280-8881

DRAWING TITLE:
EXTERIOR ELEVATIONS - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: XXXX CHECKED BY: XXXX
	20022
A301	
FINAL DEVELOPMENT PLAN	



2 ELEVATION SOUTH
1/4" = 1'-0" REF: 1 / A102



1 ELEVATION WEST
1/4" = 1'-0"

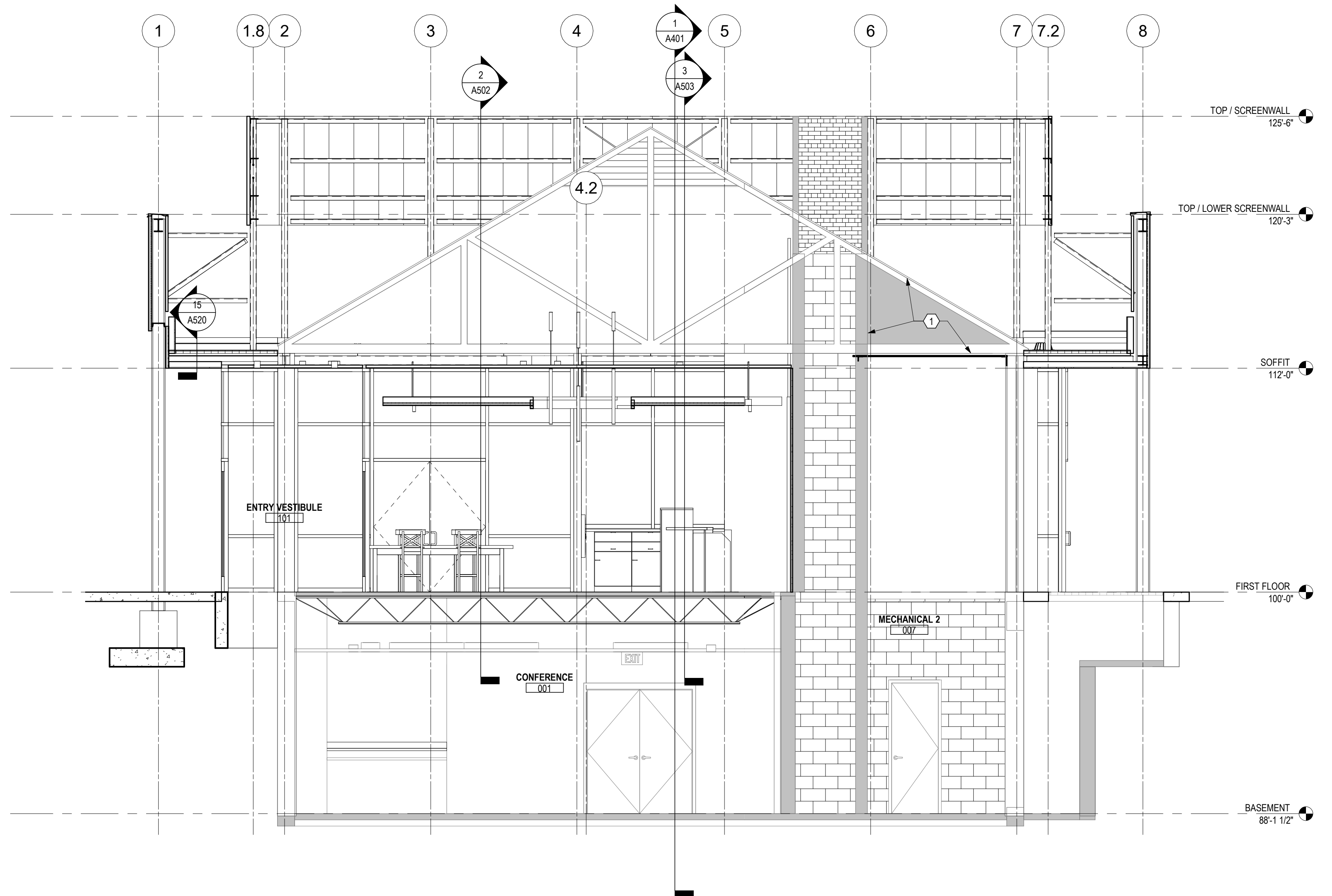
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RENOVATION OF HEARTLAND BANK DUBLIN
5500 PRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

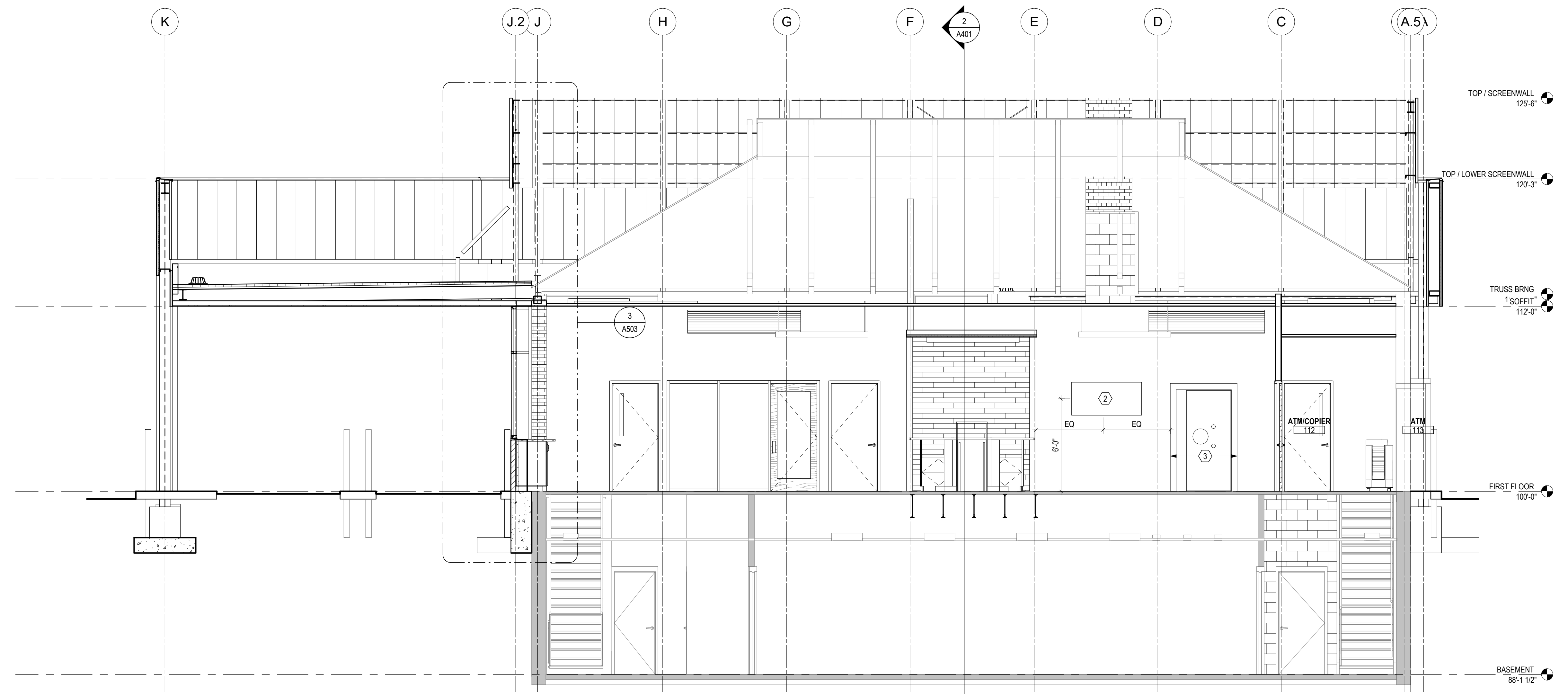
MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
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FAX: (614) 280-8881

DRAWING TITLE:
EXTERIOR ELEVATIONS - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: XXXX CHECKED BY: XXXX
	20022
	A302
FINAL DEVELOPMENT PLAN	



2 SECTION EAST-WEST BUILDING SECTION
1/4" = 1'-0" REF: 1 / A101



1 SECTION NORTH-SOUTH BUILDING SECTION
1/4" = 1'-0" REF: 1 / A101

KEYNOTE LEGEND

- 1 EXTEND EXISTING 1 HR FIRE RATED PARTITION TO ROOF DECK ON BOTH SIDES OF THE SHAFT OPENING IN THE ATTIC. EXTEND FROM MASONRY SHAFT TO ROOF EAVES. FIRE CAULK ALL PENETRATIONS AND PROVIDE FIRE DAMPERS FOR DUCTWORK. SEE MECHANICAL SHEETS FOR DETAILS.
- 2 MONITOR BY OWNER. SEE ELECTRICAL FOR POWER AND DATA REQUIREMENTS.
- 3 NEW VAULT DOOR - PROVIDED BY OWNER, CONTRACTOR INSTALLED

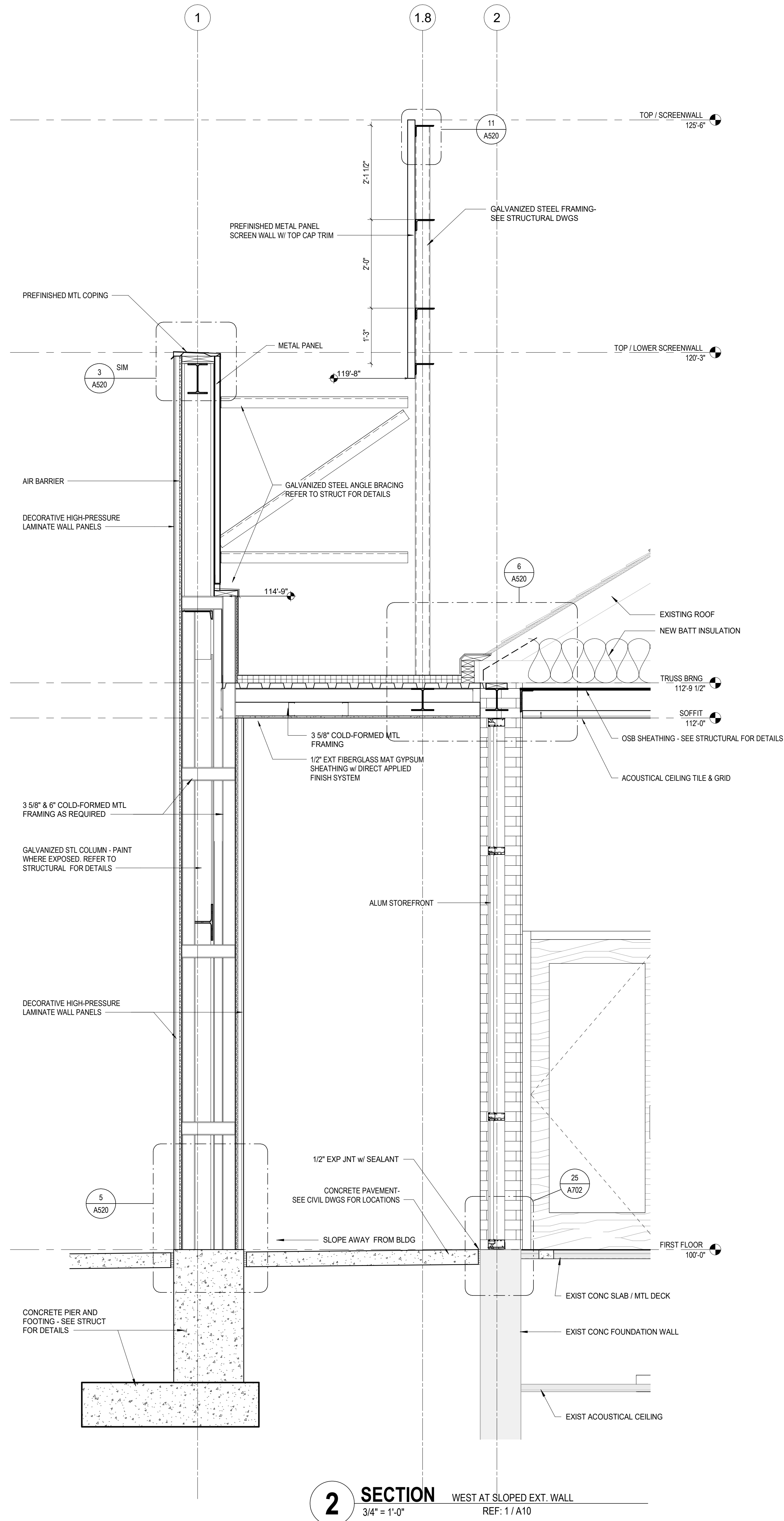
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RENOVATION OF HEARTLAND BANK DUBLIN
5303 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

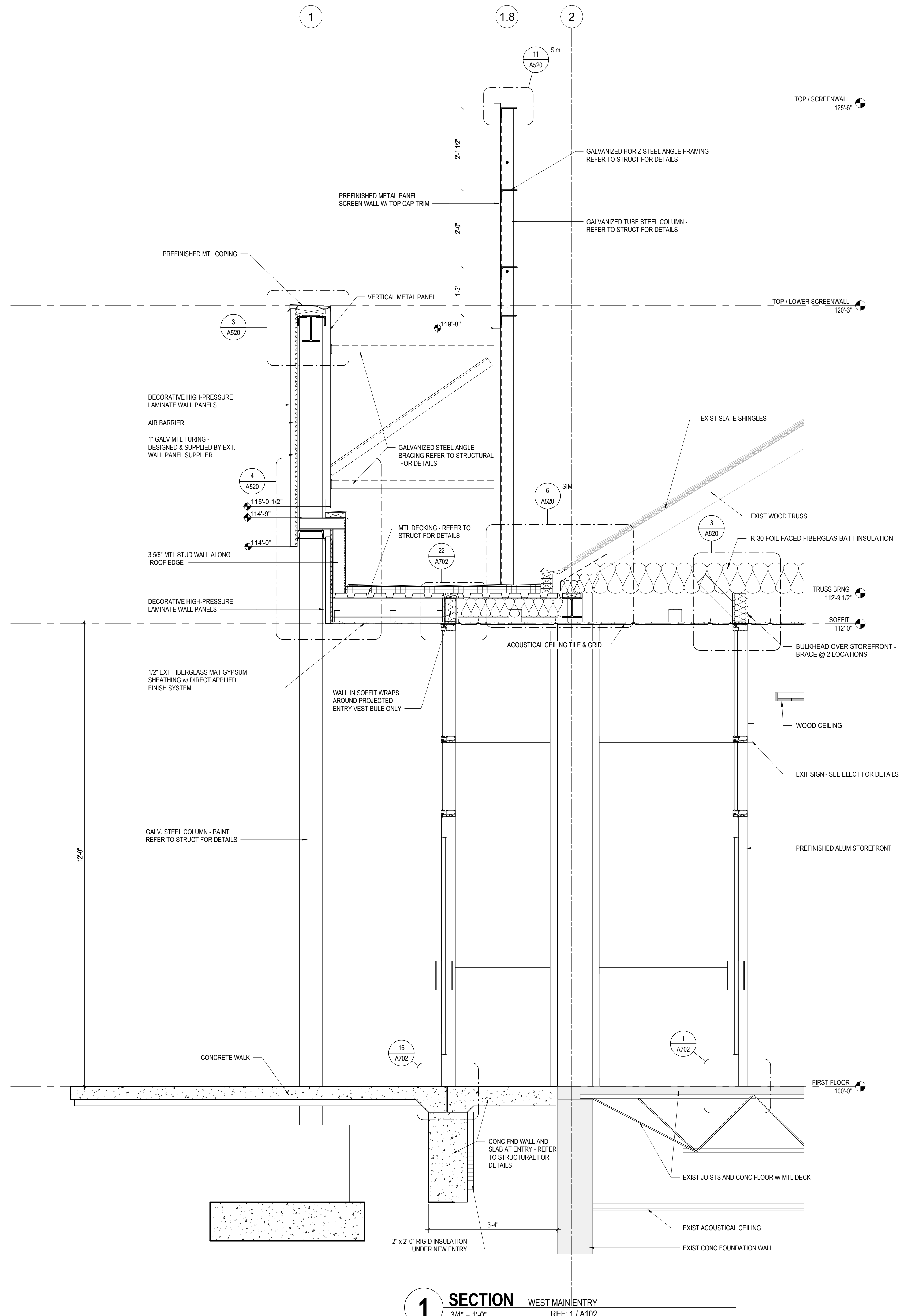
MOODY-NOLAN
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SUITE 300
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BUILDING SECTIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021	
	DRAWN BY: XXX	CHECKED BY: XXX
	20022	
	A401	
FINAL DEVELOPMENT PLAN		



2 SECTION WEST AT SLOPED EXT. WALL
 3/4" = 1'-0" REF: 1 / A10



1 SECTION WEST MAIN ENTRY
 3/4" = 1'-0" REF: 1 / A102

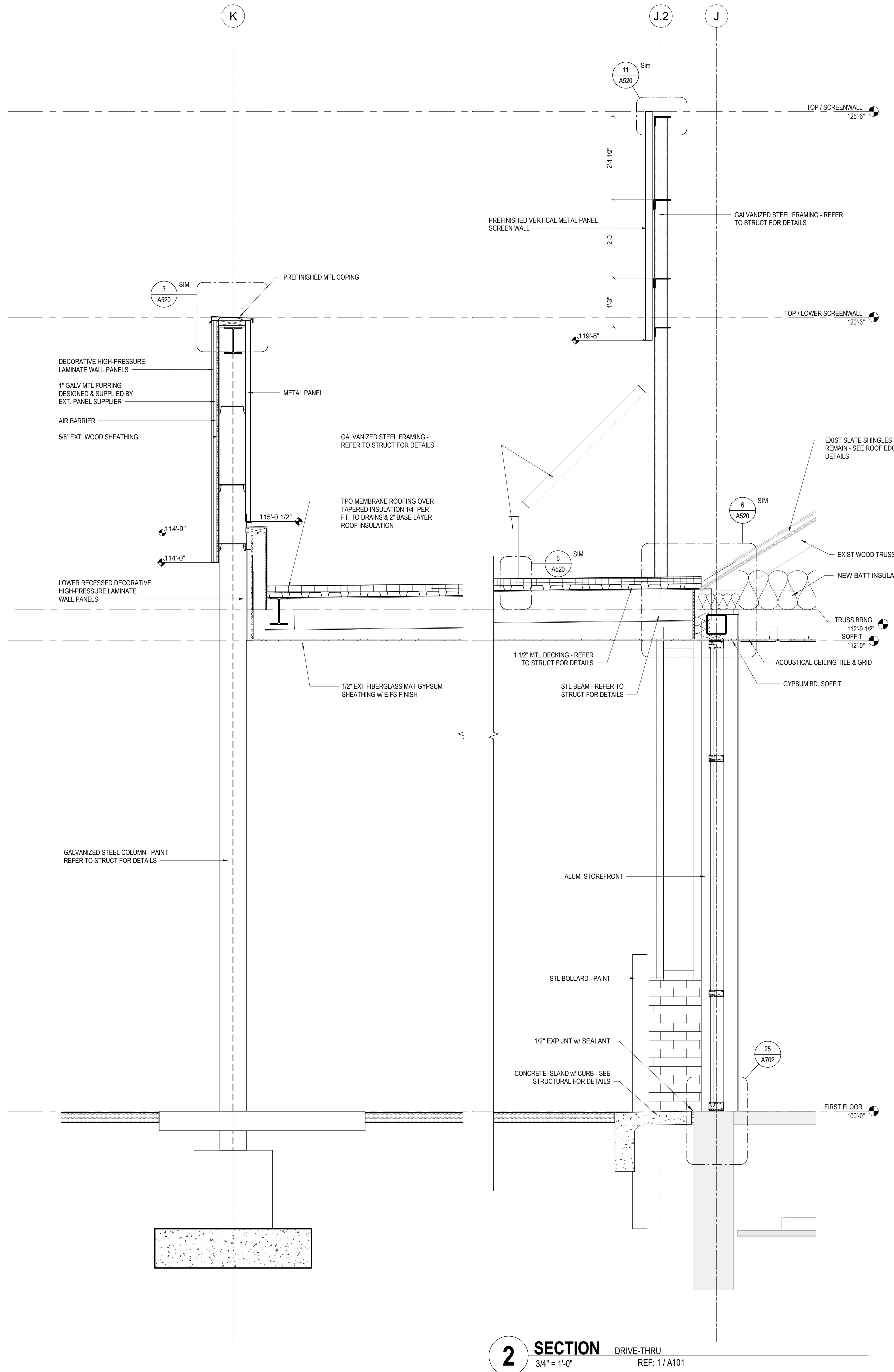
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6300 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR HEARTLAND BANK

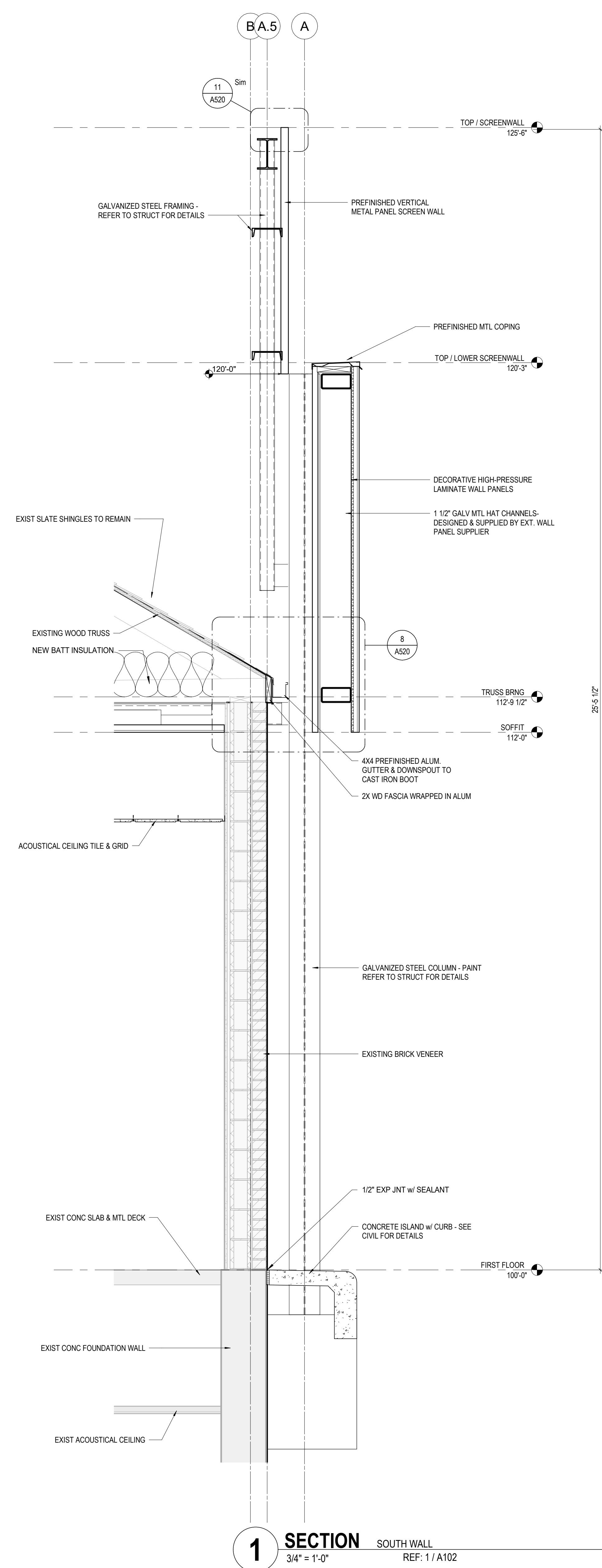
MOODY-NOLAN
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DRAWING TITLE: **WALL SECTIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021 DRAWN BY: xxx CHECKED BY: xxx
	20022
	A501
	FINAL DEVELOPMENT PLAN



2 SECTION DRIVE-THRU
 3/4" = 1'-0" REF: 1 / A101



1 SECTION SOUTH WALL
 3/4" = 1'-0" REF: 1 / A102

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6300 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

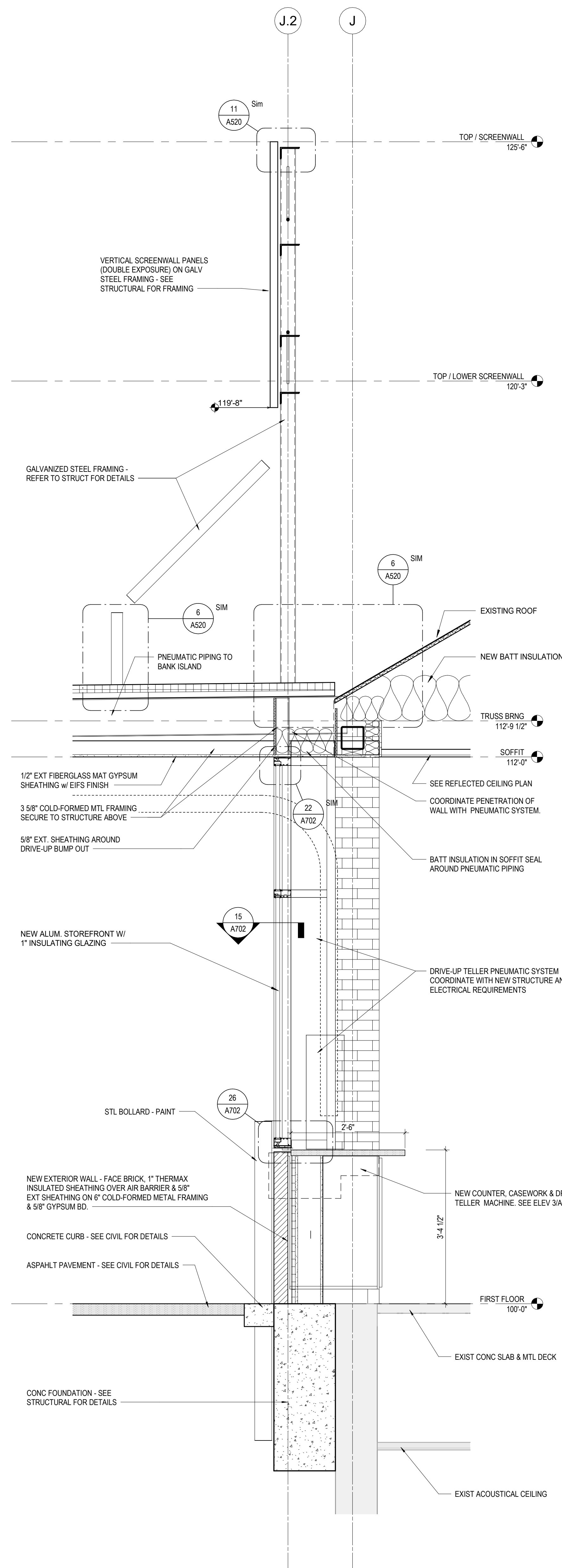
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
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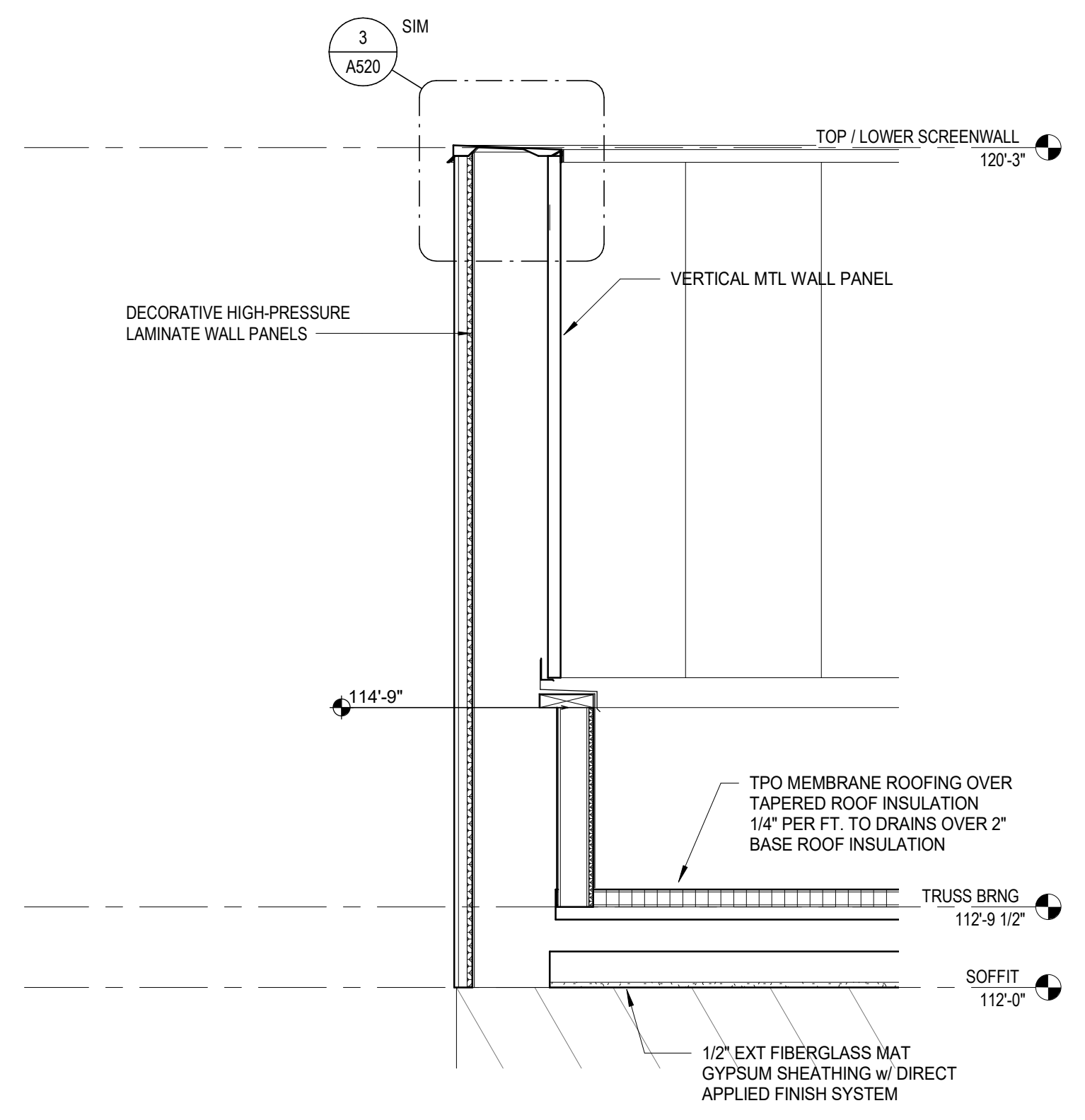
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	DRAWN BY: XXXX CHECKED BY: XXXX
	20022

A502

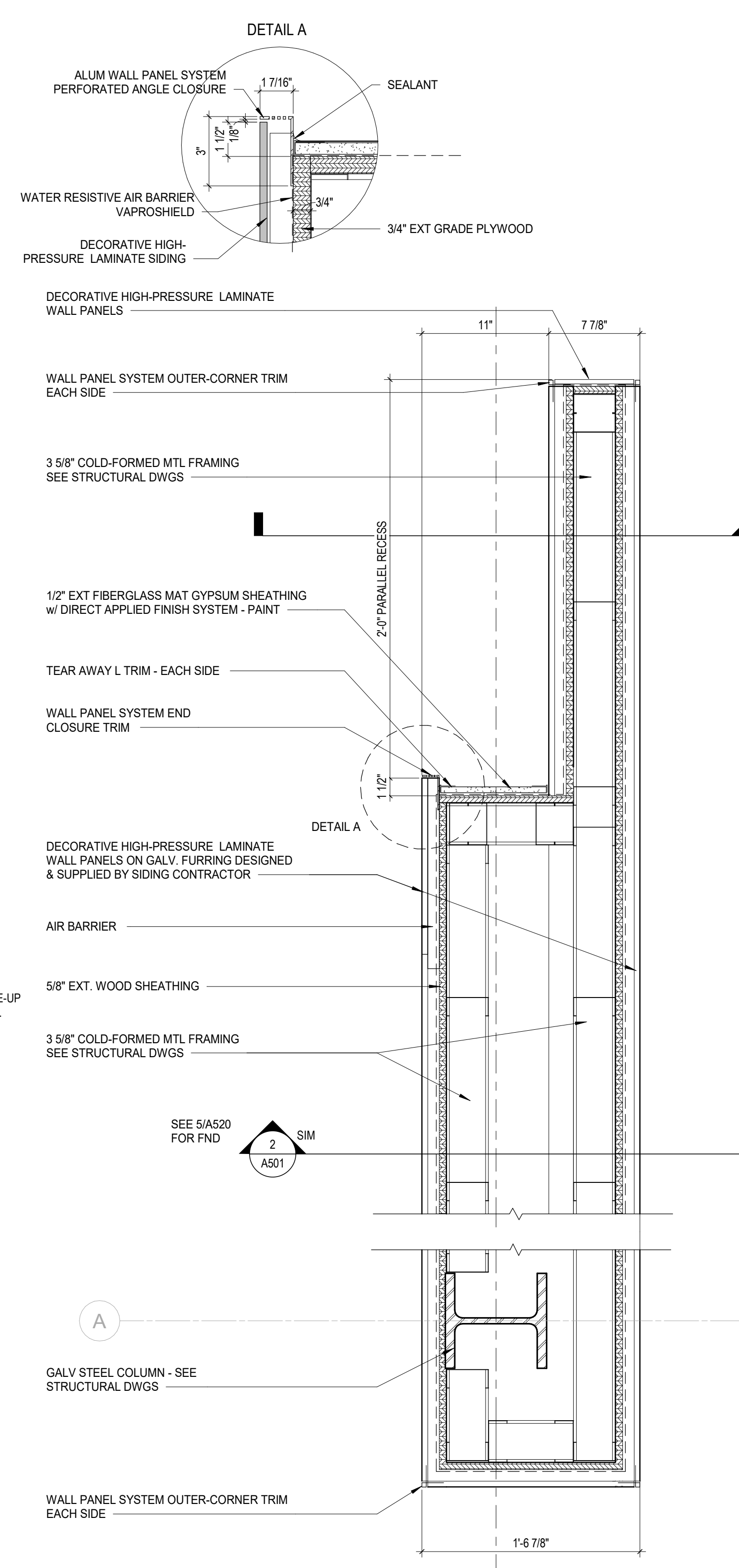
FINAL DEVELOPMENT PLAN



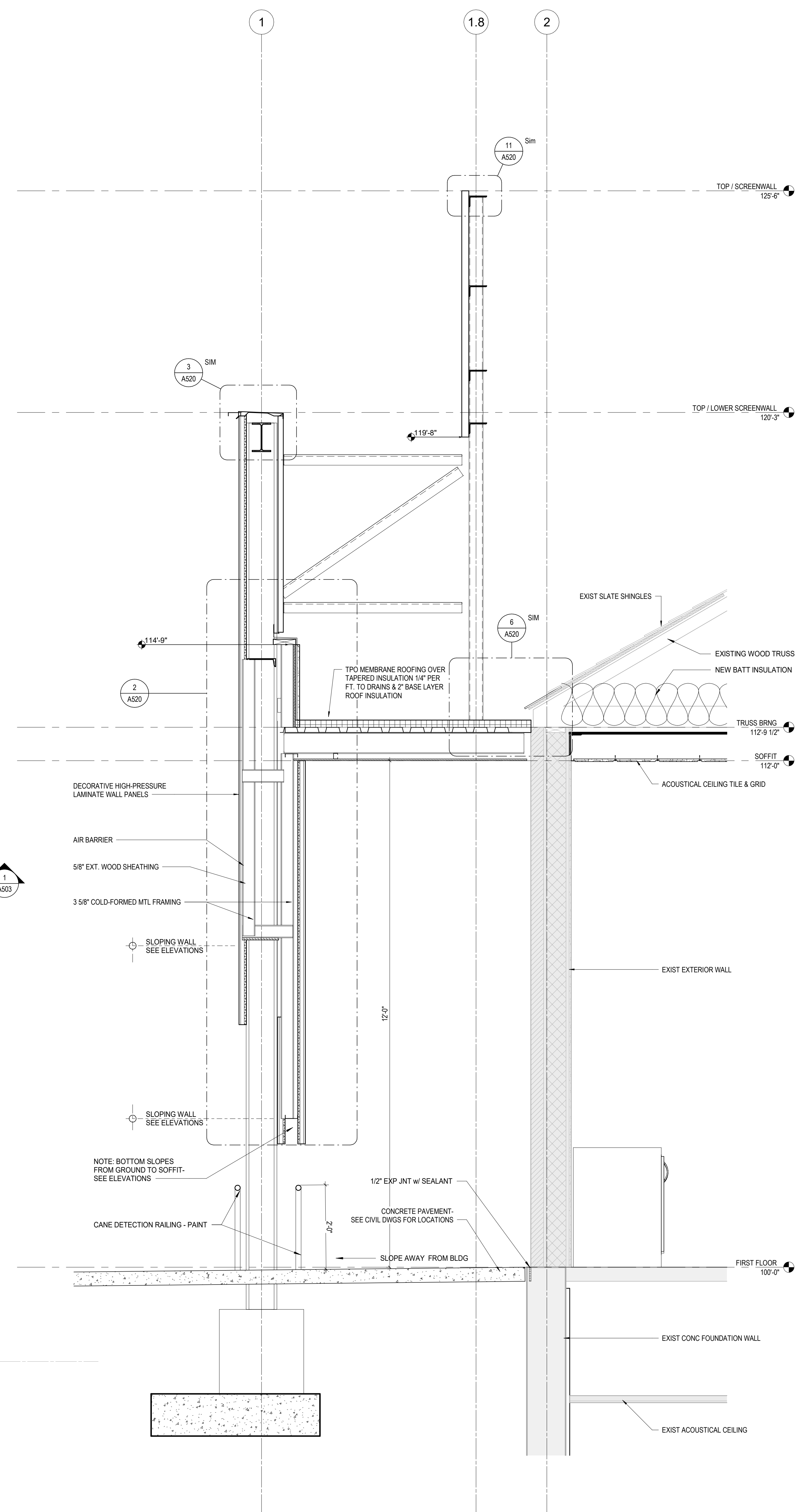
3 SECTION
 3/4" = 1'-0"
 NORTH WALL @ DRIVE UP
 REF: 1 / A101



2 SECTION
 3/4" = 1'-0"
 AT ROOF - EAST & WEST OVERHANGS
 REF: 1 / A103



4 DETAIL
 1 1/2" = 1'-0"
 PLAN VIEW @ SLOPED EXT. WALL
 REF: 1 / A102



1 SECTION
 3/4" = 1'-0"
 WEST CANOPY OVERHANG
 REF: 1 / A101

#	DATE	CHANGE DESCRIPTION

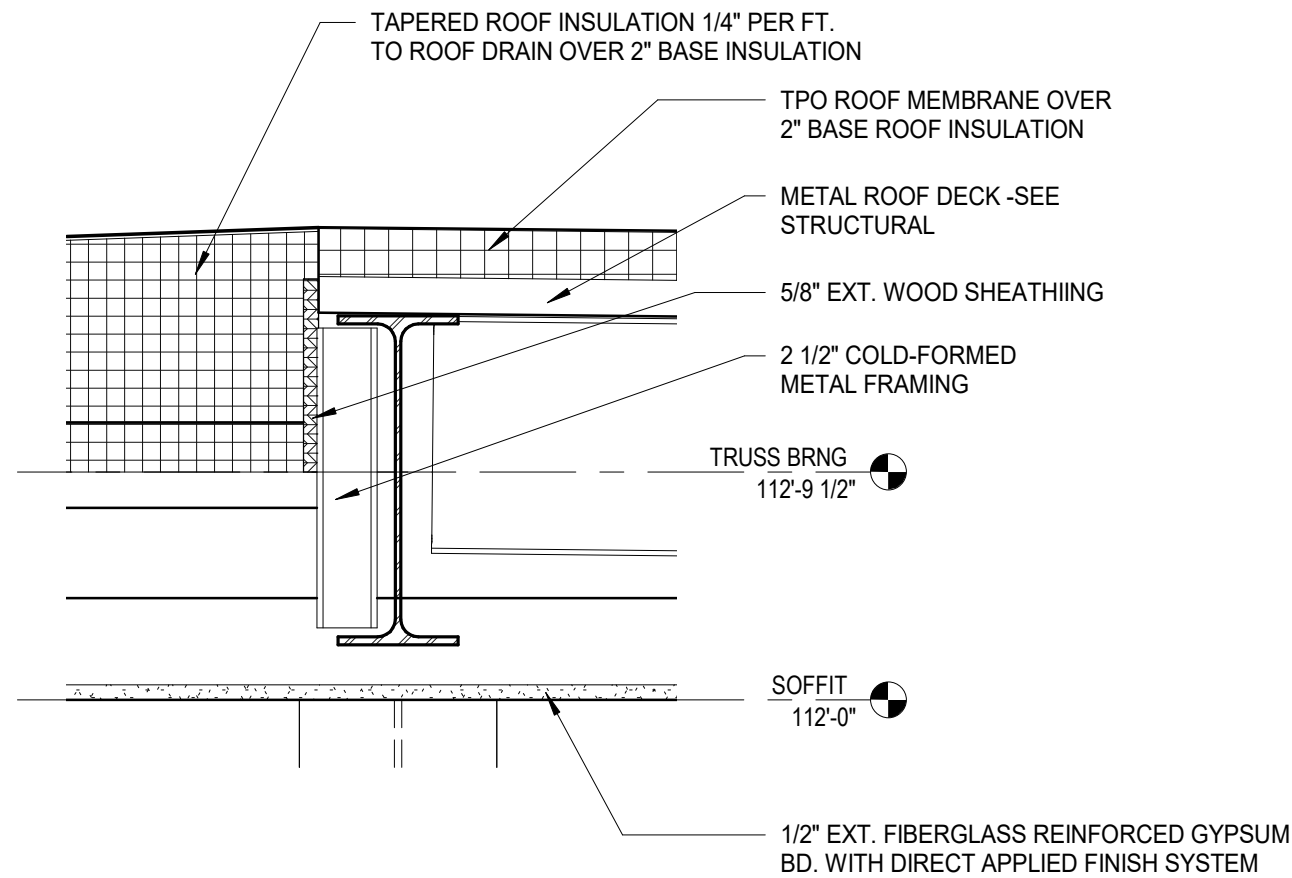
RENOVATION OF HEARTLAND BANK DUBLIN
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 DUBLIN, OH 43017
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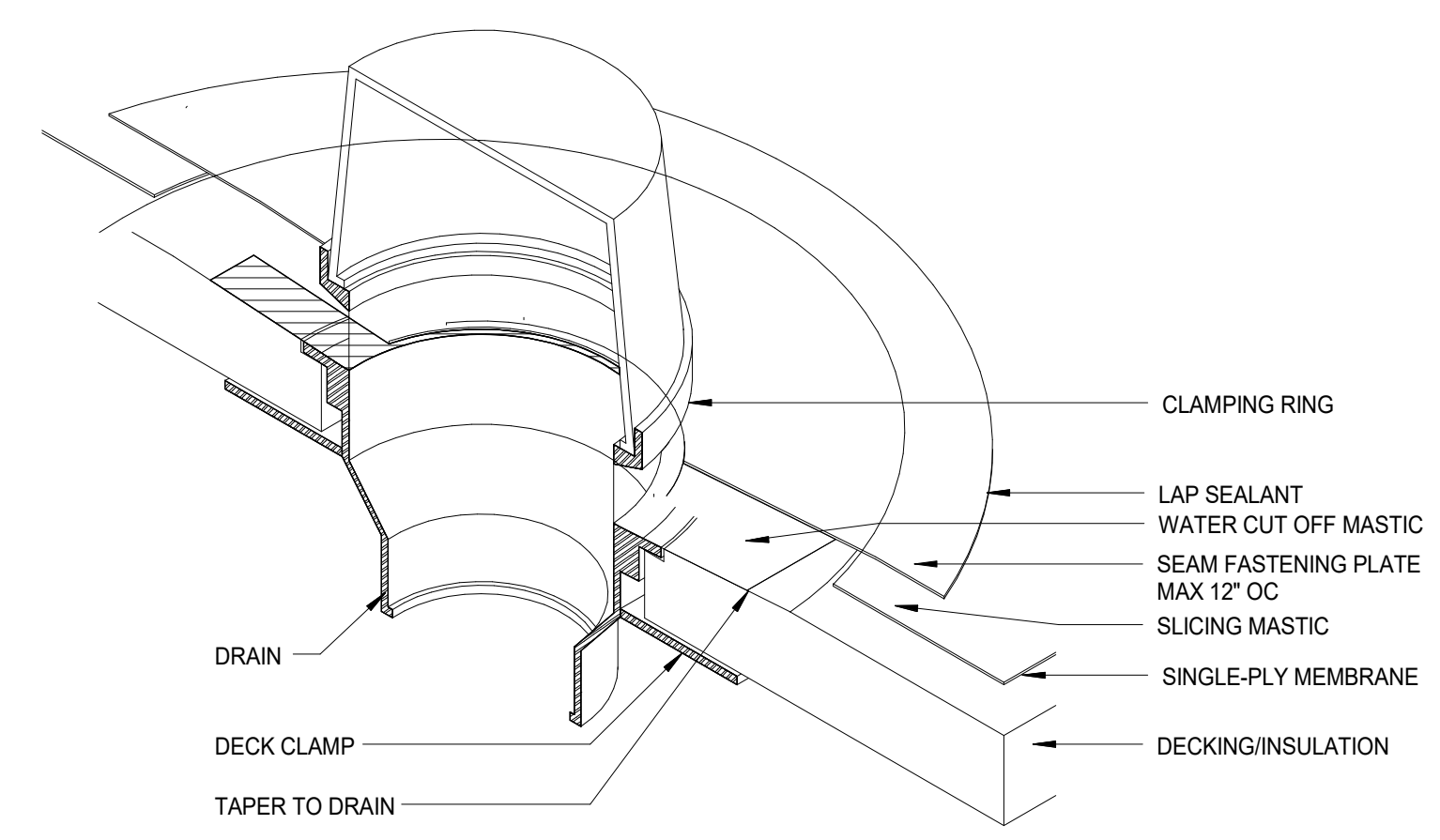
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WALL SECTIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION

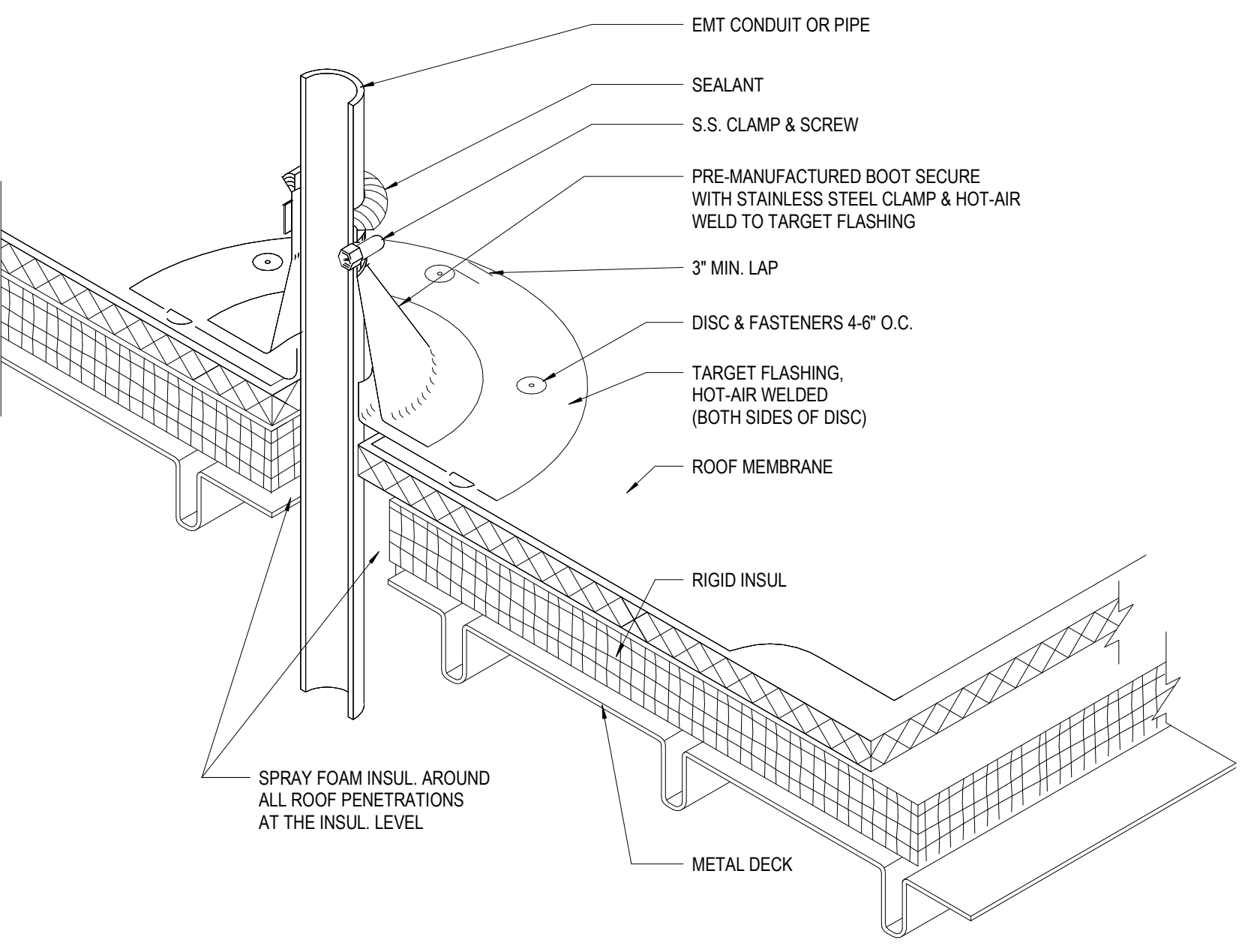
05/12/2021
 DRAWN BY: Author CHECKED BY: Checker
 20022
A503
 FINAL DEVELOPMENT PLAN



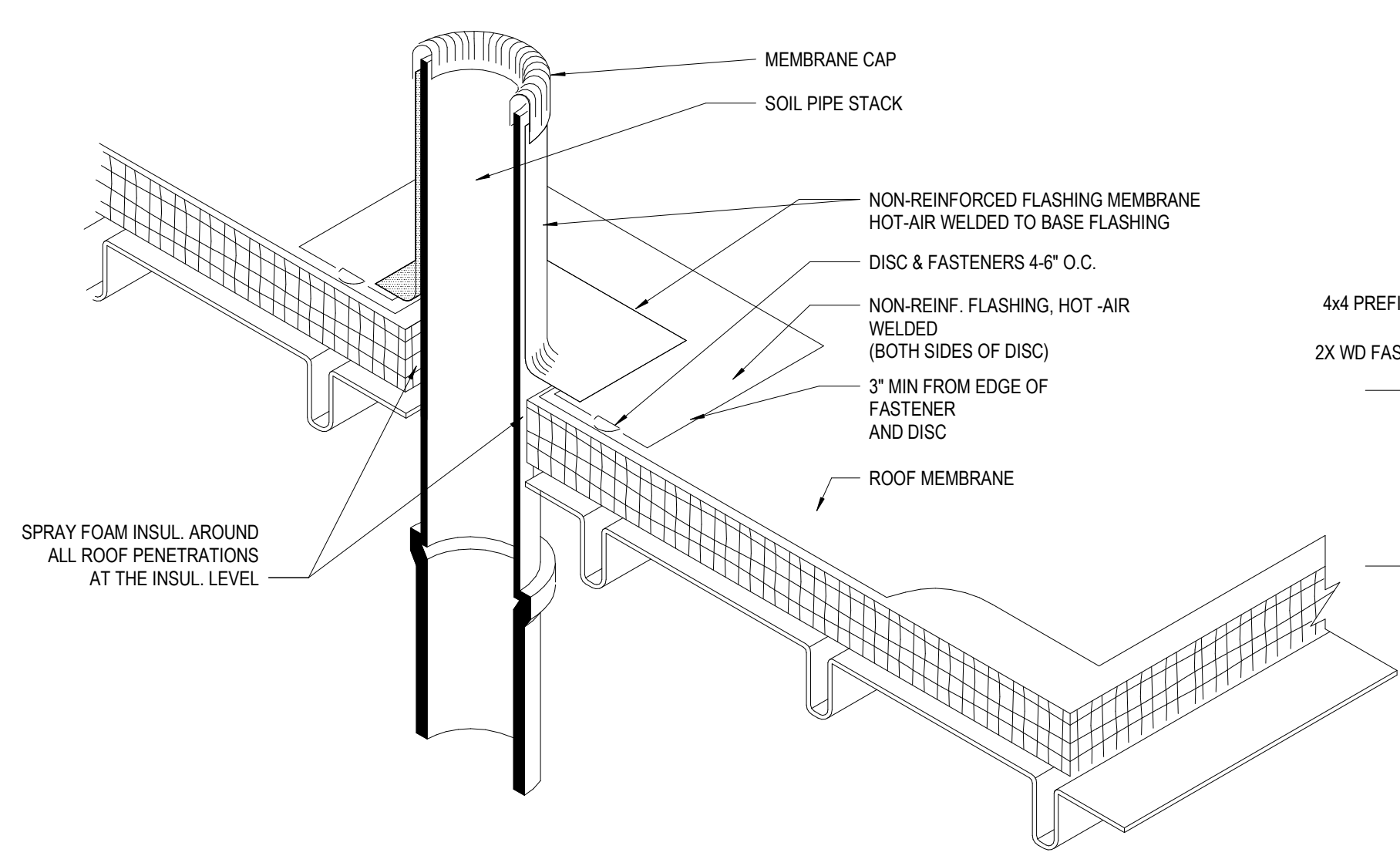
15 DETAIL ROOF STEP @ COL. J
1 1/2" = 1'-0" REF: 1/A103



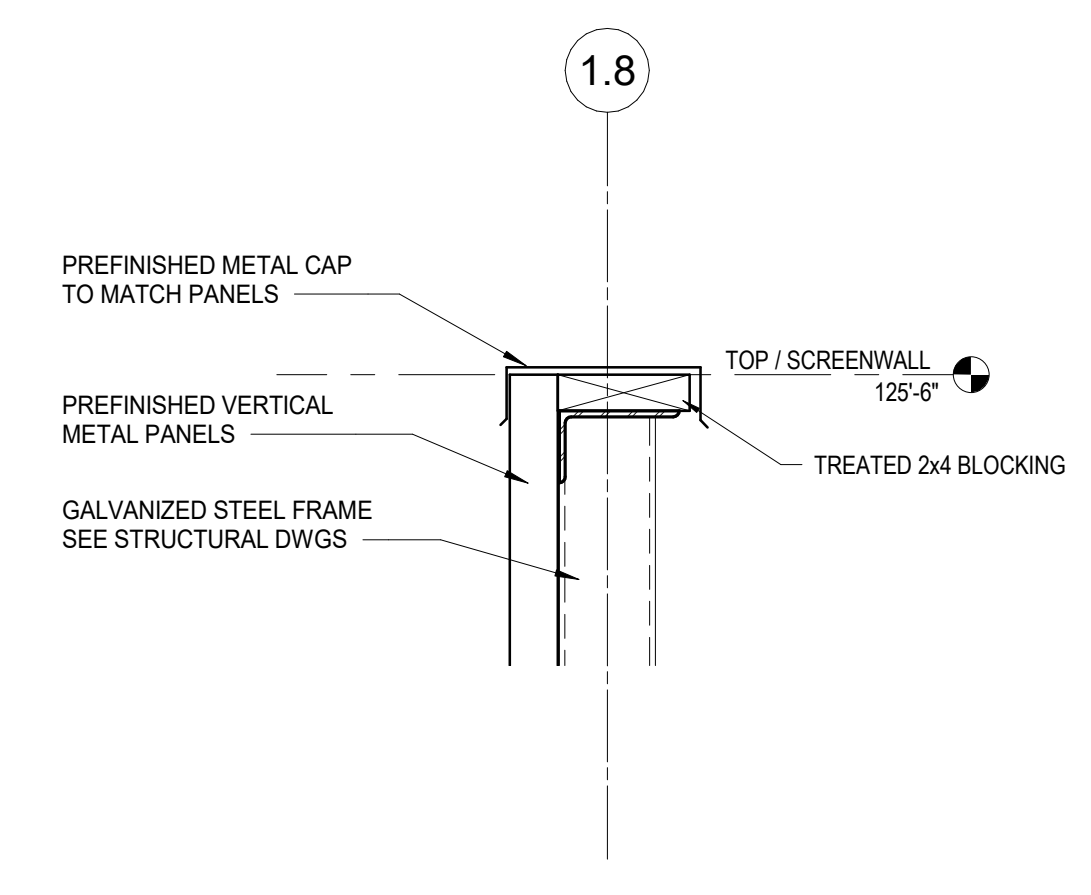
14 DETAIL ROOF DRAIN
1/2" = 1'-0"



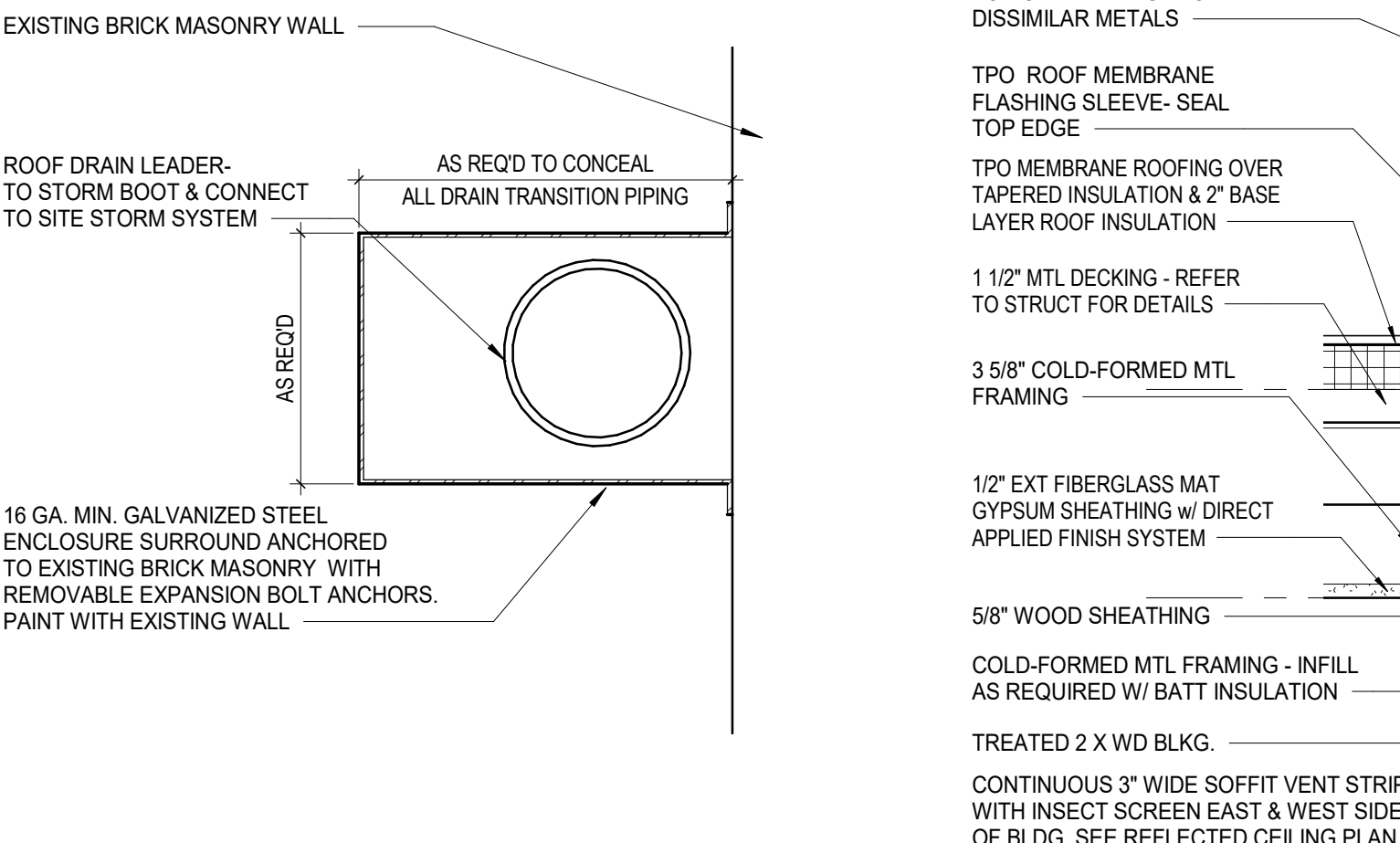
13 DETAIL ROOF PENETRATION - SMALL PIPE
12" = 1'-0"



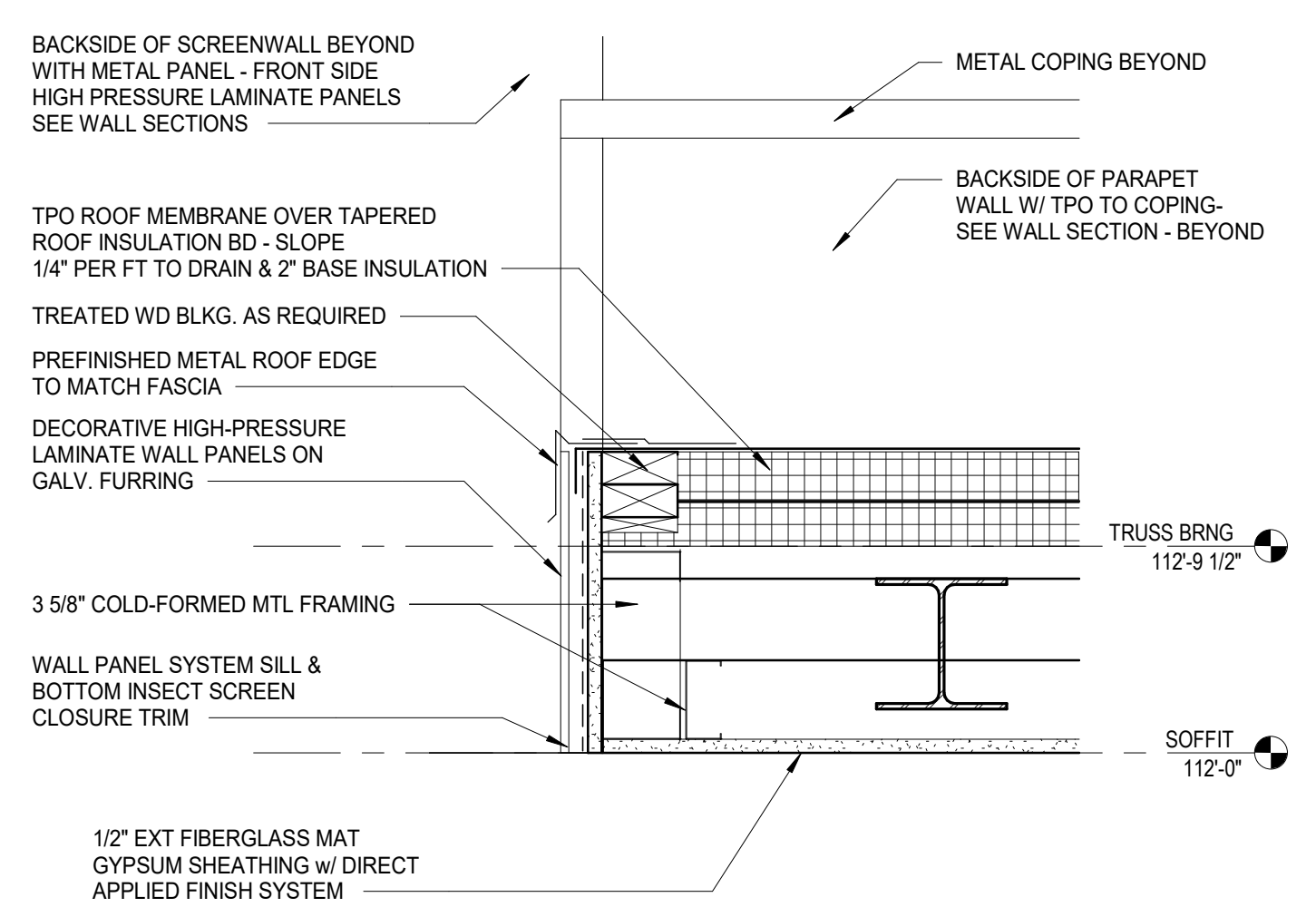
12 DETAIL ROOF VENT PIPE PENETRATION
12" = 1'-0"



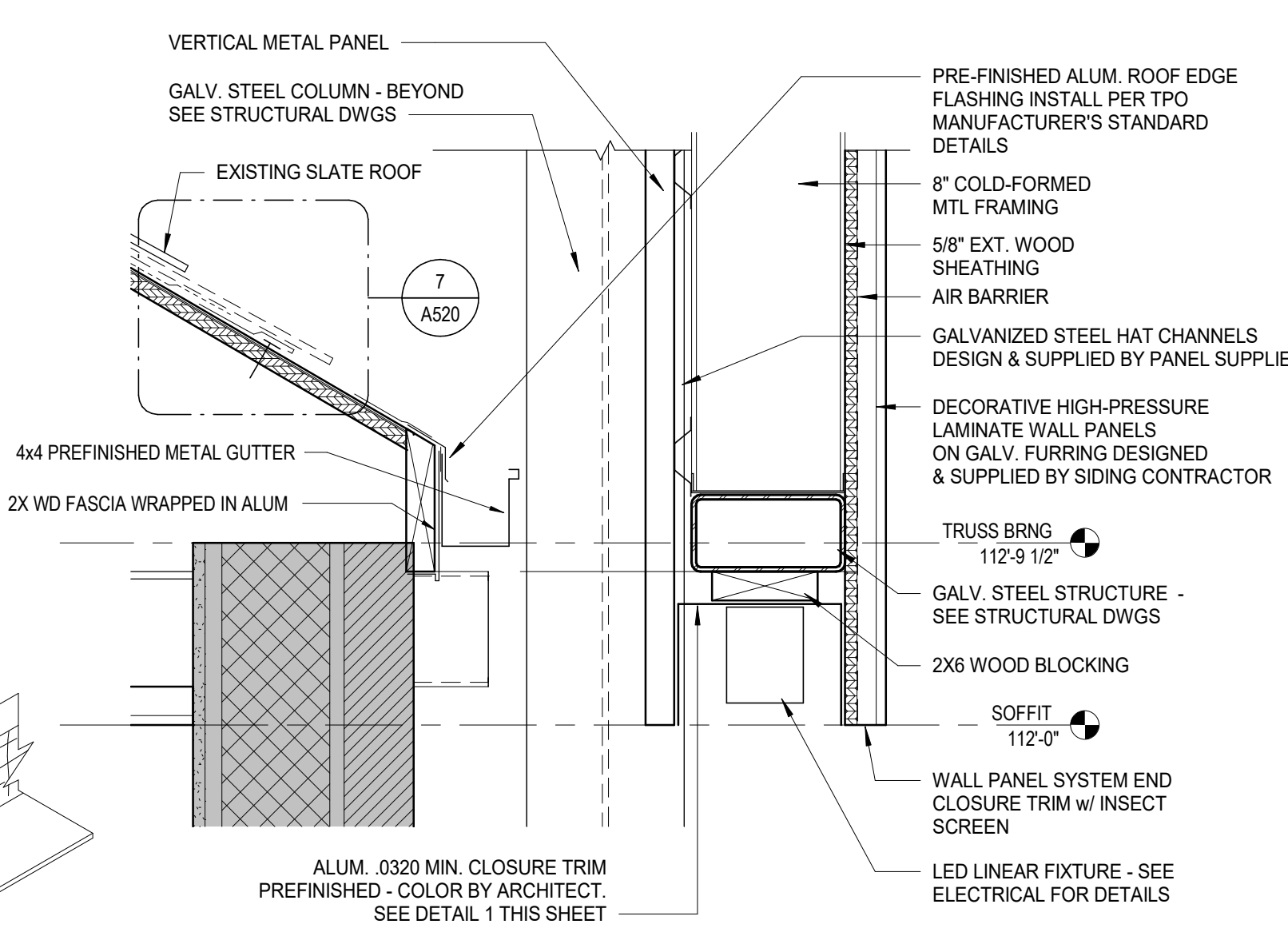
11 DETAIL SCREEN WALL CAP
1 1/2" = 1'-0" REF: 1/A501



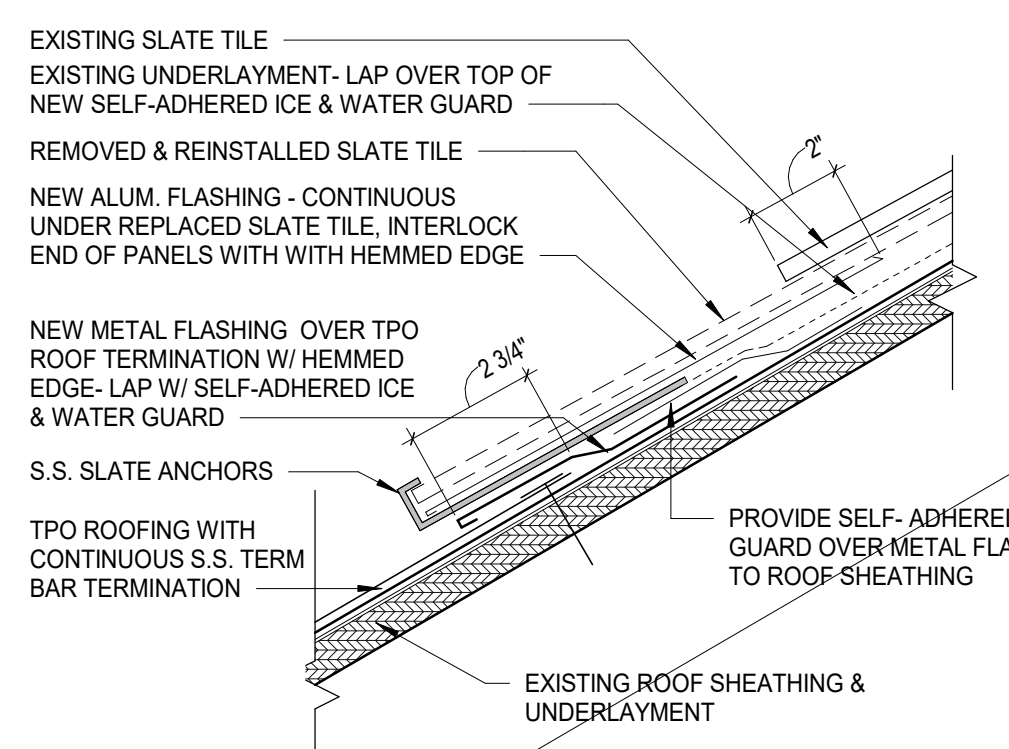
10 DETAIL ROOF DRAIN PIPE ENCLOSURE
3" = 1'-0" REF: 1/A102



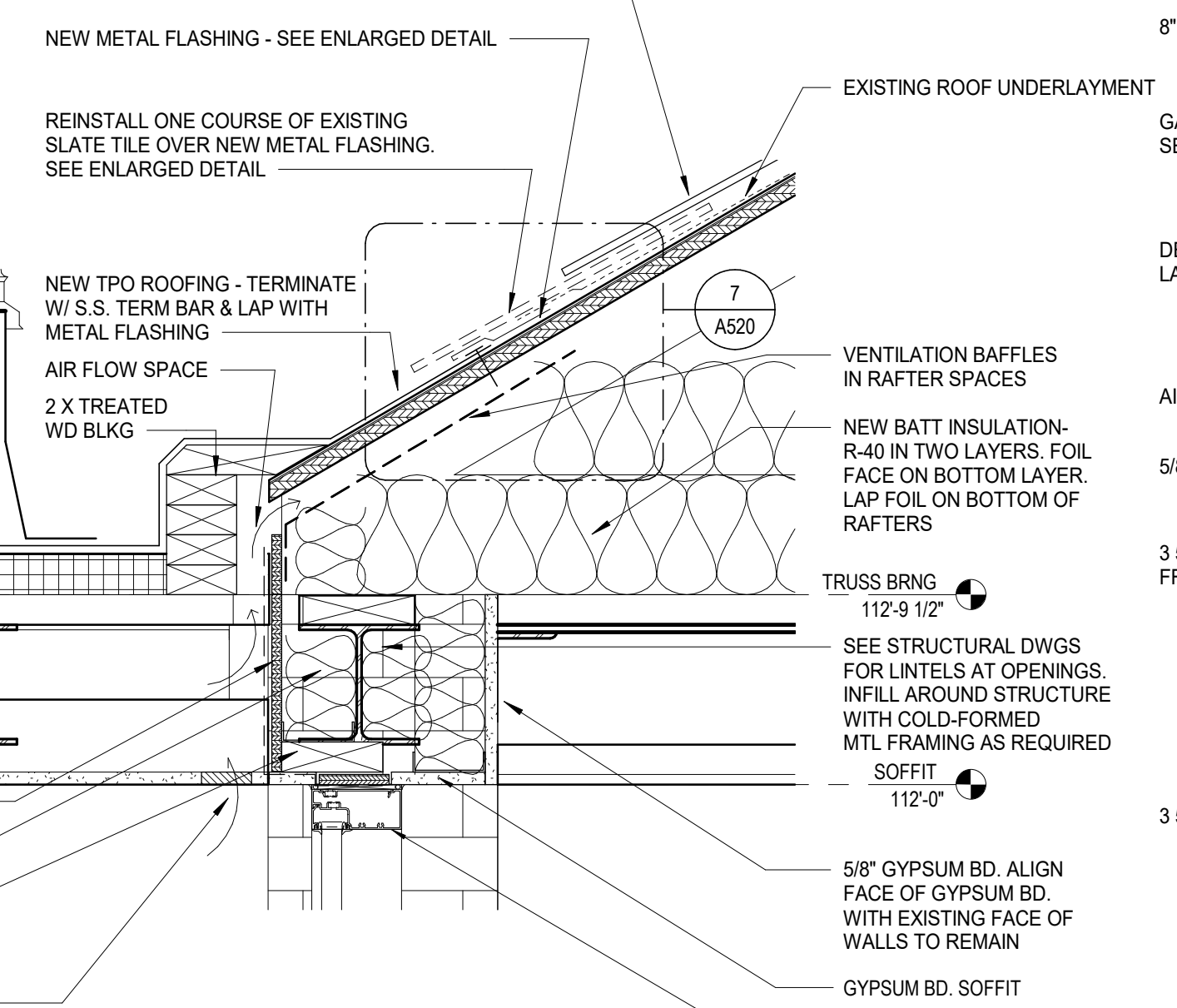
9 DETAIL CANOPY OVERHANG @ SOUTH ELEV.
1 1/2" = 1'-0" REF: 1/A103



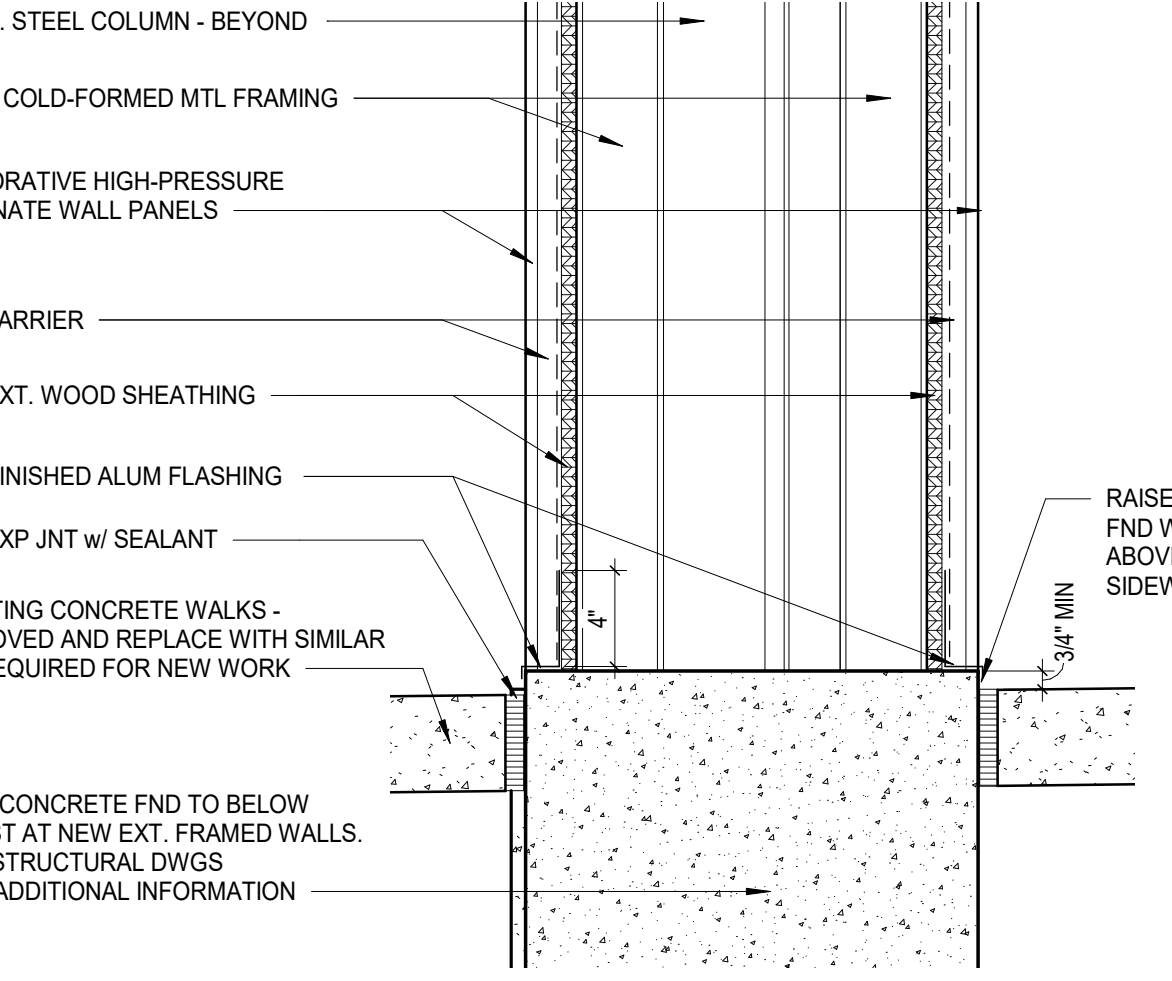
8 DETAIL SOUTH SCREENWALL
1 1/2" = 1'-0" REF: 1/A502



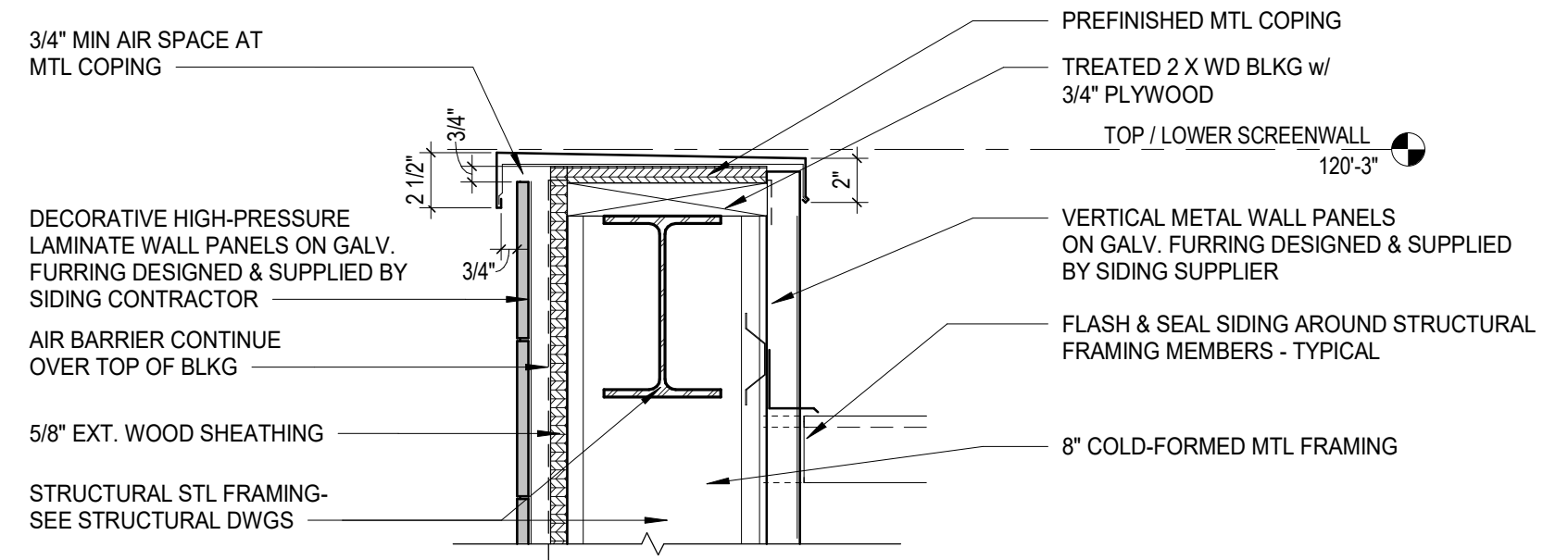
7 DETAIL EXISTING ROOF EDGE - Callout 1
3" = 1'-0" REF: 6/A520



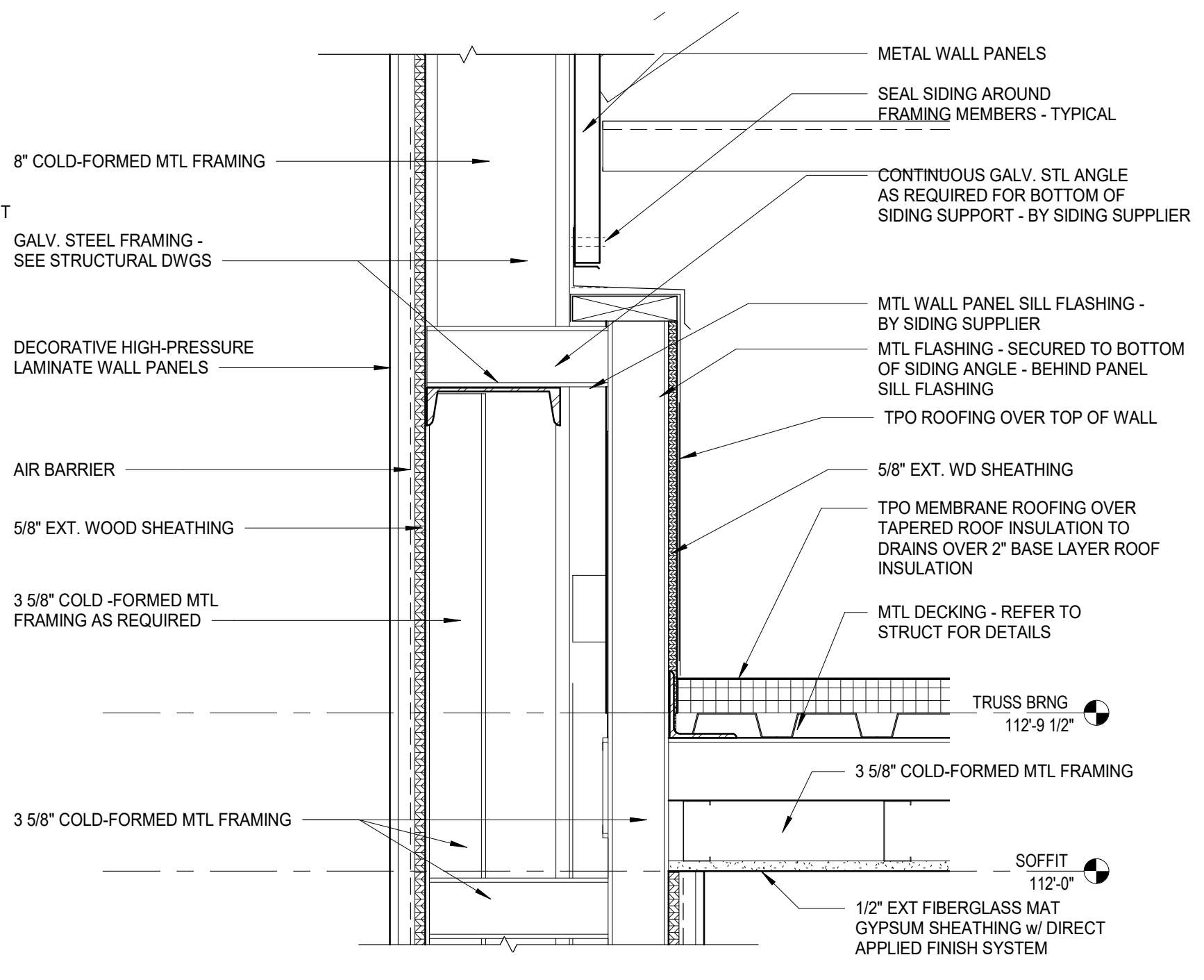
6 DETAIL EXISTING ROOF EDGE
1 1/2" = 1'-0" REF: 1/A501



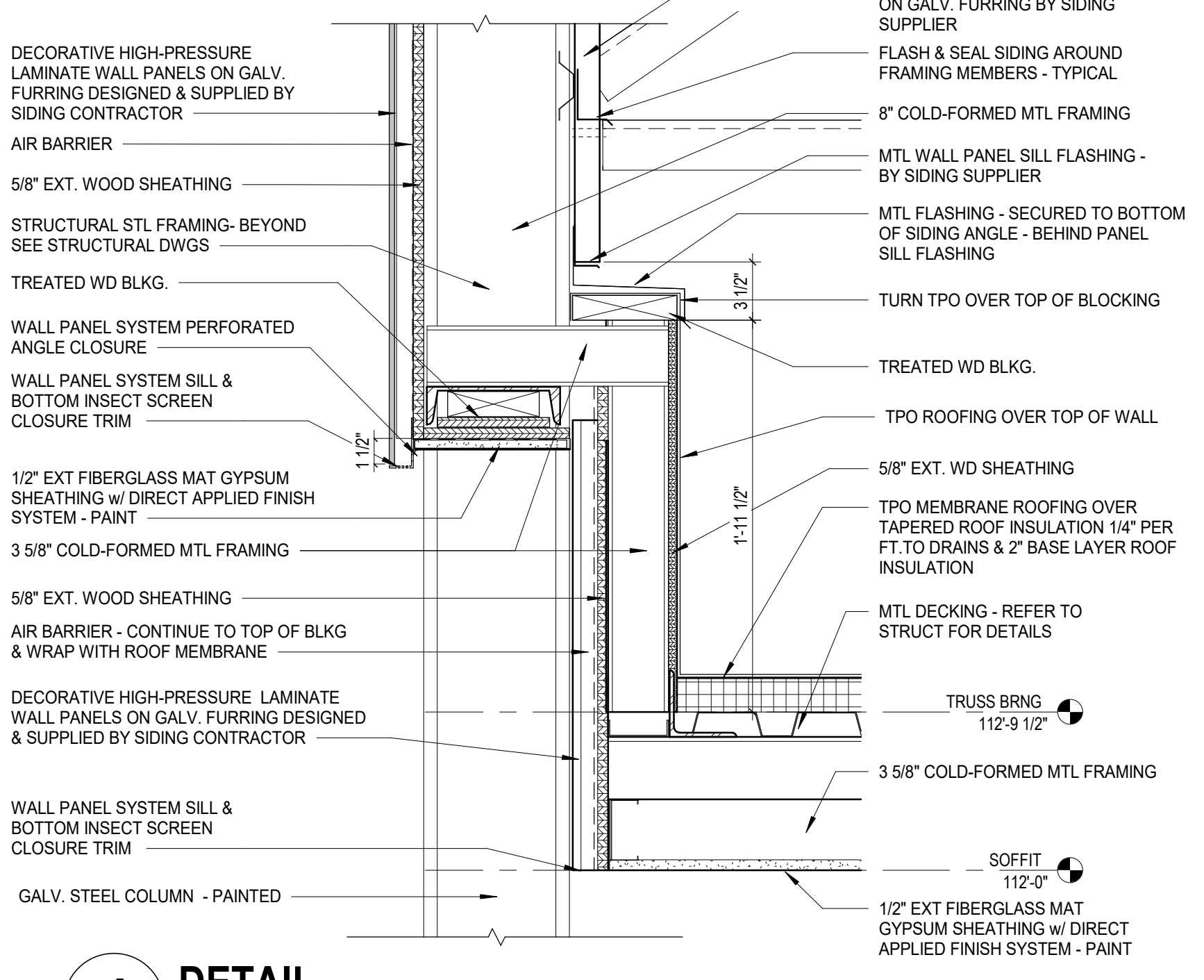
5 DETAIL WEST DOUBLE WALL - Callout 1
1 1/2" = 1'-0" REF: 2/A501



3 DETAIL TYPICAL PARAPET CAP
1 1/2" = 1'-0" REF: 1/A501



2 DETAIL SECTION AT SLOPED EXT. WALL
1 1/2" = 1'-0" REF: 1/A503



4 DETAIL WEST - WALL SET BACK @ ROOF
1 1/2" = 1'-0" REF: 1/A501

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6303 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

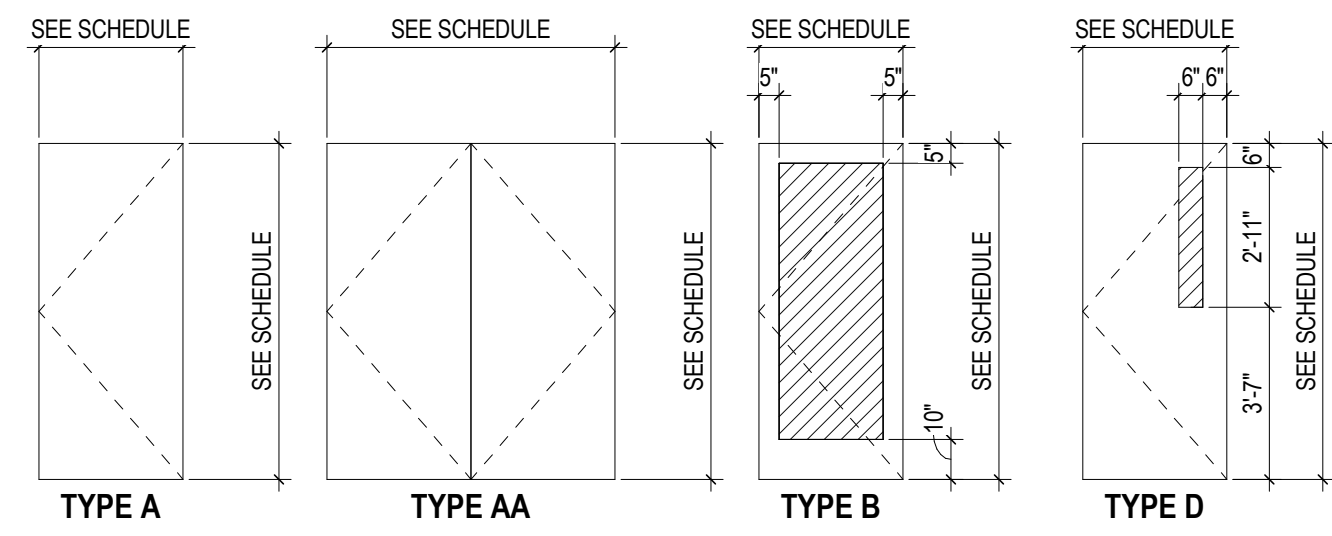
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

MOODY-NOLAN
DRAWING TITLE: **EXTERIOR DETAILS**

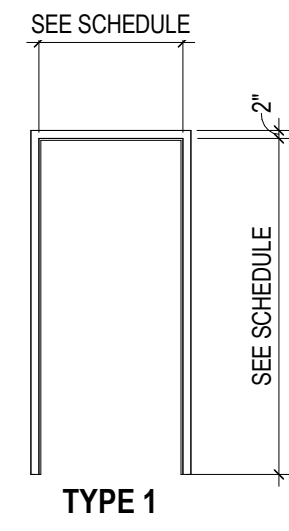
05/12/2021
DRAWN BY: xxx CHECKED BY: xxx
20022
A520
FINAL DEVELOPMENT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION

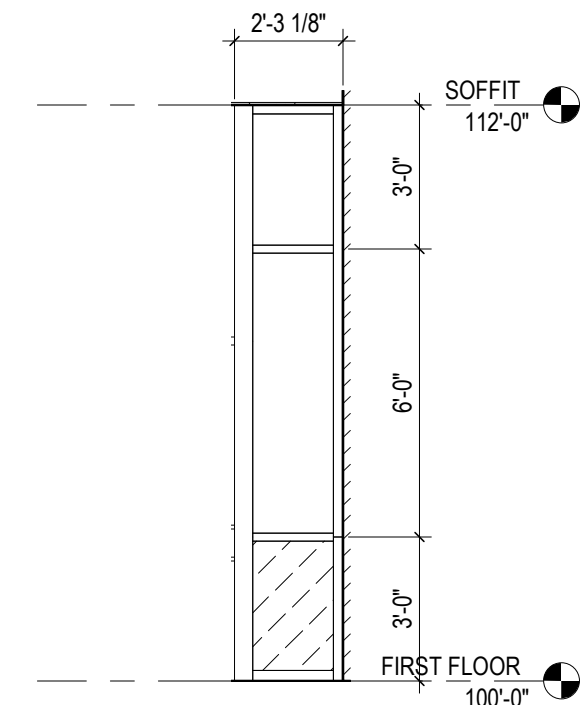
DOOR PANEL TYPE LEGEND



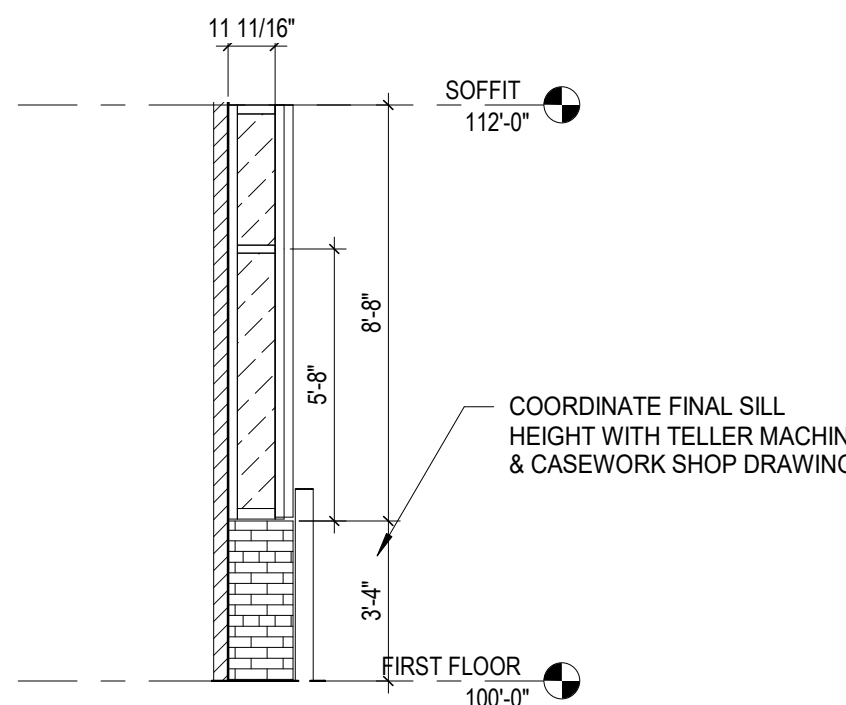
DOOR FRAME TYPE LEGEND



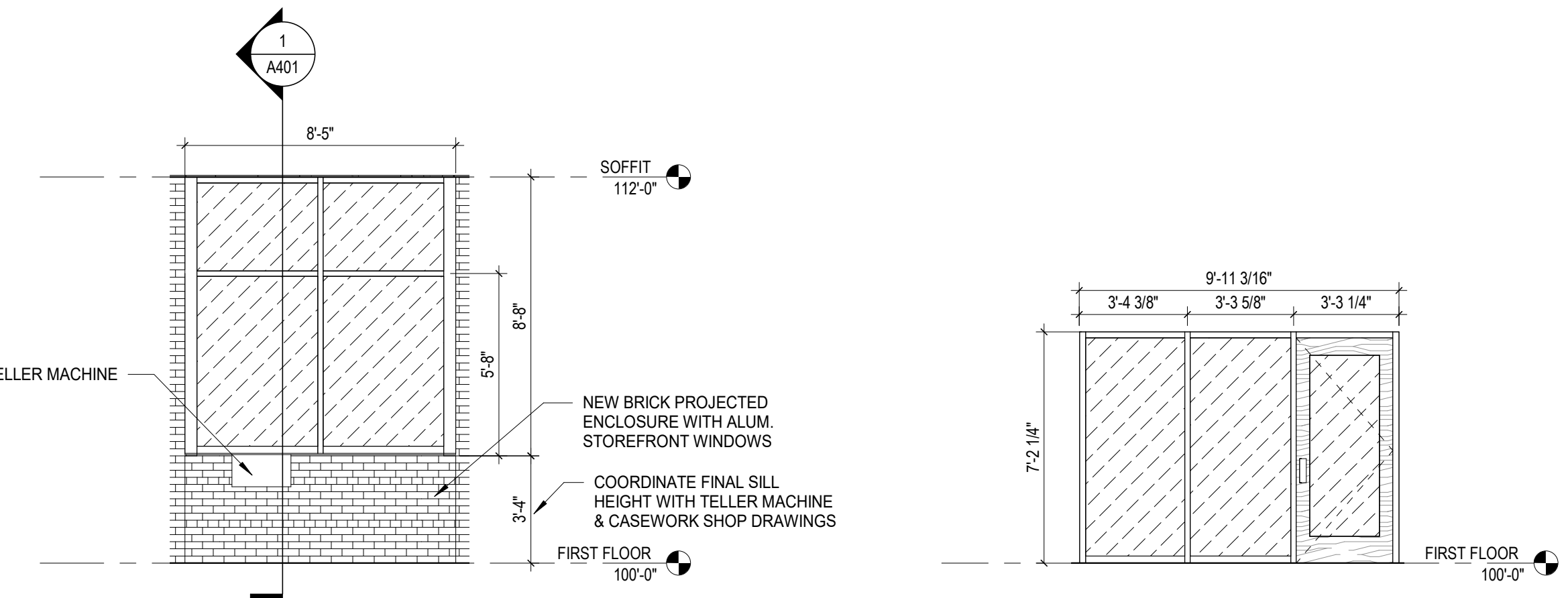
NUMBER	ROOM NAME	DOOR		FRAME			FIRE RATING	HDW SET	DETAILS - SHEET AX.XX			REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL			ELEV	HEAD	JAMB	
103	CONFERENCE ROOM	6'-0"	7'-0"	GLASS	AA	ALUM	10A701	9	6A702	3A702		PIVOT HINGE
105	STAIR 02	3'-0"	7'-0"	WD	D	HM	1	6	12A702	11A702		
106	OFFICE	3'-0"	7'-0"	WD	B	ALUM	20A701	4	6A702	28A702		
107	BREAK ROOM	3'-0"	7'-0"	WD	A	HM	1	6	12A702	11A702		
108	CLOSET	2'-6"	7'-0"	WD	A	HM	1	7	12A702	11A702		
109	UNSEX RR	3'-0"	7'-0"	WD	A	HM	1	3	12A702	11A702		
111	STAIR 01	3'-0"	7'-0"	WD	D	HM	1	5	12A702	11A702		
112	ATM	3'-0"	7'-0"	WD	A	HM	1	6	12A702	11A702		
114	OFFICE	3'-0"	7'-0"	WD	B	ALUM	12A701	4	6A702	2A702		
115	MANAGER'S OFFICE	3'-0"	7'-0"	WD	B	ALUM	11A701	4	6A702	2A702		
EX101.1	ENTRY VESTIBULE	6'-5 1/2"	7'-0"	ALUM	B	ALUM	3A701	10	14.22A702	9.15A702	16A702	
EX101.2	LOBBY	6'-5 1/2"	7'-0"	ALUM	B	ALUM	4A701	2	9A702	7A702	1A702	
EX105	STAIR 02	6'-0"	7'-0"	ALUM	B	ALUM	14A701	10.1	14.22A702	9.15A702	16A702	
EX111	STAIR 01	6'-0"	7'-0"	ALUM	B	ALUM	18A701	10.1	14.22A702	9.15A702	16A702	



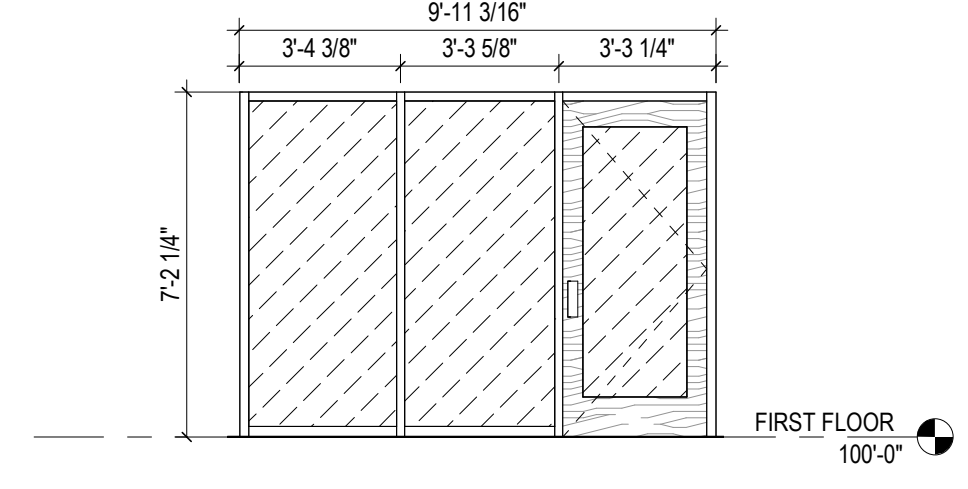
23 ELEVATION DR_EX111 - NORTH SIDELIGHT
1/4" = 1'-0" REF: 1 / A10



22 ELEVATION TELLER WINDOW
1/4" = 1'-0" REF: 1 / A10

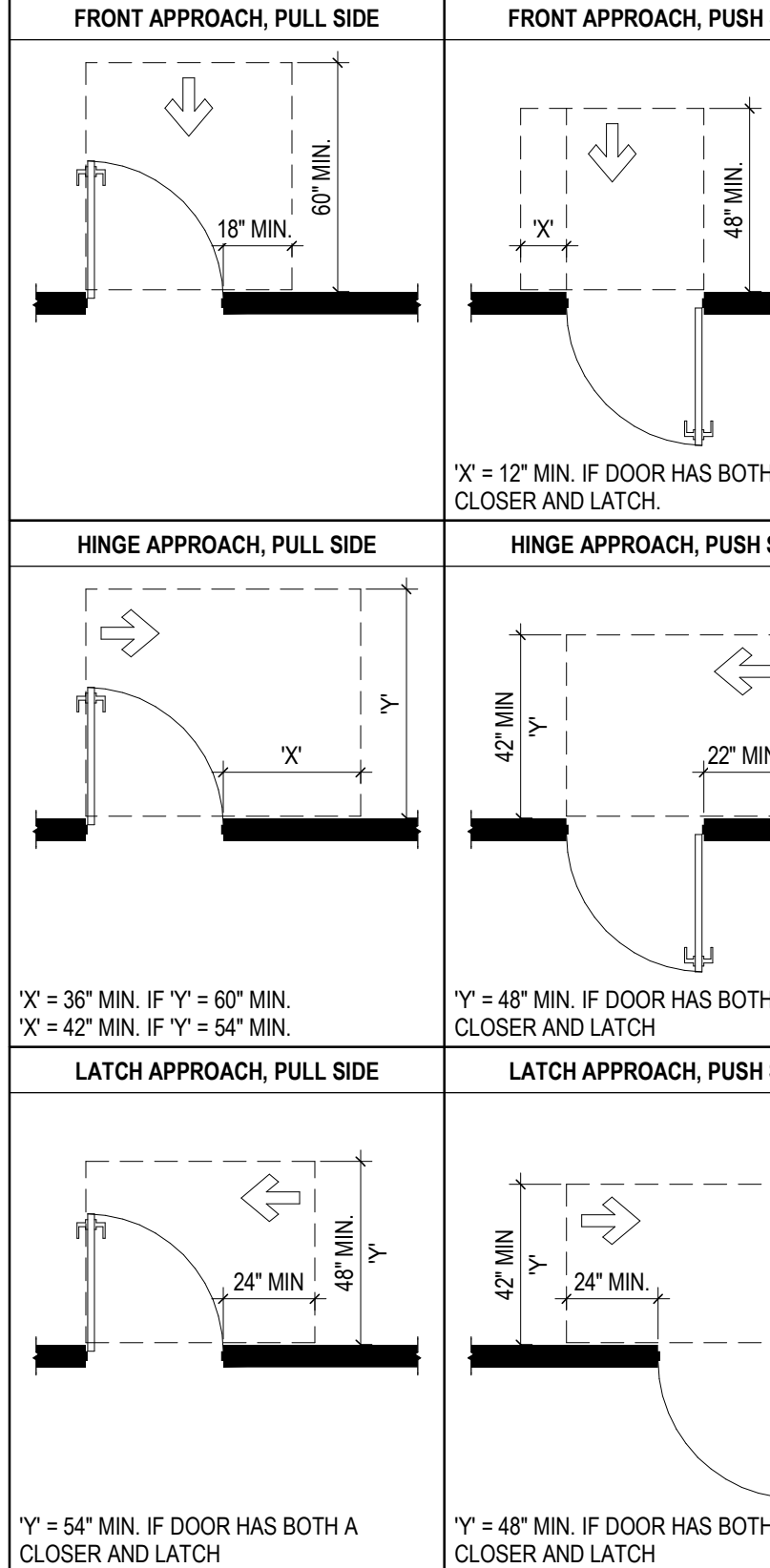


21 ELEVATION NORTH # 2 - TELLER WINDOW
1/4" = 1'-0" REF: 1 / A10

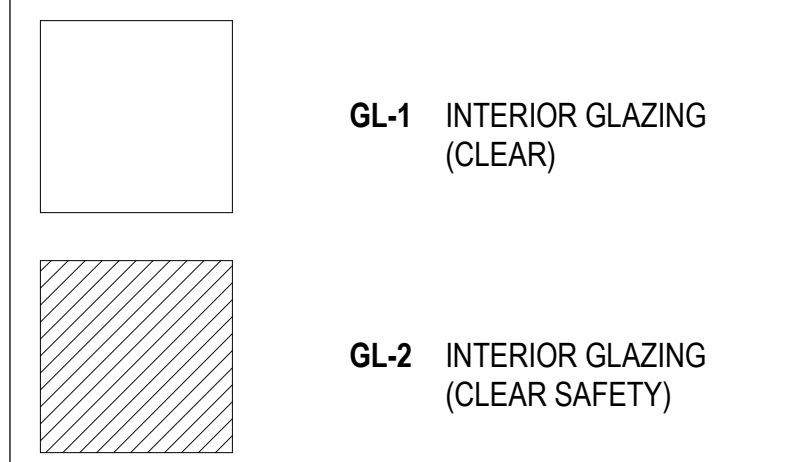


20 ELEVATION INT. RM 106
1/4" = 1'-0" REF: 1 / A10

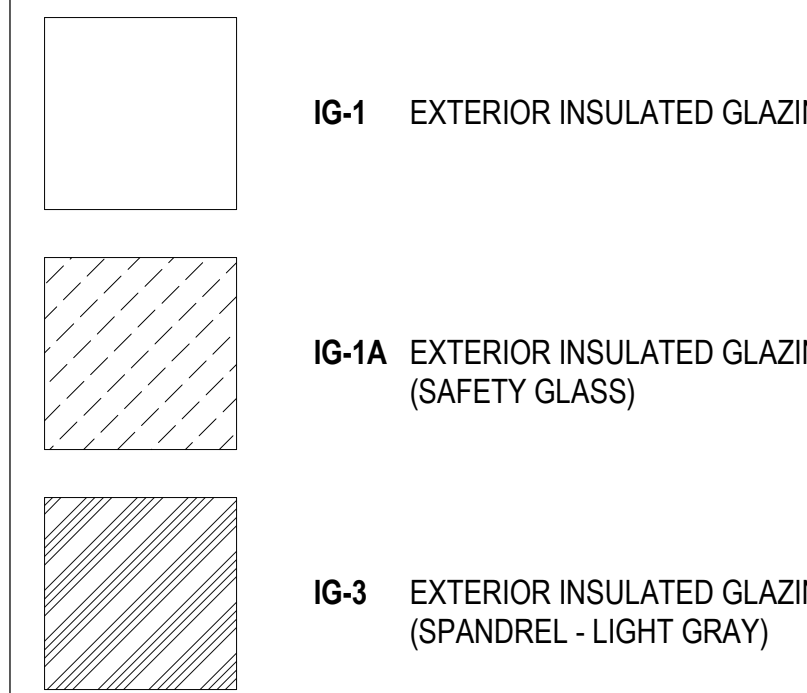
DOOR CLEARANCES



INTERIOR GLAZING TYPES



EXTERIOR GLAZING TYPES



SAFETY GLAZING
Based on 2006 IBC

All glazing, including plastic glazing shall meet all applicable Codes and regulations. As a MINIMUM all glazing at the following locations shall be safety glazing:

DOORS - Glazing in doors (swinging, sliding, storm, or other, except curved glazing) revolving doors.

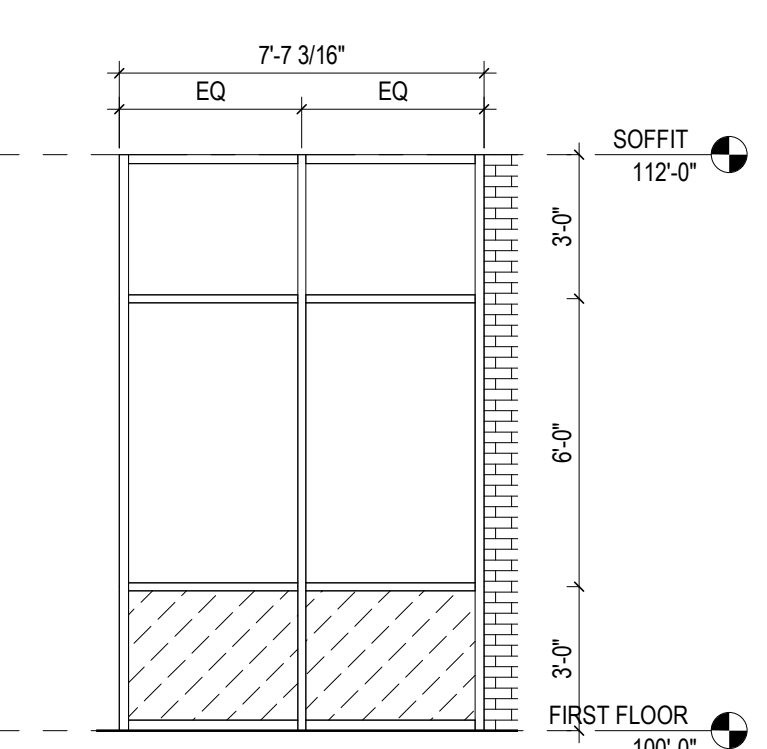
SIDELIGHTS - Glazing in sidelights adjacent to a door.

ADJACENT TO DOORS - All glazing within 24" of a closed door if the glazing is within 60" of the floor measured vertically.

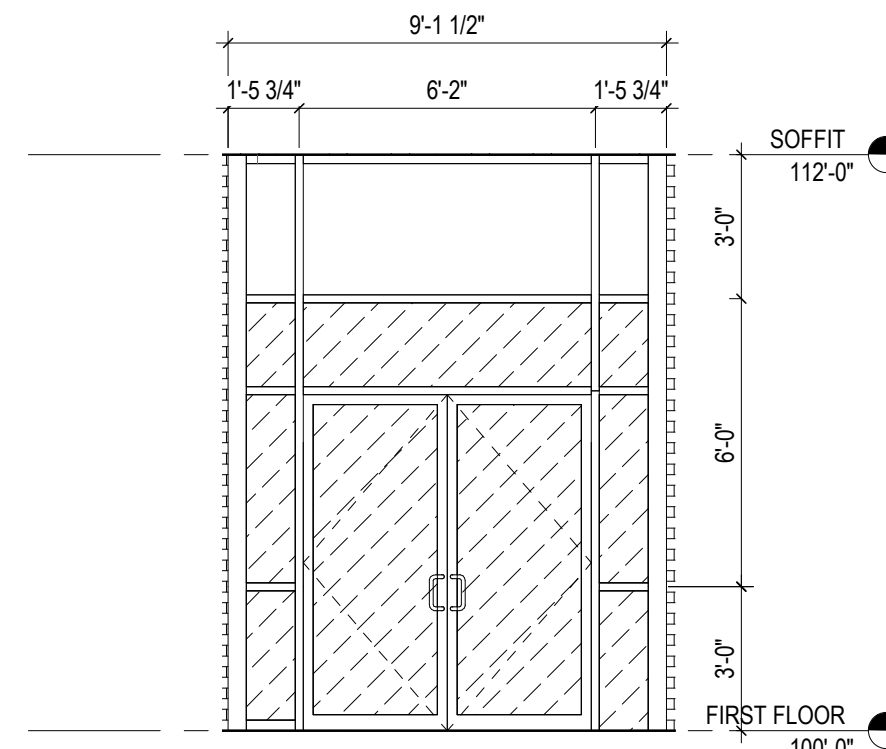
WALKING SURFACE - Glazing greater than 9 square feet in area if the bottom of the glazing is less than 18" AFF, and the top of the glazing is more than 36" AFF, and there is a walking surface within 30" of the glazing measured horizontally.

STAIRS & RAMPS - Glazing within 36" horizontally of a stair tread, landing, or ramp if the glazing is within 60" vertically of the standing surface directly below.

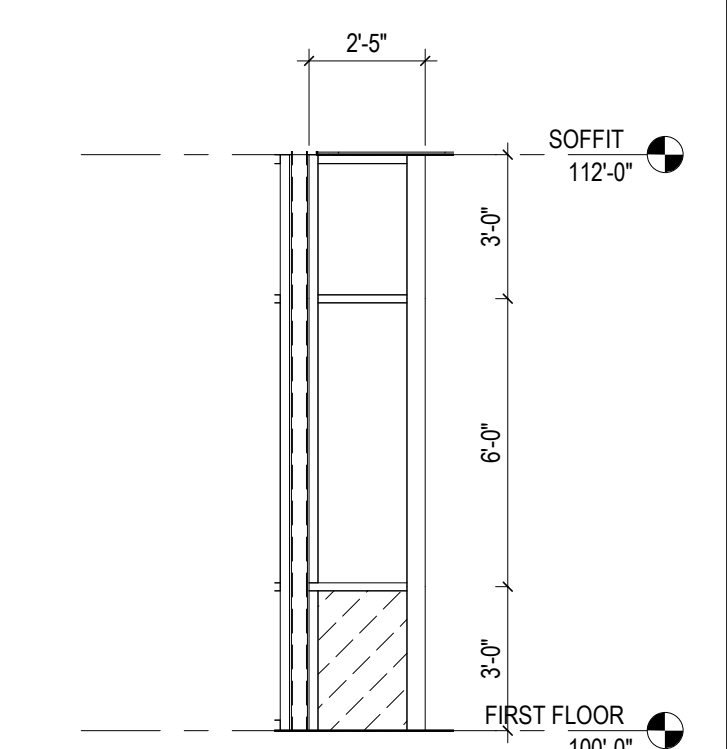
MIRRORS - Glazing at mirrors without continuous backing.



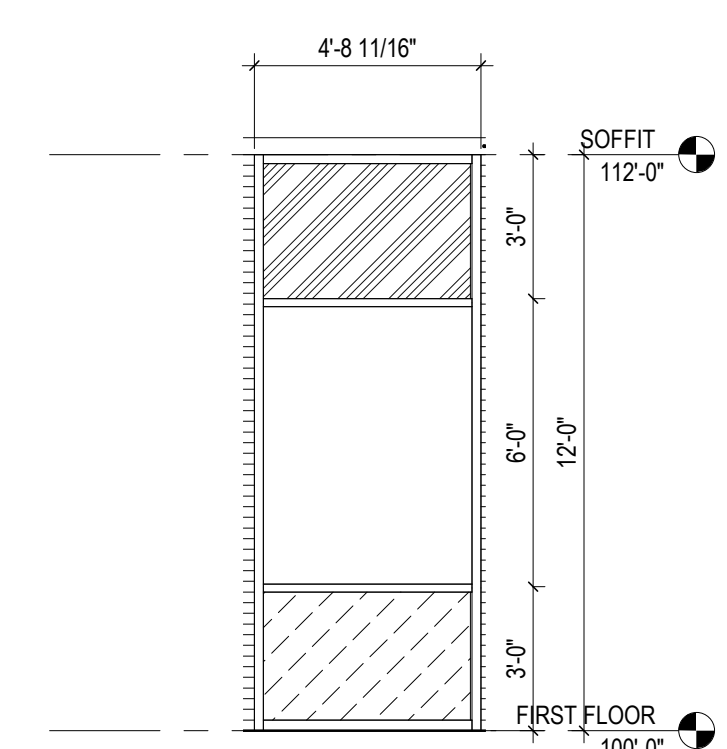
19 ELEVATION SOUTH # 1
1/4" = 1'-0" REF: 1 / A10



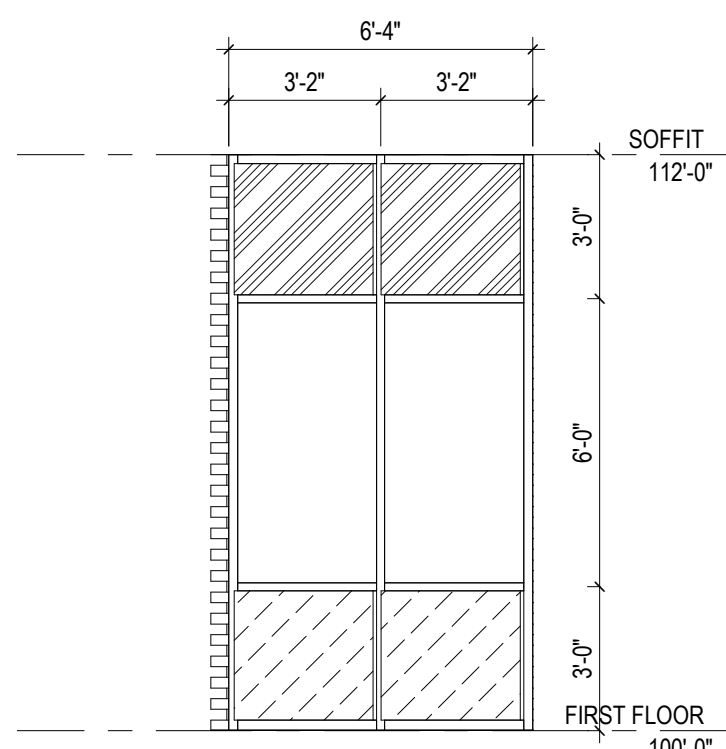
18 ELEVATION EXT. DR. 111
1/4" = 1'-0" REF: 1 / A10



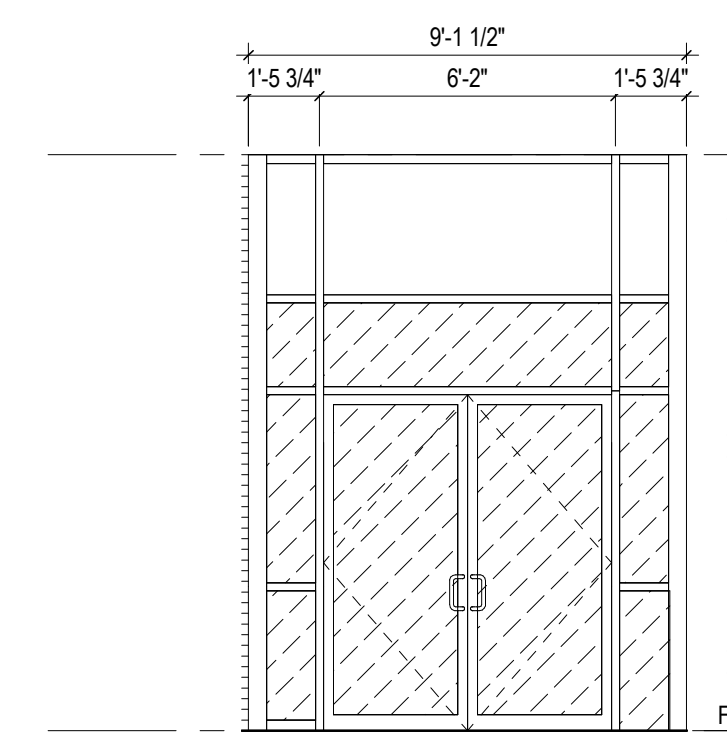
17 ELEVATION EXT. DR 111 - SIDE
1/4" = 1'-0" REF: 1 / A10



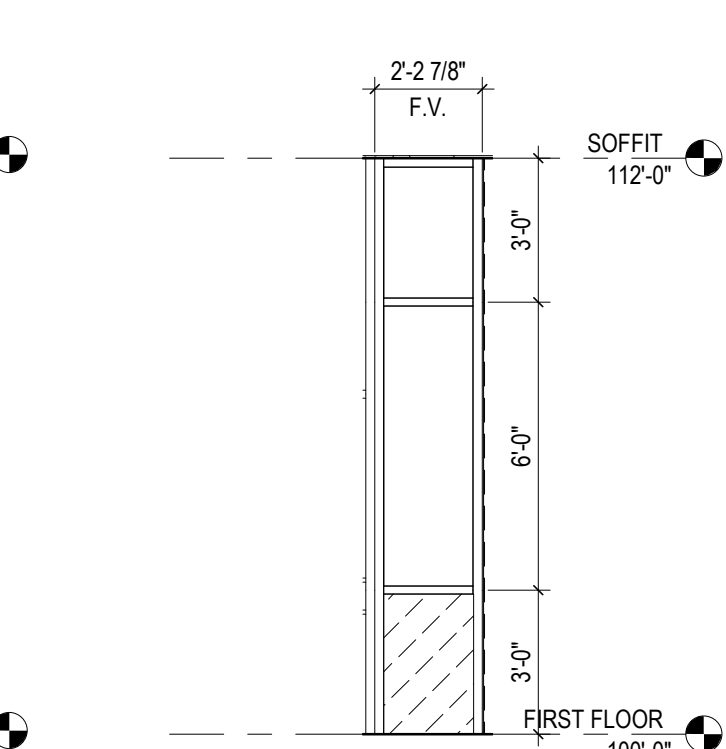
16 ELEVATION EAST # 1
1/4" = 1'-0" REF: 1 / A10



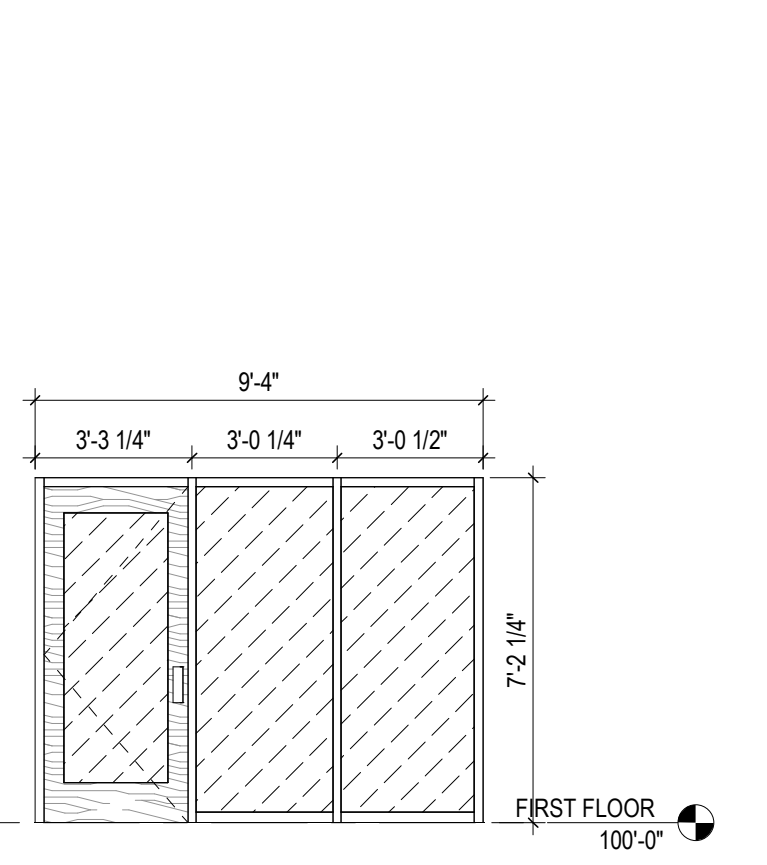
15 ELEVATION EAST # 2
1/4" = 1'-0" REF: 1 / A10



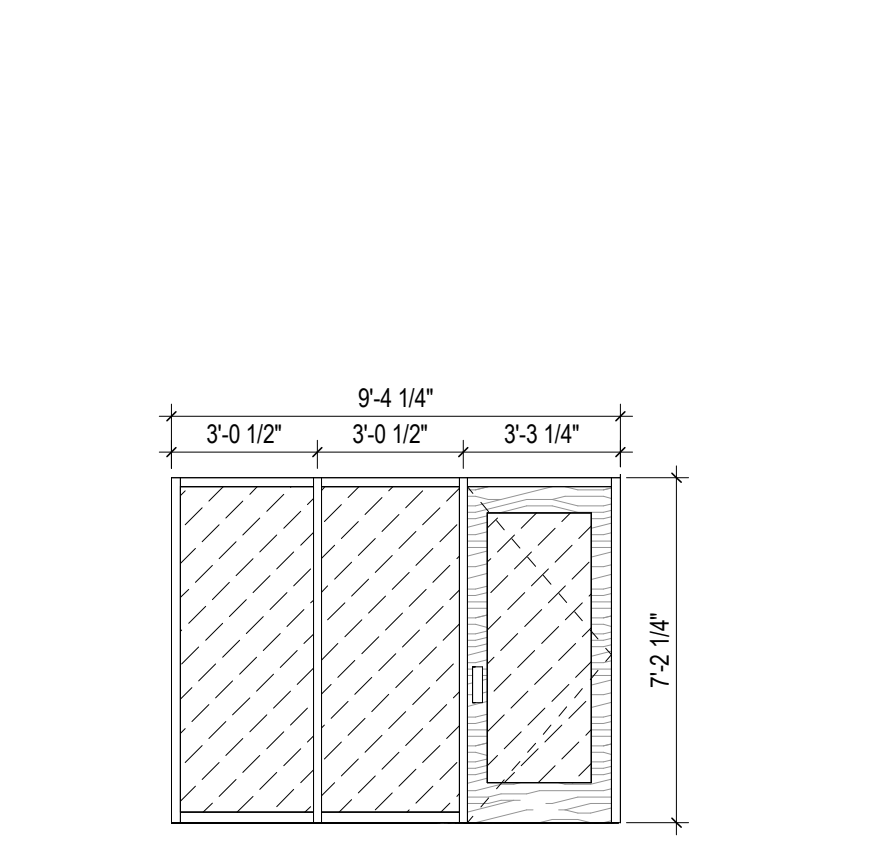
14 ELEVATION EXT. DR. EX105
1/4" = 1'-0" REF: 1 / A10



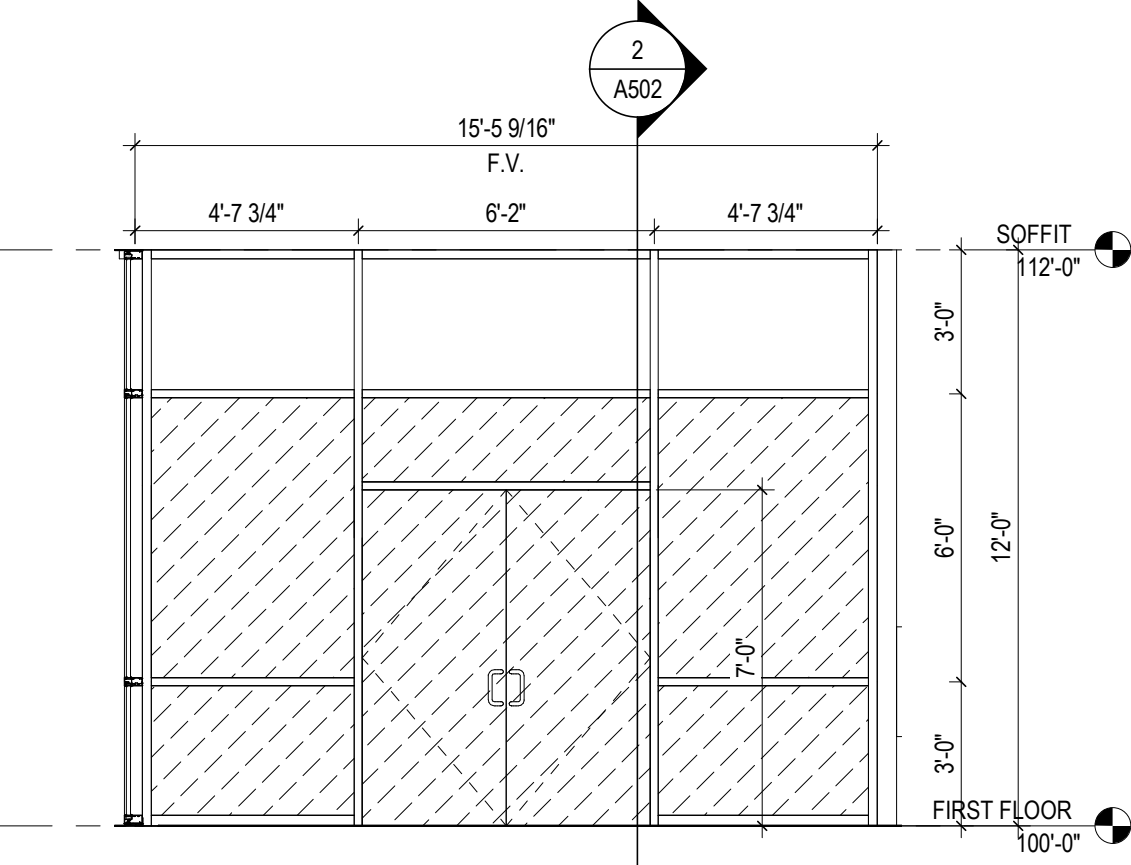
13 ELEVATION EXT. DR. EX105 - SIDES
1/4" = 1'-0" REF: 1 / A10



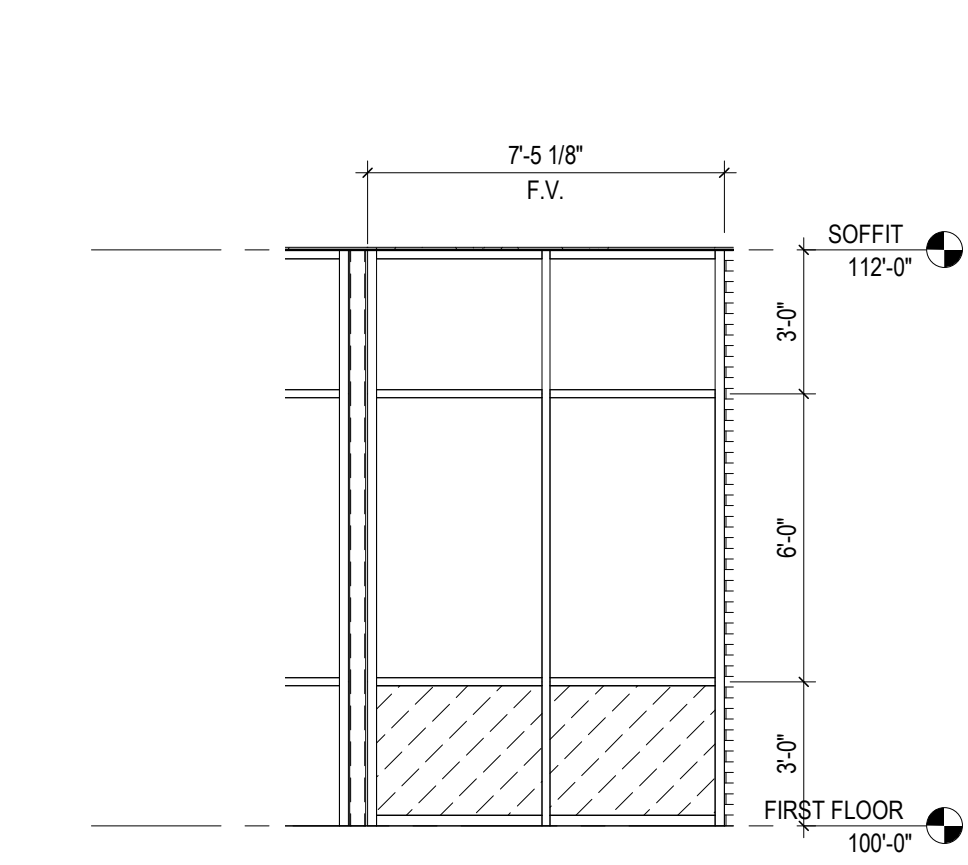
12 ELEVATION INT. DR. 114
1/4" = 1'-0" REF: 1 / A10



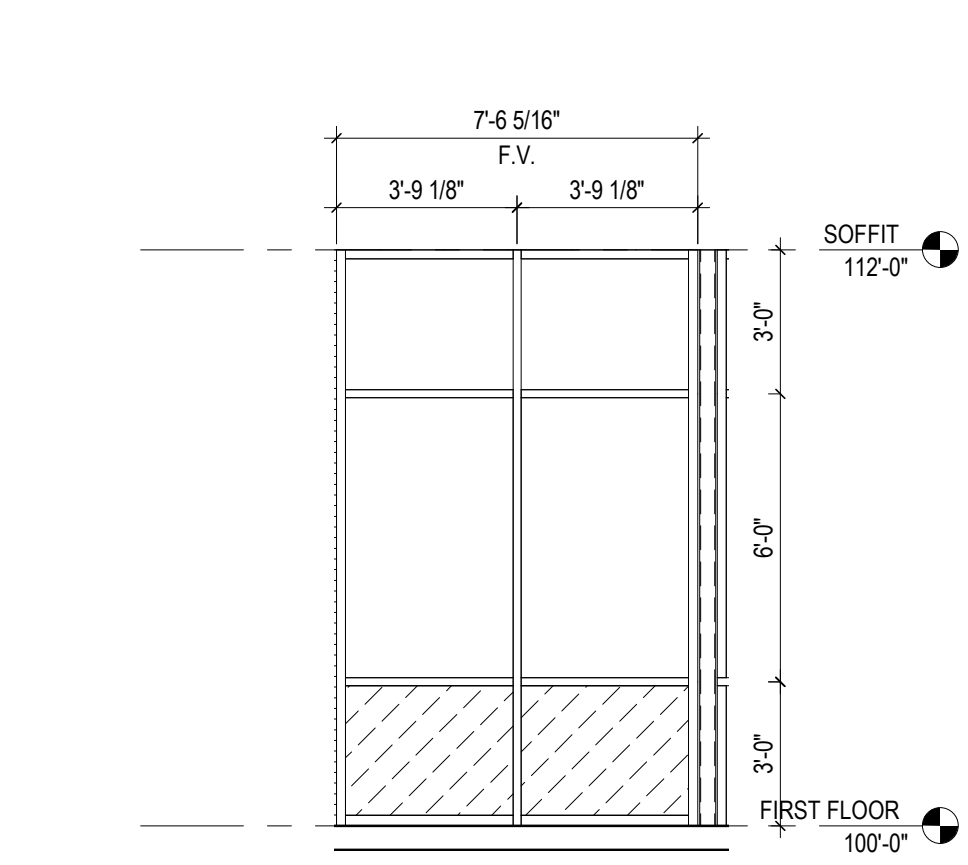
11 ELEVATION INT. DR. 115
1/4" = 1'-0" REF: 1 / A10



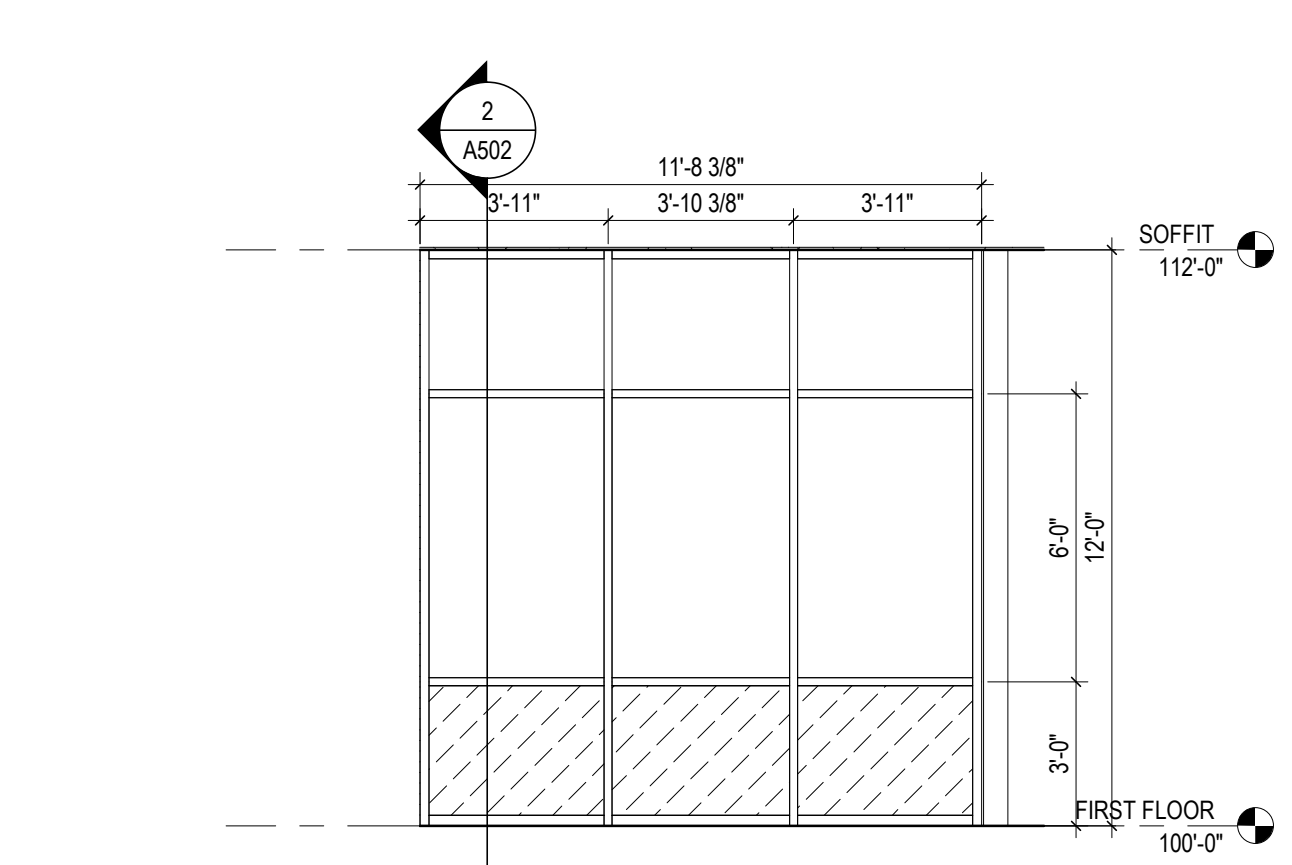
10 ELEVATION INT. DR. 103
1/4" = 1'-0" REF: 1 / A10



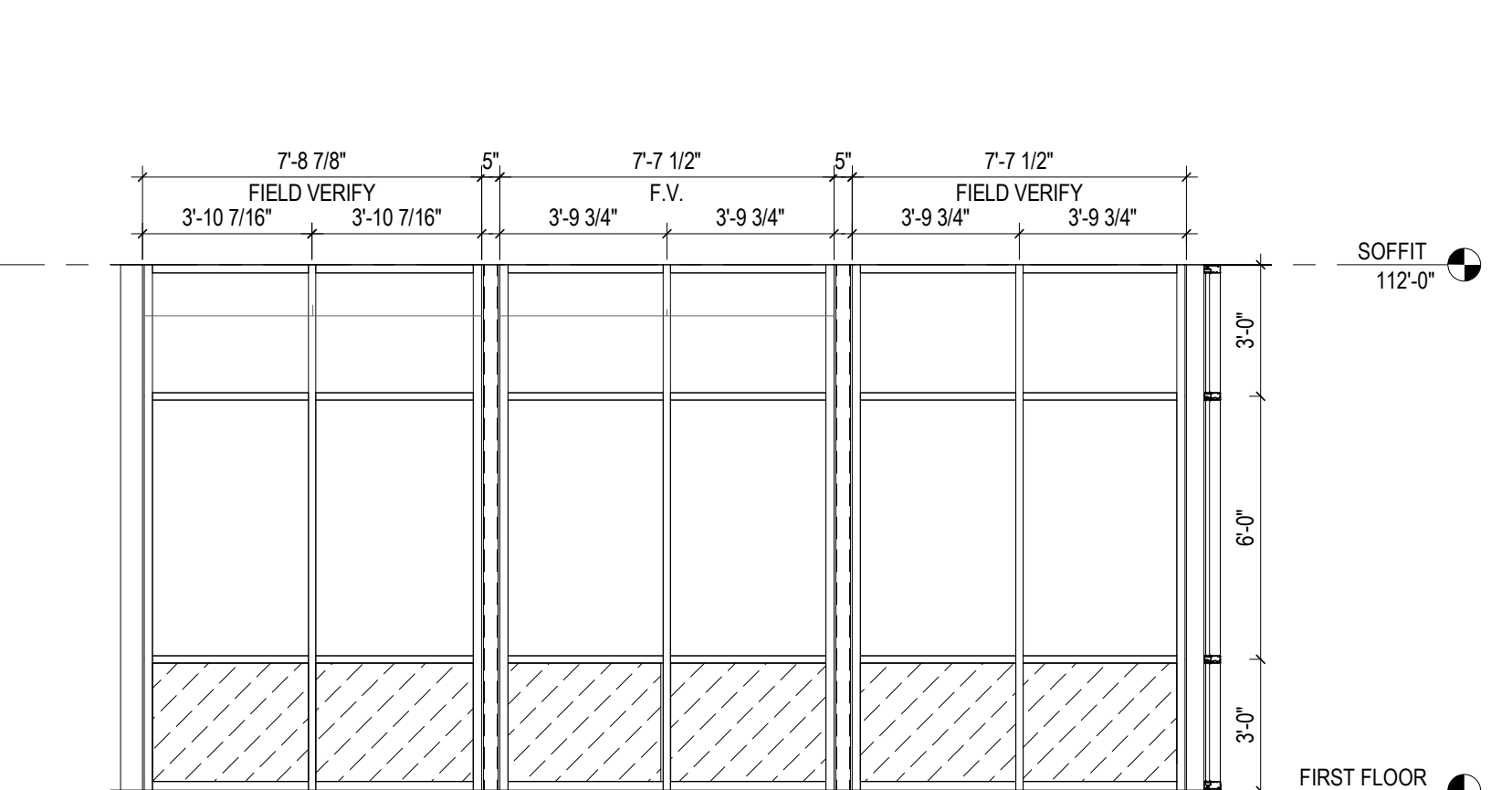
9 ELEVATION NORTH # 1
1/4" = 1'-0" REF: 1 / A10



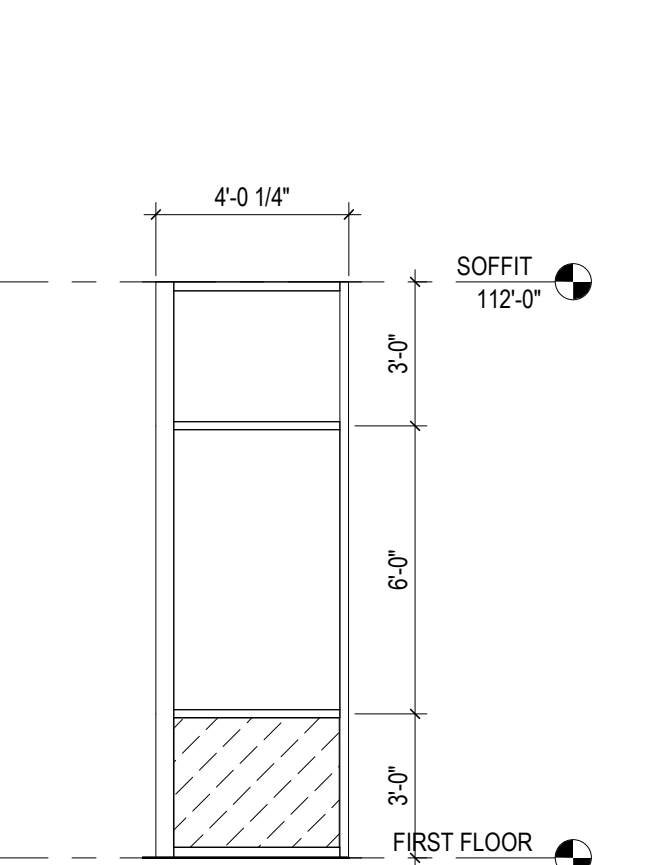
8 ELEVATION SOUTH # 2
1/4" = 1'-0" REF: 1 / A10



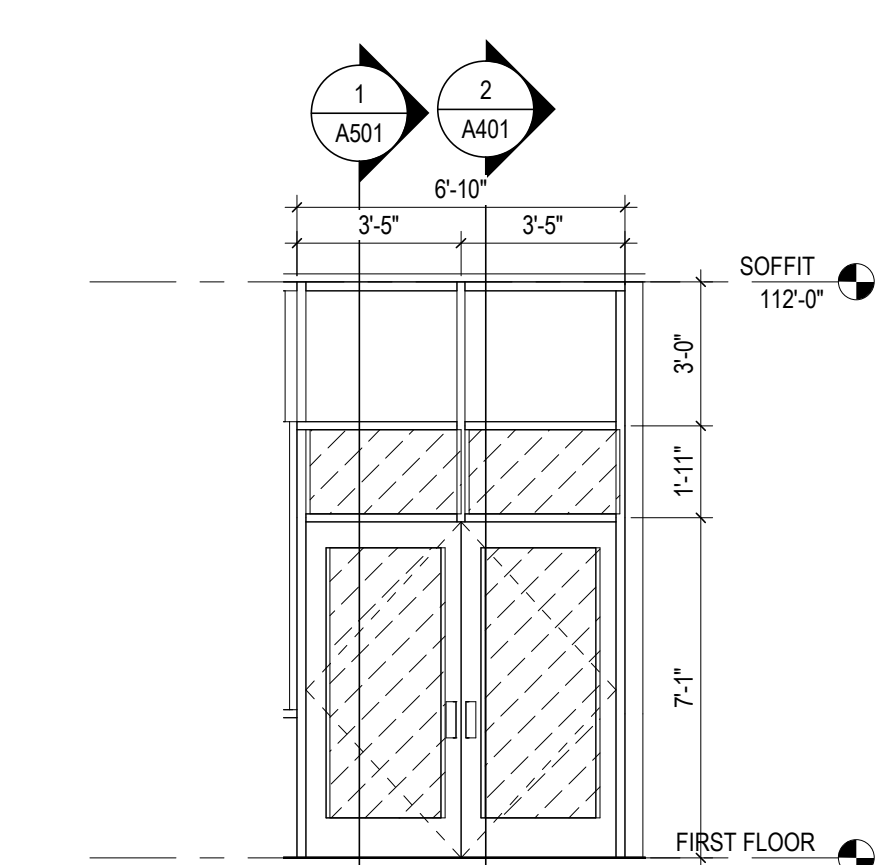
7 ELEVATION NORTH # 3
1/4" = 1'-0" REF: 1 / A10



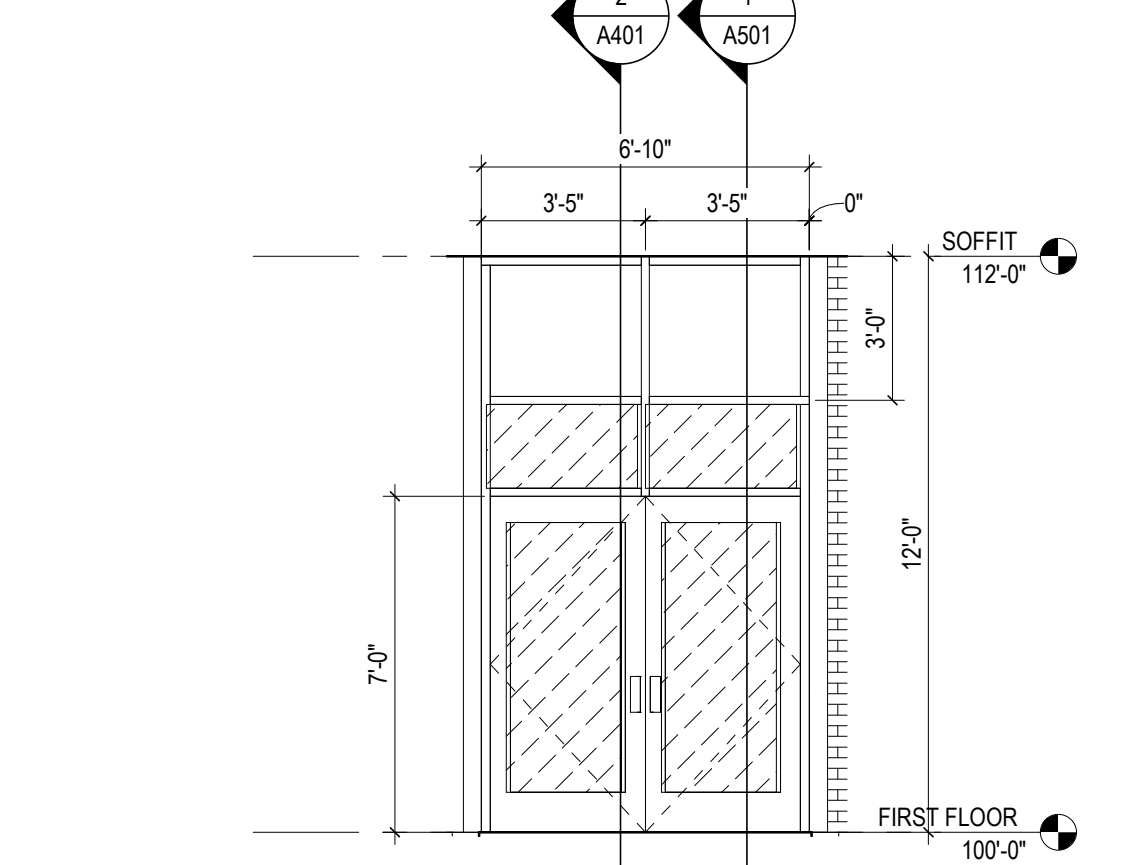
6 ELEVATION WEST # 1
1/4" = 1'-0" REF: 1 / A10



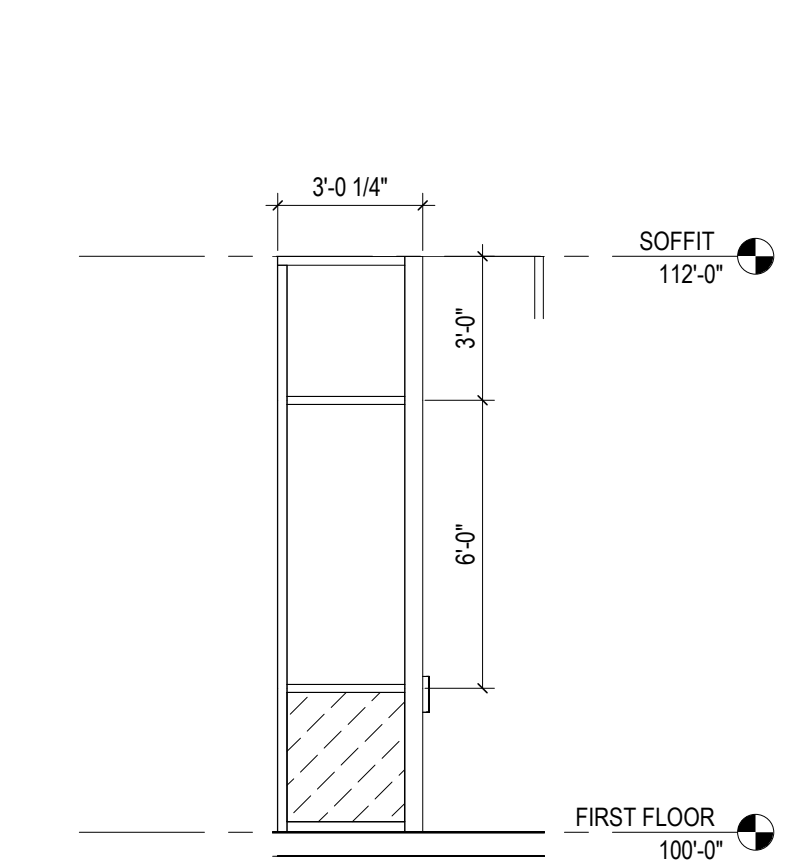
5 ELEVATION INT. DR. 101 - SIDES
1/4" = 1'-0" REF: 1 / A10



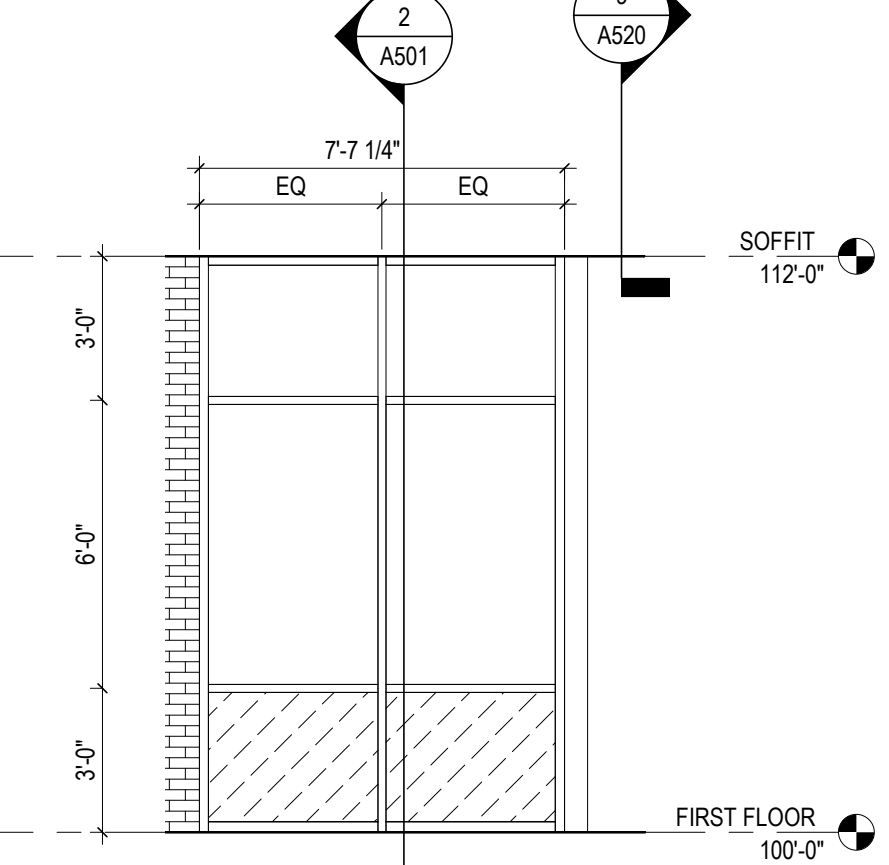
4 ELEVATION INT. VESTIBULE DR. 101
1/4" = 1'-0" REF: 1 / A10



3 ELEVATION EXT. DR. EX101
1/4" = 1'-0" REF: 1 / A10



2 ELEVATION EXT. DR. EX101 - SIDES
1/4" = 1'-0" REF: 1 / A10



1 ELEVATION WEST # 2
1/4" = 1'-0" REF: 1 / A10

#	DATE	CHANGE DESCRIPTION

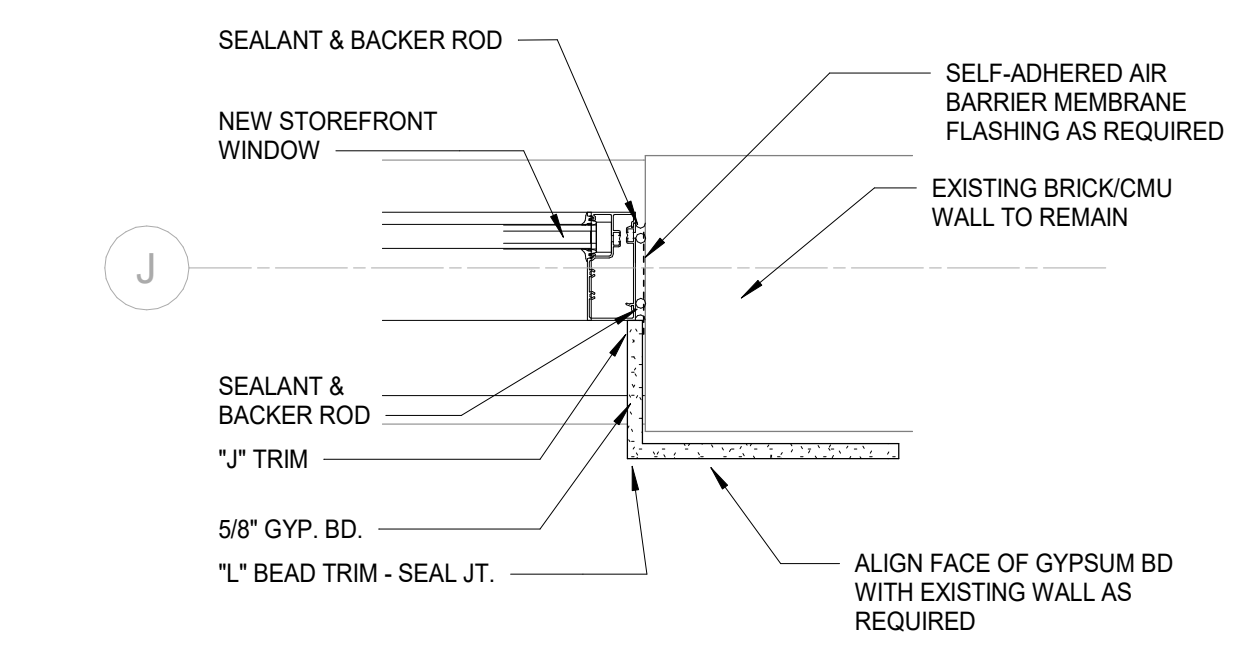
RENOVATION OF HEARTLAND BANK DUBLIN
5303 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215

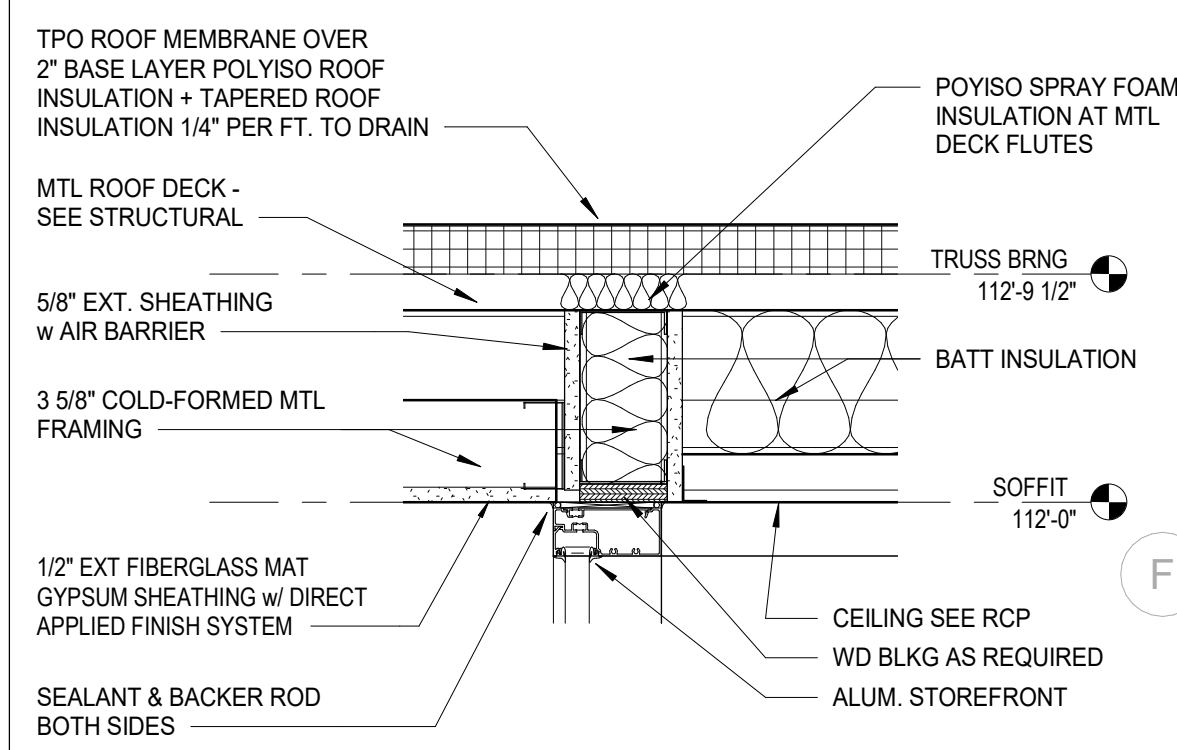
PHONE: (614) 461-4664
FAX: (614) 280-8881

DOOR & WINDOW SCHEDULES

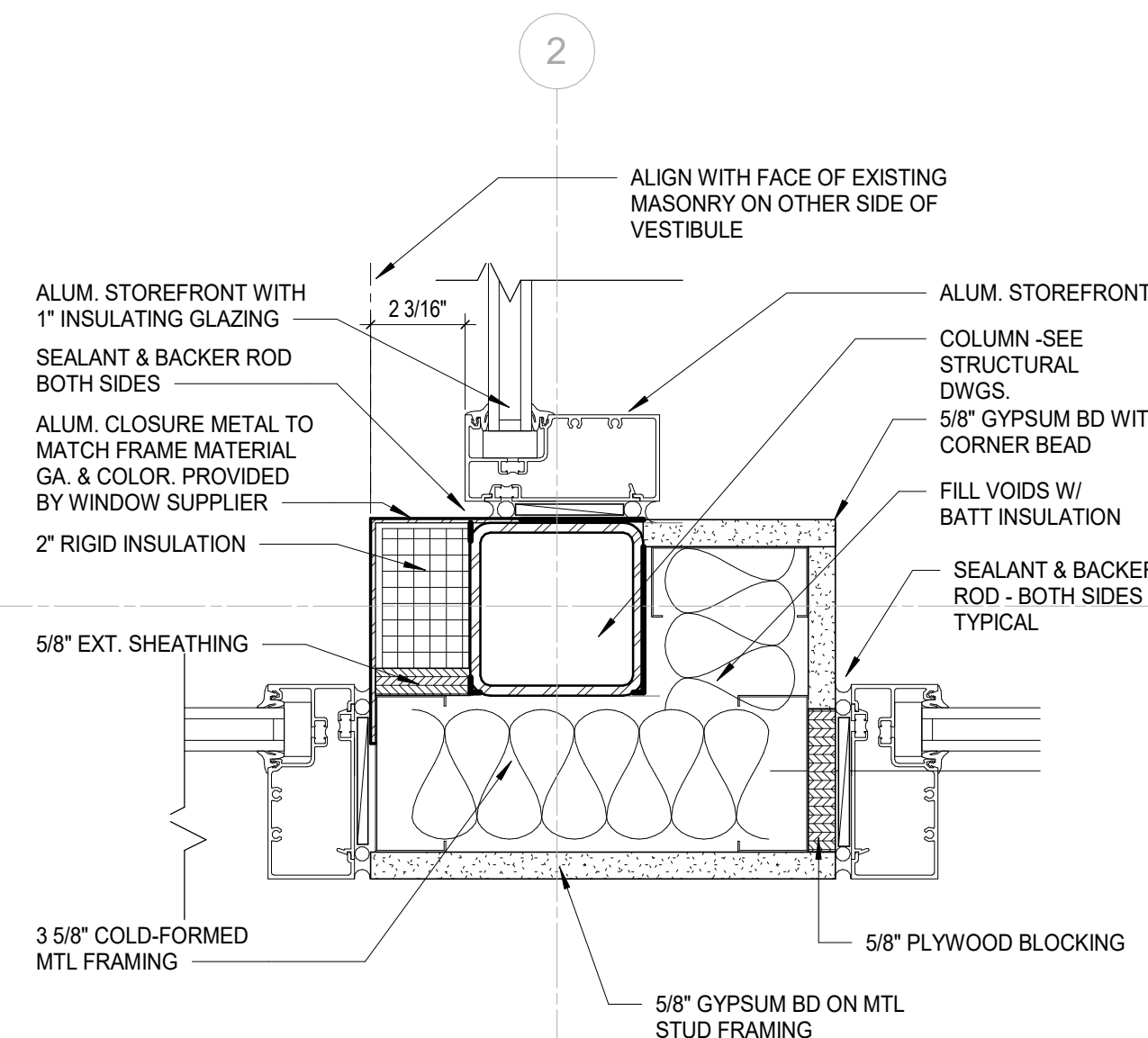
05/12/2021
DRAWN BY: XXXX CHECKED BY: XXXX
20022
A701
FINAL DEVELOPMENT PLAN



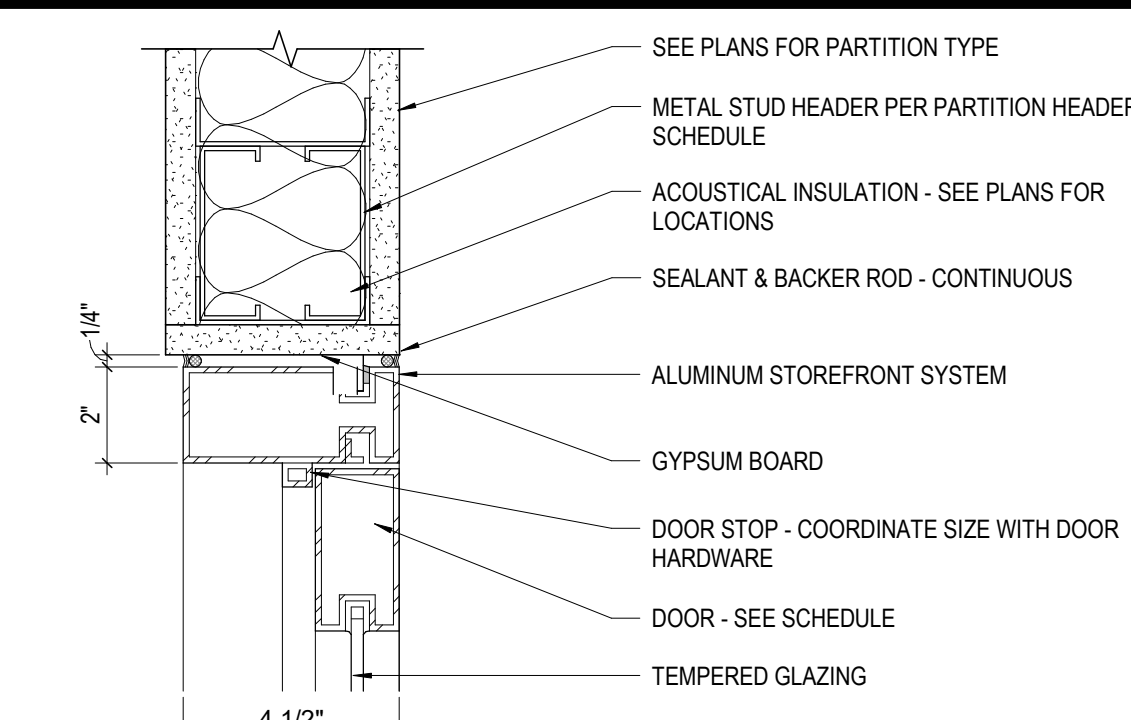
28 DETAIL S.F. JAMB @ EXISTING WALL #2
1 1/2" = 1'-0" REF: 1 / A102



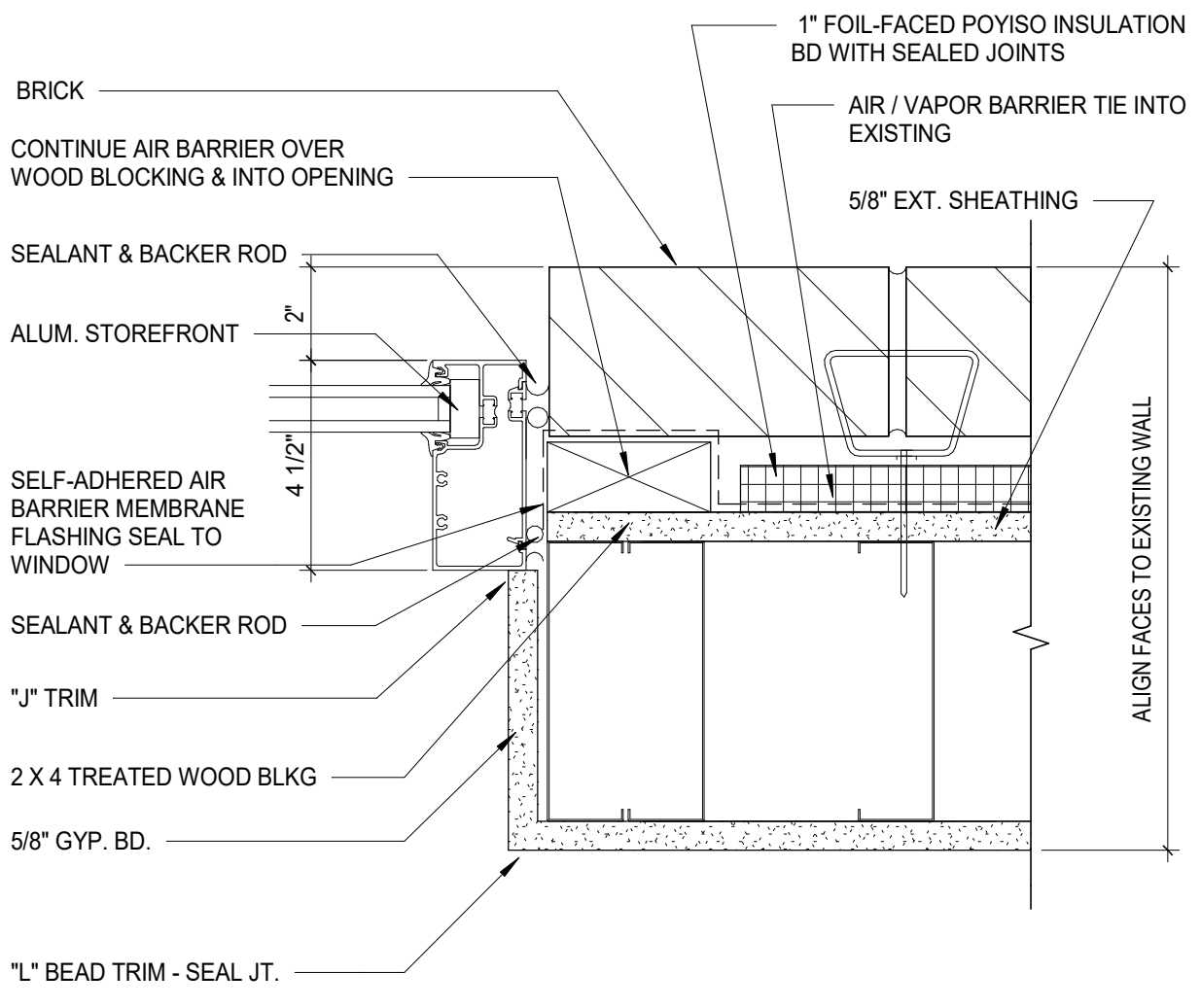
22 DETAIL S.F. HEAD @ SOFFIT
1 1/2" = 1'-0" REF: 1 / A501



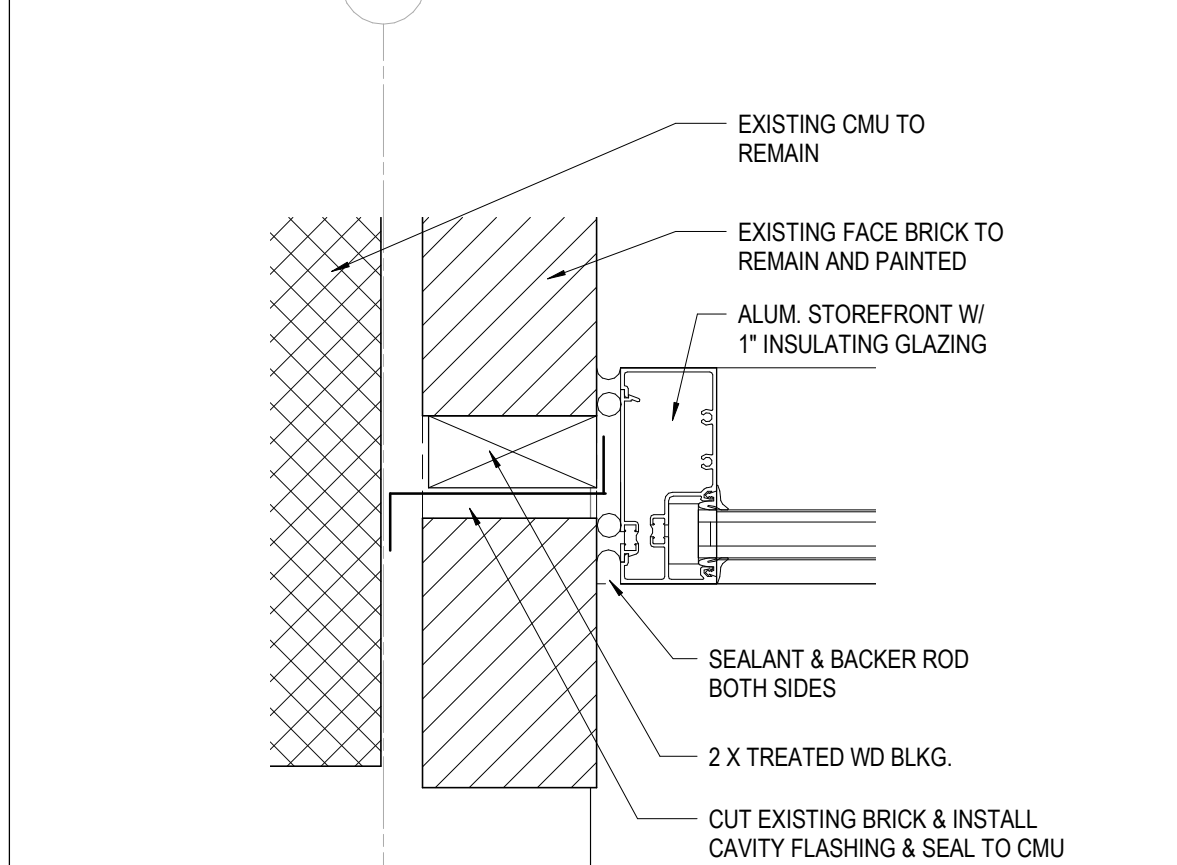
12 DETAIL H.M. DR. HEAD
3" = 1'-0"



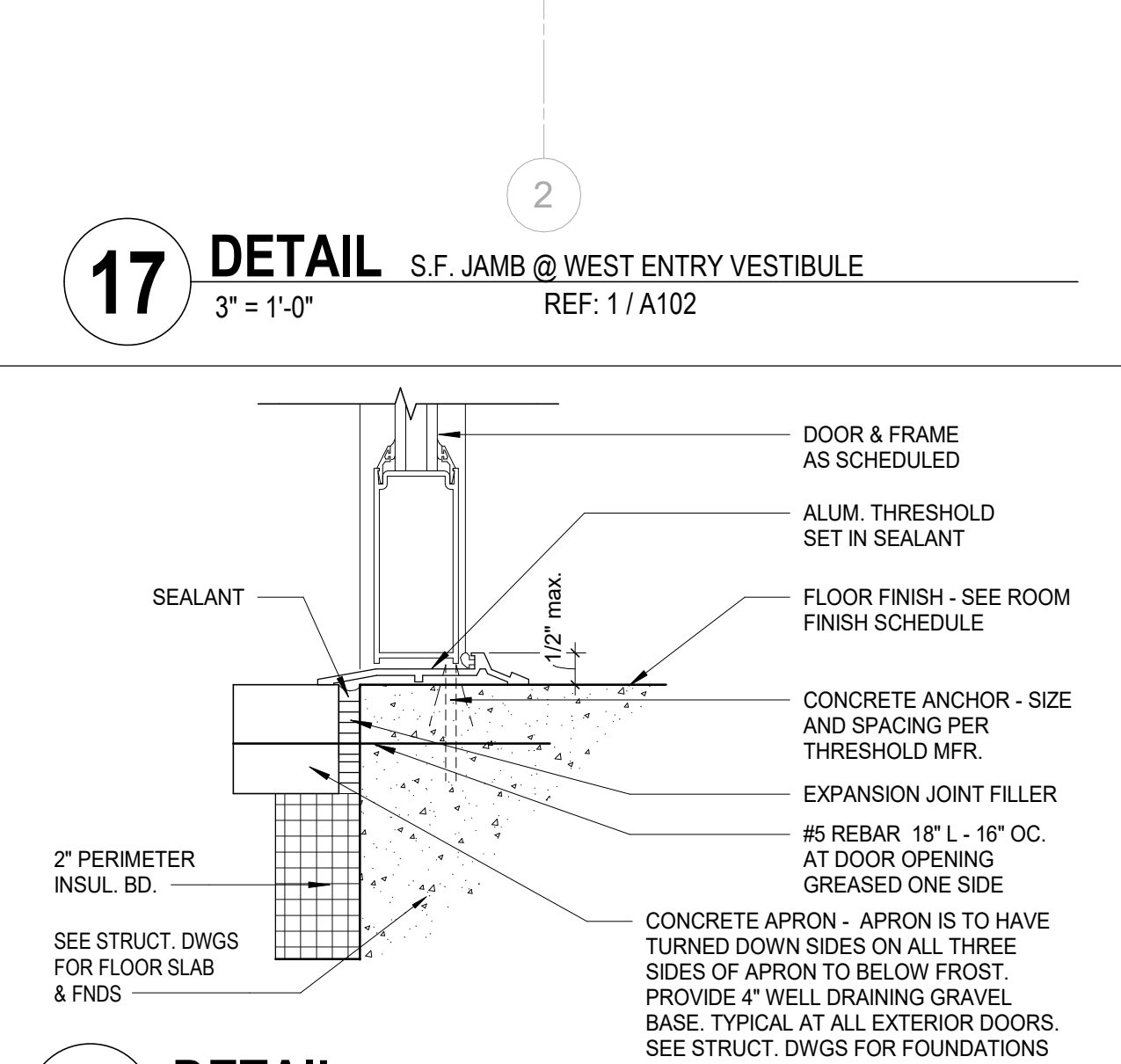
6 DETAIL INT. STOREFRONT DR. HEAD DETAIL
3" = 1'-0" A70 DI-SI - H 9 TYP



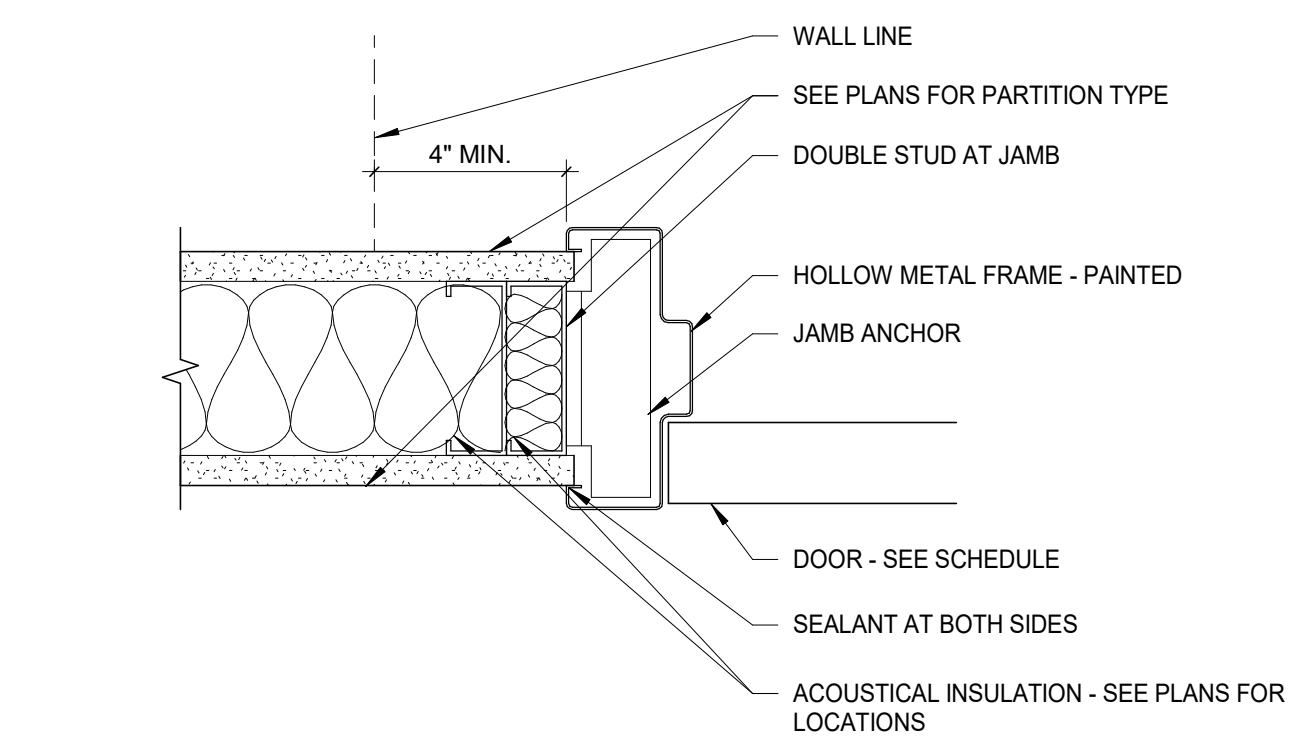
27 DETAIL S.F. JAMB @ MASONRY
3" = 1'-0"



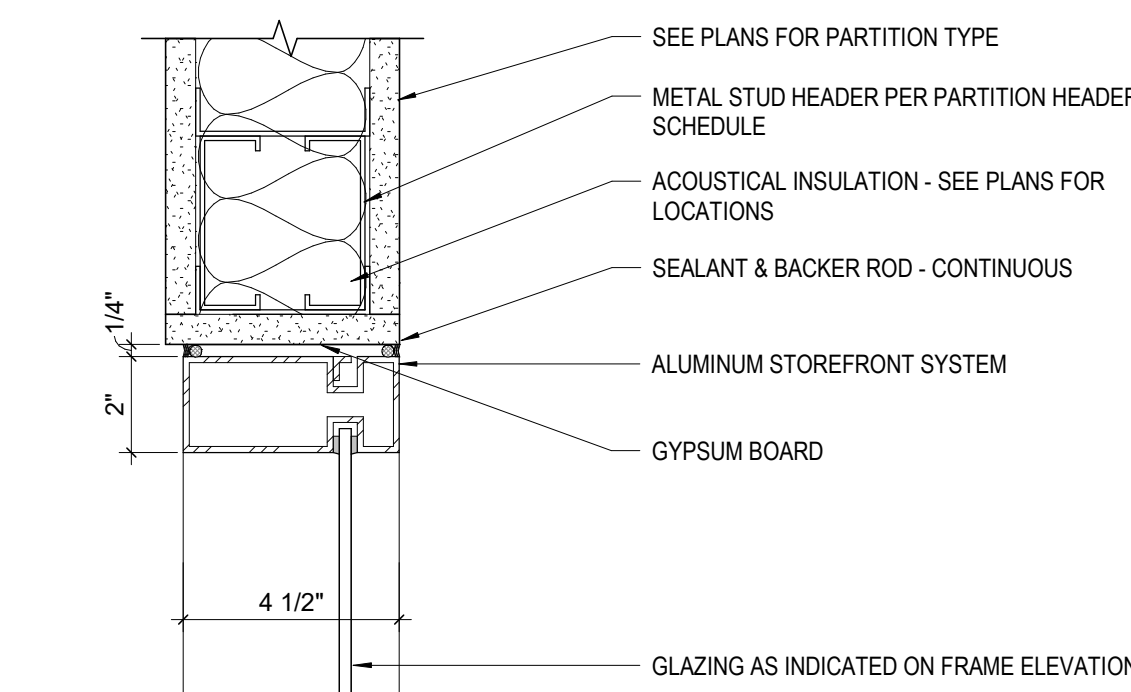
21 DETAIL S.F. JAMB @ EXISTING WALL
3" = 1'-0" REF: 1 / A102



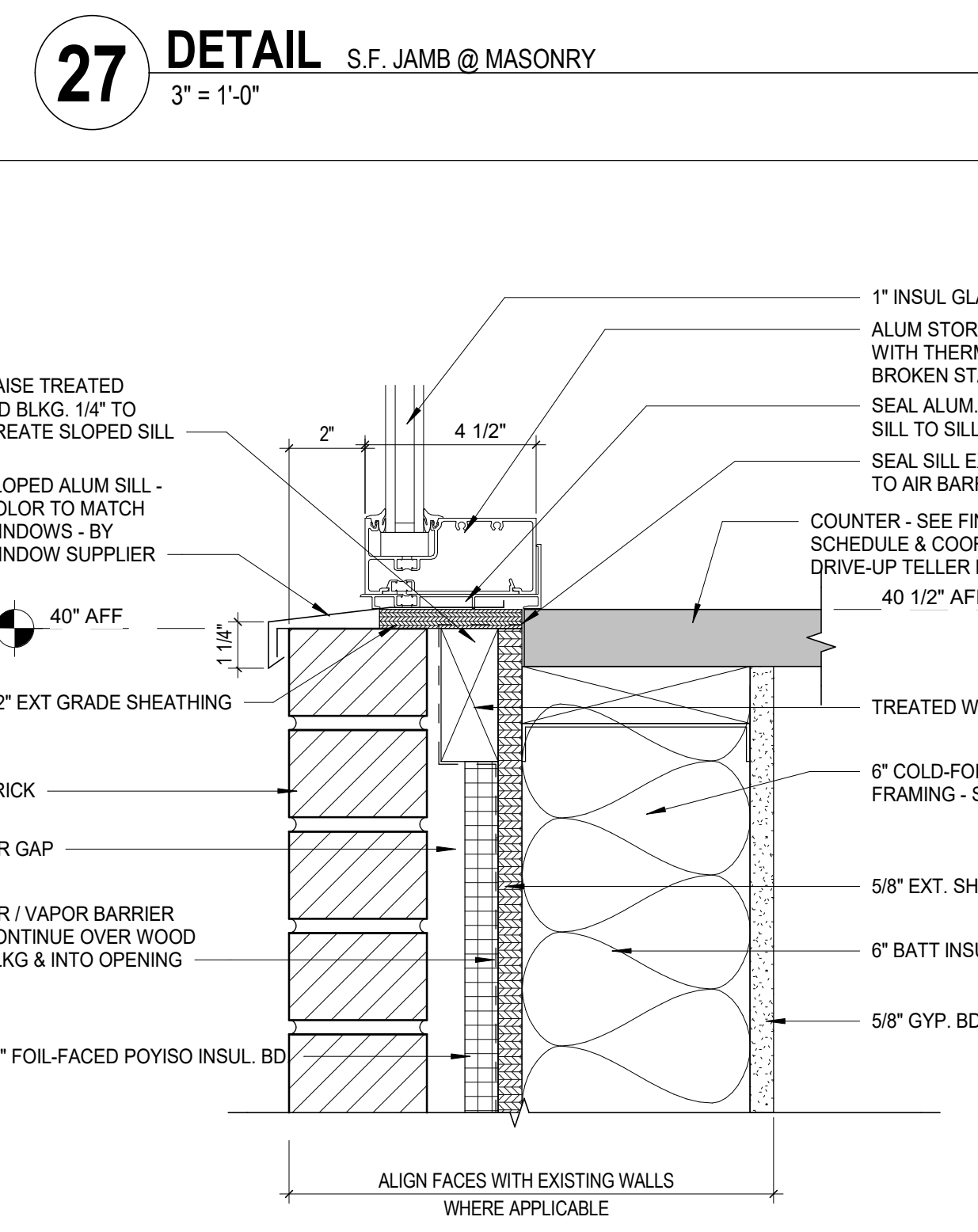
17 DETAIL S.F. JAMB @ WEST ENTRY VESTIBULE
3" = 1'-0" REF: 1 / A102



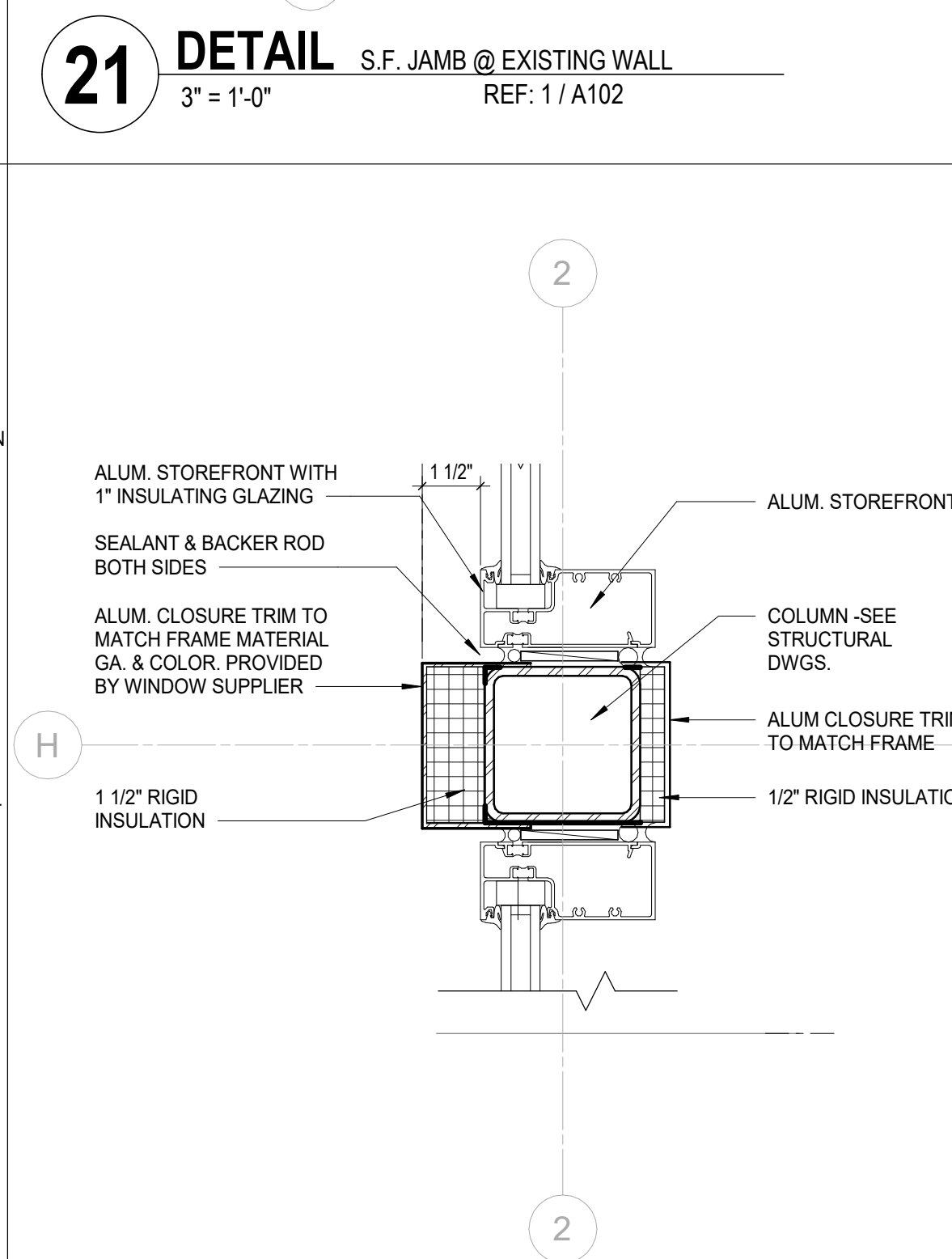
11 DETAIL H.M. DR. JAMB
3" = 1'-0"



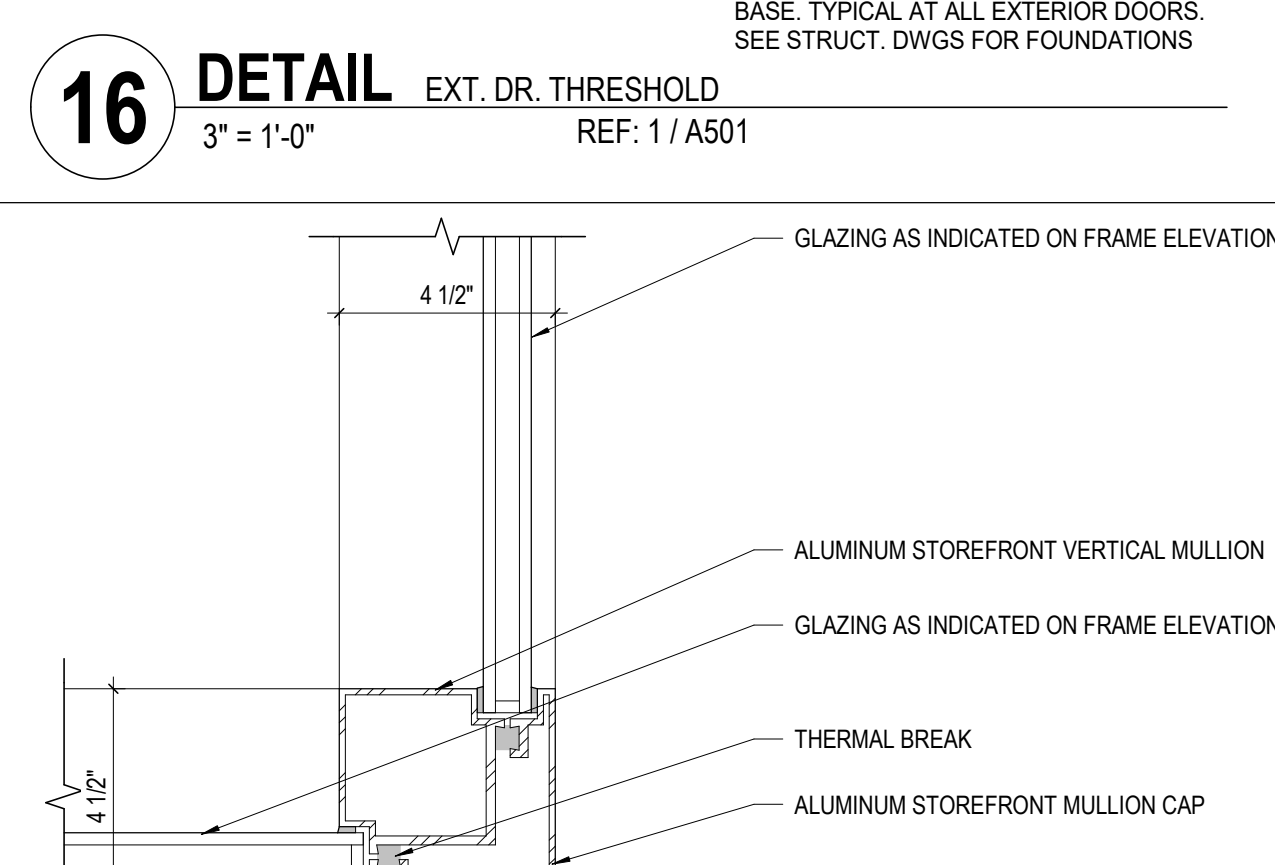
5 DETAIL INT. STOREFRONT SIDELITE HEAD
3" = 1'-0" A70 DI-SI - H 9 SIDELITE



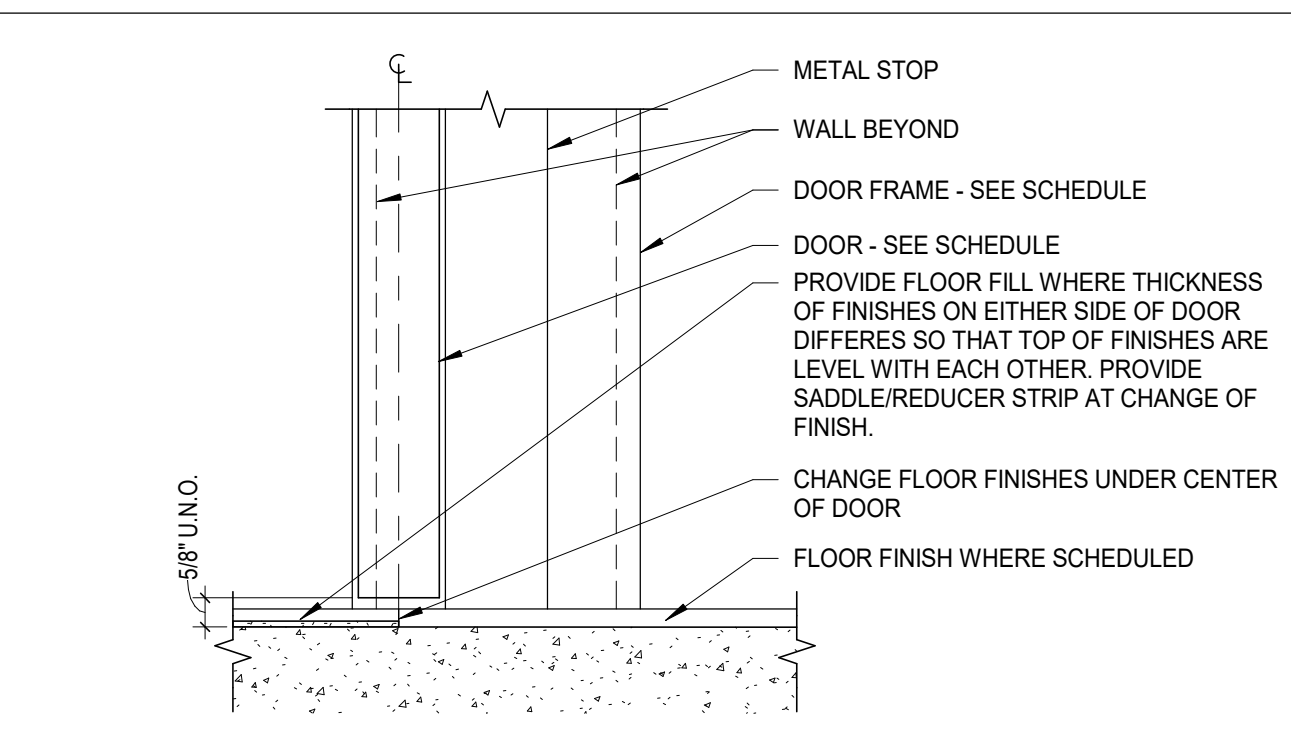
26 DETAIL S.F. SILL @ MASONRY
3" = 1'-0" REF: 3 / A503



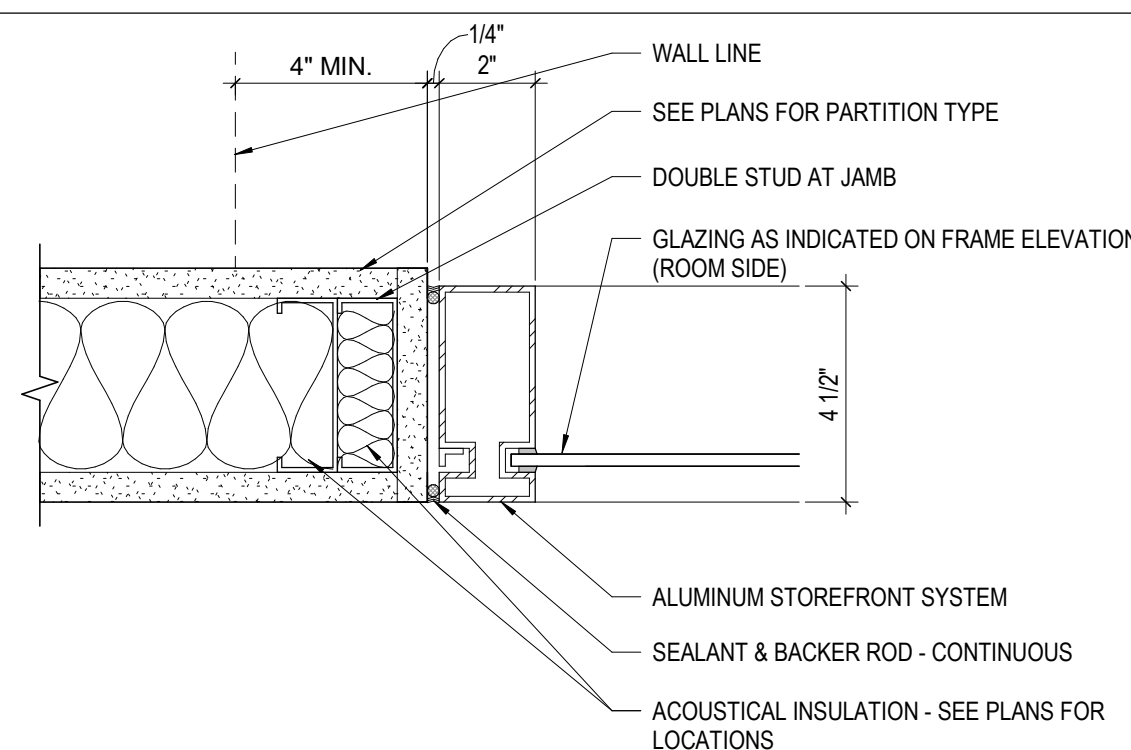
20 DETAIL S.F. JAMB @ COLUMN
3" = 1'-0" REF: 1 / A102



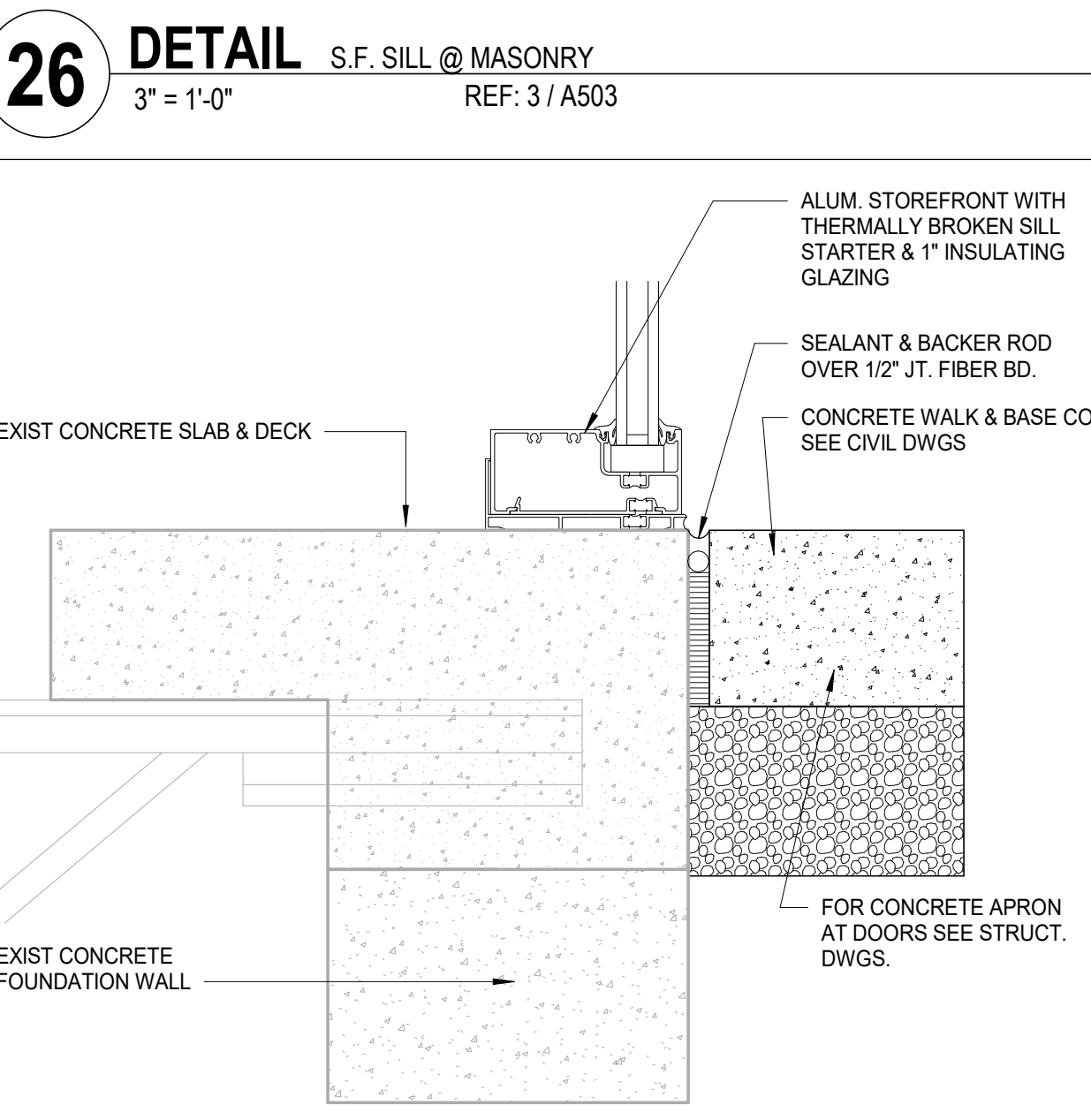
16 DETAIL EXT. DR. THRESHOLD
3" = 1'-0" REF: 1 / A501



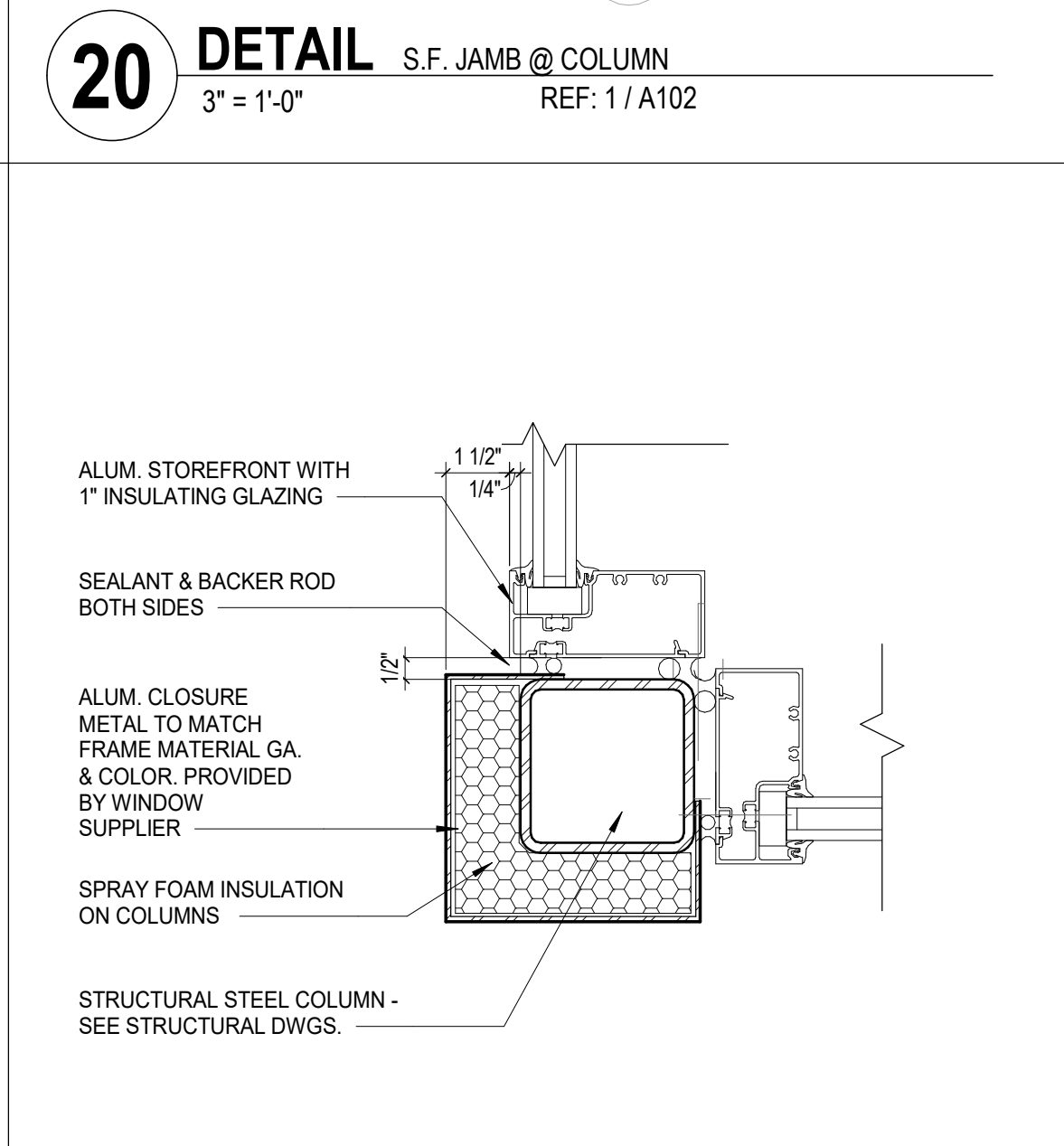
10 DETAIL H.M. DR. SILL
3" = 1'-0"



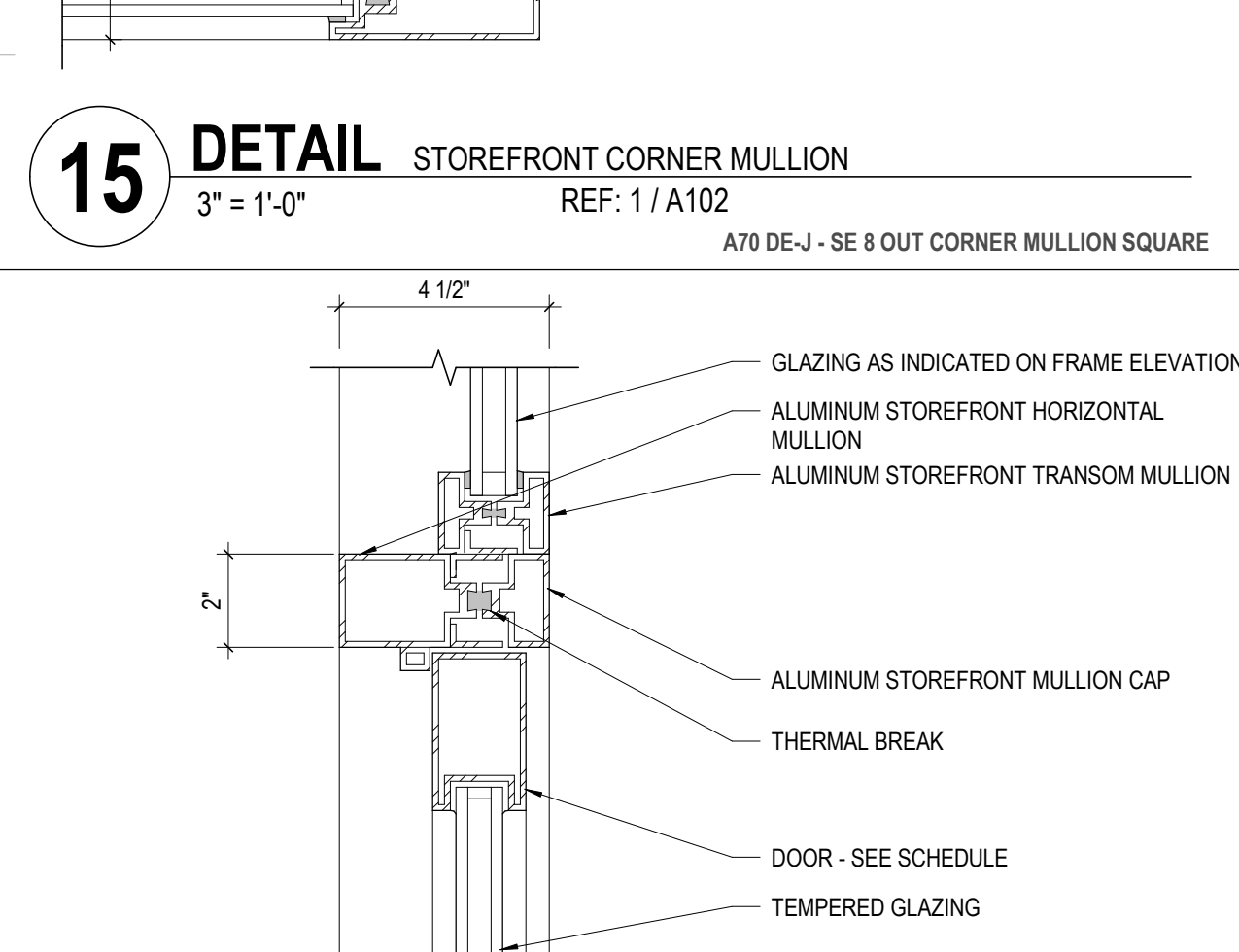
4 DETAIL INT. STOREFRONT SIDELITE JAMB
3" = 1'-0" A70 DI-SI - J 9 SIDELITE



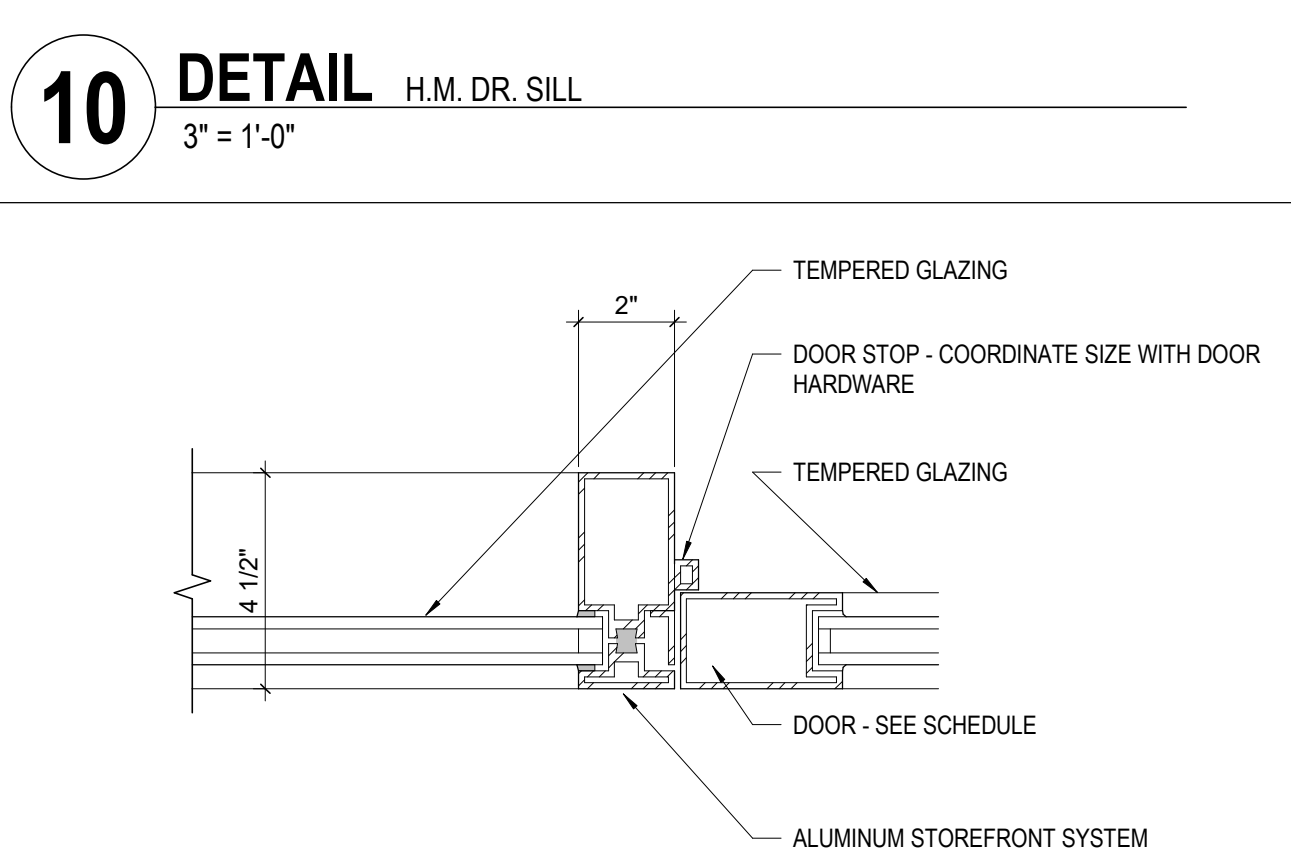
25 DETAIL S.F. @ CONCRETE FND
3" = 1'-0" REF: 2 / A501



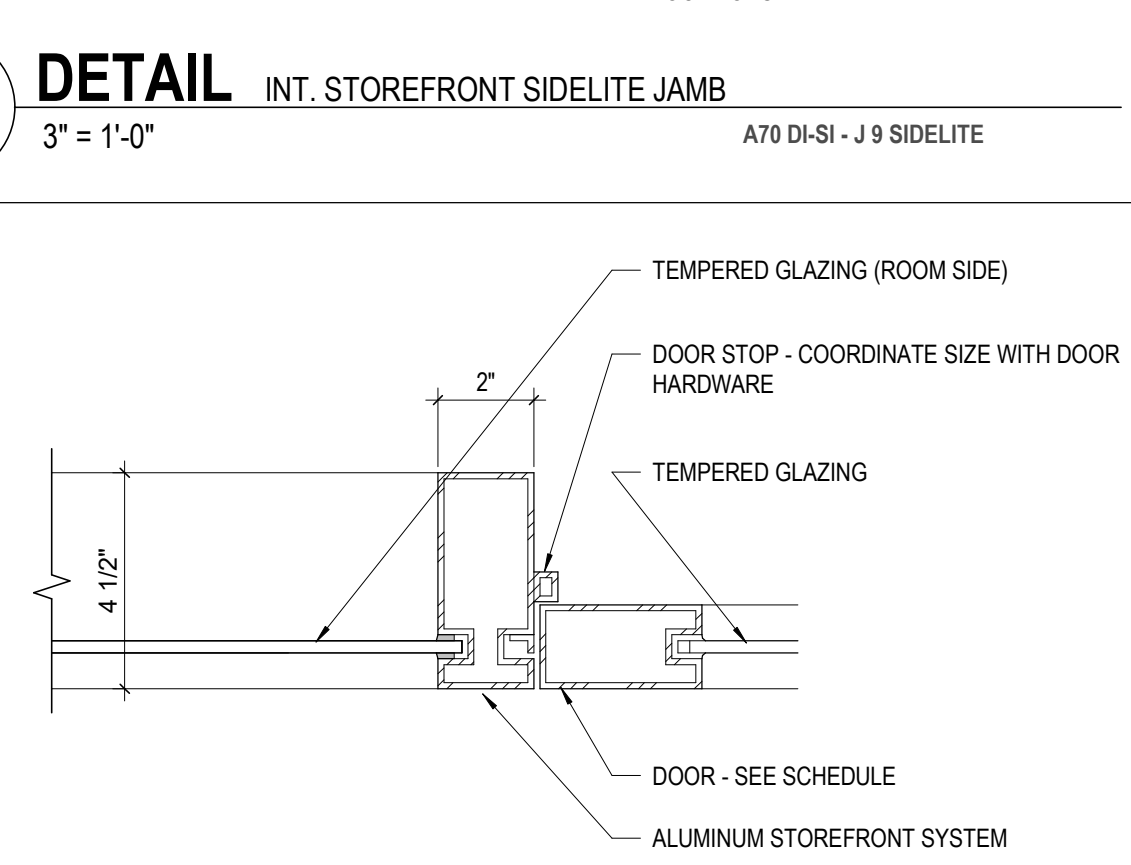
19 DETAIL S.F. @ CORNER COLUMN
3" = 1'-0" REF: 1 / A102



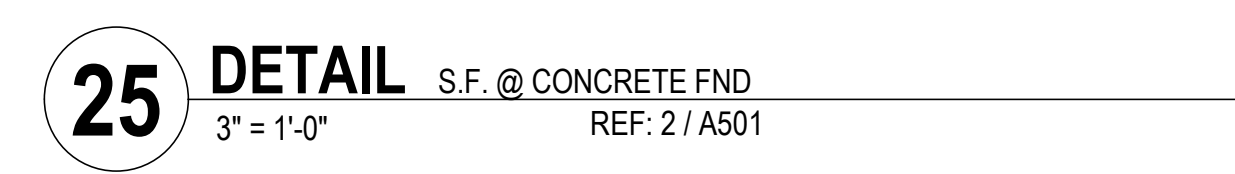
15 DETAIL STOREFRONT CORNER MULLION
3" = 1'-0" REF: 1 / A102
A70 DE-J - SE 8 OUT CORNER MULLION SQUARE



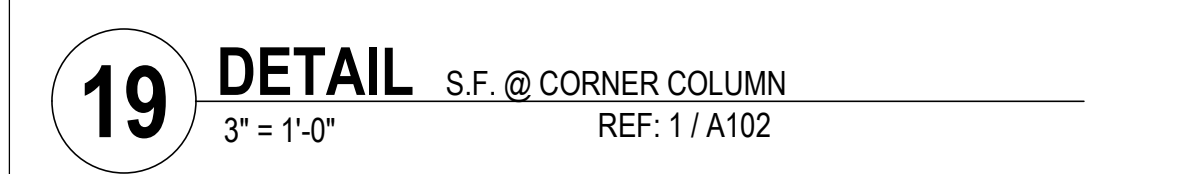
9 DETAIL STOREFRONT EXT. JAMB W/ SIDELITE
3" = 1'-0" A70 DI-SE - J 8 W SIDELITE



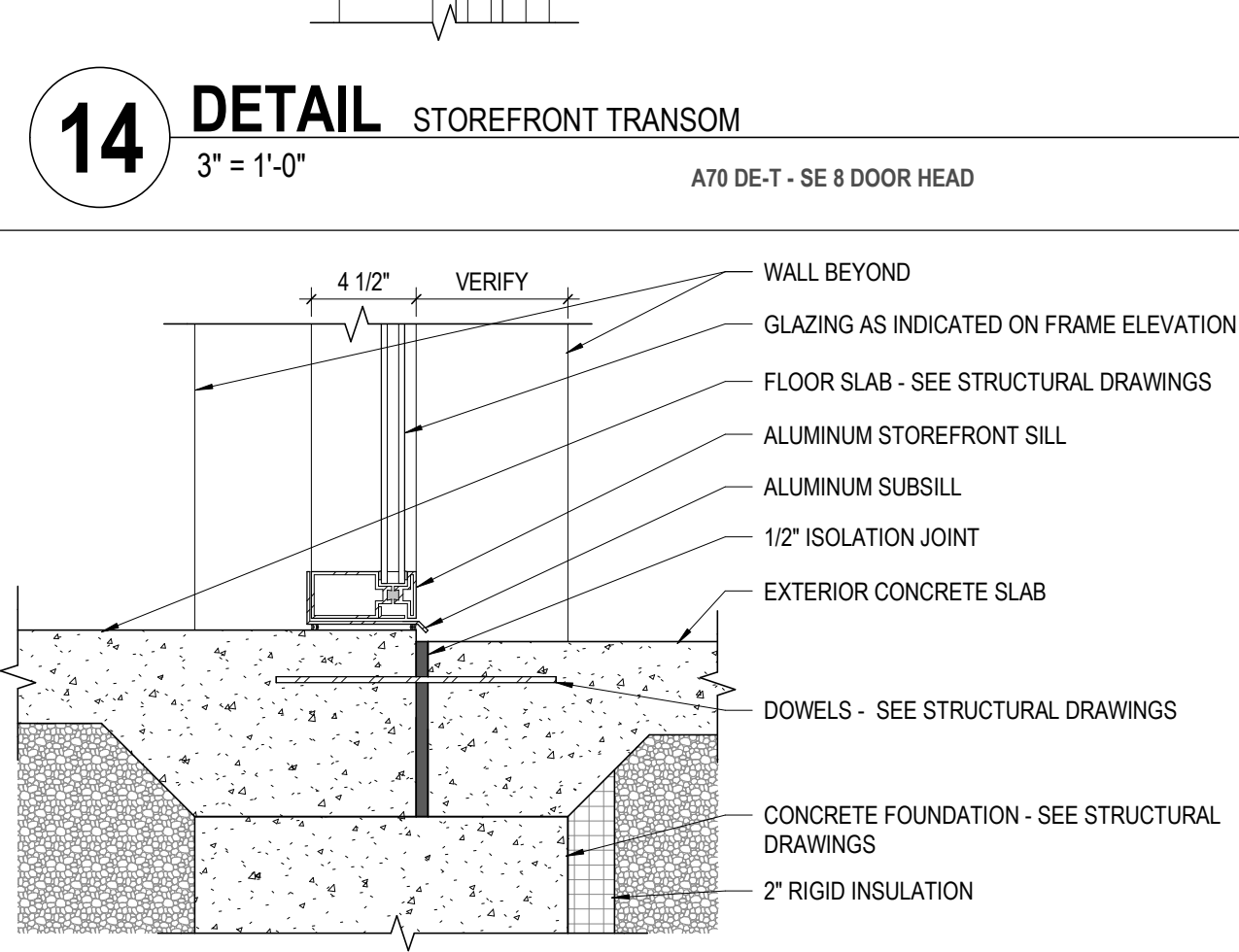
3 DETAIL INT. STOREFRONT DR. JAMB W/ SIDELITE
3" = 1'-0" A70 DI-SI - J 8 W SIDELITE



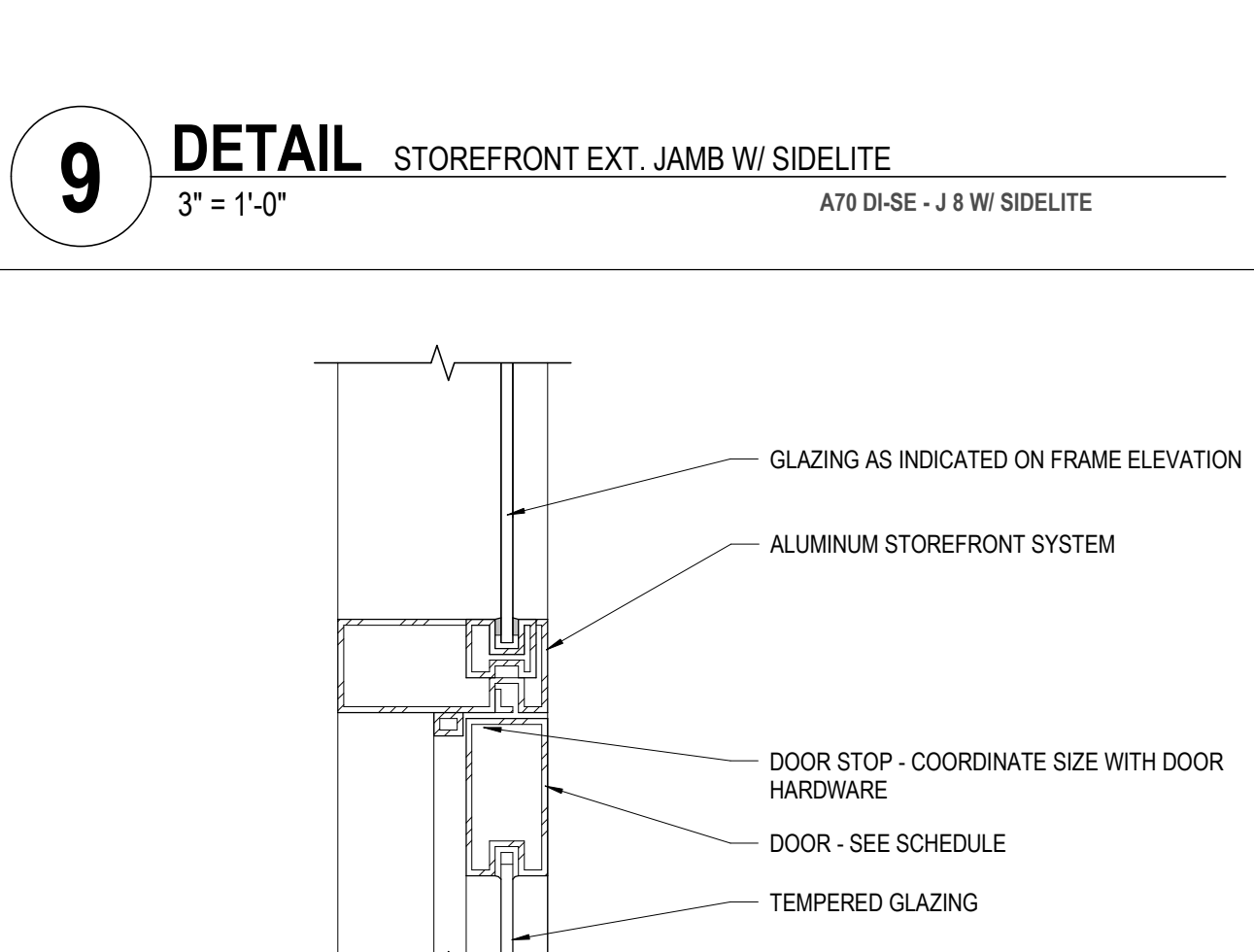
25 DETAIL S.F. @ CONCRETE FND
3" = 1'-0" REF: 2 / A501



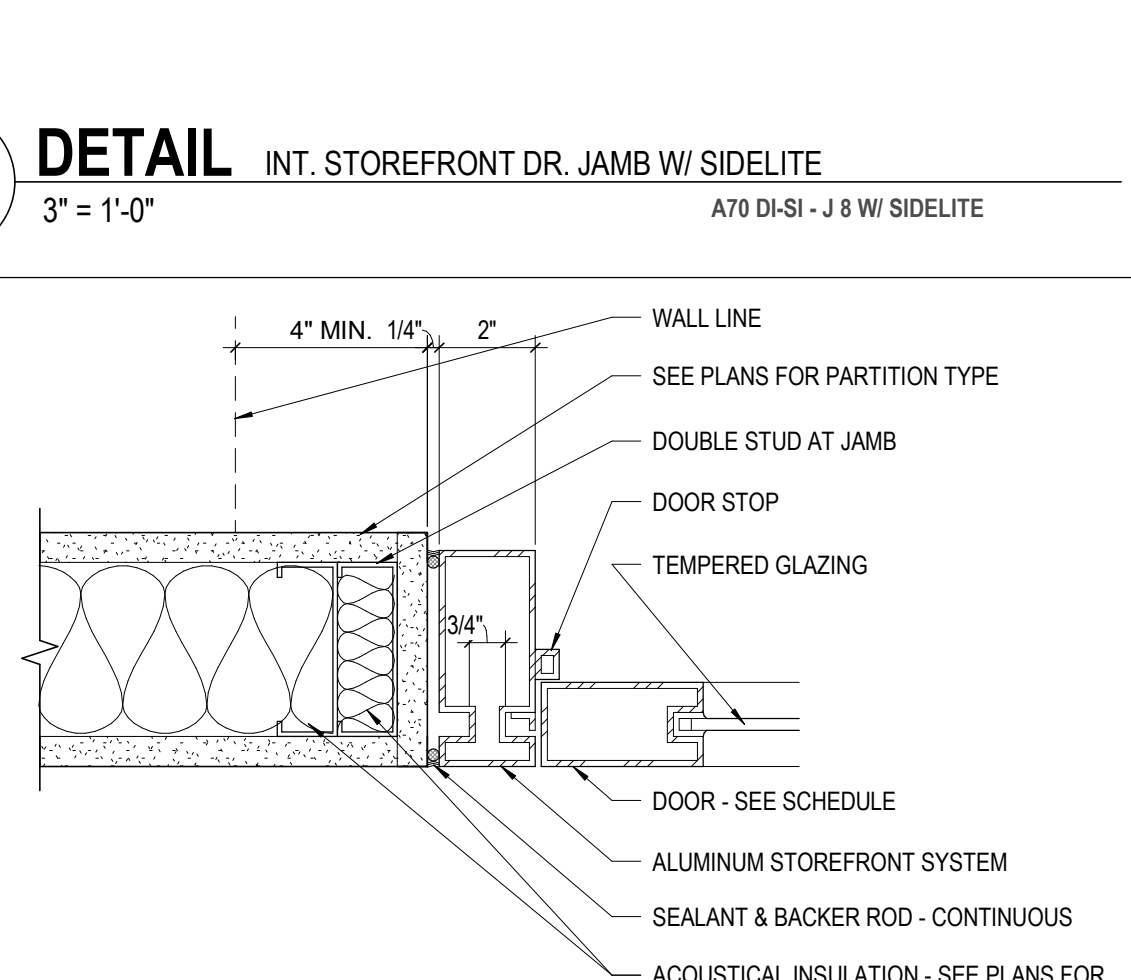
19 DETAIL S.F. @ CORNER COLUMN
3" = 1'-0" REF: 1 / A102



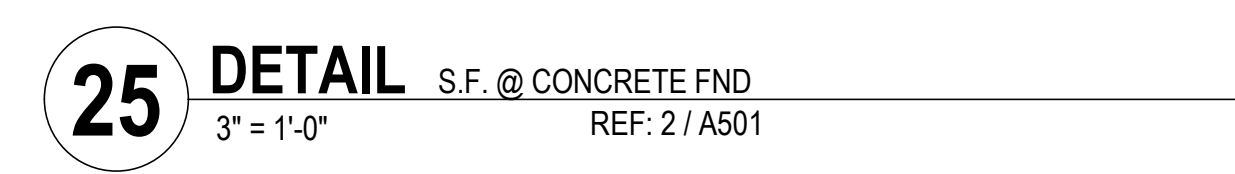
14 DETAIL STOREFRONT TRANSOM
3" = 1'-0" A70 DE-T - SE 8 DOOR HEAD



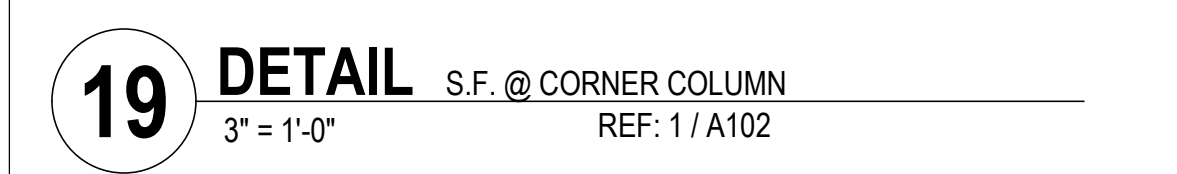
8 DETAIL @ STOREFRONT TRANSOM HEAD
3" = 1'-0" A70 DI-SI - T 8 TRANSOM



2 DETAIL TYP. INT. STOREFRONT DOOR JAMB
3" = 1'-0" A70 DI-SI - J 9 TYP



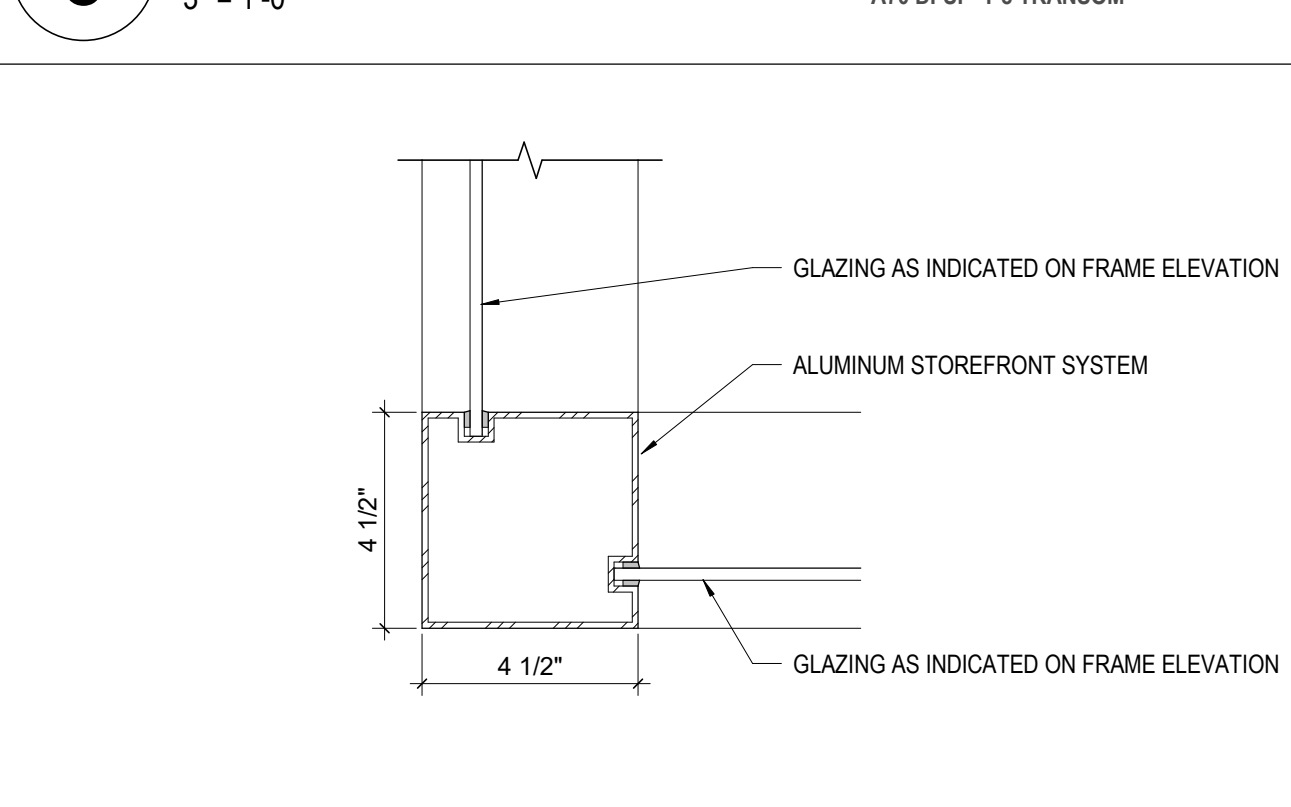
25 DETAIL S.F. @ CONCRETE FND
3" = 1'-0" REF: 2 / A501



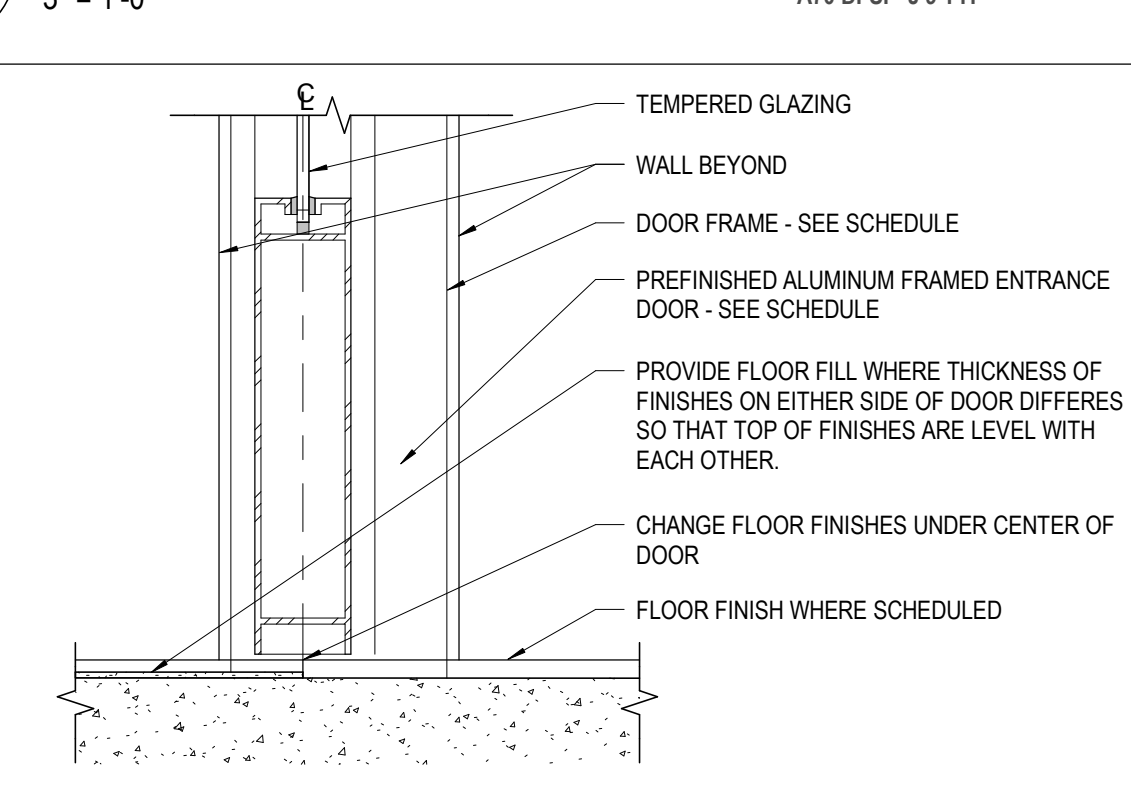
19 DETAIL S.F. @ CORNER COLUMN
3" = 1'-0" REF: 1 / A102



13 DETAIL STOREFRONT SILL - CONG. FOUND.
1 1/2" = 1'-0" A70 DE-S - SE 3 SIDELITE EXT INSUL



7 DETAIL STOREFRONT SIDELITE OUT CORNER
3" = 1'-0" A70 DI-SI - J 8 SQ CORNER



1 DETAIL TYPICAL INTERIOR STOREFRONT DOOR SILL
3" = 1'-0" REF: 1 / A501 A70 DI-SE - S-SI INT TYP

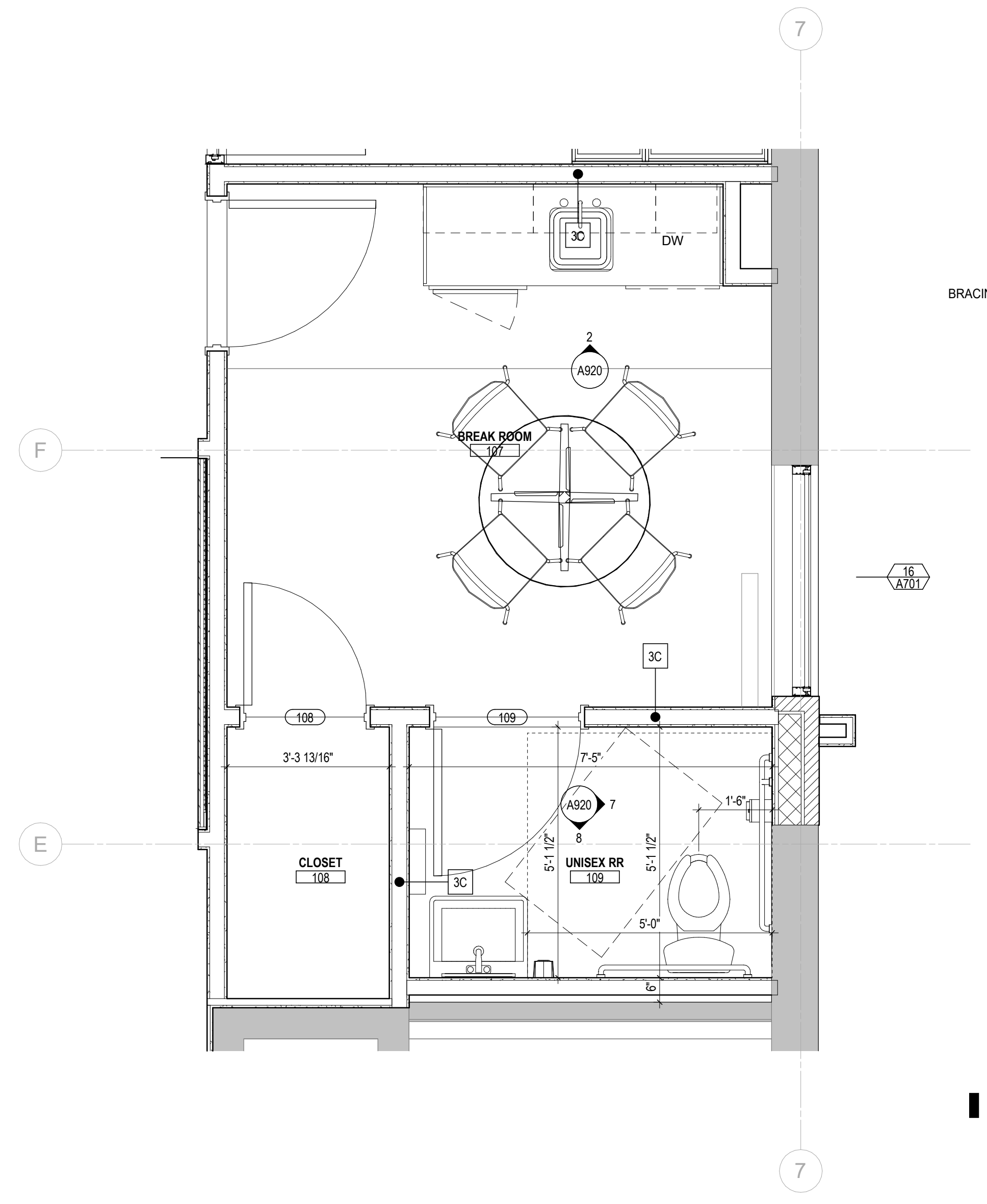
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
5303 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

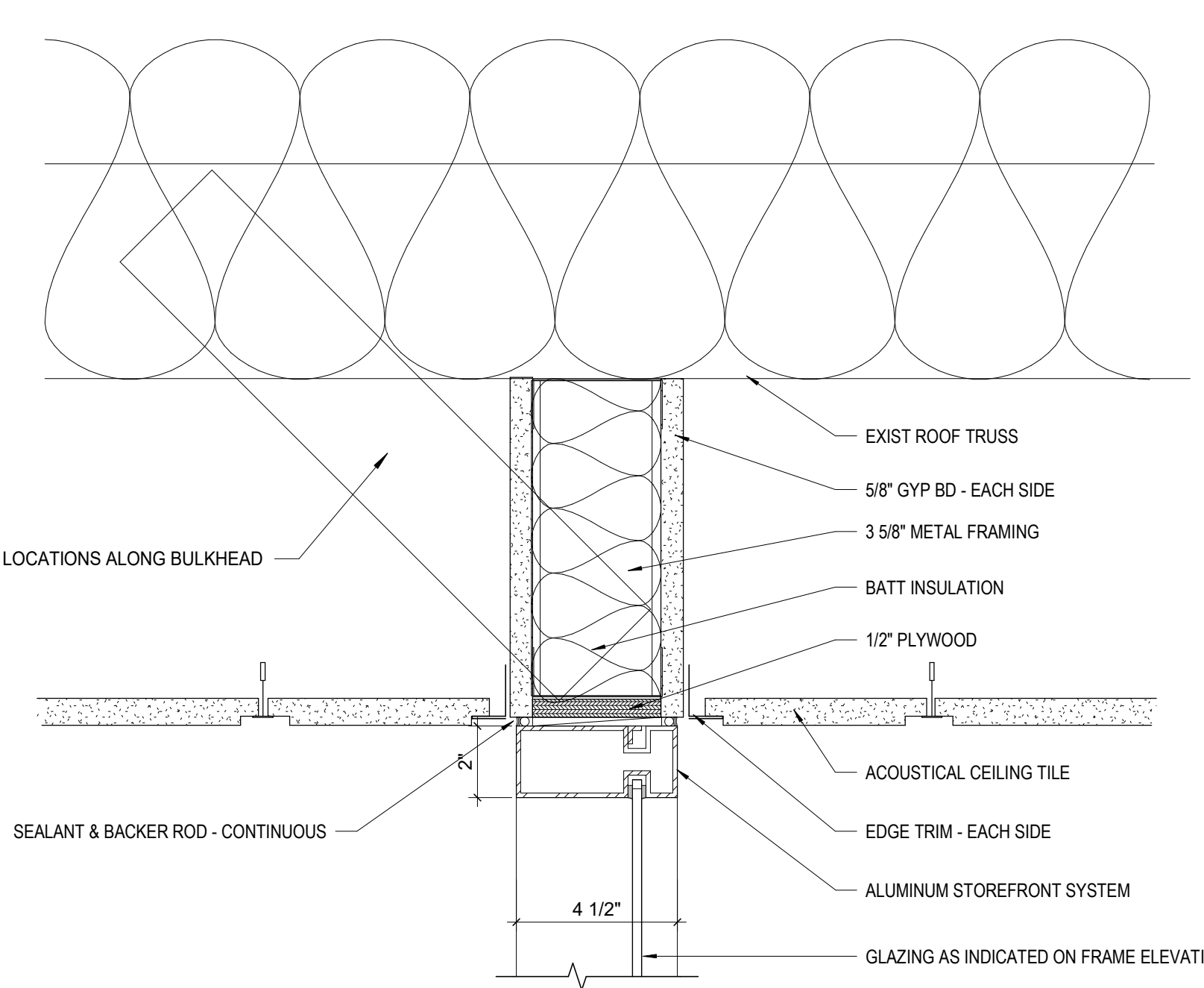
MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
DOOR & WINDOW DETAILS

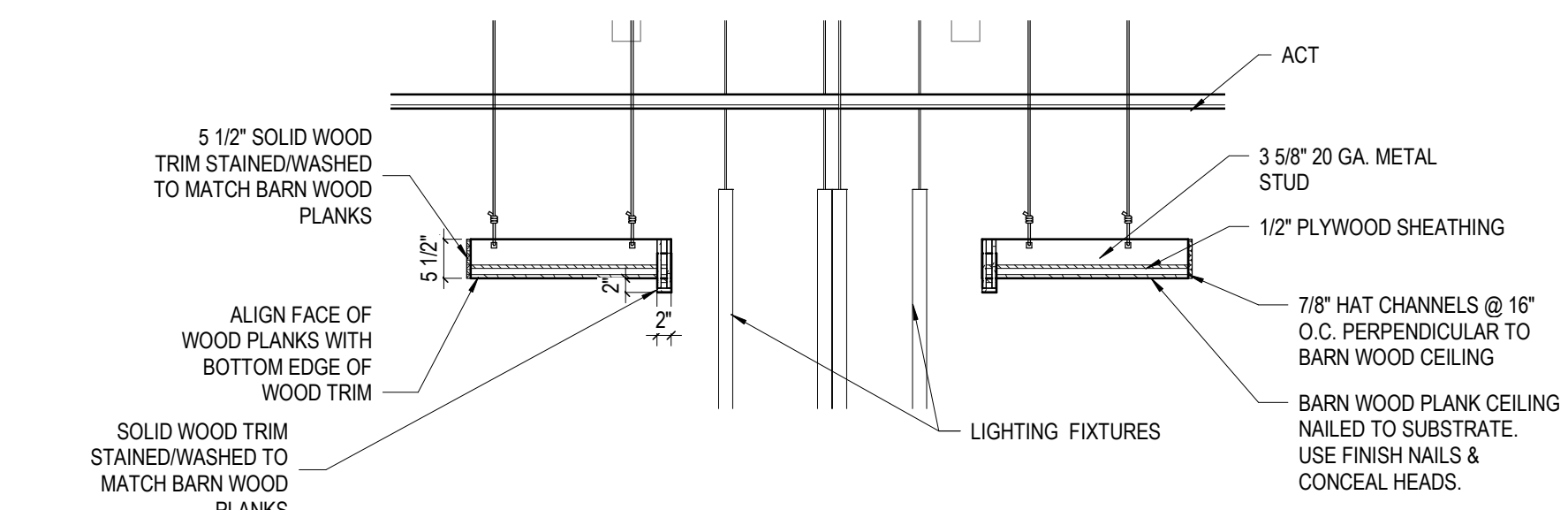
05/12/2021
DRAWN BY: DCB CHECKED BY: PFP
2022
A702
FINAL DEVELOPMENT PLAN



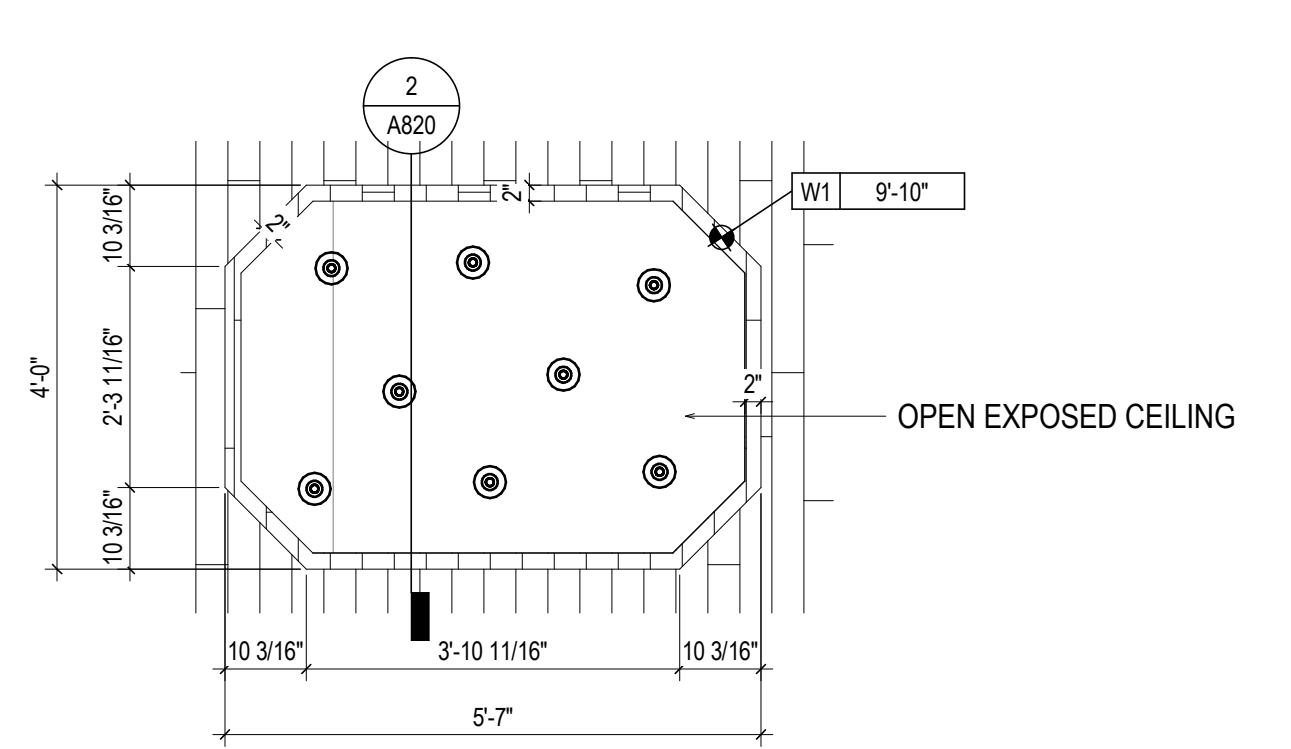
4 ENLARGED PLAN BREAKROOM 107 / UNISEX RR 109
 1/2" = 1'-0" REF: 1 / A102



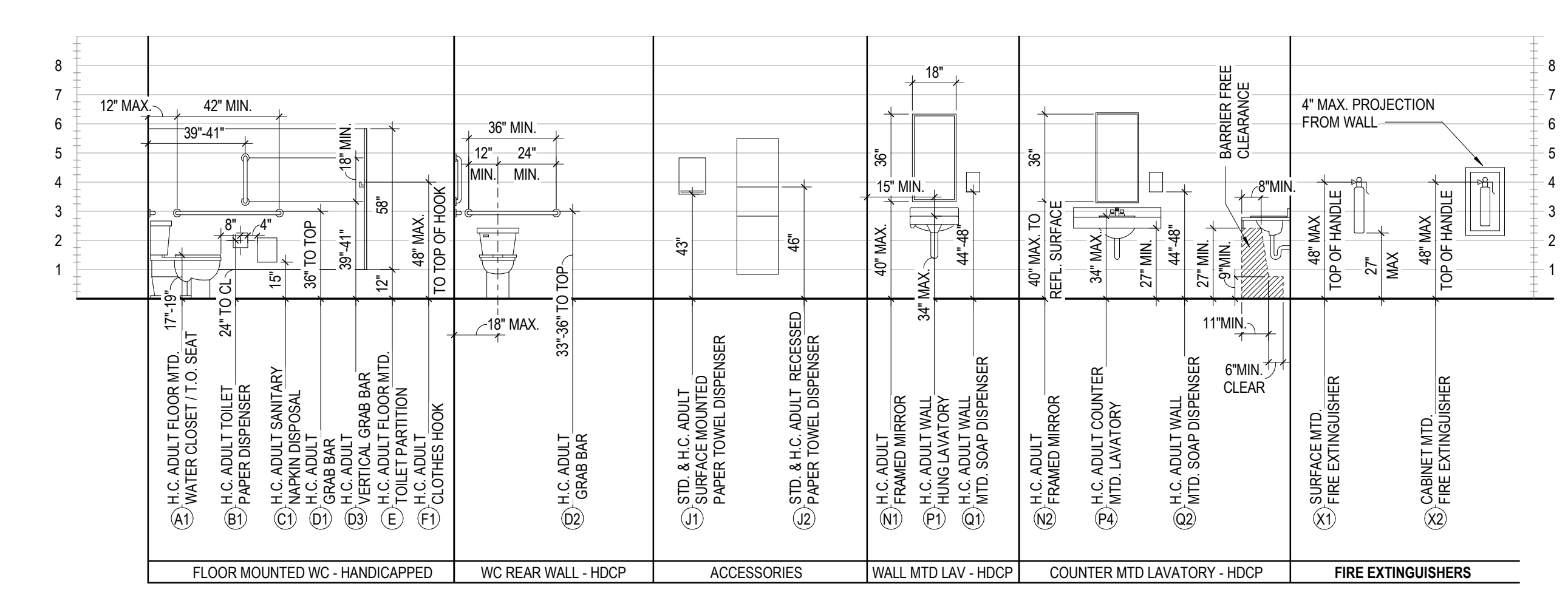
3 DETAIL STOREFRONT BULKHEAD
 3" = 1'-0" REF: 1 / A501



2 DETAIL FEATURE CEILING
 1/2" = 1'-0" REF: 1 / A820



1 RCP WOOD CEILING BLOCK O
 1/2" = 1'-0"



3 FIXTURE MOUNTING HEIGHTS
 0 1 2 4 8

- GENERAL NOTES - MOUNTING HEIGHTS**
- H.C. INDICATES HANDICAPPED ACCESSIBLE FIXTURE
 STD. INDICATES STANDARD FIXTURE
 PK-K INDICATES FIXTURE INTENDED FOR PRE-KINDERGARTEN THROUGH KINDERGARTEN STUDENTS
 ELEM. INDICATES FIXTURE INTENDED FOR ELEMENTARY SCHOOL STUDENTS
 MIDDLE INDICATES FIXTURE INTENDED FOR MIDDLE SCHOOL STUDENTS
 ADULT INDICATES FIXTURE INTENDED FOR HIGH SCHOOL STUDENTS AND/OR ADULTS
 - GENERAL CONTRACTOR SHALL COORDINATE TOILET FIXTURE LOCATIONS WITH PLUMBING CONTRACTOR WITH RESPECT TO FLUSH VALVE HEIGHT AND HORIZONTAL LOCATION VS. GRAB BAR LOCATIONS.
 NOTE: GRAB BAR HEIGHT IS BASED ON ADAAG AND CANNOT BE CHANGED
 TOP OF SEAT HEIGHT IS BASED ADAAG AND CANNOT BE CHANGED
 - ALL MOUNTING HEIGHTS ARE ABOVE FINISH FLOOR (CRITICAL FOR ADA COMPLIANCE)
 - ALL DIMENSIONS ARE TO FACE OF FINISHED WALL (CRITICAL FOR ADA COMPLIANCE)
 - ALL DIMENSIONS TO CONTROLS ARE TO TOP OF BUTTON, LEVER OR KNOB
 - WHERE TOILET IS INDICATED TO BE "WALL HUNG OR FLOOR MTD" REFER TO PLUMBING DRAWINGS FOR EXACT FIXTURE

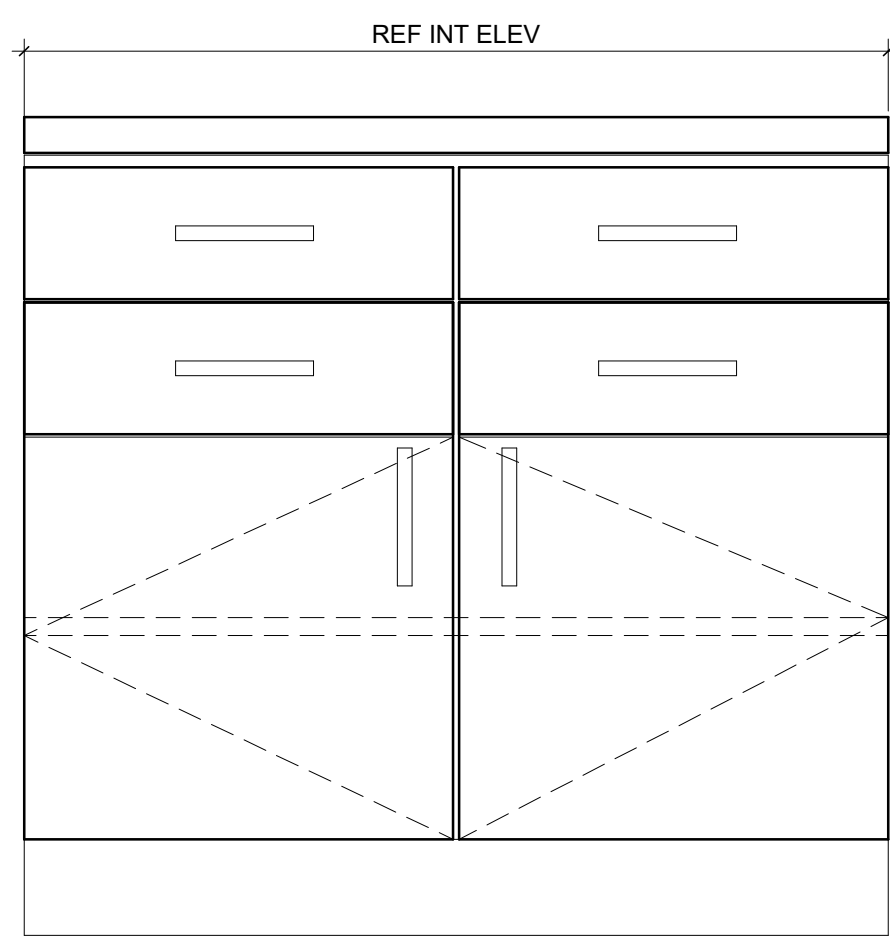
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5300 PRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

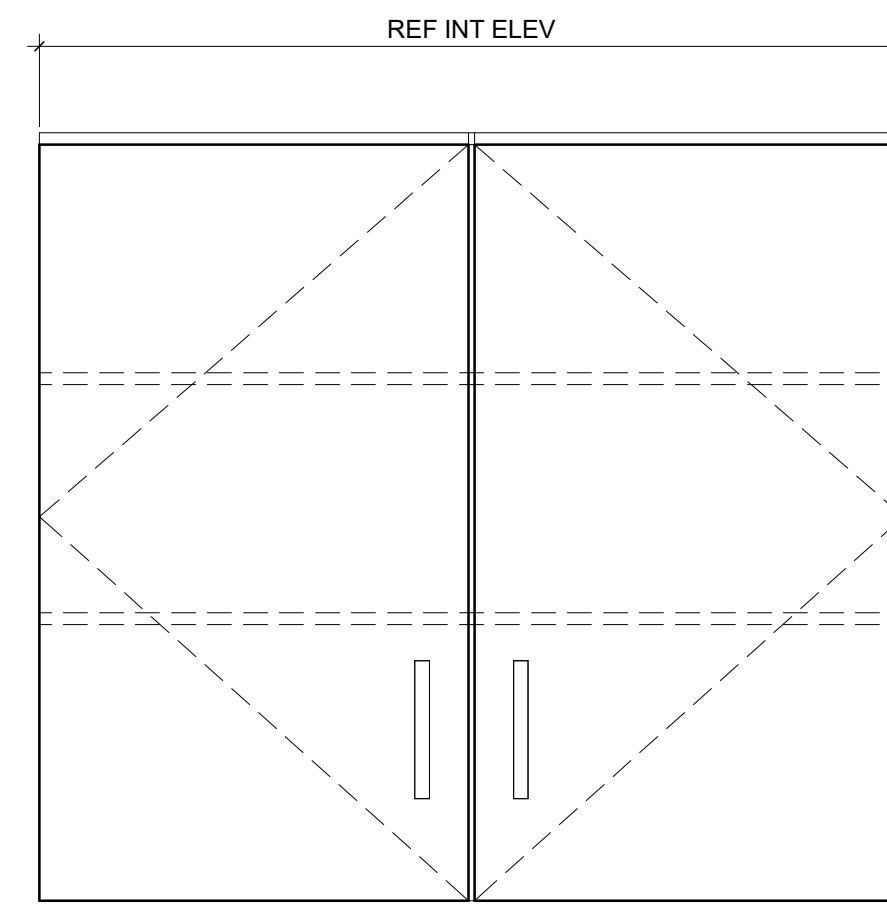
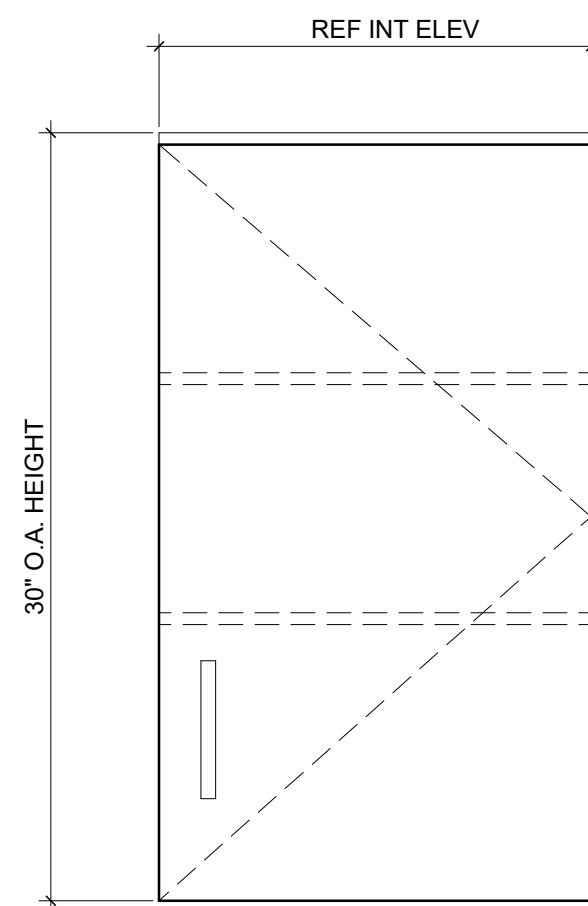
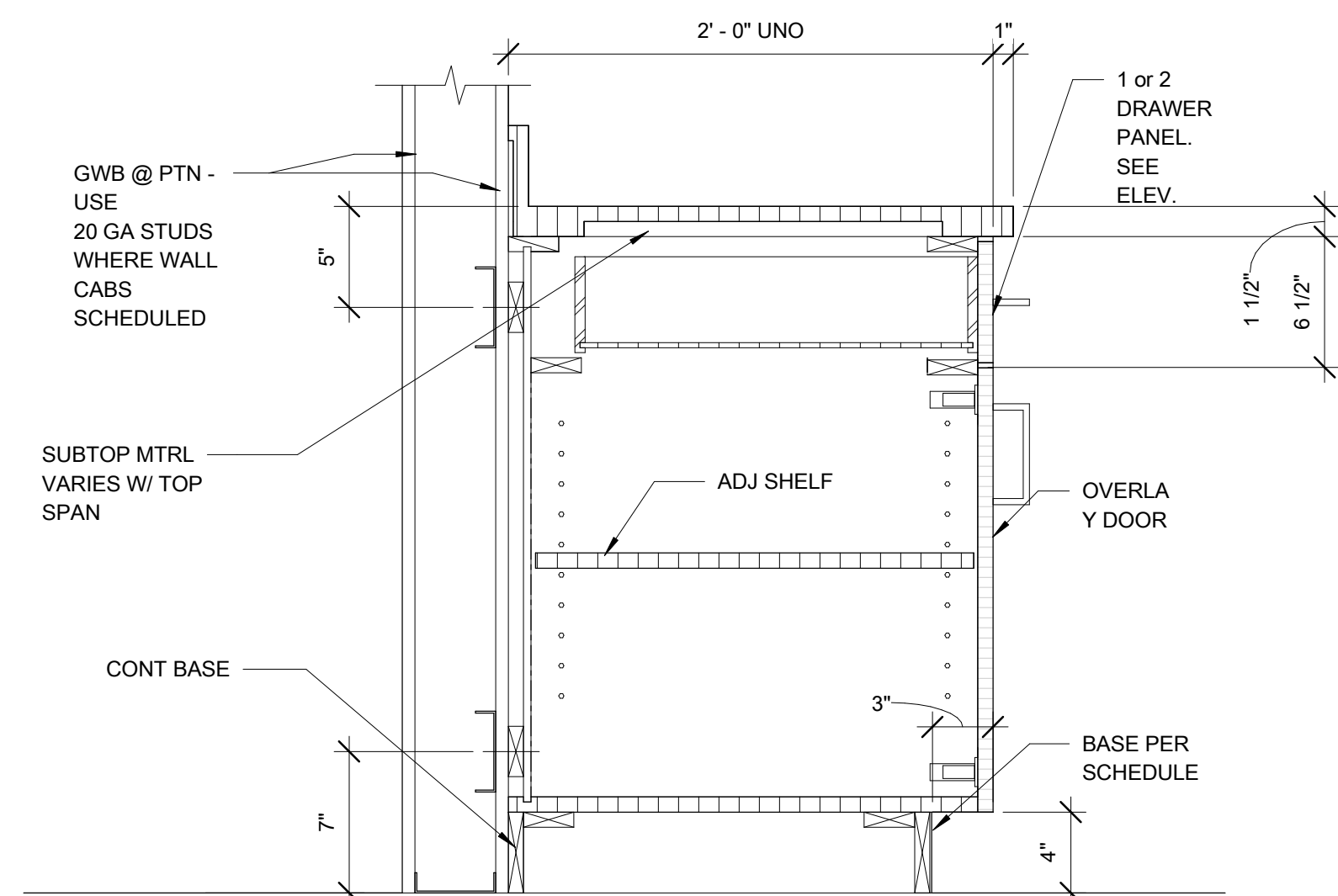
MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
INTERIOR DETAILS & MOUNTING HEIGHTS

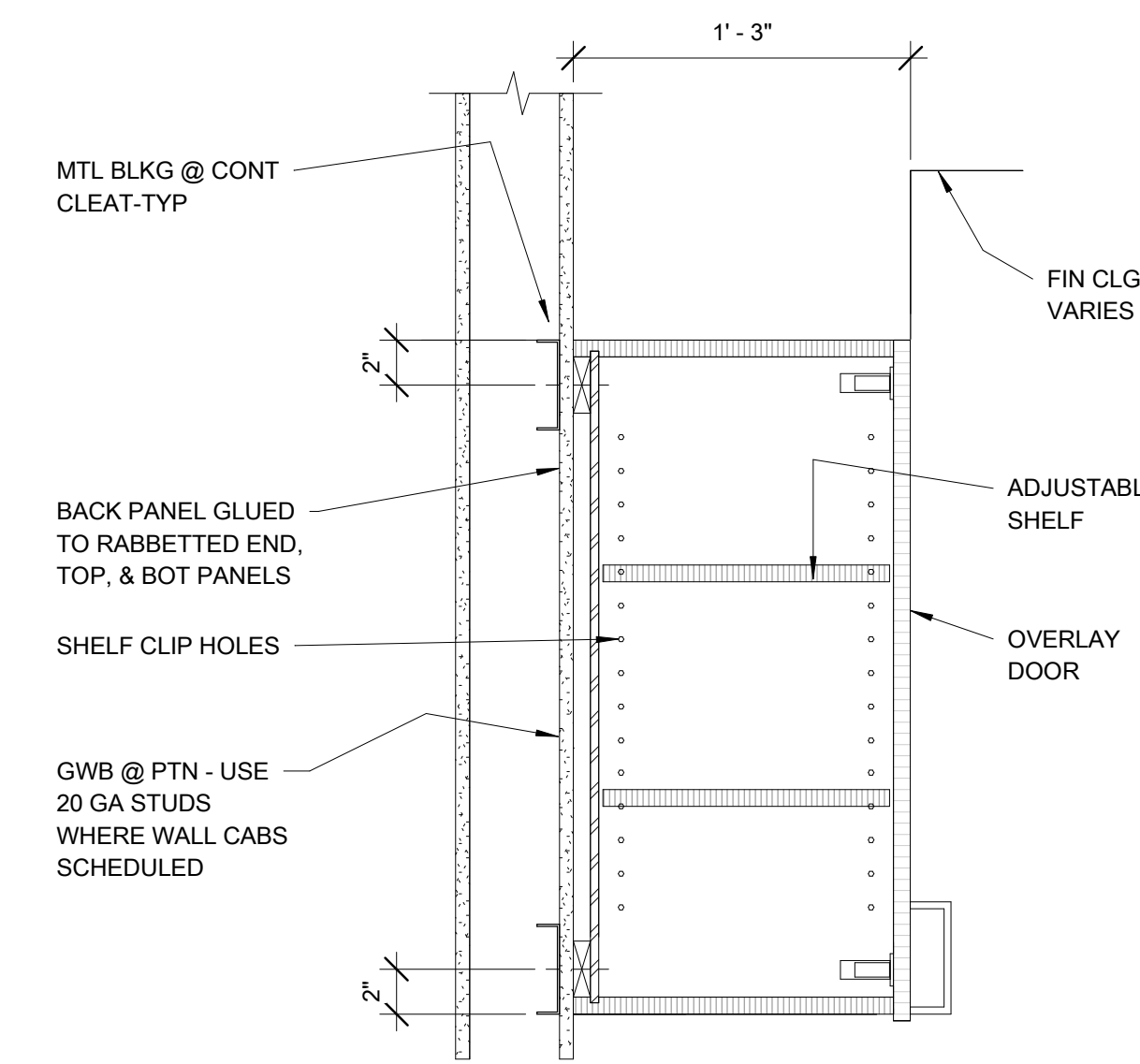
PROGRESS DRAWING NOT FOR CONSTRUCTION	05/12/2021
	DRAWN BY: XXXX CHECKED BY: XXXX
	20022
A820	
FINAL DEVELOPMENT PLAN	



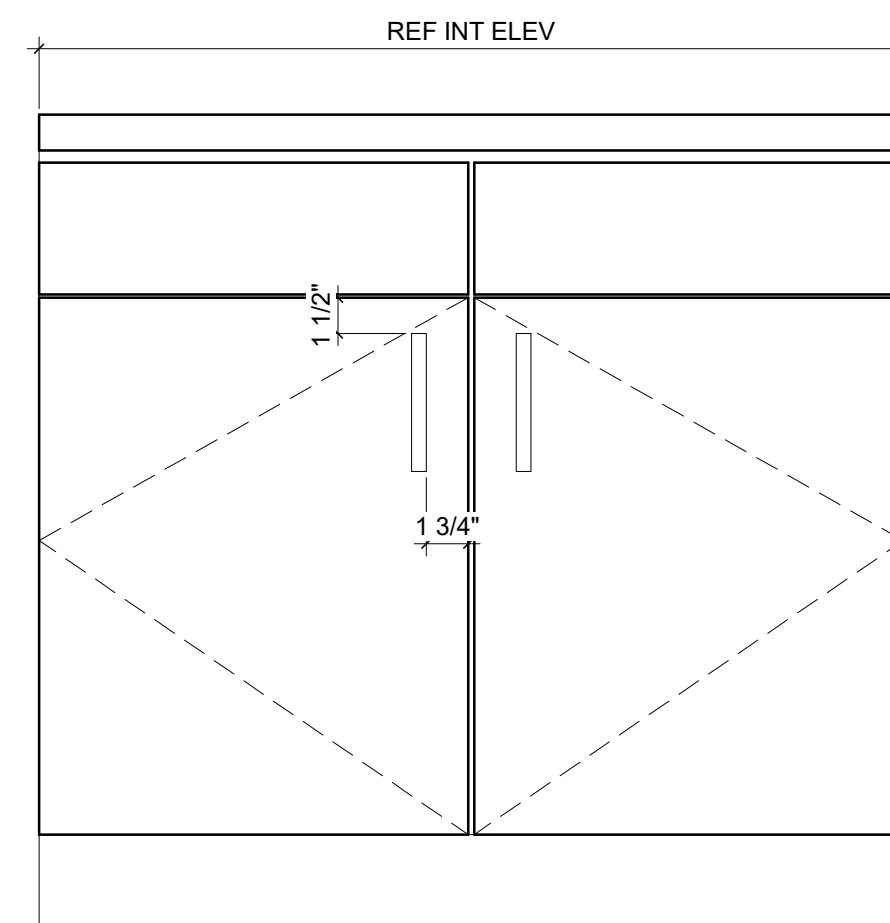
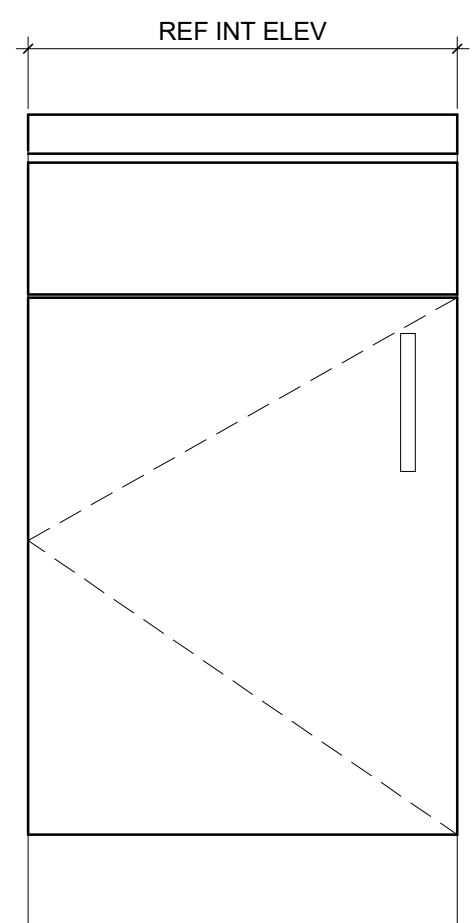
G DETAIL
BASE CABINET



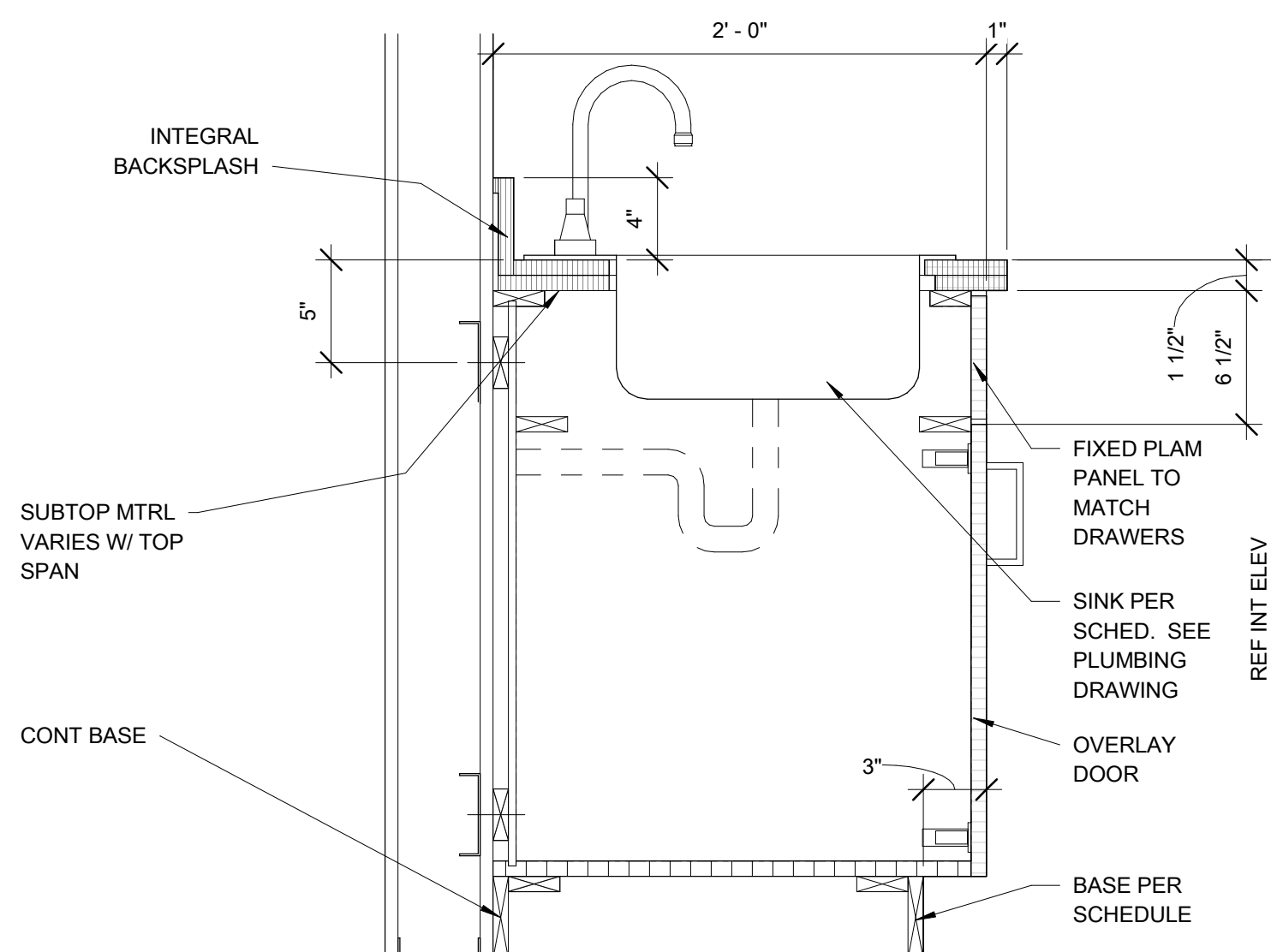
L DETAIL
WALL CABINET



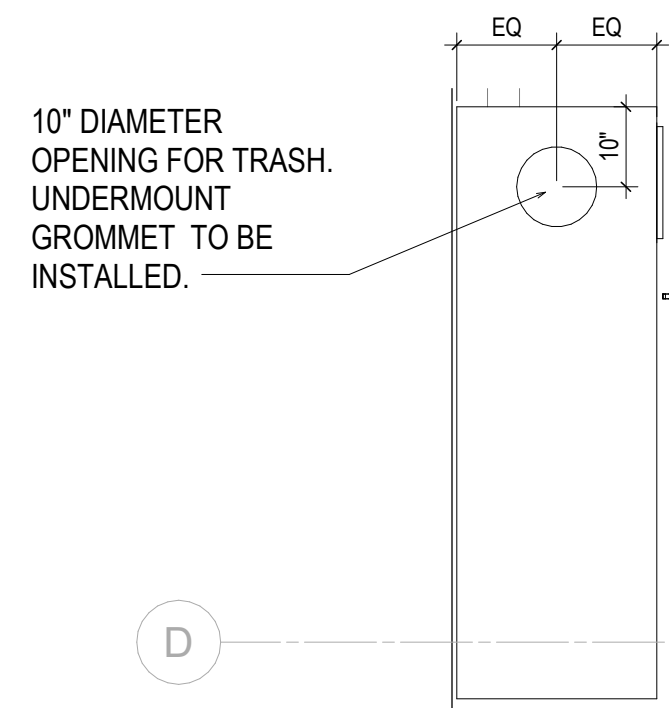
K/L - WALL CABINET
SECTION



F DETAIL
SINK BASE CABINET

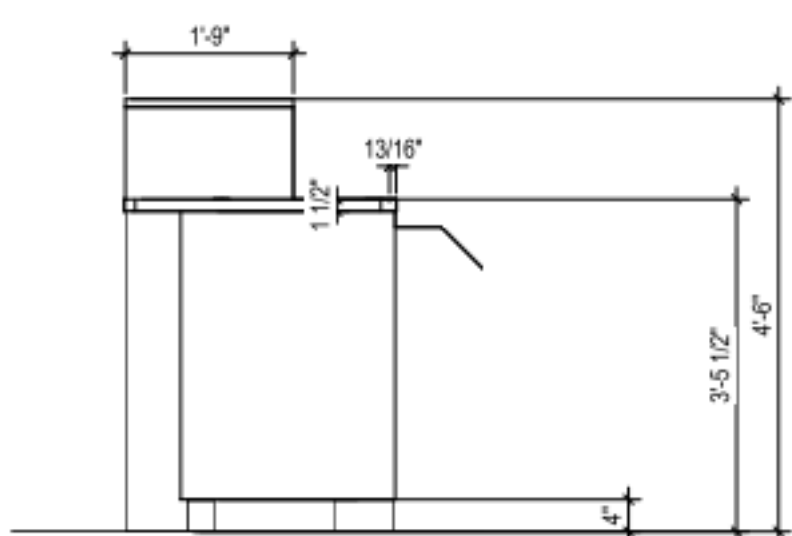


E/F - BASE CABINET
SECTION TYPICAL

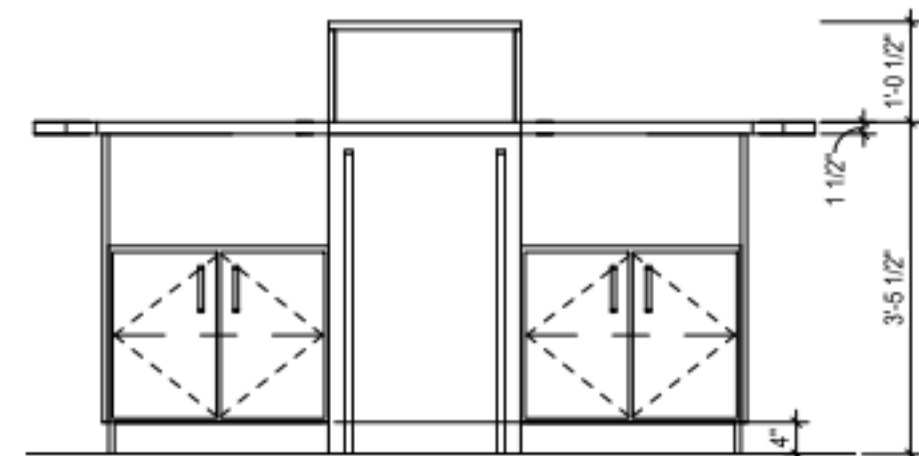


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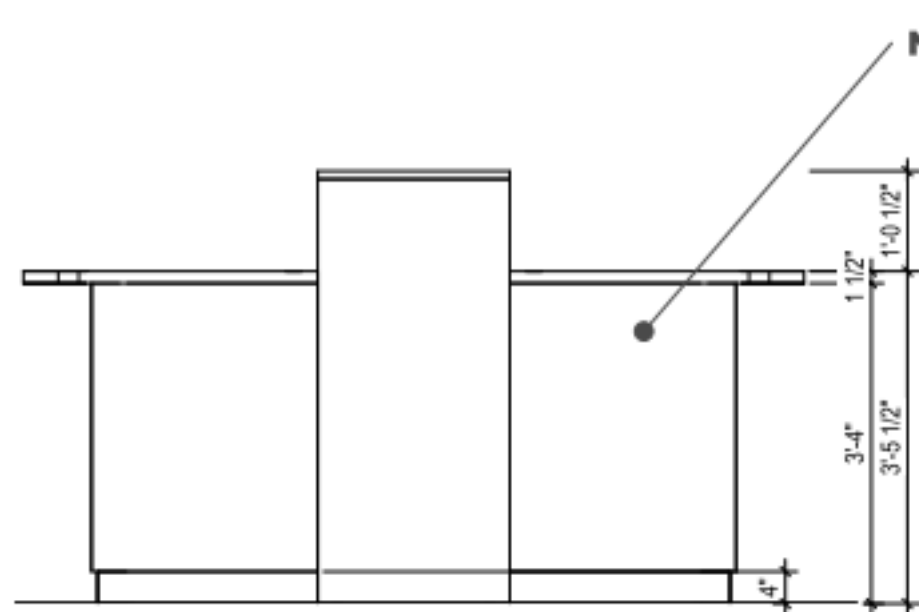
5 ENLARGED PLAN COFFEE BAR
1/2" = 1'-0" REF: 1/A102



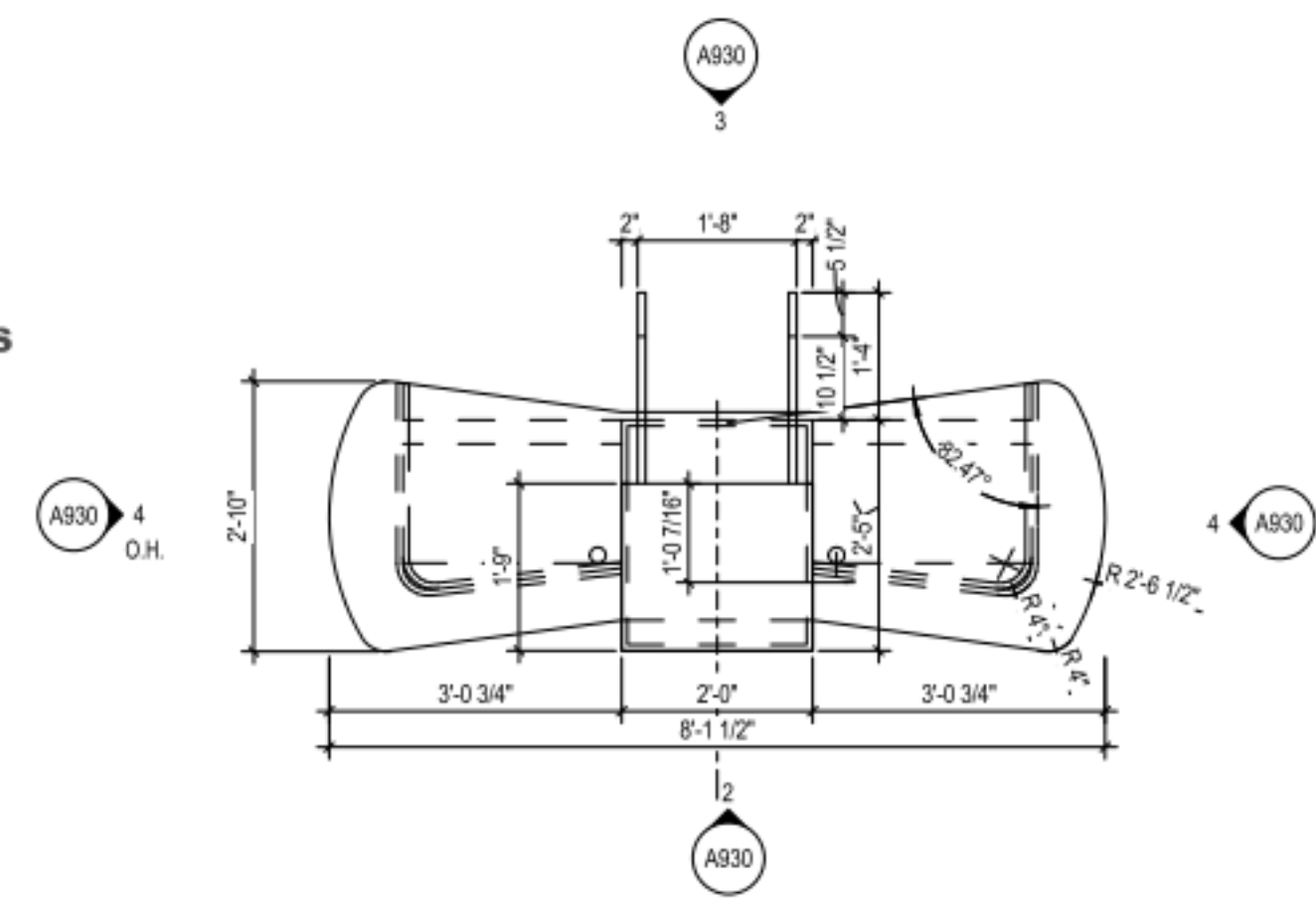
4 TELLER DESK SIDE



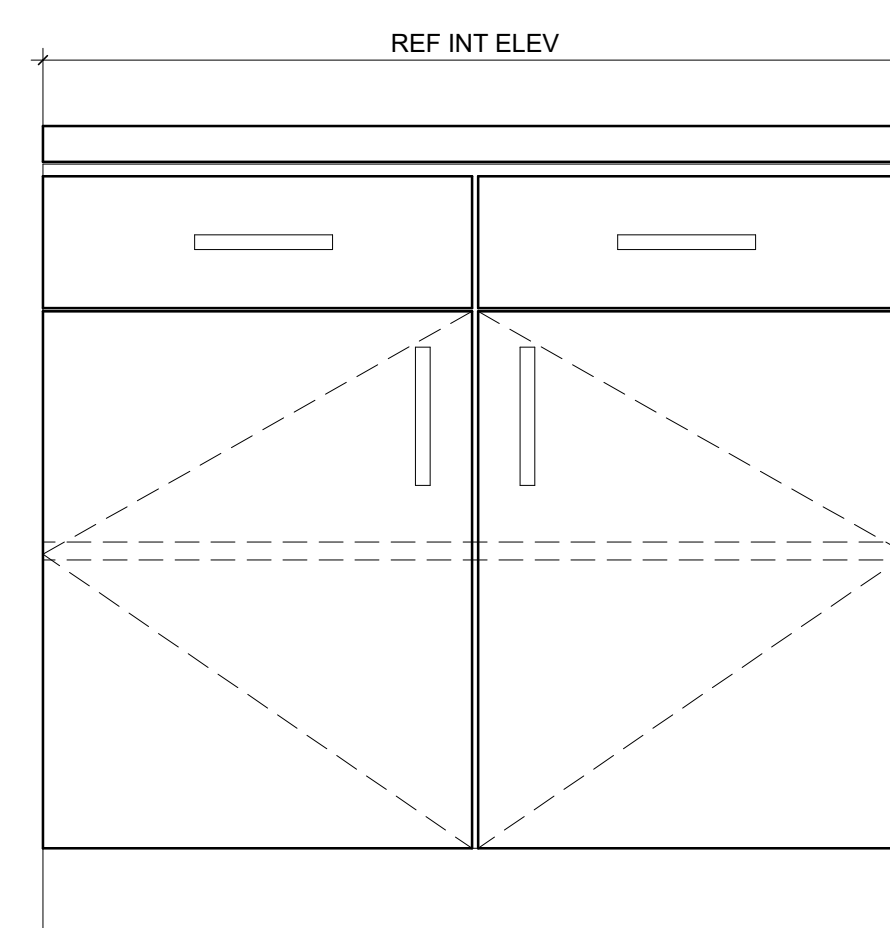
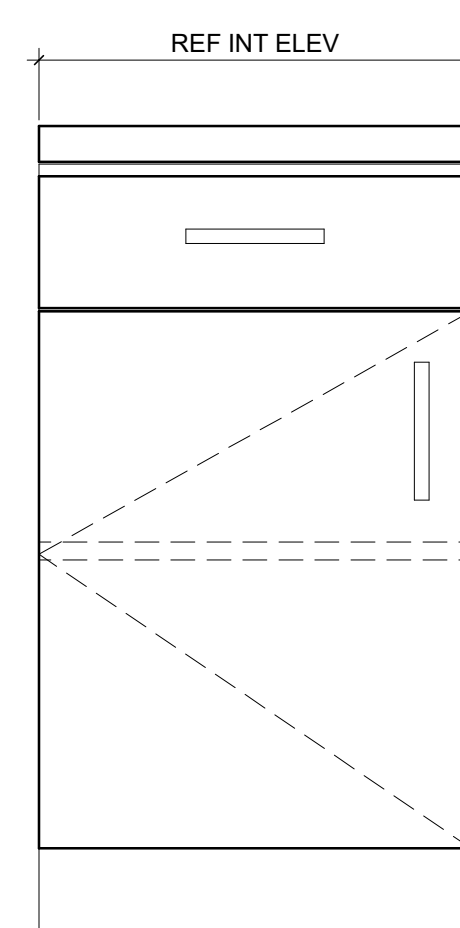
3 TELLER DESK REAR



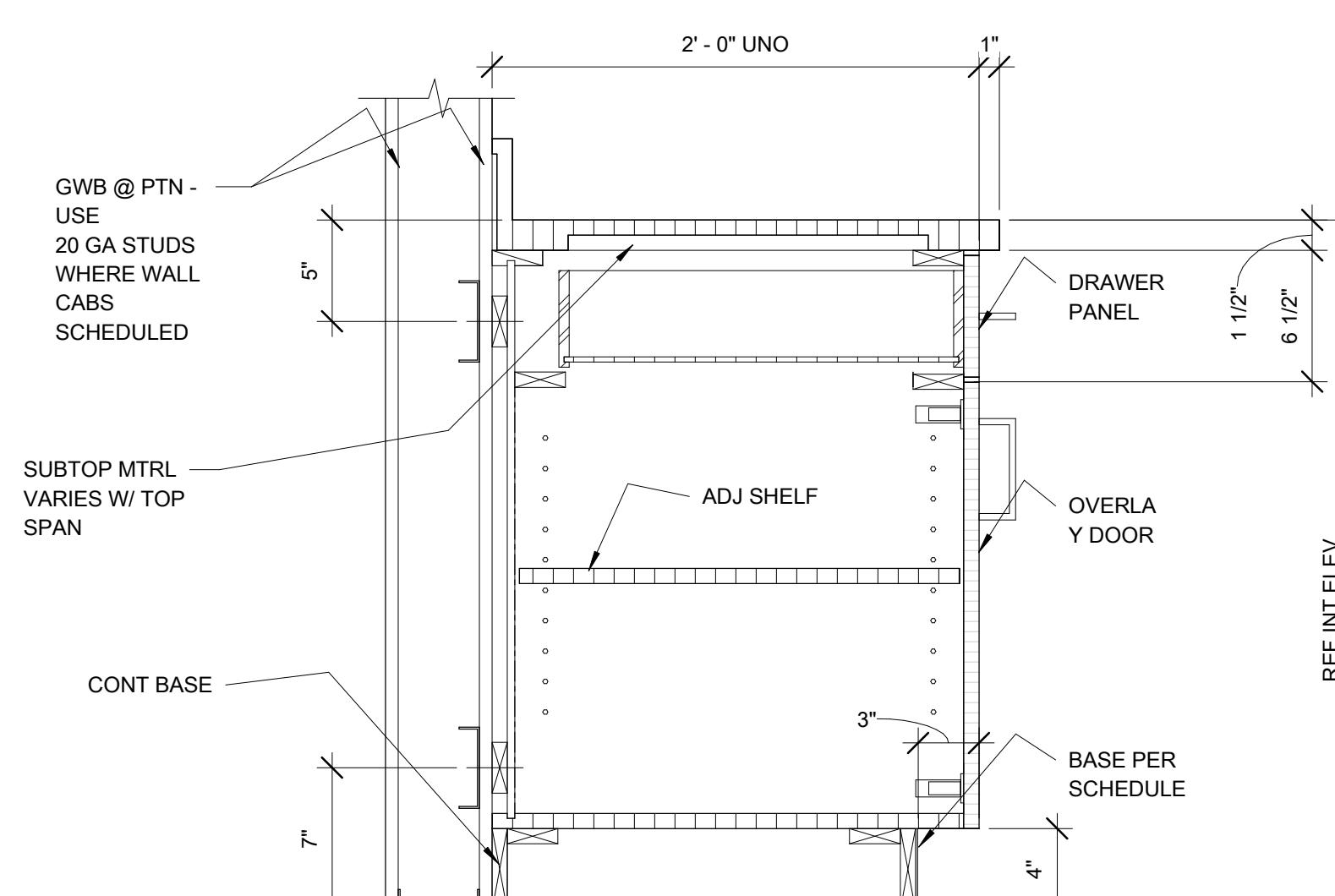
2 TELLER DESK FRONT



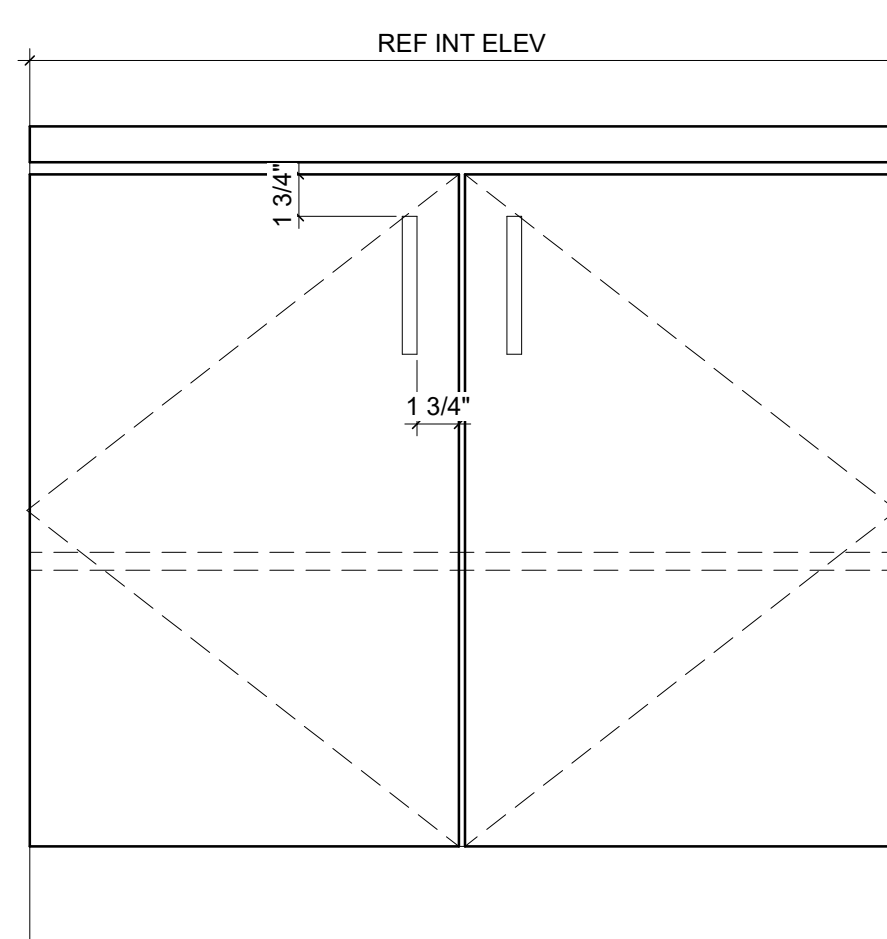
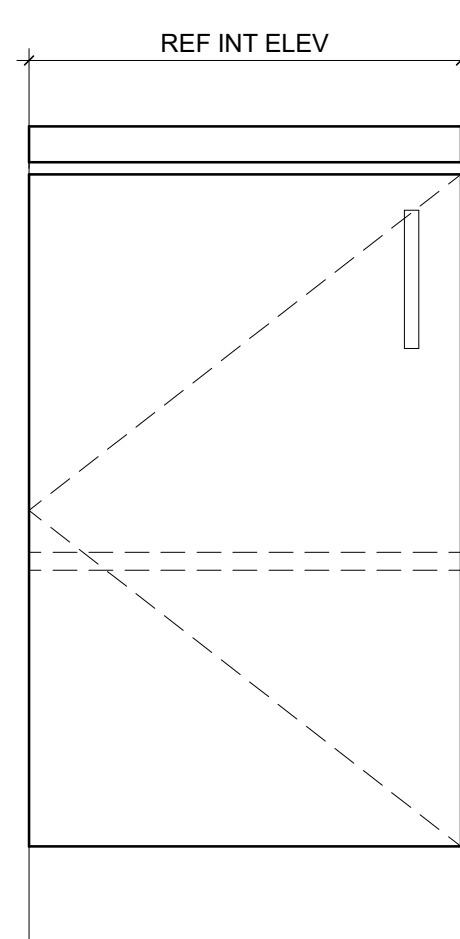
1 TELLER DESK



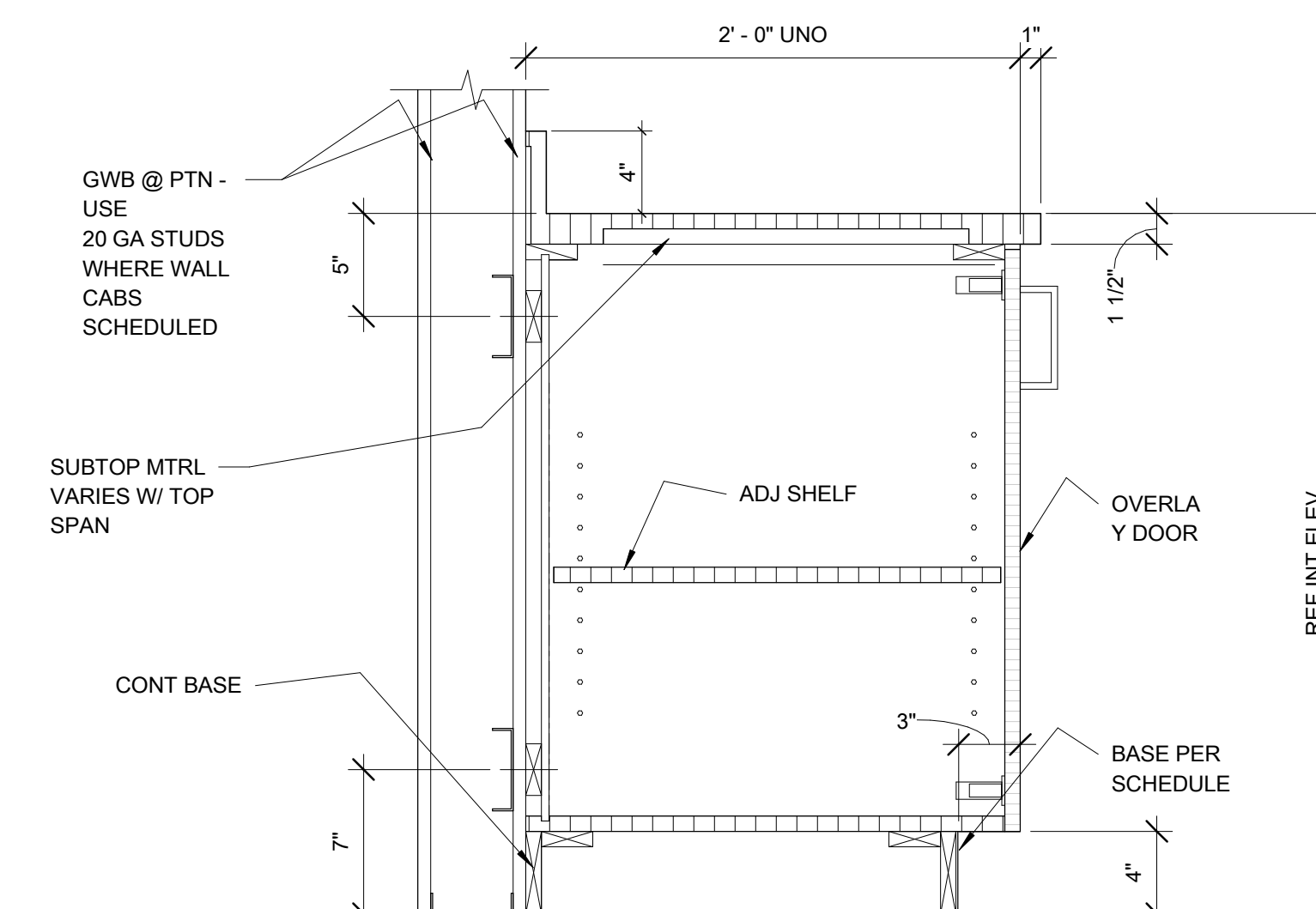
D DETAIL
BASE CABINET



C/D - BASE CABINET
SECTION TYPICAL



B DETAIL
BASE CABINET



A/B - BASE CABINET
TYPICAL SECTION

GENERAL NOTES - CASEWORK

- REFER TO SPECIFICATION MANUAL SECTIONS 06-20-00 (FINISHED CARPENTRY) AND 06-40-00 (ARCHITECTURAL WOODWORK) FOR A COMPLETE ENUMERATION OF PERFORMANCE AND FABRICATION GUIDELINES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING ADEQUATE FOR THE SUPPORT OF ALL CABINETS PROVIDED HEREIN. IN ADDITION, THE CONTRACTOR SHALL PROVIDE ADEQUATE IN-WALL BLOCKING FOR ANY FINISH CARPENTRY OR ANCILLARY COMPONENTS INCLUDING BUT NOT LIMITED TO WALL PANELS, MILLWORK, CUSTOM CASEWORK, GRAPHIC PANELS, BANNERS, ETC. DESIGNATED AND DETAILED HEREIN AS RIGIDLY ATTACHED TO WALL ASSEMBLIES OR OTHER STRUCTURAL COMPONENTS. SEE SPECIFICATION SECTION 08 10 50 FOR BLOCKING REQUIREMENTS. NOTE: SPECIFIC TYPES OF BLOCKING ARE SHOWN IN DETAIL DRAWINGS FOR CLARITY - THIS IS NOT TO BE TAKEN AS A FULL ACCOUNTING. GENERAL TYPICAL BLOCKING MAY OR MAY NOT BE SHOWN.
- FOR PLASTIC LAMINATE CABINETS: ALL EXPOSED EXTERIOR SURFACES ARE TO BE CLAD IN PLASTIC LAMINATE (COLOR AS NOTED). ALL EXPOSED INTERIOR SURFACES ARE TO BE CLAD IN WHITE MELAMINE. HIDDEN OR CONCEALED FACES ARE TO BE CLAD IN A PLASTIC LAMINATE BACKER. DOORS AND ADJUSTABLE SHELVES ARE TO BE FULLY CLAD IN THE SAME PLASTIC LAMINATE AS THE CASE (UNLESS NOTED OTHERWISE).
- PROVIDE LOCKS FOR CABINET DOORS (UPPER AND LOWER) AS NOTED ON SPECIFIC ELEVATIONS.
- ALL COUNTERTOPS ARE TO INCLUDE A CONTINUOUS MATCHING 4" BACKSPLASH UNLESS SHOWN AND NOTED OTHERWISE. ALL BACKSPLASHES ASSUMED TO INCLUDE SCISSOR SPLASHES AT ADJOINING WALLS AND/OR OTHER VERTICAL INTERRUPTIONS.
- PLASTIC LAMINATE COUNTERTOPS ARE TO HAVE A 1 1/2" NOSING WITH A MATCHING DOLKIN WOODTAPE VINYL EDGE BAND (MANUFACTURER'S BEST MATCH). EDGE BAND MATCHES TO BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION. UNDERSIDES OF COUNTERTOP ARE TO BE CLAD WITH BACKER SHEET.
- ALL THRU-COUNTER WIRE MANAGEMENT SLOTS ARE TO BE 1 1/2" LONG X 1" WIDE WITH DOUGLASS MOCKET BRUSH STRIP INSERT (BR-1-90). ALL FABRICATED WORKSURFACES WITH OPEN KNEE SPACE ARE TO RECEIVE A MINIMUM OF (1) INSERT EVERY 48" EXACT AND FINAL LOCATIONS ARE TO BE FIELD-COORDINATED WITH OWNER.
- FOR "WET" AREAS (INCLUDING ALL FOOD SERVICE CABINETS): COUNTERTOP/BACKSPLASH AND BASE CABINET SUBSTRATES ARE TO BE MARINE GRADE PLYWOOD.
- NOTE THAT EQUIPMENT/APPLIANCES SHOWN IS FOR REFERENCE ONLY. EXACT LOCATIONS TO BE VERIFIED IN FIELD WITH OWNER.
- FOR CABINETS AT INSIDE CORNERS: PROVIDE "CORNER CABINET" EXTENSION SO THAT END CABINET OF ONE RUN EXTENDS ALONG AND BEHIND OTHER RUN TO FILL IN CORNER DEAD SPACE - MODIFY AUGMENT SHELF SUPPORTS AS REQUIRED.
- FINISH MATERIAL ABBREVIATIONS ARE DELINEATED IN THE OVERALL PROJECT FINISH LEGEND.
- ALL QUARTZ STONE WORKSURFACE/COUNTERTOP TO BE 2 CM WITH MITER-FOLD PENCIL EDGE NOSING ON 3/4" CABINET-GRADE PARTICLEBOARD SUBSTRATE. UNLESS NOTED OTHERWISE, COLOR AS NOTED.
- ALL SOLID SURFACE COUNTERTOP/SURFACEFACE TO BE 1 1/2" WITH SEAMLESS BUTT JOINT, PENCIL-EDGE FINISHING ON CONT. 3/4" CABINET-GRADE PARTICLEBOARD SUBSTRATE UNLESS NOTED OTHERWISE. COLOR AS NOTED.
- ALL PLASTIC LAMINATE CASES AND COMPONENTS TO BE ON 3/4" CABINET-GRADE PLYWOOD SUBSTRATE. UNLESS NOTED OTHERWISE, COLOR AS NOTED.
- ALL DOORS AND DRAWER FRONTS (FINISH AS NOTED) TO BE REVEAL OVERLAY STYLE. DOORS ON CONCEALED, EUROPEAN-STYLE HINGES. PLASTIC LAMINATE ON 3/4" PARTICLEBOARD SUBSTRATE WITH COORDINATING 3mm PVC EDGE BAND (3/4") UNLESS NOTED OTHERWISE.
- FOR PLASTIC LAMINATE CABINETS: INTERIORS TO BE WHITE MELAMINE WITH MATCHING MELAMINE ADJUSTABLE SHELVES (MATCHING VINYL EDGE TAPE @ ALL SIDES). SHELVES ARE ADJUSTABLE (UNLESS NOTED OTHERWISE) SUPPORTED ON NICKEL (SPOON-TYPE) SHELF PINS. RECEIVING HOLES TO BE SPACED 2" O.C.
- ALL DRAWERS (EXCEPT FILES) ON MEDIUM-DUTY, FULL EXTENSION, SOFT-CLOSING GLIDES - FULL FILE DRAWERS ON HEAVY-DUTY, FULL-EXTENSION GLIDES. (WHITE MELAMINE INTERIORS).
- ALL INTERNAL FRAMING AND/OR PLYWOOD RISBS TO BE SPACED NOT MORE THAN 16" O.C. - PROVIDE PENETRATIONS FOR WIRE MANAGEMENT.
- ALL COUNTER SUPPORT BRACKETS (12" X 18" U.N.O.) REGULARLY SPACED SO THAT OPEN SPANS NEVER EXCEED 42"

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5200 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

MOODY-NOLAN

DRAWING TITLE:
CASEWORK DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION


05/12/2021
 DRAWN BY: xxx CHECKED BY: xxx
 20022
A850
 FINAL DEVELOPMENT PLAN

GENERAL NOTES - FINISH PLANS

- STANDARDS AND PROCEDURES FOR THE PREPARATION AND APPLICATION OF INTERIOR FINISHES ARE DEFINED IN THE PROJECT MANUAL. FINISH (SUB) CONTRACTORS ARE REQUIRED TO READ, UNDERSTAND AND FOLLOW ALL RELEVANT SECTIONS OF THE PROJECT MANUAL.
- FINISH MATERIALS ARE LISTED IN THE LEGEND COMPONENT OF THE FINISH SCHEDULE. SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE TWO SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- NO FINISH MATERIAL SUBSTITUTIONS WILL BE ACCEPTED EXCEPT IN THE SPECIFIC CIRCUMSTANCES ENUMERATED IN THE PROJECT MANUAL.
- PAINTED HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE. MATERIAL, FINISH AND COLOR INFORMATION FOR ALL OTHER DOORS AND FRAMES IS CONTAINED IN THE DOOR SCHEDULE AND ITS ASSOCIATED LEGENDS. IF WALLS ON OPPOSITE SIDES OF DOOR FRAME ARE DIFFERENT COLORS THE PAINT COLORS SHOULD BE SPLIT AT THE JAMB OF THE FRAME.
- ALL VERTICAL TRANSITIONS BETWEEN DIFFERING WALL FINISHES ARE TO BE MADE AT INSIDE CORNERS (UNLESS NOTED OTHERWISE).
- FLOORING MATERIAL DESIGNATED FOR STAIRS IS TO INCLUDE STAIR AND ALL ASSOCIATED TREADS, RISERS, LANDINGS, ETC. (UNLESS NOTED OTHERWISE).
- PAINT DESIGNATED FOR METAL STAIR COMPONENTS IS TO INCLUDE ALL EXPOSED METAL COMPONENTS ASSOCIATED WITH THE STAIR SYSTEM ITSELF. ALL EXPOSED STRUCTURAL STEEL COMPONENTS SUPPORTING THE STAIR SYSTEM (UNLESS NOTED OTHERWISE), AND ALL EXPOSED METAL COMPONENTS OF THE HANDRAIL AND GUARDRAIL SYSTEMS (UNLESS NOTED OTHERWISE). UNDERSIDES OF STAIR RUNS AND LANDINGS ARE CONSIDERED "EXPOSED" IN ALL SITUATIONS.
- FOR CLARITY, SOME FINISH INFORMATION HAS BEEN PRESENTED GRAPHICALLY IN THE FORM OF FINISH AND FLOORING PLANS. SHOULD THERE BE A DISCREPANCY BETWEEN THE FINISH SCHEDULE AND THESE PLANS, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. FOR THE PURPOSE OF BIDDING, INFORMATION DETAILED ON THE FINISH FLOOR PLANS AND FLOORING PLANS IS TO TAKE PRECEDENCE OVER THE FINISH SCHEDULE UNTIL FURTHER CLARIFICATION CAN BE GIVEN. FOR AREAS NOT SPECIFICALLY DETAILED ON THESE PLANS, THE FINISH SCHEDULE PERTAINS.
- PAINT DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) BEAM, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE AFOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
- WHERE RESILIENT BASE IS SPECIFIED (VINYL OR RUBBER) PROVIDE COVE PROFILE BASE AT ALL RESILIENT FLOORS AND STRAIGHT BASE FOR ALL CARPET AREAS (UNLESS OTHERWISE NOTED). HEIGHT AND COLOR TO BE AS INDICATED ON FINISH LEGEND.
- REFER TO REFLECTED CEILING PLANS AND SPECIFICATION MANUAL FOR ALL CEILING MATERIAL AND FINISH INFORMATION.
- ALL DRYWALL SOFFITS TO BE PAINTED FLAT CEILING WHITE UNLESS NOTED OTHERWISE ON CEILING PLANS.
- CERAMIC WALL TILE TO EXTEND FULL WIDTH AND FULL HEIGHT FOR ANY AND ALL SCHEDULED TILED WALLS (UNLESS NOTED OTHERWISE).
- FOR EPOXY OR INTUMESCENT PAINT COLOR REFER TO PAINT SCHEDULE NUMBERS.
- WITHIN FINISH SCHEDULE CELLS, SLASH MARKS INDICATE DIFFERENCES IN FINISH MATERIAL WHILE COMMAS INDICATE DIFFERENCES IN PATTERN OR COLOR WITHIN A SPECIFIC MATERIAL.
- APPROPRIATE METAL OR VINYL TRANSITION STRIPS MUST BE PROVIDED AT ALL FINISH MATERIAL, FLOORING CHANGES. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FLOORING TRANSITIONS AND AREAS IN WHICH FLOORING PATTERNS ARE SHOWN. SEE FLOOR FINISH PLANS, DETAILS AND NOTES FOR SPECIFIC INFORMATION.
- WALL PAINT INDICATED FOR CURTAIN WALL LOCATIONS APPLIES TO ALL ASSOCIATED DRYWALL COMPONENTS (CURBS, HEADERS, BULKHEADS, ETC.) AND SHOULD NOT BE INTERPRETED AS APPLYING TO CURTAIN WALL COMPONENTS OR GLASS.
- FLOORING CONTRACTOR(S) IS RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS WITH ALL ANY FLOOR MOUNTED COMPONENTS (RECEPTACLES, ACCESS PANELS, ETC.) SO THAT COMPONENTS ARE INTEGRATED AND FLUSH.

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5300 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

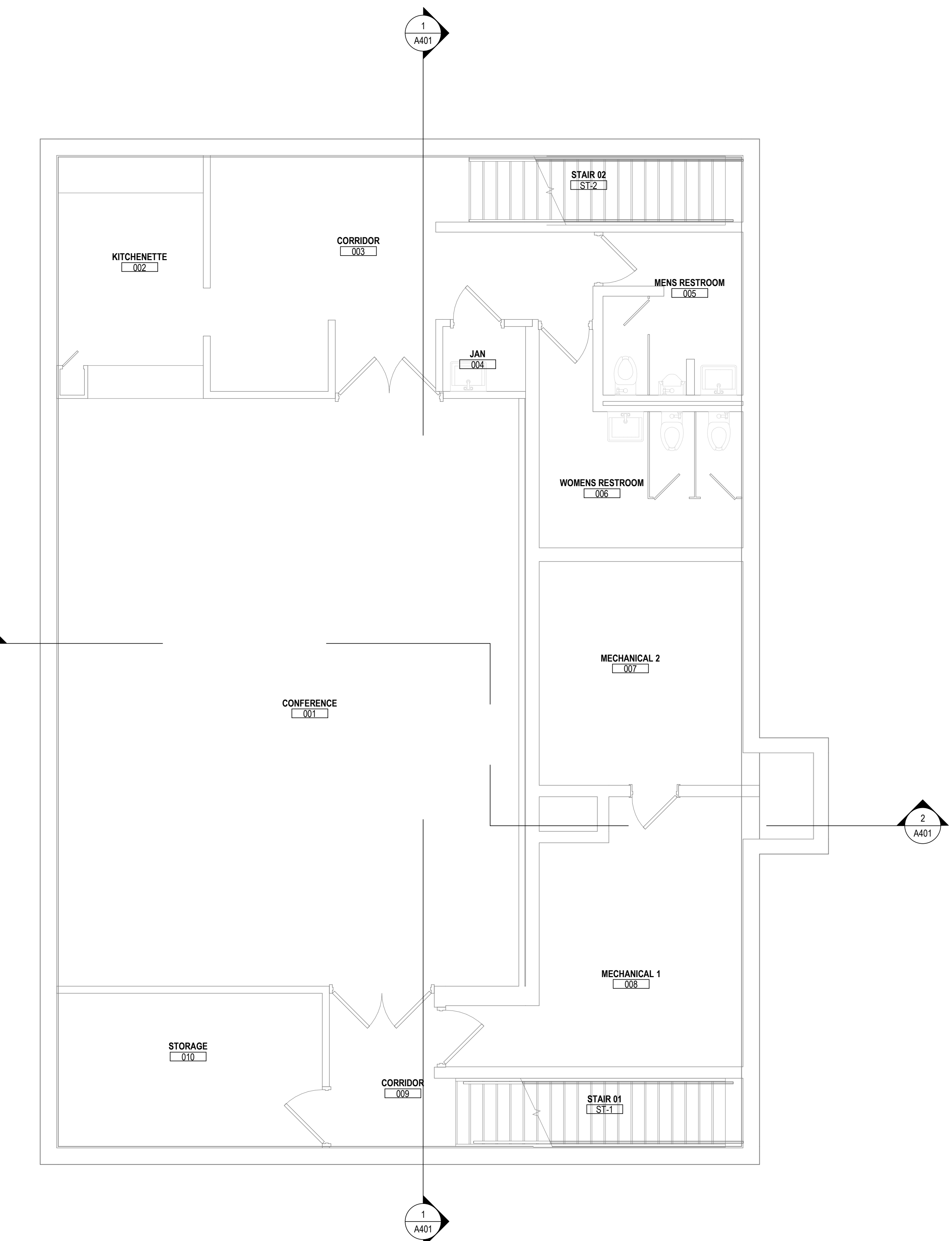
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
FINISH PLANS AND LEGEND

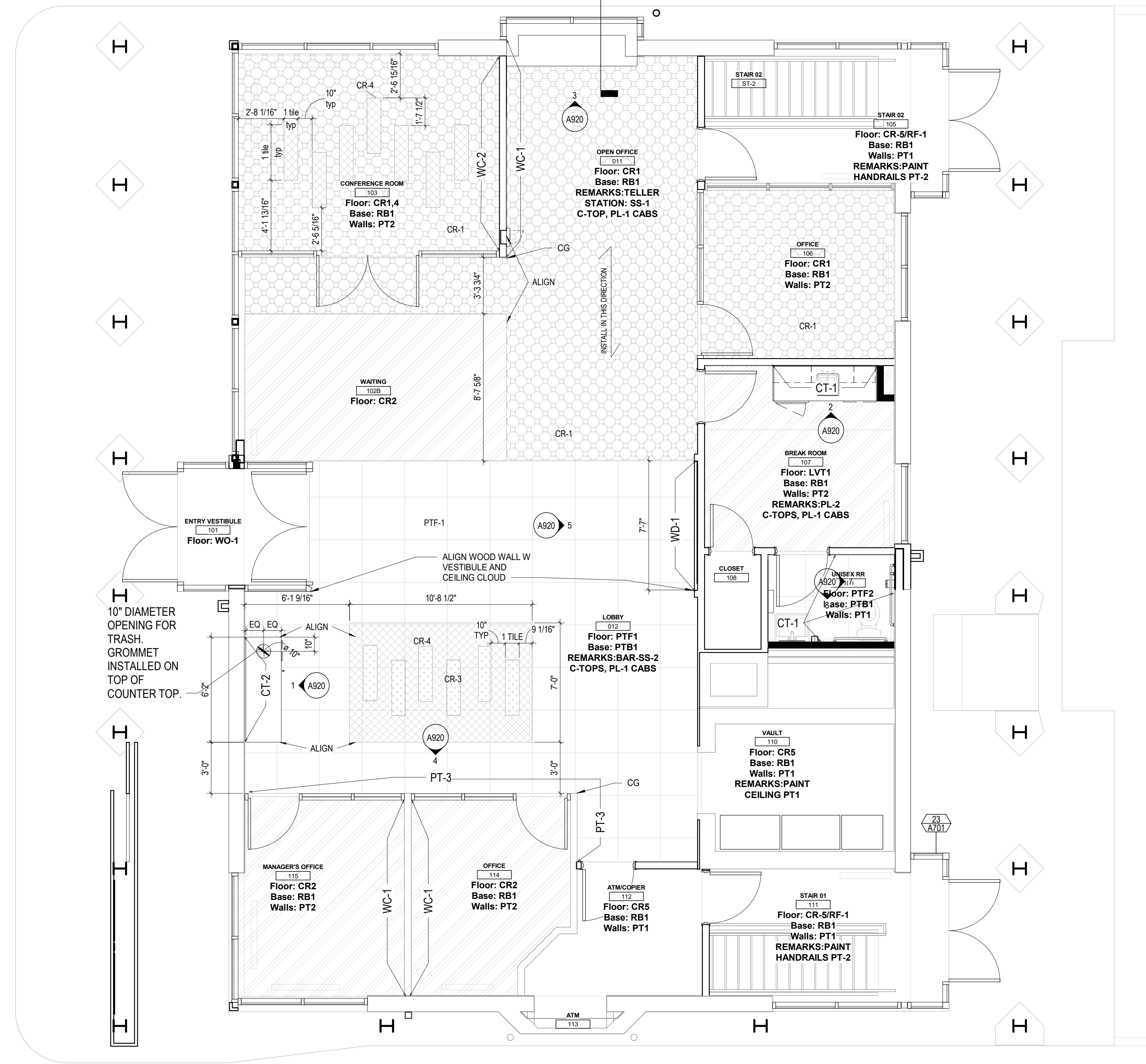
05/12/2021	
DRAWN BY: XXXX	CHECKED BY: XXXX
20022	
A901	
FINAL DEVELOPMENT PLAN	

FINISH LEGEND

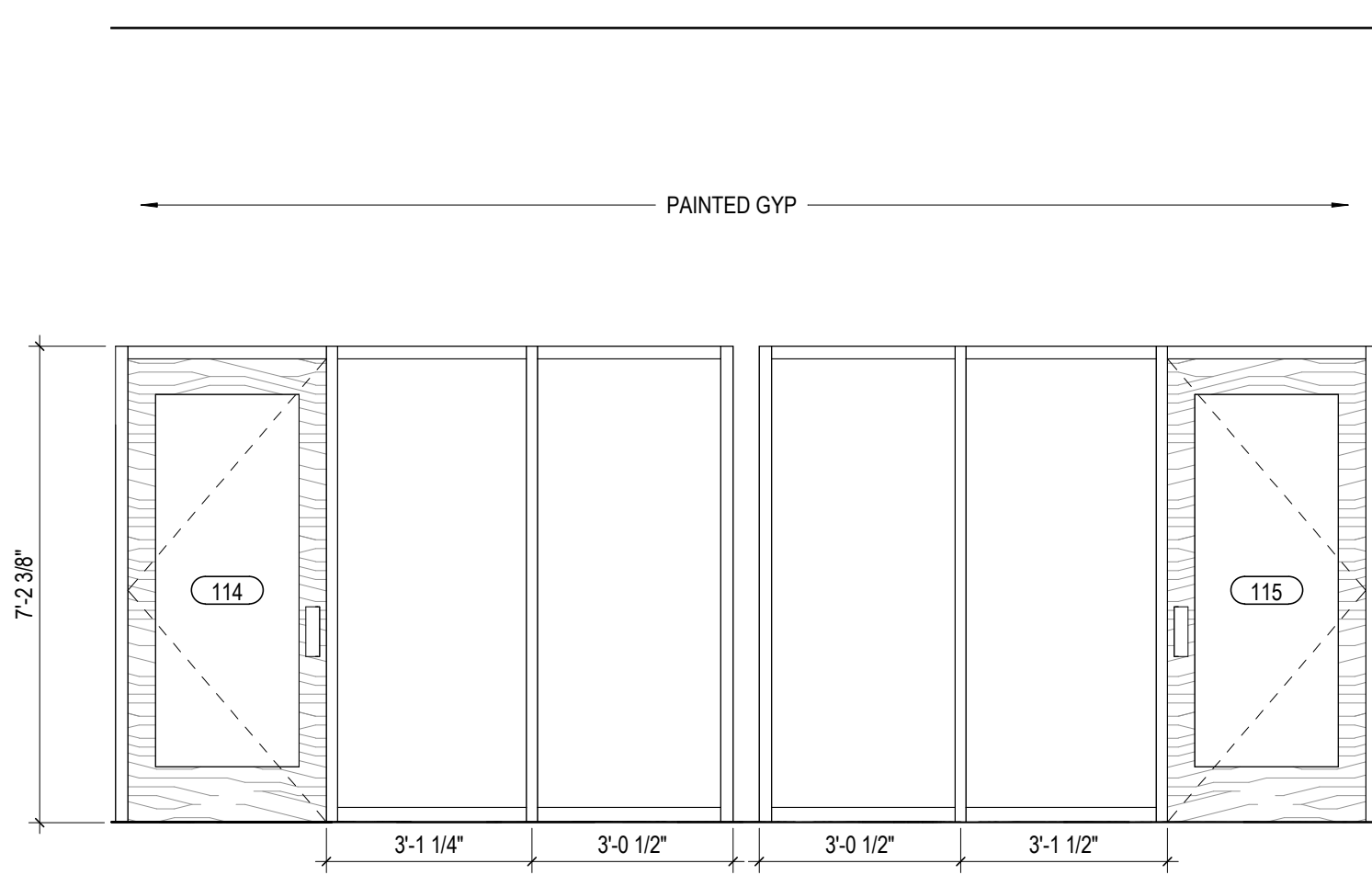
- FLOORS**
- SC-1 SEALED CONCRETE 1 - SEE SPECS
- Luxury Vinyl Tile
 LVT-1 INTERFACE - BRUSHED LINES, SANDALWOOD 25CMX1M
- Porcelain Tile Floor (PTF)
 PTF-1 CAESAR ONE CEMENT 30X30 MATTIE RECTIFIED USE GT-1
 PTF-2 CAESAR ONE CEMENT 12X24 MATTIE RECTIFIED USE GT-1
- Carpet (CR)
***INSTALL 10' OFFSET ASHLAR**
 CR-1 INTERFACE - HUMAN NATURE COLLECTION - HN850 NICKEL
 CR-2 EQUAL MIX OF CR-1 AND INTERFACE - HUMAN NATURE COLLECTION - HN 810 NICKEL
 CR-3 INTERFACE - HUMAN NATURE COLLECTION - CLEMENTINE
 CR-4 INTERFACE - HUMAN NATURE COLLECTION - COBALT
 CR-5 INTERFACE ABOVE BOARD COLOR: BIRCH
- WALKOFF CARPET (WO)
 WO-1 SHAW CONTRACT GROUP - STEPPIN OUT - BONJOUR II - COLOR: 31557
- RUBBER STAIRS (RS)
 TARKETT - BAMBOO - 71 STORM CLOUD - BLACK GRIT TAPE - INTEGRATED TREADS AND RISERS
- BASE
- Rubber Base (RB) - **RB-1 ON ALL ROOMS U.N.O.**
 RB-1 TARKETT - 3' MILLWORK OBLIQUE PROFILE BASE - STRAIGHT - COLOR: MOONROCK
- Porcelain Tile Base (PTB)
 PTB-1 TO MATCH PTF-1
- WALLS**
- Reclaimed Wood Wall and Ceiling - (WO)
 WD-1 OLDE WOOD - DISTRESSED COLLECTION - ANTIQUE BARN SIDING - CREME
- Ceramic Wall Tile (CT)
 CT-1 COLOR BY NUMBER - 318 WHITE - GT-2
 CT-2 DALTILE RETRO ROUNDS MOSAIC COBALT BLUE USE GT-2
- *ALL TILE WALLS TO BE FULL HEIGHT FLOOR TO CEILING U.N.O.**
- Paint (PT) - ***PAINT ALL WALLS PT-U.N.O.**
 PT-1 BENJAMIN MORE SUPER WHITE PM-1
 PT-2 SHERWIN WILLIAMS LACY GRAY SW9524
 PT-3 BENJAMIN MORE CHELSEA GRAY
- Vinyl Wallcovering (WC)
 WC-1 DL COUGH STACY GARCIA HIGHLIGHTS COLOR: COBALT
 WC-2 MAHARAM - HITCH; COLOR: MIMOSA
- MISCELLANEOUS
- Plastic Laminate (PL) ***INSTALL PATETRN VERTICAL U.N.O.**
 PL-1 WILSONART ASIAN NIGHT
 PL-2 WILSONART SHADOW ZEPHYR MATTIE FINISH
- Solid Surface (SS)
 SS-1 CORIAN GLACIER WHITE
 SS-2 SILESTONE COLOR: WHITE STORM
- Group (GT) ***USE GT-1 U.N.O.**
 GT-1 BOSTIK COLOR BUFF H188
 GT-2 BOSTIK BRIGHT WHITE H177
- Floor Transition Strip
 STAIRS/SCHIENE - METAL TRANSITION STRIP BETWEEN PORCELAIN TILE AND CARPET.
- Corner Guards (CG)
 USE STAINLESS STEEL CORNER GUARDS. 8" HIGH PLACED ABOVE WALL BASE.
- USE FRY REGLET WALL COVERING CORNER GUARD TRIM @ WALLCOVERING EXTERNAL CORNERS. FULL HEIGHT OF WALL.



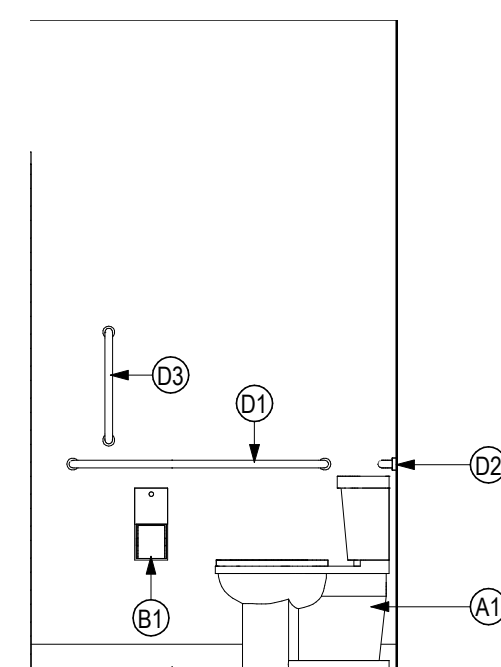
2 PLAN BASEMENT - FINISH PLAN
 1/4" = 1'-0"



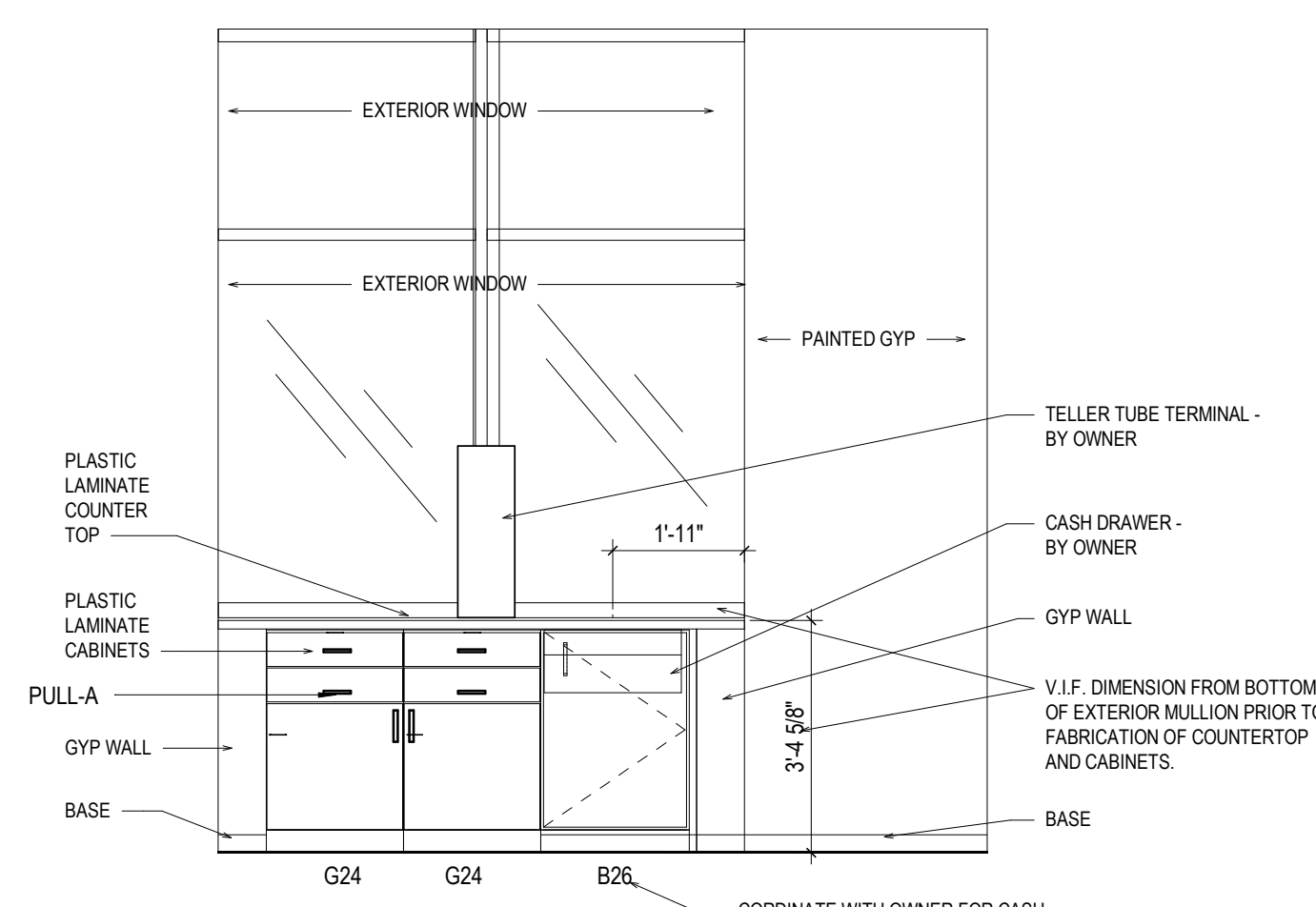
1 PLAN FIRST FLOOR - FINISH PLAN
 1/4" = 1'-0"



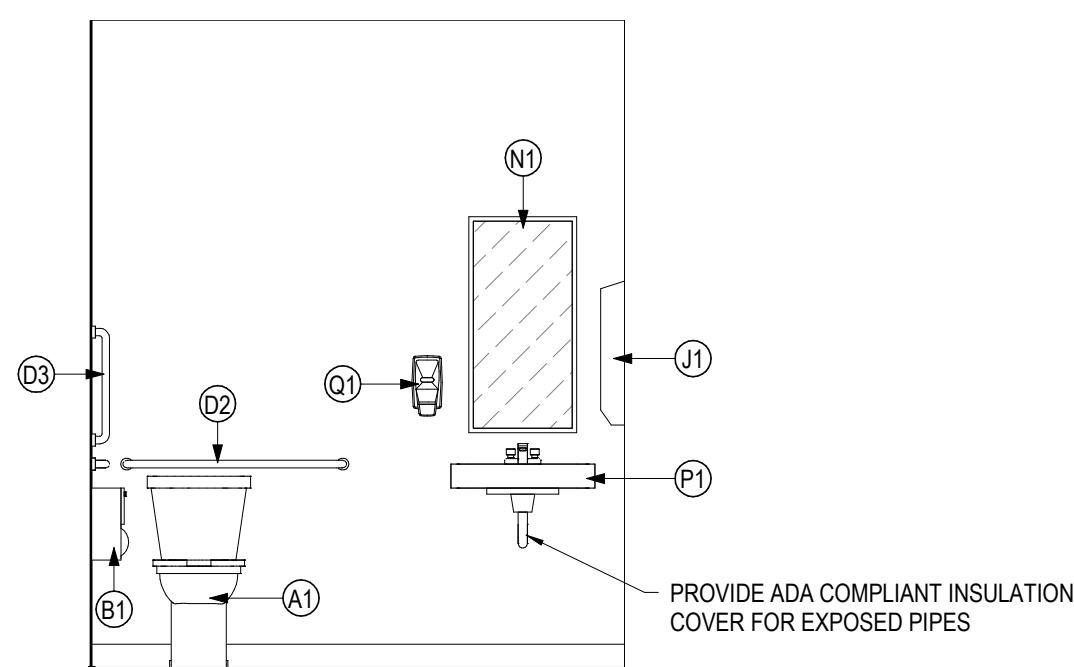
4 ELEVATION OFFICES 114, 115
 3/8" = 1'-0" REF: 1 / A10



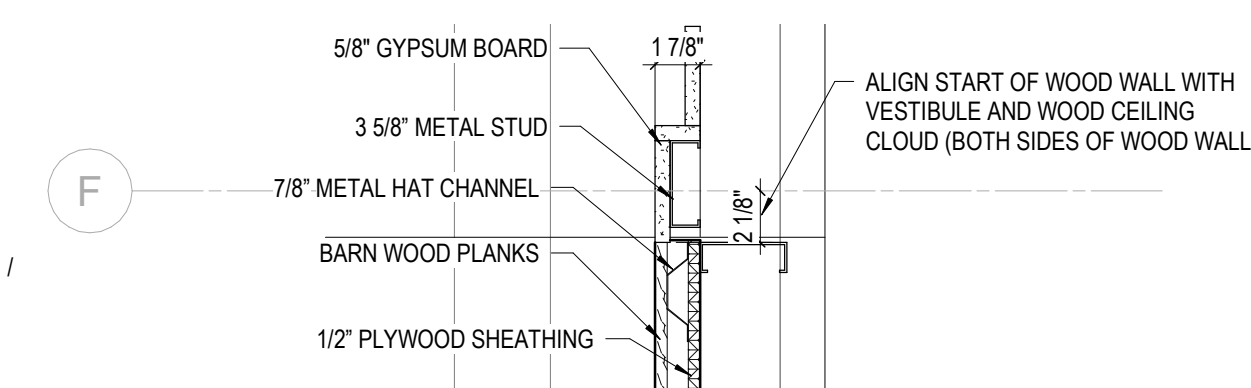
7 ELEVATION UNISEX RR 109 - EAST WALL
 3/8" = 1'-0" REF: 1 / A10



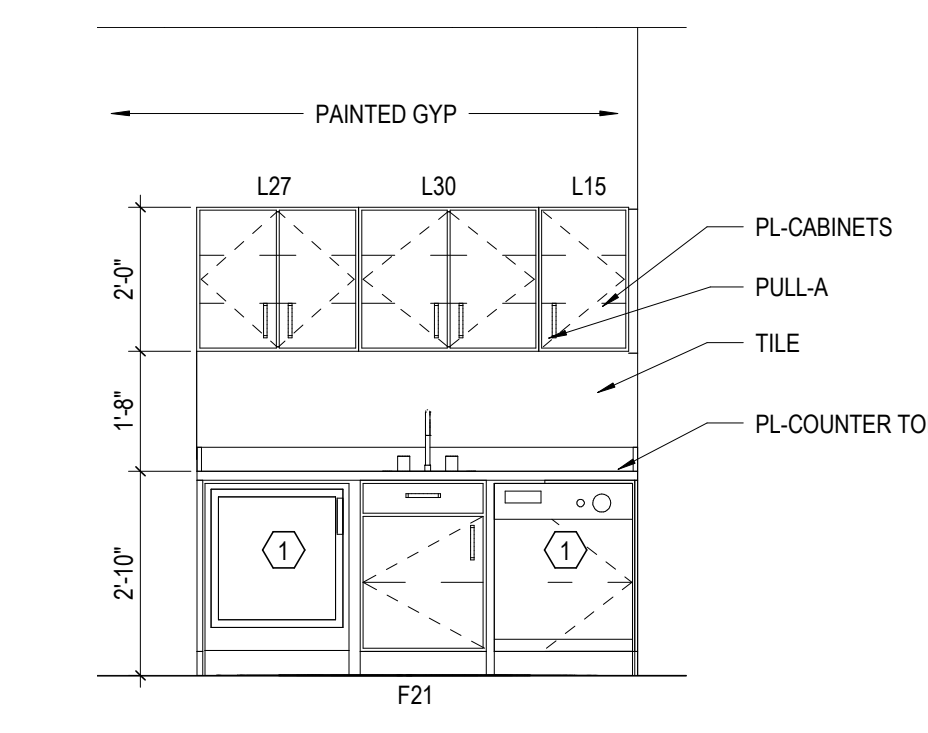
3 ELEVATION OFFICE
 3/8" = 1'-0" REF: 1 / A10



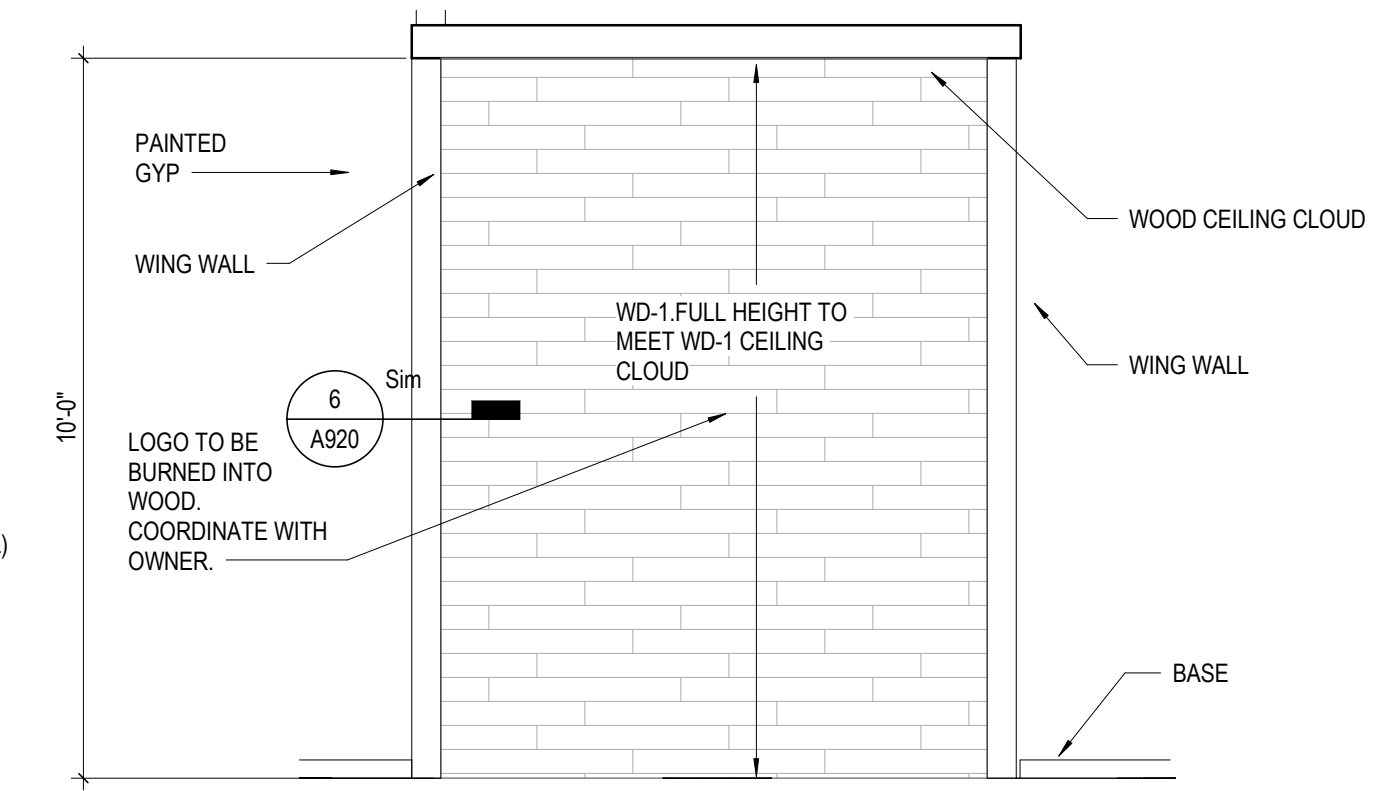
8 ELEVATION UNISEX RR 109 - SOUTH WALL
 3/8" = 1'-0" REF: 1 / A10



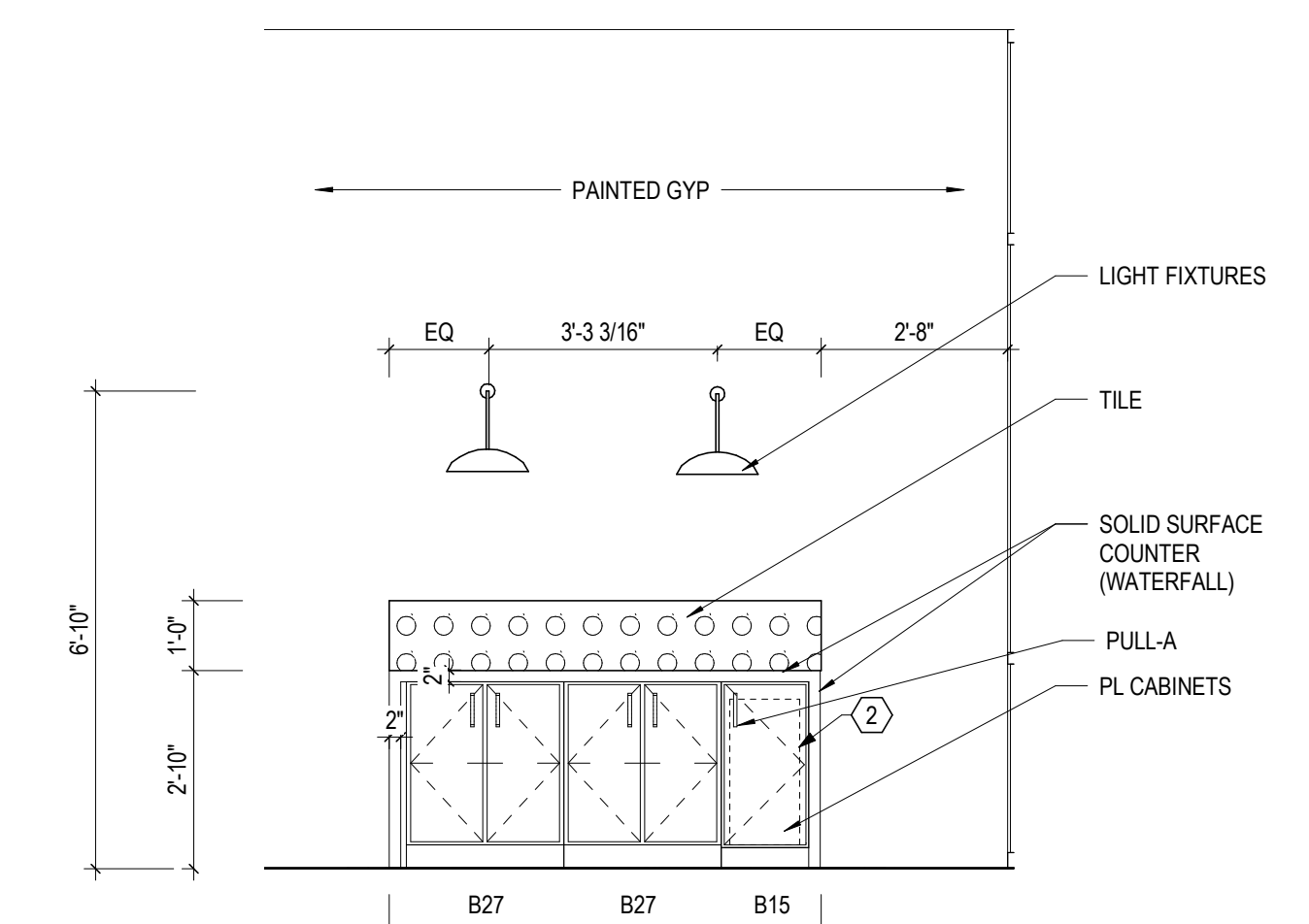
6 DETAIL WOOD WALL CORNER
 1 1/2" = 1'-0" REF: 1 / A102



2 ELEVATION BREAKROOM
 3/8" = 1'-0" REF: 1 / A10



5 ELEVATION BARN WOOD WALL
 3/8" = 1'-0" REF: 1 / A10



1 ELEVATION COFFEE BAR
 3/8" = 1'-0" REF: 1 / A10

GENERAL NOTES - CASEWORK

- REFER TO SPECIFICATION MANUAL SECTIONS 06-20-00 (FINISHED CARPENTRY AND 06-40-00 (ARCHITECTURAL WOODWORK) FOR A COMPLETE ENUMERATION OF PERFORMANCE AND FABRICATION GUIDELINES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING ADEQUATE FOR THE SUPPORT OF ALL CABINETRY NOTED HEREIN. IN ADDITION, THE CONTRACTOR SHALL PROVIDE ADEQUATE IN-WALL BLOCKING FOR ANY ALL FINISH CARPENTRY OR ANGLARY COMPONENTS (INCLUDING BUT NOT LIMITED TO WALL PANELS, MILLWORK, CUSTOM CASEWORK, GRAPHIC PANELS, BANNERS, ETC.) DESIGNATED AND DETAILED HEREIN AS RIGIDLY ATTACHED TO WALL ASSEMBLIES OR OTHER STRUCTURAL COMPONENTS. SEE SPECIFICATION SECTION 06-10-00 FOR BLOCKING REQUIREMENTS. NOTE: SPECIFIC TYPES OF BLOCKING ARE SHOWN IN DETAIL DRAWINGS FOR CLARITY - THIS IS NOT TO BE TAKEN AS A FULL ACCOUNTING. GENERALLY TYPICAL BLOCKING MAY OR MAY NOT BE SHOWN.
- FOR PLASTIC LAMINATE CABINETS, ALL EXPOSED EXTERIOR SURFACES ARE TO BE CLAD IN PLASTIC LAMINATE (COLOR AS NOTED). ALL EXPOSED INTERIOR SURFACES ARE TO BE CLAD IN WHITE MELAMINE. HIDDEN OR CONCEALED FACES ARE TO BE CLAD IN A PLASTIC LAMINATE BACKER. DOORS AND ADJUSTABLE SHELVES ARE TO FULLY CLAD IN THE SAME PLASTIC LAMINATE AS THE CASE (UNLESS NOTED OTHERWISE).
- PROVIDE LOCKS FOR CABINET DOORS (UPPER AND LOWER) AS NOTED ON SPECIFIC ELEVATIONS.
- ALL COUNTERTOPS ARE TO INCLUDE A CONTINUOUS MATCHING 4" BACKSPLASH (UNLESS SHOWN OTHERWISE). ALL BACKSPLASHES ASSUMED TO INCLUDE SIDESPLASHES AT ADJOINING WALLS AND/OR OTHER VERTICAL INTERRUPTIONS.
- PLASTIC LAMINATE COUNTERTOPS ARE TO HAVE A 1 1/2" NOSING WITH A MATCHING DOELKIN WOODTAPE VINYL EDGE BAND (MANUFACTURER'S BEST MATCH). EDGE BAND MATCHES TO BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION. UNDERSIDES OF COUNTER ARE TO BE CLAD WITH BACKER SHEET.
- ALL THRU-COUNTER WIRE MANAGEMENT SLOTS ARE TO BE 12" LONG X 1" WIDE WITH DOUGLASS MOCKET BRUSH STRIP INSERT (B91-00). ALL FABRICATED WORKSURFACES WITH OPEN KNEE SPACE ARE TO RECEIVE A MINIMUM OF (1) INSERT EVERY 48". EXACT AND FINAL LOCATIONS ARE TO BE FIELD-COORDINATED WITH OWNER.
- FOR "WET" AREAS, COUNTERTOP/BACKSPLASH SUBSTRATE TO BE MARINE GRADE MDF.
- ALL SHELVES ARE ADJUSTABLE (UNLESS NOTED OTHERWISE), SUPPORTED ON NICKEL (SPOON-TYPE) SHELF PINS. RECEIVING HOLES TO BE SPACED 2" O.C.
- NOTE THAT EQUIPMENT/APPLIANCES SHOWN WITH DOTTED LINES IS FOR REFERENCE ONLY. EXACT LOCATIONS TO BE VERIFIED IN FIELD WITH OWNER.
- FOR CABINETS AT INSIDE CORNERS, PROVIDE "CORNER CABINET" EXTENSION SO THAT END CABINET OF ONE RUN EXTENDS ALONG AND BEHIND OTHER RUN TO FILL IN CORNER DEAD SPACE - MODIFY AUGMENT SHELF SUPPORTS AS REQUIRED.
- FINISH MATERIAL ABBREVIATIONS ARE DELINEATED IN THE OVERALL PROJECT FINISH LEGEND.

PULL A: RESTORATION HARDWARE - ASBURY PULL - SATIN NICKLE 4"

CASEWORK TAG

B36

WIDTH (U.N.O.)
 TYPE
 REFER TO SHEETS A850

CODED NOTES - ELEVATIONS

- UNDERCOUNTER FRIDGE / DISHWASHER PROVIDED AND INSTALLED BY CONTRACTOR. COORDINATE DIMENSIONS WITH SPECIFIED PRODUCT AND ADJUST CABINETS ACCORDINGLY. APPLIANCES TO MEET ADA COUNTER HEIGHT.
- DASHED LINE REPRESENTS TRASH RECEPTACLE INSIDE CABINET. PROVIDED BY OWNER.

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 5300 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
 FAX: (614) 280-8881

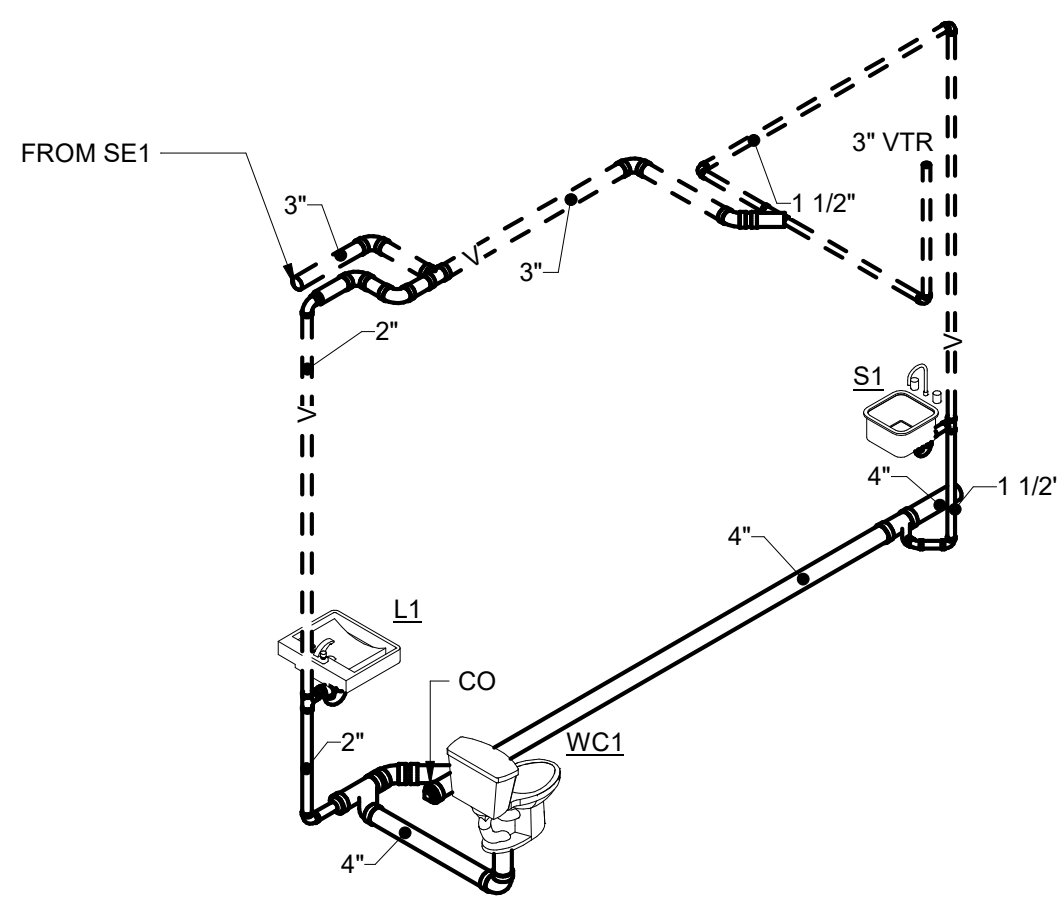
DRAWING TITLE: **INTERIOR ELEVATIONS**

05/12/2021
 DRAWN BY: xxx CHECKED BY: xxx
 2022

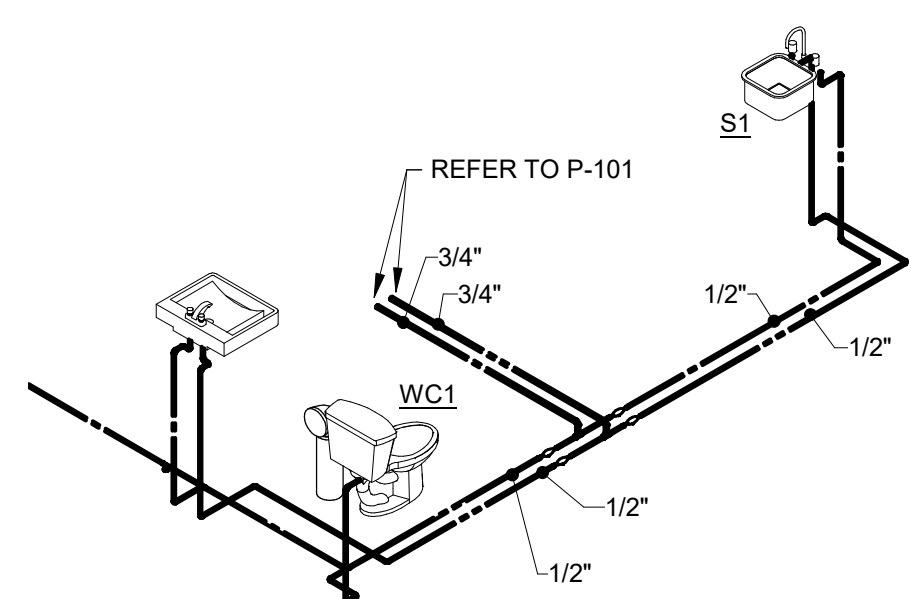
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A920

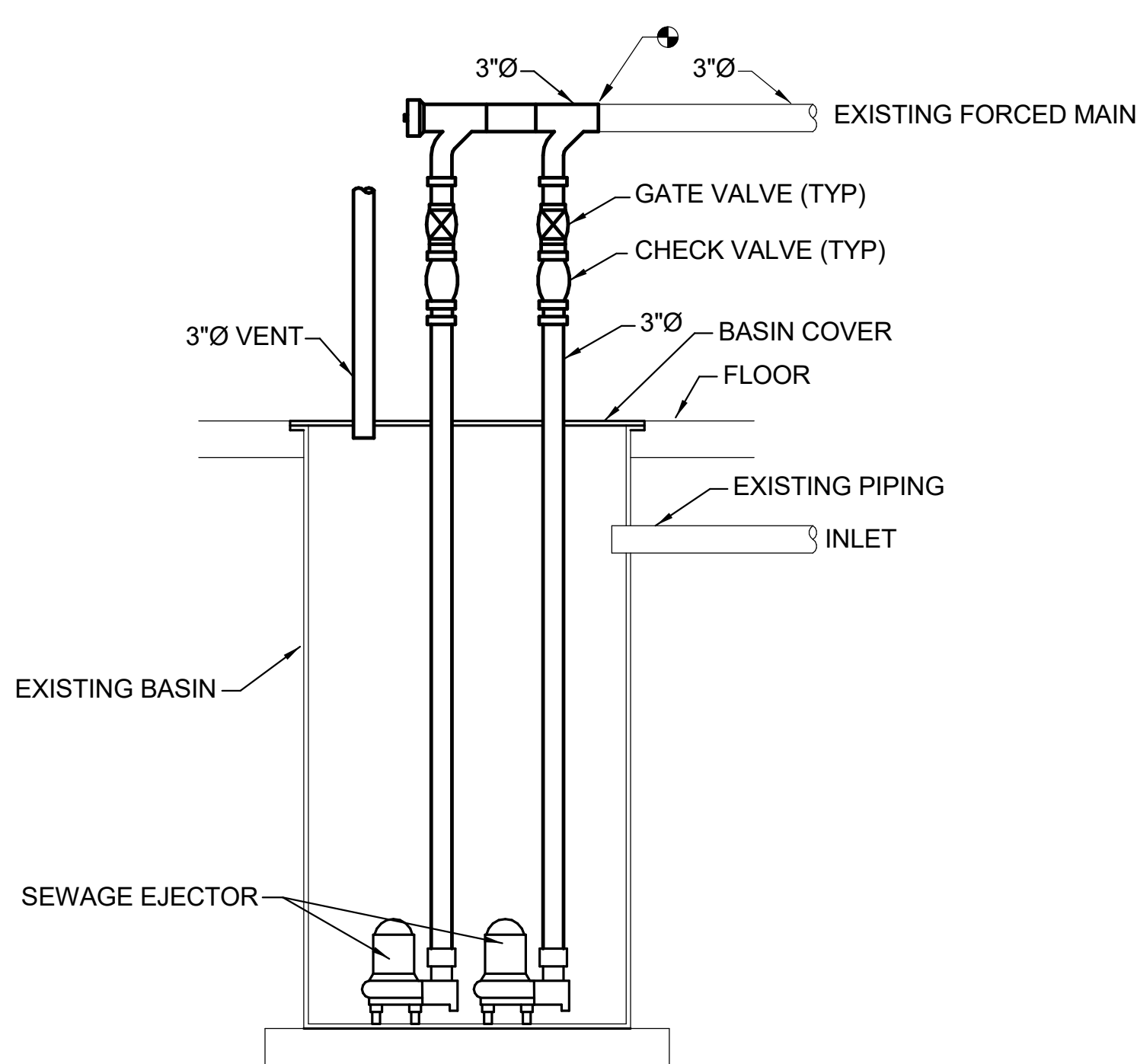
FINAL DEVELOPMENT PLAN



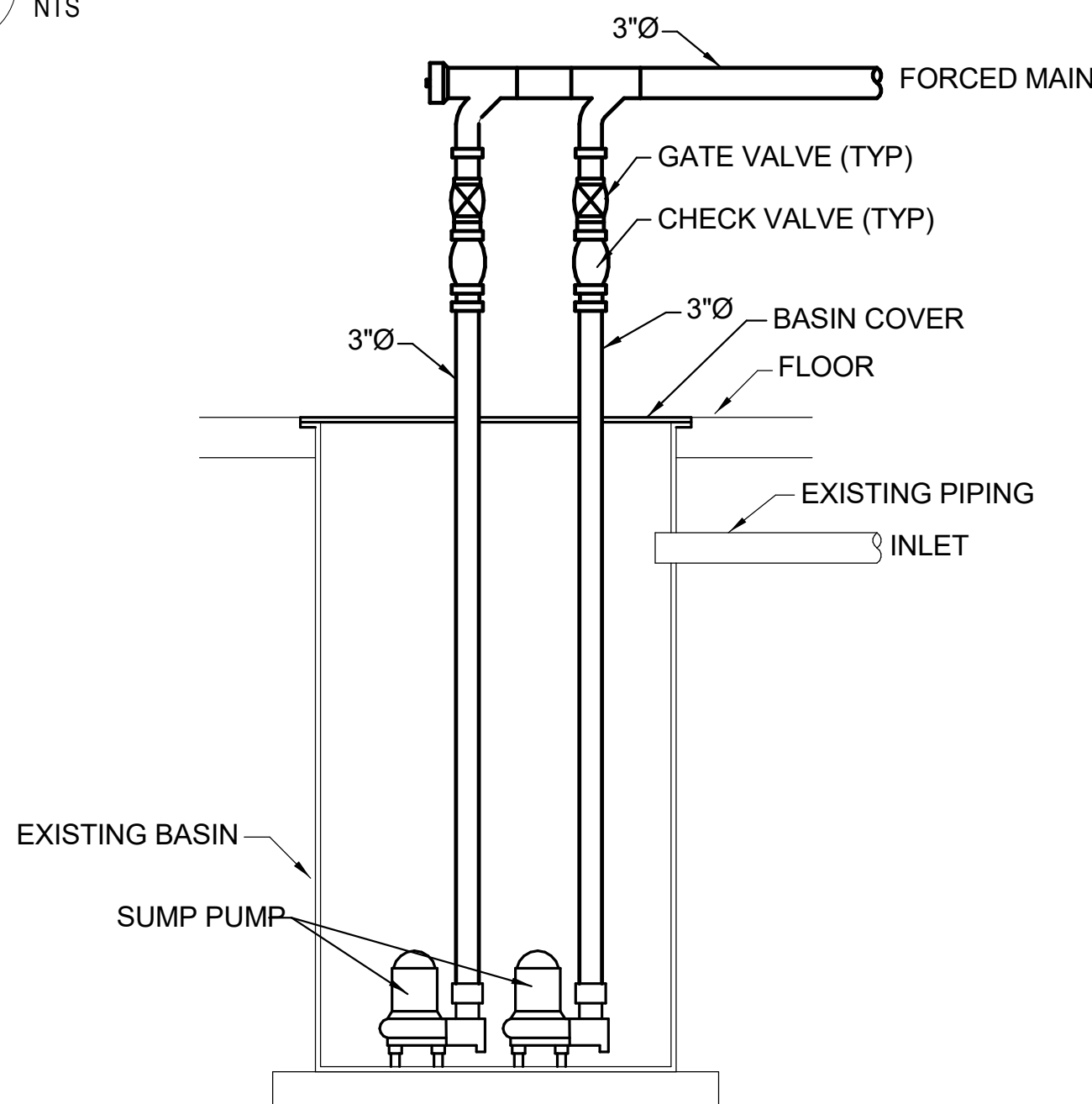
1 DETAIL DIAGRAM - STACK A



2 DETAIL DIAGRAM - RISER 1



3 DETAIL - DUPLEX SEWAGE EJECTOR



4 DETAIL - DUPLEX SUMP PUMP

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED.

Table of abbreviations including (A) EXISTING TO BE ABANDONED, (D) EXISTING TO BE DEMOLISHED, (E) EXISTING TO REMAIN, (F) FUTURE, (R) EXISTING TO BE RELOCATED, A COMPRESSED AIR (SHOP AIR), ABV ABOVE, AE ANESTHESIA EVACUATION, AFF ABOVE FINISHED FLOOR, AMP AMPERE, APPROX APPROXIMATE, AR ARGON, ARCH ARCHITECT, AUTO AUTOMATIC, AV ACID VENT, AVG AVERAGE, AW ACID WASTE, BF BELOW FLOOR, BFV BUTTERFLY VALVE, BLDG BUILDING, BOP BOTTOM OF PIPE, BT BATHTUB, CAP CAPACITY, CFH CUBIC FEET PER HOUR, CFM CUBIC FEET PER MINUTE, CONN CONNECTION OR CONNECT, CONT CONTINUATION, CS CLINIC SINK, CU FT CUBIC FEET, CU IN CUBIC INCH, D DRAIN, DEPT DEPARTMENT, DIA DIAMETER, DI DEIONIZED WATER, DN DOWN, DW DISTILLED WATER, DWG DRAWING, E EMERGENCY FIXTURE, EL ELEVATION, EQUIP EQUIPMENT, EWC ELECTRIC WATER COOLER, EXH EXHAUST, EXP EXPANSION, EXIST EXISTING, °F DEGREES FAHRENHEIT, FD FLOOR DRAIN, FIN FL EL FINISHED FLOOR ELEVATION, FOD FUEL OIL DISCHARGE, FOF FUEL OIL FILL, FOG FUEL OIL GAUGE LINE, FOO FUEL OIL OVER FLOW LINE, FOR FUEL OIL RETURN, FOS FUEL OIL SUPPLY, FOV FUEL OIL TANK VENT, FT FOOT OR FEET, GA GAUGE, GAL GALLONS, GPD GALLONS PER DAY, GPH GALLONS PER HOUR, GPM GALLONS PER MINUTE, H HEAD, HD HYDROGEN, HE HELIUM, HGT HEIGHT, HP HORSEPOWER, HVAC HEATING, VENTILATING, AND AIR CONDITIONING, HZ HERTZ

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED.

Table of abbreviations including IN INCHES, INV EL INVERT ELEVATION, IW INDIRECT WASTE, KW KILOWATT, L LAVATORY, LB POUNDS, LF LINEAR FEET, LG LENGTH, LN LIQUID NITROGEN, LOX LIQUID OXYGEN, MA COMPRESSED AIR (MEDICAL GAS), MAX MAXIMUM, MECH MECHANICAL, MFG MANUFACTURER, MIN MINIMUM, MS MOP SINK, MV VACUUM (MEDICAL GAS), N2O NITROUS OXIDE, N NITROGEN, N/A NOT APPLICABLE, NC NORMALLY CLOSED, NIC NOT IN CONTRACT, NO NORMALLY OPEN, NO NUMBER, NPW NON-POTABLE WATER, NTS NOT TO SCALE, O OXYGEN, OFCI OWNER FURNISHED CONTRACTOR INSTALLED, OS&Y OUTSIDE STEM AND YOKE VALVE, PD PUMPED DISCHARGE, PLBG PLUMBING, PPM PARTS PER MILLION, PR FUEL POLISH RETURN, PRESS PRESSURE, PRV PRESSURE REDUCING VALVE, PS FUEL POLISH SUPPLY, PSI POUNDS PER SQUARE INCH, PSIG PSI GAUGE, RCP RECIRCULATING PUMP, RD ROOF DRAIN, RPBPP REDUCED PRESSURE BACKFLOW PREVENTER, RPM REVOLUTIONS PER MINUTE, RO REVERSE OSMOSIS WATER, S SINK, SEC SECOND, SH SHOWER, SHT SHEET, SPEC SPECIFICATION, SRD SECONDARY ROOF DRAIN, STSTL STAINLESS STEEL, STD STANDARD, STR STRAINER, SW SOFT POTABLE WATER, TE TOP ELEVATION, TEMP TEMPERATURE, TMV THERMOSTATIC MIXING VALVE, TOP TOP OF PIPE, TWS TEMPERED WATER SUPPLY, TYP TYPICAL, UNO UNLESS NOTED OTHERWISE, UR URINAL, V VOLT/VENT, VB VACUUM BREAKER, VTR VENT THRU ROOF, W WATER, WC WATER CLOSET, WF WASH FOUNTAIN

SYMBOLS LIST

Table with columns: DESCRIPTION, 2D SYMBOL, 3D SYMBOL (PLAN VIEW, SECTION VIEW). Lists symbols for PIPING, DROP, RISE, TEE, CAP, GLOBE VALVE, PLUG VALVE, SOLENOID VALVE, GAS PRESSURE REGULATOR, PRESSURE REDUCING VALVE, OUTSIDE STEM & YOKE VALVE, BUTTERFLY VALVE, BALL VALVE, CHECK VALVE, BALANCE VALVE, STRAINER, UNION, TEMPERATURE & PRESSURE RELIEF VALVE, METER, AQUASTAT, THERMOMETER, PRESSURE GAUGE WITH STOPCOCK, REDUCED PRESSURE BACKFLOW PREVENTER, PUMP, WALL HYDRANT, HOSE BIBB, CLEANOUT, CLEANOUT AT FLOOR OR AT GRADE, FLOOR OR AREA DRAIN, ROOF DRAIN, DOWNSPOUT NOZZLE.

GENERAL NOTES:

- 1. PROVIDE NEW DOMESTIC WATER, SANITARY WASTE, STORM DRAINAGE, NATURAL GAS FOR THIS BUILDING. PROVIDE ALL NECESSARY COMPONENTS FOR FULLY OPERATIONAL SYSTEM. INSTALL SYSTEMS IN ACCORDANCE WITH STATE REQUIREMENTS AND LOCAL AUTHORITY HAVING JURISDICTION. COORDINATE THE LOCATION OF ALL UTILITY CONNECTION POINTS, FLOOR DRAINS AND HUB DRAINS FOR EQUIPMENT WITH OTHER TRADES.
2. ALL FLOOR PENETRATIONS TO BE SEALED WATER TIGHT AND COMPLETELY PACKED WITH FIRE STOP MATERIAL BY TRADE CONTRACTORS.
3. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO SHOW THE EXACT LOCATIONS OF COMPONENTS. NOR SHOW ALL SYSTEM COMPONENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL OFFSETS OR FITTINGS REQUIRED FOR PROPER INSTALLATION, COORDINATION WITH OTHER TRADES, AND/OR TO MAINTAIN PROPER CLEARANCES.
4. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE CONCERNING EXISTING AND NEW WORK BEFORE PROCEEDING WITH EITHER FABRICATION OR INSTALLATION IN MECHANICAL AREAS WITH NUMEROUS OBSTRUCTIONS INCLUDING DUCTWORK, EQUIPMENT AND PIPING. THIS WILL REQUIRE ON SITE CUTTING AND VERIFICATION.
5. ANY INFORMATION CONFLICTS BETWEEN THE SPECIFICATIONS AND DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION. THE CONTRACTOR(S) SHALL NOT PROCEED WITH ANY WORK, EXCEPT AT THEIR OWN RISK, UNTIL CLARIFICATIONS OF THE CONFLICTS ARE ISSUED TO THE CONTRACTOR(S) BY THE ENGINEER.
6. ALL MATERIAL AND LABOR SHALL BE UNDER WARRANTY FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. ANY NEW DEVICES OR EQUIPMENT FOUND FAULTY SHALL BE REPLACED AS PART OF THE WARRANTY.
7. A SET OF APPROVED DRAWINGS SHALL BE MAINTAINED ON SITE AND ALL FIELD CHANGES SHALL BE RED LINED ON THE DRAWINGS. CONTRACTOR SHALL PREPARE "AS-BUILT" DRAWINGS IN ELECTRONIC (AUTOCAD) FORMAT, REFLECTING ACCURATE FIELD CONDITIONS.
8. ALL PENETRATIONS THROUGH FIRE RESISTANCE RATED CONSTRUCTION SHALL BE PROVIDED A UL LISTED THROUGH PENETRATION FIRESTOP ASSEMBLY. THE RATINGS OF ALL FIRESTOP ASSEMBLIES SHALL BE GREATER THAN OR EQUAL TO THE RATING OF THE PENETRATED BARRIER.
9. CORE DRILL PENETRATIONS IN CONCRETE FLOORS OR WALLS 1-2 INCHES LARGER THAN THE PIPE DIAMETER OF THE PENETRATING PIPE SHALL NOT BE USED AS LADDERS, SCAFFOLDING OR WORK PLATFORMS.
10. DUCTWORK, PIPING, MECHANICAL EQUIPMENT AND CEILING SHALL NOT BE USED AS LADDERS, SCAFFOLDING OR WORK PLATFORMS.
11. NO STRUCTURAL MEMBERS SHALL BE CUT, DRILLED, OR BURNED WITHOUT THE KNOWLEDGE AND WRITTEN APPROVAL OF THE OWNER.
12. EQUIPMENT, MATERIALS, INSTALLATION WORKMANSHIP, EXAMINATION AND TESTING SHALL BE IN ACCORDANCE WITH CURRENT PLUMBING CODE. INSTALL PIPING STRAIGHT AND TRUE TO BEAR EVENLY ON HANGARS AND SUPPORTS. PIPE SHALL NOT INTERFERE WITH OTHER EQUIPMENT AND CONSTRUCTION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL CONFLICTS WITH LIGHTING FIXTURES, DIFFUSERS, GRILLES, DUCTS, STRUCTURAL MEMBERS, MECHANICAL EQUIPMENT AND PIPES.
14. NO FABRICATION OR INSTALLATION IS ALLOWED WITHOUT APPROVED SHOP DRAWING SUBMITTALS.
15. CONTRACTOR SHALL SUBMIT SYSTEM CATALOG PRODUCT DATA SHEETS OF ALL COMPONENTS PROPOSED FOR USE PRIOR TO INSTALLATION FOR APPROVAL. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.
16. ALL MATERIALS AND EQUIPMENT SHALL BE NEW.
17. PIPING SHALL NOT SHARE SUPPORTS WITH OTHER BUILDING SYSTEMS. IN MECHANICAL AREAS, PIPING SHALL NOT BE ATTACHED TO THE DUCT WORK. STANCHIONS SHALL BE USED WHERE PIPING IS UNABLE TO BE HUNG FROM ABOVE.
18. PIPING IN AREAS WITH FINISHED CEILING SHALL BE INSTALLED ABOVE FINISHED CEILING.
19. CONTRACTOR SHALL PROVIDE LABELS (WITH FLOW ARROWS) FOR ALL PIPING. PIPING SHALL NOT BE INSTALLED PASSING THROUGH ELECTRICAL ROOMS OR OVER ELECTRICAL PANELS / EQUIPMENT WHICH SERVES OTHER AREAS. COORDINATE THE LOCATION OF ALL PIPING WITH ELECTRICAL EQUIPMENT AND OTHER TRADES AND ADJUST AS NECESSARY.
21. MAKE REASONABLE AND NECESSARY MODIFICATIONS IN LAYOUTS AND COMPONENTS NEEDED TO PREVENT CONFLICTS WITH WORK OF OTHER TRADES AND TO COORDINATE IN ACCORDANCE WITH SPECIFICATIONS.
22. MAINTAIN MAXIMUM HEADROOM AT ALL LOCATIONS. ALL PIPING TO BE AS TIGHT TO THE UNDERSIDE OF DECK AS POSSIBLE. AL EXPOSED PIPING SHALL BE APPROVED BY ARCHITECT AND SHALL MAINTAIN REQUIRED CLEARANCES.

WATER HAMMER ARRESTOR SCHEDULE

Table with columns: TAG, INLET PIPE SIZE, FIXTURE UNIT RATING, REMARKS. Lists arrestor specifications for various fixture ratings (A-F).

NOTES:

- 1. INSTALL ARRESTOR IN UPRIGHT POSITION BEFORE LAST FLUSH VALVED FIXTURE AND ON MAIN COLD WATER PIPE HEADER.
2. INSTALL SHUT-OFF VALVE BEFORE ARRESTOR.

PLUMBING FIXTURE SCHEDULE

Table with columns: TAG, FIXTURE DESCRIPTION, MANUFACTURER, MODEL #. Lists specifications for fixtures like WC1, L1, S1, RD1.

PUMP SCHEDULE

Table with columns: TAG, ELECTRIC (VOLT, PHASE, HP), GPM, FEET OF HEAD, MANUFACTURER, MODEL #, NOTES. Lists pump specifications for SE1, SP1.

PLUMBING FIXTURE ROUGH-IN SCHEDULE

Table with columns: FIXTURE, WASTE, TRAP, VENT, COLD, HOT. Lists rough-in dimensions for WC1, L1, S1.

RAINFALL PIPE SIZE - FOR INFORMATION ONLY

Table with columns: PIPE SIZE (INCHES), VERTICAL DRAIN (SQFT, GPM), 1/8 IN/FT SLOPE (SQFT, GPM), 1/4 IN/FT SLOPE (SQFT, GPM). Lists rainfall pipe size requirements.

Table with columns: #, DATE, CHANGE DESCRIPTION. Change log table.

RENOVATION OF HEARTLAND BANK DUBLIN 6500 FRANTZ ROAD DUBLIN, OH 43017 FOR HEARTLAND BANK

MOODY-NOLAN 300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 461-4664 FAX: (614) 280-8881

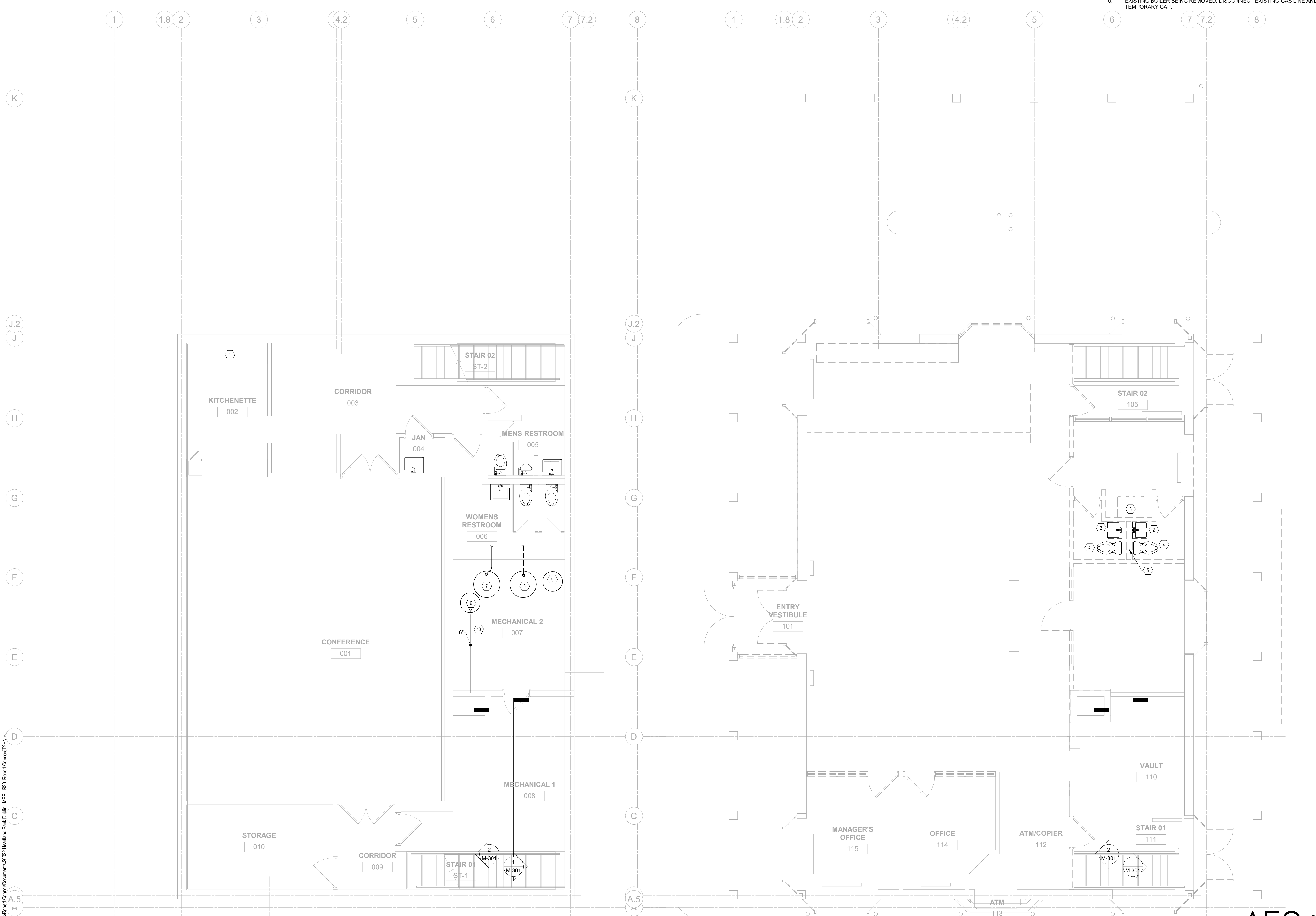
GENERAL INFORMATION - PLUMBING

DRAWING TITLE: PLUMBING 05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022 P-001 FINAL DEVELOPMENT PLAN

AEC ADVANCED ENGINEERING CONSULTANTS Mechanical / Electrical / Plumbing / Fire Protection 1405 Dublin Road, Suite 614, Dublin, Ohio 43215 Fax: (614) 466-4082

CODED NOTES:

1. EXISTING SINK, FAUCET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER AND SANITARY TO BE CAPPED IN WALL.
2. EXISTING LAVATORY, FAUCET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER, SANITARY AND VENT PIPING BE REMOVED BACK INTO CHASE. DEMOLISH VENT THROUGH ROOF.
3. EXISTING SINK, FAUCET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER, SANITARY AND VENT PIPING BE REMOVED BACK INTO CHASE. DEMOLISH VENT THROUGH ROOF.
4. EXISTING WATER CLOSET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER AND VENT PIPING BE REMOVED BACK INTO CHASE. EXISTING SANITARY PIPING TO BE REMOVED TO FLOOR BELOW. DEMOLISH VENT THROUGH ROOF.
5. EXISTING HOT & COLD WATER AND SANITARY PIPING TO BE REMOVED TO FLOOR BELOW. EXISTING VENT PIPING TO BE REMOVED TO VENT THROUGH ROOF.
6. EXISTING 40 GALLON GAS-FIRED WATER HEATER TO REMAIN. EXISTING 6" FLUE TO CHIMNEY TO REMAIN.
7. EXISTING SEWAGE EJECTOR PUMPS, CONTROLS AND LID TO BE REMOVED. EXISTING BASIN TO REMAIN. EXISTING FORCED MAIN PIPING TO REMAIN.
8. EXISTING SUMP PUMPS, CONTROLS AND LID TO BE REMOVED. EXISTING BASIN TO REMAIN. EXISTING PIPING TO BE DEMOLISHED.
9. EXISTING ACCUMULATOR TANK AND ASSOCIATED PIPING TO BE REMOVED.
10. EXISTING BOILER BEING REMOVED. DISCONNECT EXISTING GAS LINE AND PROVIDE TEMPORARY CAP.



1 PLAN BASEMENT FLOOR PLAN - PLUMBING - DEMOLITION
 1/4" = 1'-0"

2 PLAN FIRST FLOOR PLAN - PLUMBING - DEMOLITION
 1/4" = 1'-0"



#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

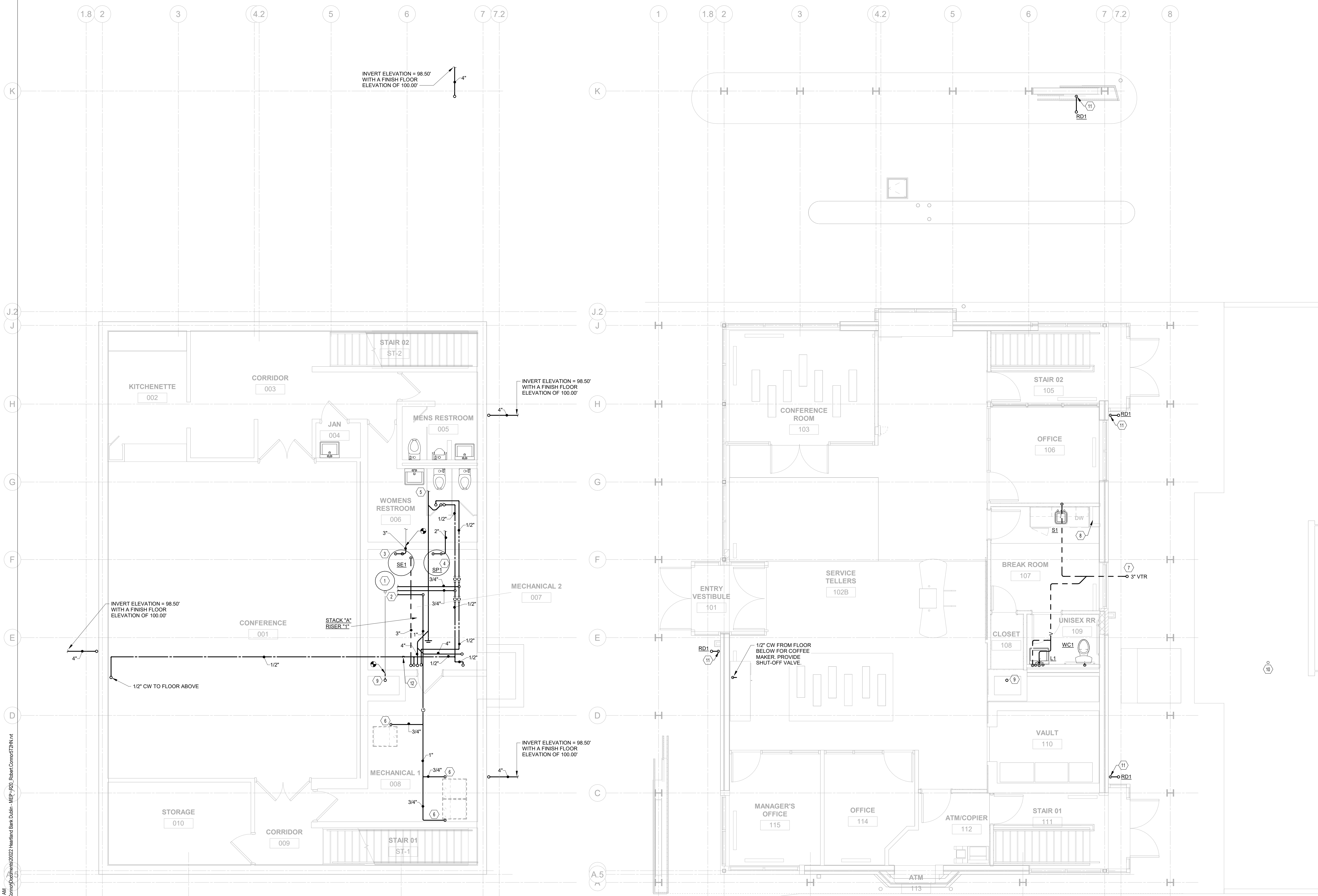
FLOOR PLANS - PLUMBING - DEMOLITION

05/12/2021
 DRAWN BY: Author CHECKED BY: Checker
 20022

PD101

FINAL DEVELOPMENT PLAN

- CODED NOTES:**
- EXISTING 40 GALLON GAS-FIRED WATER HEATER TO REMAIN.
 - CONNECT 3/4" HW, 3/4" CW AND 1" G TO EXISTING TO EXISTING 3/4" HW, 3/4" CW AND GAS IN THIS AREA.
 - CONNECT 3" SEWAGE EJECTOR DISCHARGE TO EXISTING SANITARY PIPING.
 - ROUTE 2" SUMP PUMP DISCHARGE TO EXISTING EXTERIOR WALL SUMP PUMP PENETRATION. RESUSE EXISTING WALL OPENINGS.
 - CONNECT 4" SAN TO EXISTING 4" SAN IN THIS AREA.
 - CONNECT 3/4" G TO HVAC EQUIPMENT. PROVIDE SHUT-OFF AND DIRT LEG. MAKE FINAL CONNECTION.
 - 3" V THROUGH ROOF.
 - EXTEND 1/2" HW FROM SINK SUPPLY TO DISHWASHER. EXTEND DRAIN FROM DISHWASHER TO CONNECTION ABOVE SINK TRAP. MAKE FINAL CONNECTION.
 - PROVIDE 6" FLUE PIPING UP THROUGH EXISTING CHIMNEY. CONNECT TO EXISTING 6" WATER HEATER FLUE. PROVIDE CAP FOR 6" FLUE AT CHIMNEY TERMINATION. MAINTAIN MANUFACTURER REQUIRED CLEARANCES.
 - EXISTING IRRIGATION SYSTEM TO REMAIN.
 - 4" ST TO BELOW GRADE. 4" STORM SHALL BE ROUTED IN VERTICAL CHASE. REFER TO ARCHITECTURAL DRAWINGS.
 - BACKFLOW PREVENTER EQUAL TO WATTS 98D.



1 PLAN BASEMENT FLOOR PLAN - PLUMBING
 1/4" = 1'-0"

2 PLAN FIRST FLOOR PLAN - PLUMBING
 1/4" = 1'-0"

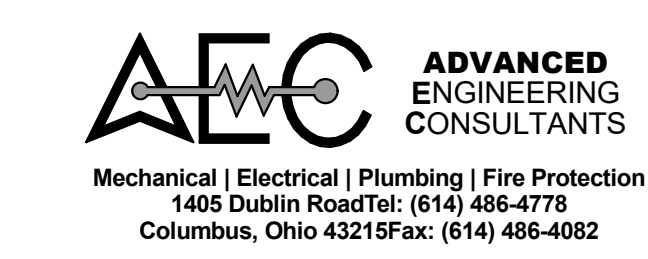
#	DATE	CHANGE DESCRIPTION

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 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE:
FLOOR PLANS - PLUMBING

05/12/2021
DRAWN BY: Author
CHECKED BY: Checker
20022
P-101
FINAL DEVELOPMENT PLAN



ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED.

Table listing abbreviations for construction elements such as (A) Existing to be Abandoned, (D) Existing to be Demolished, etc., and trade contractor codes like GTC, ID, LAT, etc.

SYMBOLS LIST

NOTE: NOT ALL SYMBOLS MAY BE USED.

Table mapping symbols for Line Styles, Piping, and Ductwork to their respective descriptions, including items like New Work (Visible/Hidden), Heating Water Supply, and Access Door.

GENERAL NOTES:

- List of 27 general notes covering installation standards, coordination with other trades, equipment protection, and ductwork requirements.

Table with columns for #, DATE, and CHANGE DESCRIPTION.

Logo and contact information for HEARTLAND BANK, including address (300 Spruce Street) and phone/fax numbers.

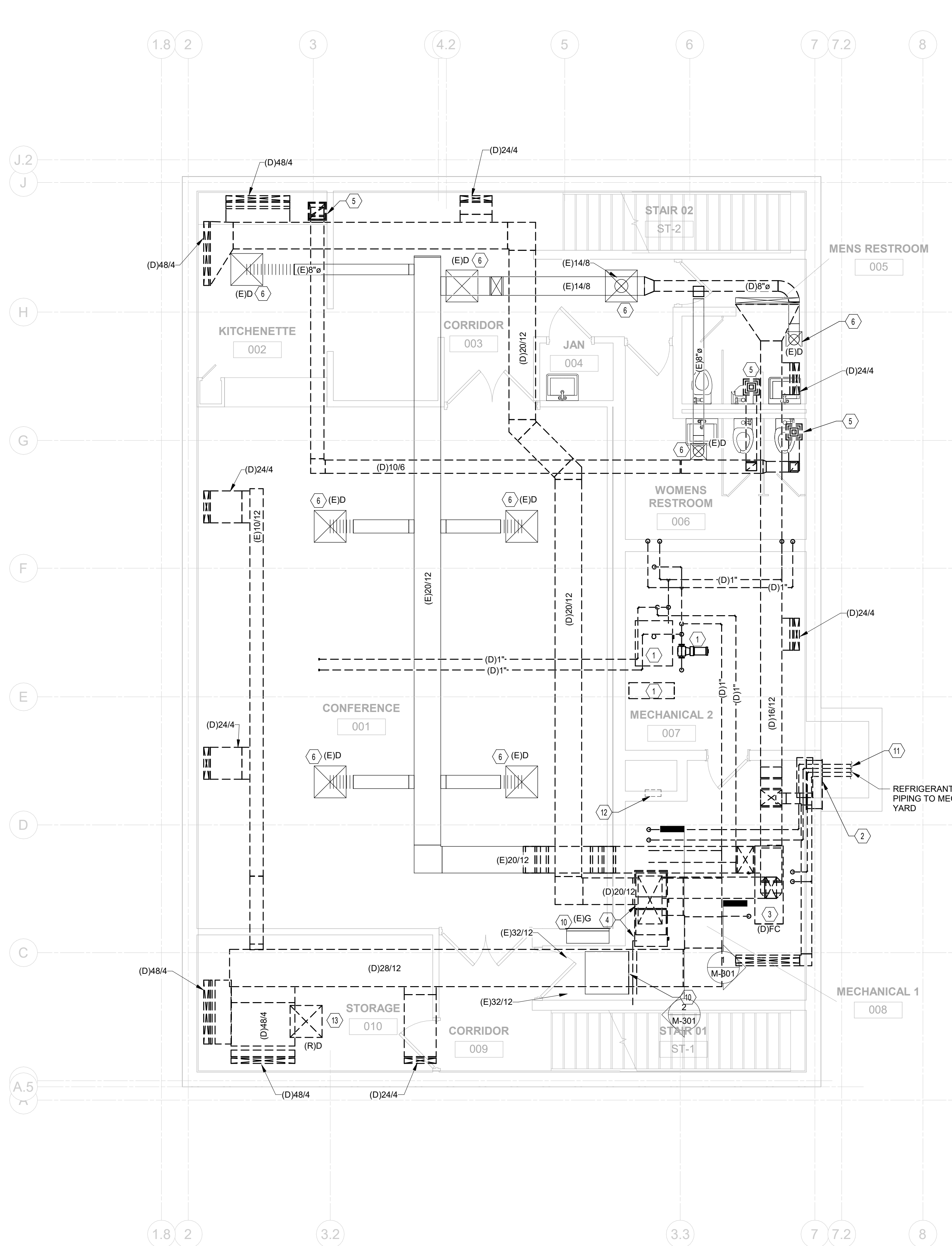
GENERAL INFORMATION - MECHANICAL

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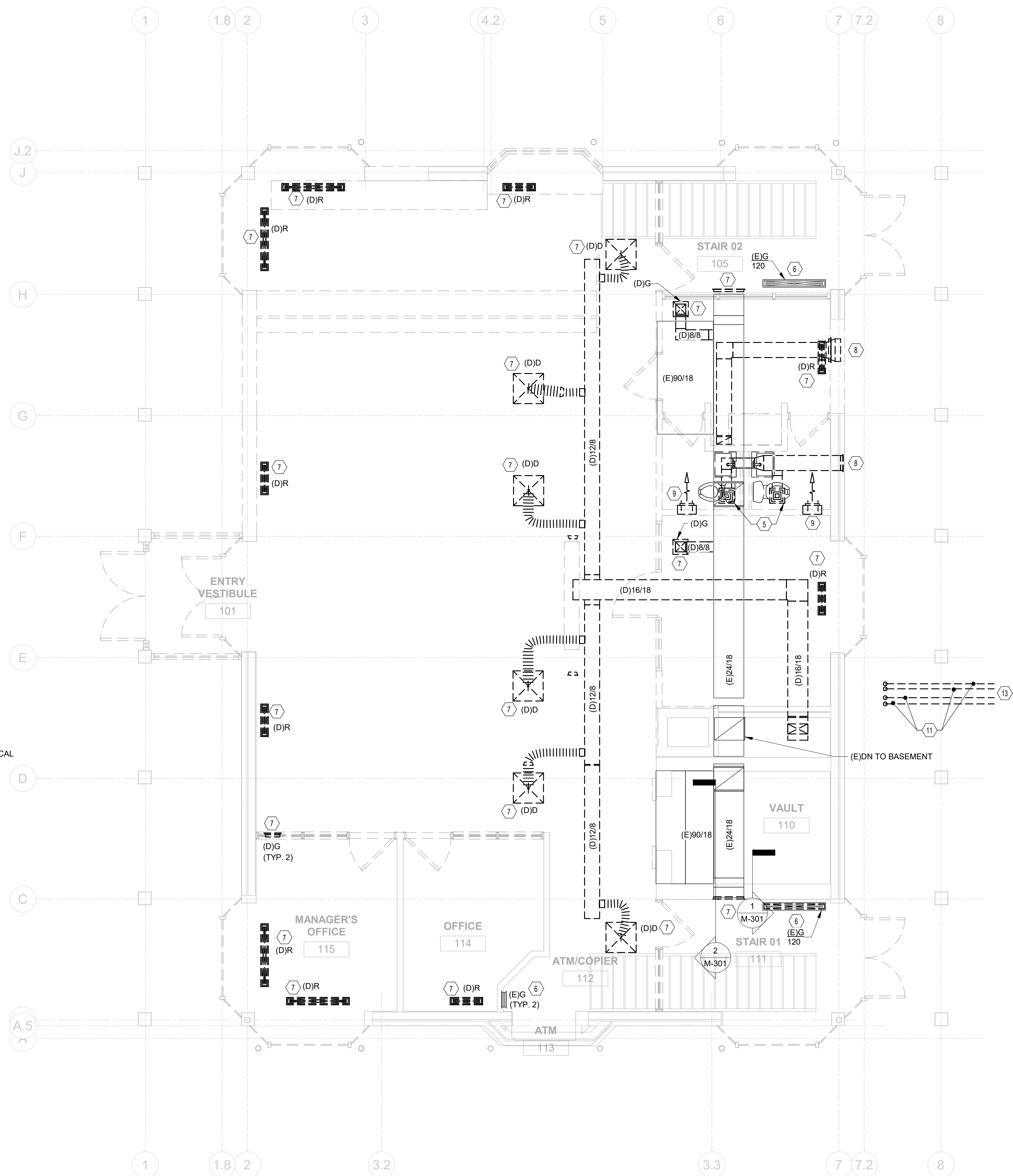
M-001

FINAL DEVELOPMENT PLAN

Logo and contact information for A.E.C. ADVANCED ENGINEERING CONSULTANTS, including address and phone/fax numbers.



1 PLAN BASEMENT FLOOR PLAN - MECHANICAL - DEMOLITION
 1/4" = 1'-0"



2 PLAN FIRST FLOOR PLAN - MECHANICAL - DEMOLITION
 1/4" = 1'-0"

- CODED NOTES:**
- DEMOLISH EXISTING BOILER, ASSOCIATED PIPING, IN-LINE PUMP, EXPANSION TANK AND ALL APPURTENANCES COMPLETE.
 - DEMOLISH 6' H X 3' W OUTSIDE AIR LOUVER, DAMPER, AND ASSOCIATED DUCTWORK.
 - DEMOLISH EXISTING FAN COIL UNITS, SUPPORTS, AND ALL APPURTENANCES COMPLETE.
 - EXISTING TWINNED-FURNACES AND ASSOCIATED EVAPORATOR COILS TO BE REMOVED AND SALVAGED. RETURN TO OWNER.
 - DEMOLISH EXISTING RESTROOM CABINET EXHAUST FAN.
 - EXISTING AIR DEVICE TO REMAIN.
 - DEMOLISH EXISTING AIR DEVICE.
 - DEMOLISH EXISTING EXTERIOR SOFFIT EXHAUST VENTS, ASSOCIATED EXHAUST DUCTWORK, AND ALL APPURTENANCES COMPLETE.
 - DEMOLISH EXISTING FINNED-TUBE HEATER AND ALL APPURTENANCES COMPLETE.
 - EXISTING RETURN GRILLE AND ASSOCIATED DUCTWORK TO REMAIN. DEMOLISH ASSOCIATED PNEUMATIC DAMPER.
 - DEMOLISH EXISTING REFRIGERANT PIPING, SUPPORTS, AND ALL APPURTENANCES COMPLETE.
 - DEMOLISH EXISTING HVAC CONTROLS COMPLETE.
 - REFER TO MD401 FOR CONTINUATION.

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

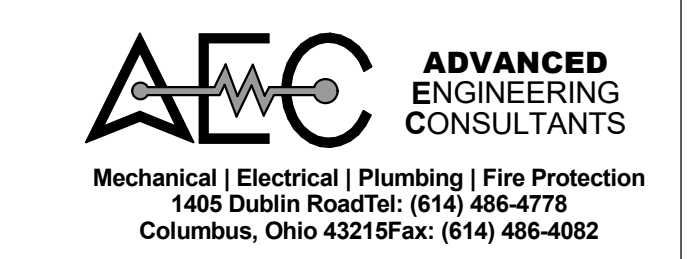
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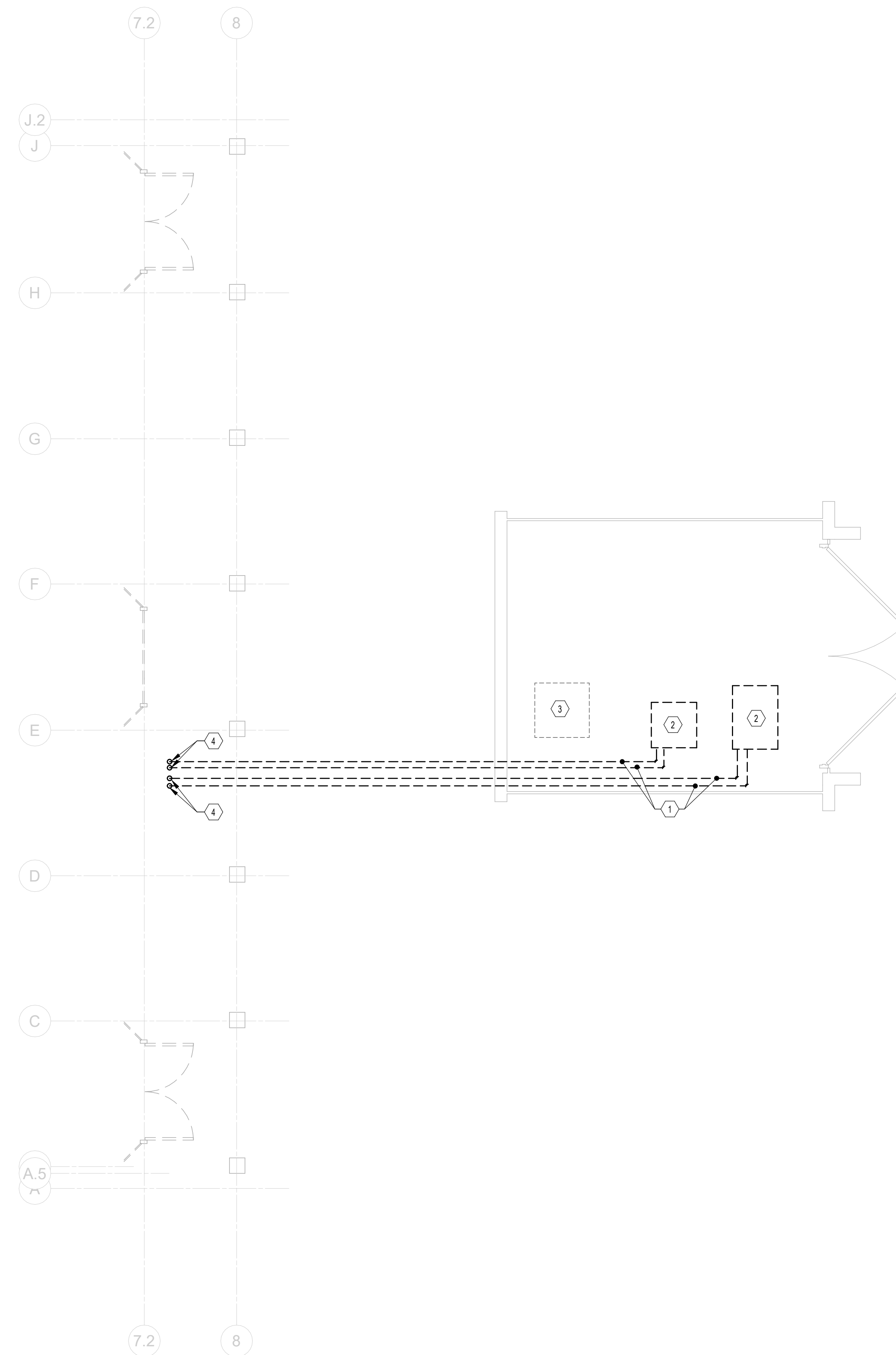
FLOOR PLANS - MECHANICAL - DEMOLITION

DRAWING TITLE:
 05/12/2021
 DRAWN BY: Author CHECKED BY: Checker
 20022

MD101

FINAL DEVELOPMENT PLAN





- CODED NOTES:**
1. DEMOLISH ABOVE AND BELOW GRADE REFRIGERANT PIPING, SUPPORTS, AND ALL APPURTENANCES COMPLETE.
 2. REMOVE EXISTING CONDENSING UNIT AND SALVAGE. RETURN TO OWNER. DEMOLISH EXISTING ASSOCIATED CONCRETE PAD.
 3. DEMOLISH EXISTING CONCRETE PAD COMPLETE.
 4. REFER TO SHEET MD101 FOR CONTINUATION.

1 PLAN EQUIPMENT YARD PLAN - MECHANICAL - DEMOLITION
 1/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

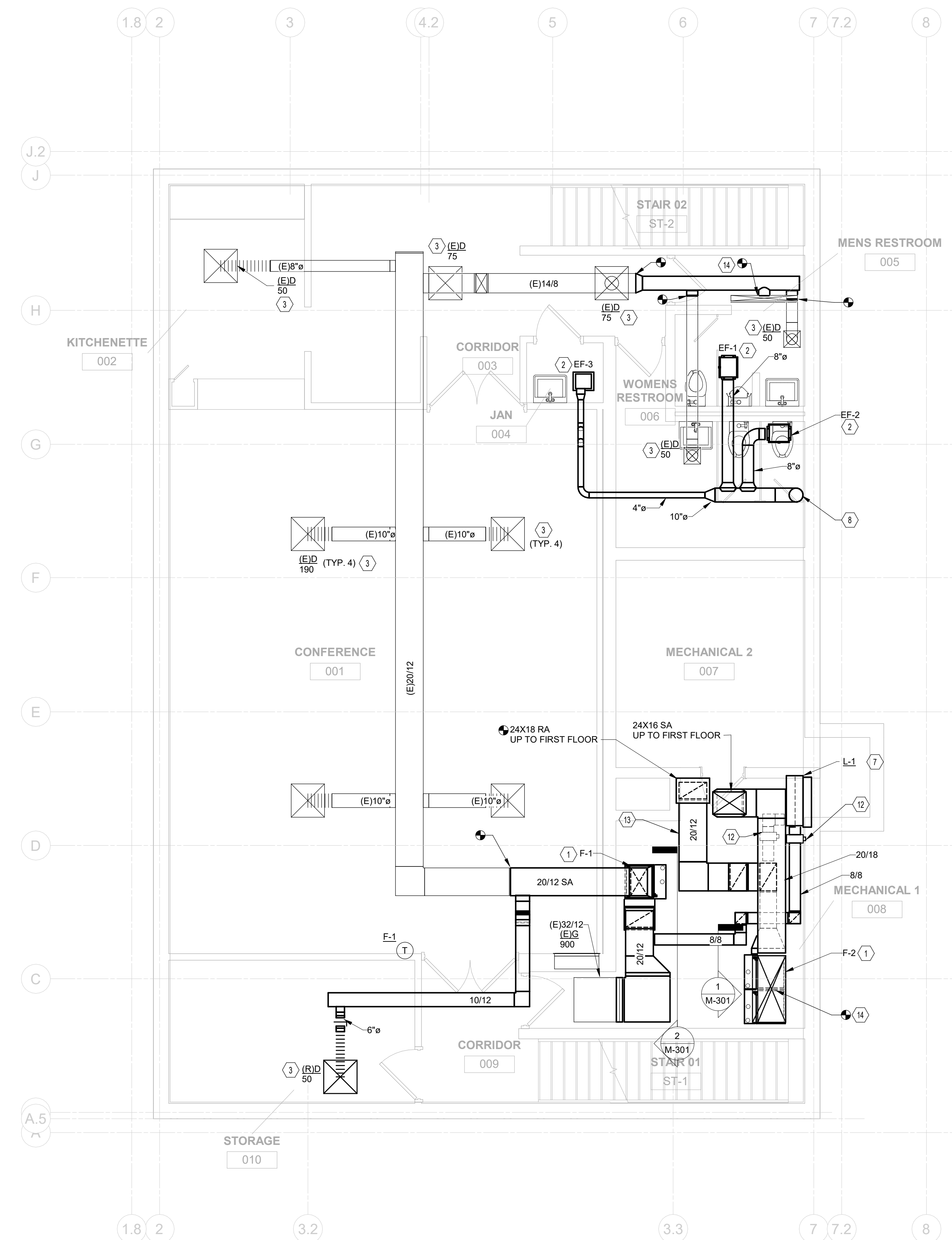
DRAWING TITLE:
ENLARGED PLANS - MECHANICAL - DEMOLITION

05/12/2021
 DRAWN BY: Author CHECKED BY: Checker
 20022

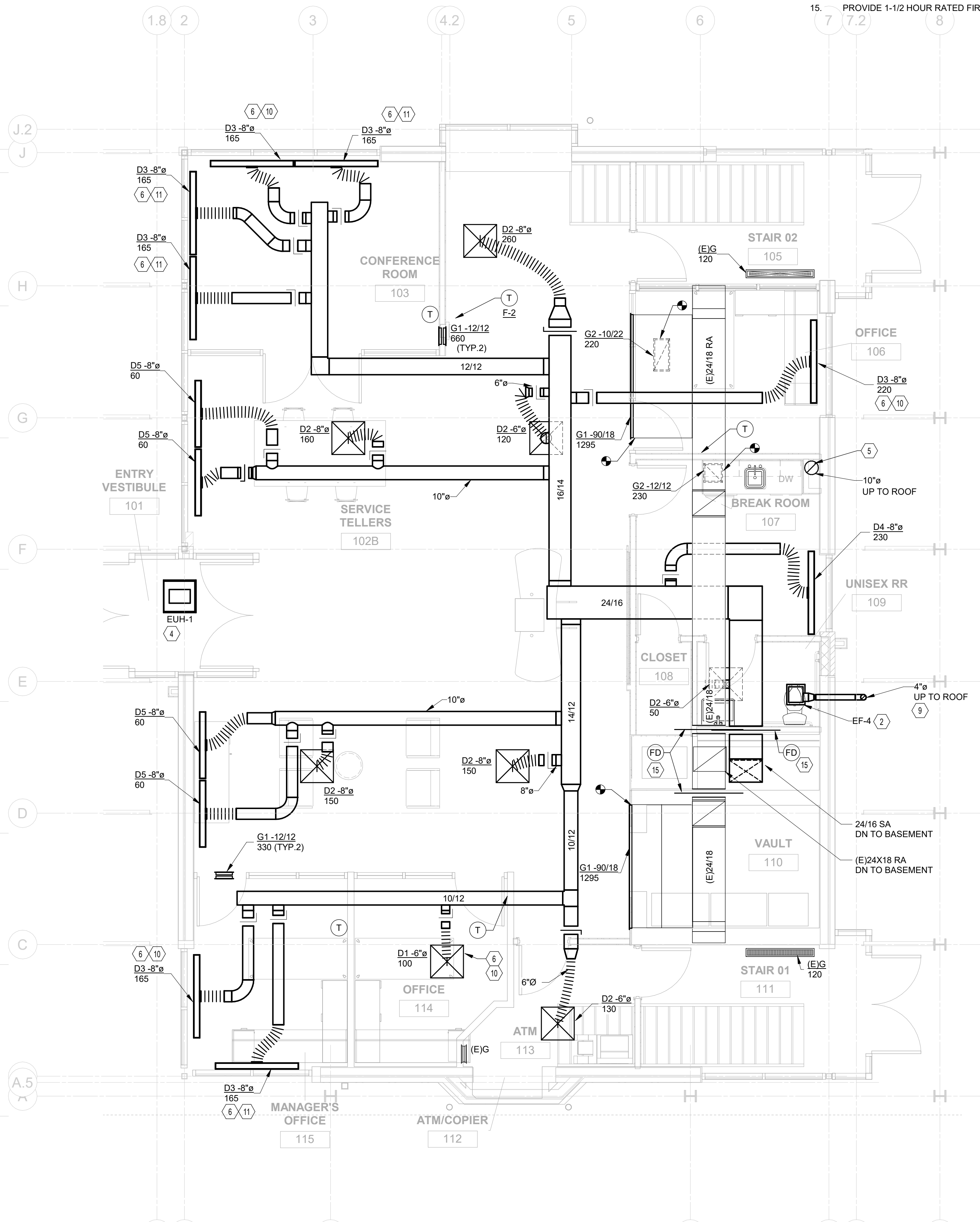
MD401

FINAL DEVELOPMENT PLAN

AEC ADVANCED ENGINEERING CONSULTANTS
 Mechanical | Electrical | Plumbing | Fire Protection
 1400 Dublin Road Tot: (614) 486-4775
 Columbus, Ohio 43215 Fax: (614) 486-4082



1 PLAN BASEMENT FLOOR PLAN - MECHANICAL
1/4" = 1'-0"



2 PLAN FIRST FLOOR PLAN - MECHANICAL
1/4" = 1'-0"

- CODED NOTES:**
1. PROVIDE GAS-FIRED FURNACE AND EVAPORATOR COIL. PROVIDE EQUIPMENT PAD. REFER TO SCHEDULE SHEET FOR MORE INFORMATION. REFER TO DETAILS 4M-501 AND 5M-501.
 2. PROVIDE RESTROOM CABINET EXHAUST FAN. REFER TO SCHEDULE SHEET FOR MORE INFORMATION.
 3. REBALANCE RELOCATED/EXISTING AIR DEVICE TO INDICATED CFM.
 4. PROVIDE CEILING RECESSED ELECTRICAL UNIT HEATER. REFER TO SCHEDULE SHEET M-601 FOR MORE INFORMATION.
 5. TERMINATE EXHAUST WITH PITCHED ROOF WALL CAP WITH 10"Ø EXTENSION EQUAL TO FAMCO BK10X.
 6. PROVIDED VAV DIFFUSER. REFER TO SCHEDULE SHEET FOR MORE INFORMATION. REFER TO SHEET M-701 FOR CONTROL INFORMATION.
 7. PROVIDE INTAKE AIR LOUVER L-1. PROVIDE SHEET METAL BLANK-OFF PANEL FOR REMAINING WALL OPENING. REFER TO SCHEDULE SHEET FOR MORE INFORMATION.
 8. 10"Ø EXHAUST DUCT UP TO FIRST FLOOR.
 9. TERMINATE EXHAUST DUCT THROUGH ROOF WITH ROOF CAP. REFER TO SCHEDULE SHEET FOR MORE INFORMATION.
 10. MASTER VAV DIFFUSER FOR SPACE.
 11. DRONE VAV DIFFUSER FOR SPACE.
 12. PROVIDE 120V MOTORIZED OUTSIDE AIR DAMPER.
 13. DUCT SMOKE DETECTOR.
 14. CONNECT DUCT TO EXISTING FLOOR GRILLE.
 15. PROVIDE 1-1/2 HOUR RATED FIRE DAMPER.

#	DATE	CHANGE DESCRIPTION

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DUBLIN, OH 43017
FOR
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COLUMBUS, OHIO 43215
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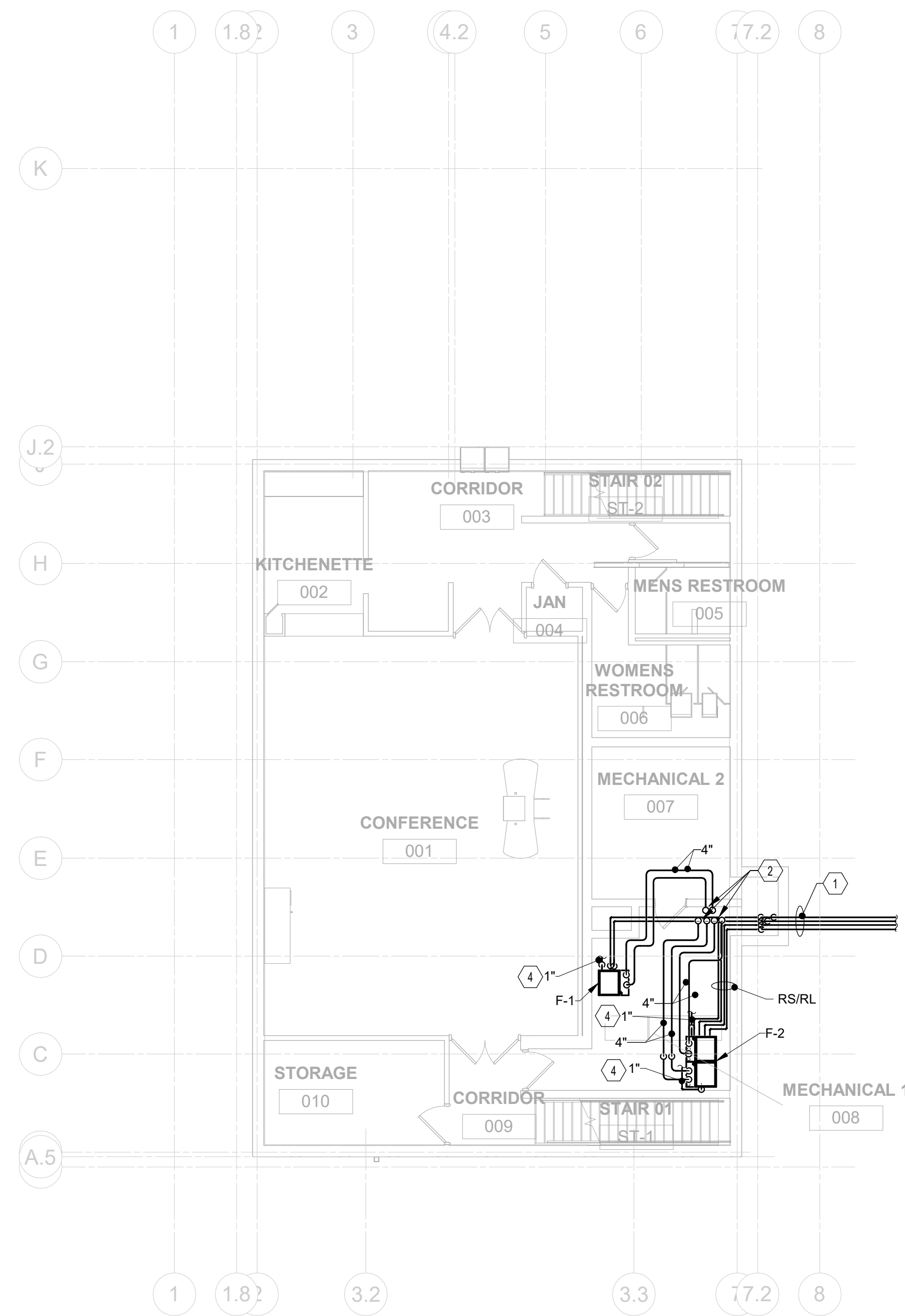
DRAWING TITLE:
FLOOR PLANS - HVAC

05/12/2021
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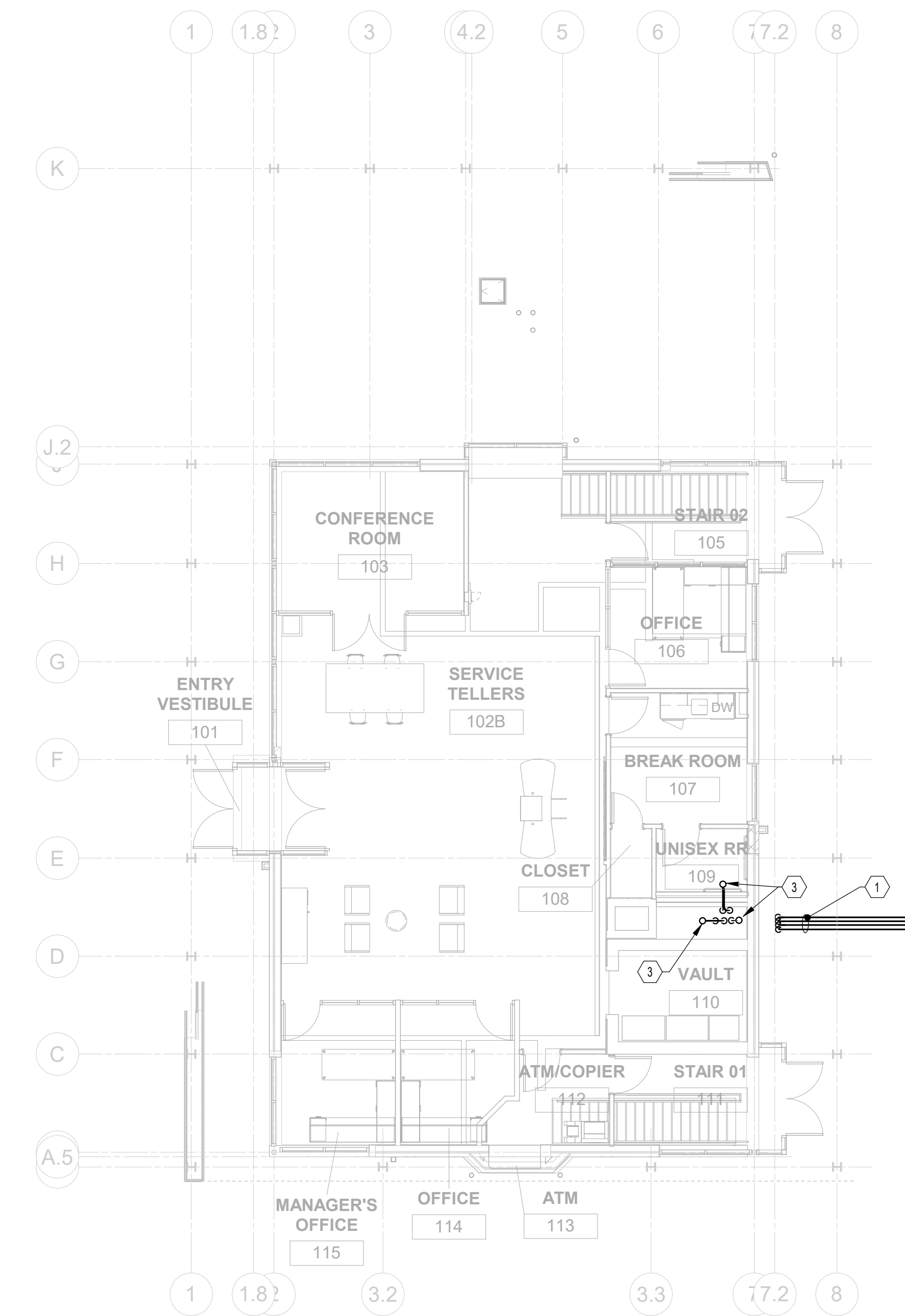
M-101
FINAL DEVELOPMENT PLAN

CODED NOTES:

- ROUTE REFRIGERANT PIPING FROM INDOOR EVAPORATOR COILS TO AIR-COOLED CONDENSING UNIT. REFRIGERANT PIPING SHALL ROUTE THROUGH INSULATED BLANK OFF PANEL AND INTO EXISTING AREA WELL. SEAL PENETRATIONS THROUGH BLANK OFF PANEL WATER TIGHT. INSTALL PER MANUFACTURERS RECOMMENDATIONS. BURIED PIPE TO BE ROUTED IN SCH. 40 PVC CARRIER PIPE. SEAL CARRIER PIPE ENDS WATER TIGHT. PITCH PIPING TOWARDS AREA WELL. REFER TO SHEET M-401 FOR CONTINUATION.
- ROUTE COMBUSTION AIR INTAKE/VENT PIPING UP THROUGH EXISTING CHASE.
- TERMINATE COMBUSTION AIR INTAKE/VENT PIPING THROUGH ROOF WITH 4" CONCENTRIC VENT KIT. INSTALL PER MANUFACTURERS RECOMMENDATIONS. REFER TO DETAILS 2M-502 AND 7M-502.
- ROUTE 1" CONDENSATE PIPE TO NEAREST FLOOR DRAIN.



1 PLAN BASEMENT FLOOR PLAN - HVAC PIPING
1/8" = 1'-0"



2 PLAN FIRST FLOOR PLAN - HVAC PIPING
1/8" = 1'-0"

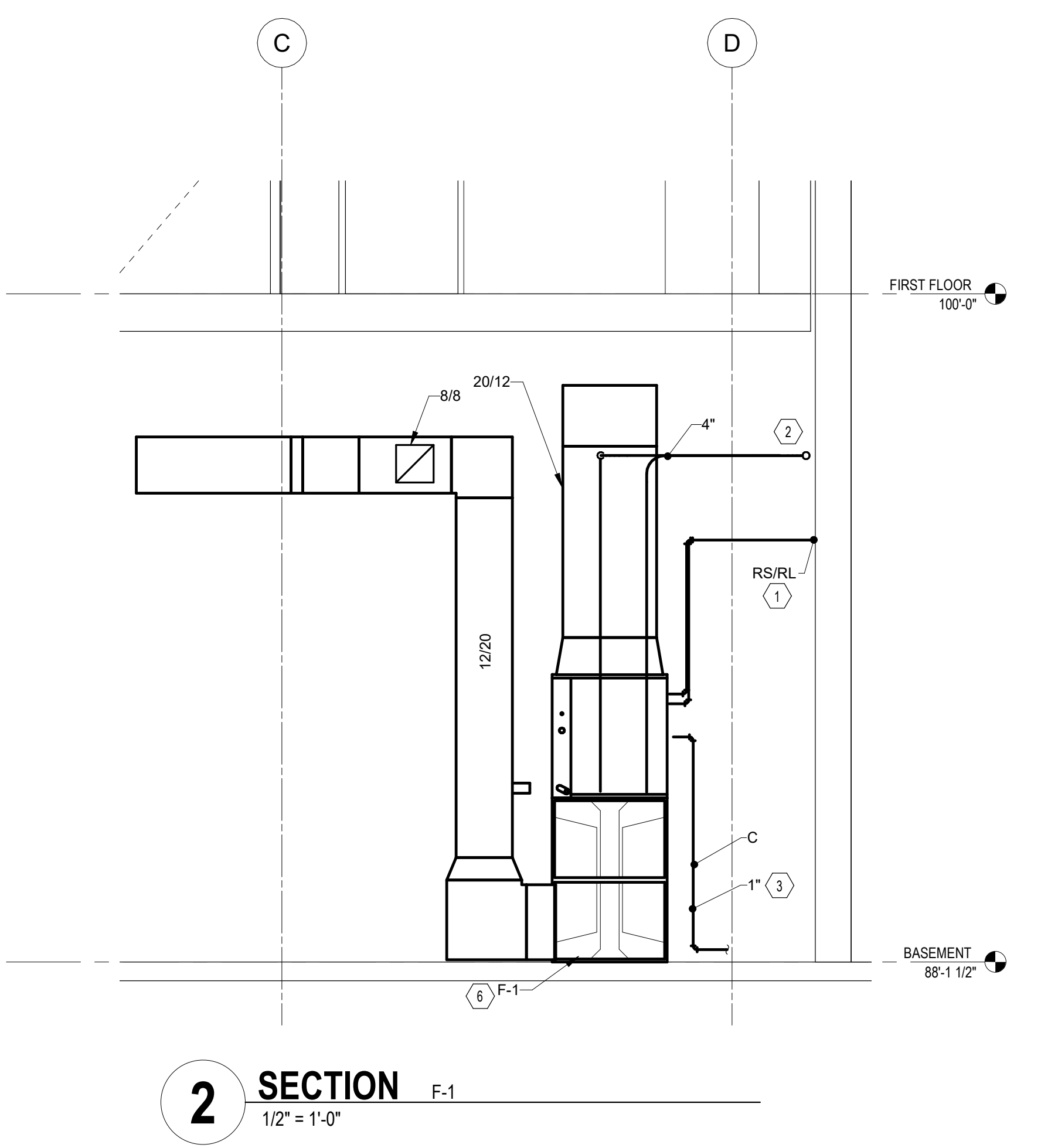
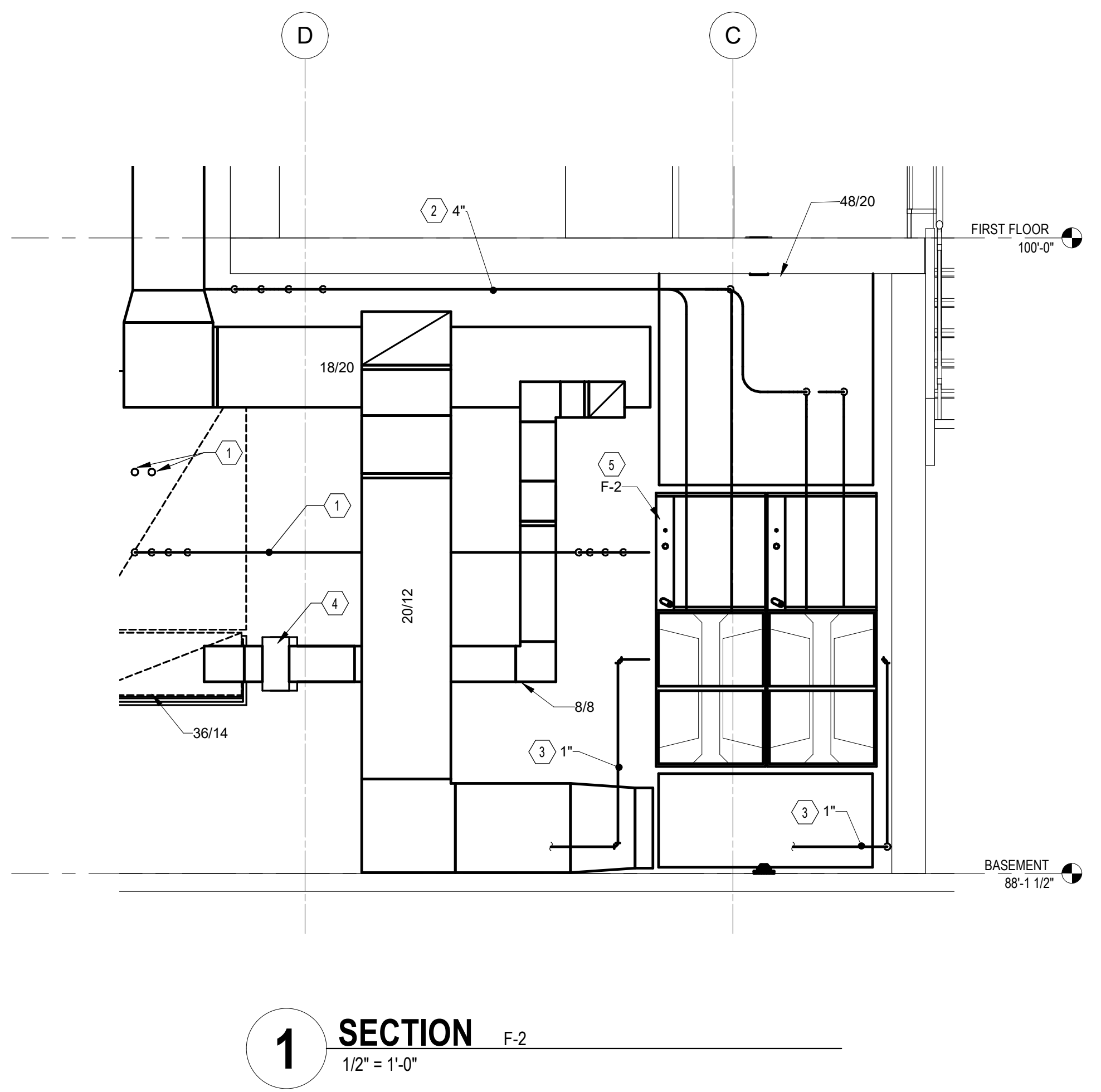
#	DATE	CHANGE DESCRIPTION

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6500 FRANTZ ROAD
DUBLIN, OH 43017
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DRAWING TITLE:
FLOOR PLANS - HVAC PIPING

	05/12/2021
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	20022
	M-201
	FINAL DEVELOPMENT PLAN



- CODED NOTES:**
- ROUTE REFRIGERANT PIPING FROM INDOOR EVAPORATOR COILS TO AIR-COOLED CONDENSING UNIT. REFER TO SHEET M-201 FOR CONTINUATION.
 - ROUTE COMBUSTION AIR INTAKE/VENT PIPING TO EXISTING CHASE. REFER TO M-201 FOR CONTINUATION.
 - ROUTE 1" CONDENSATE PIPE TO NEAREST FLOOR DRAIN.
 - PROVIDE 120V MOTORIZED OUTSIDE AIR DAMPER.
 - REFER TO DETAIL 5M-501 FOR TWINNED FURNACE CONFIGURATION.
 - REFER TO DETAIL 4M-501 FOR FURNACE CONFIGURATION.

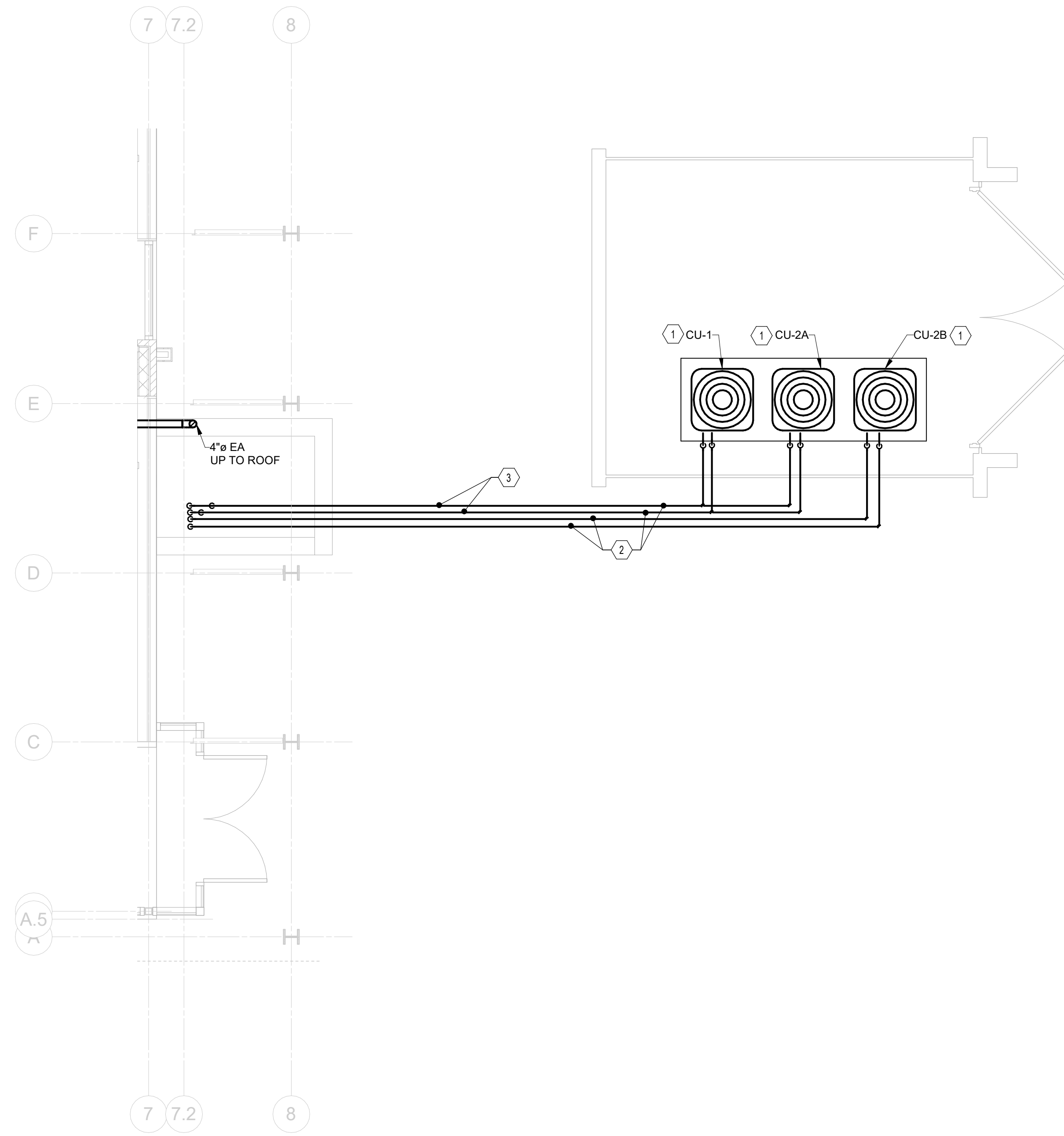
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
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DRAWING TITLE:
SECTIONS - MECHANICAL

	05/12/2021
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	20022
	M-301
	FINAL DEVELOPMENT PLAN



1 PLAN EQUIPMENT YARD PLAN - MECHANICAL
1/4" = 1'-0"

CODED NOTES:

1. PROVIDE AIR-COOLED CONDENSING UNIT IN MECHANICAL YARD. PROVIDE EXTERIOR EQUIPMENT PAD. REFER TO SCHEDULE SHEET FOR MORE INFORMATION. REFER TO DETAIL 014-502.
2. ROUTE REFRIGERANT PIPING FROM AIR-COOLED CONDENSING UNIT TO INDOOR EVAPORATOR COILS. BURIED PIPE TO BE ROUTED IN SCH. 40 PVC CARRIER PIPE. SEAL CARRIER PIPE ENDS WATER TIGHT. PITCH PIPING TOWARDS AREA WELL. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE TRENCHING AND EXCAVATION FOR INSTALLATION.
3. TWO SETS OF REFRIGERANT PIPING STACKED.

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
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DRAWING TITLE:
ENLARGED PLANS - MECHANICAL

05/12/2021

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M-401

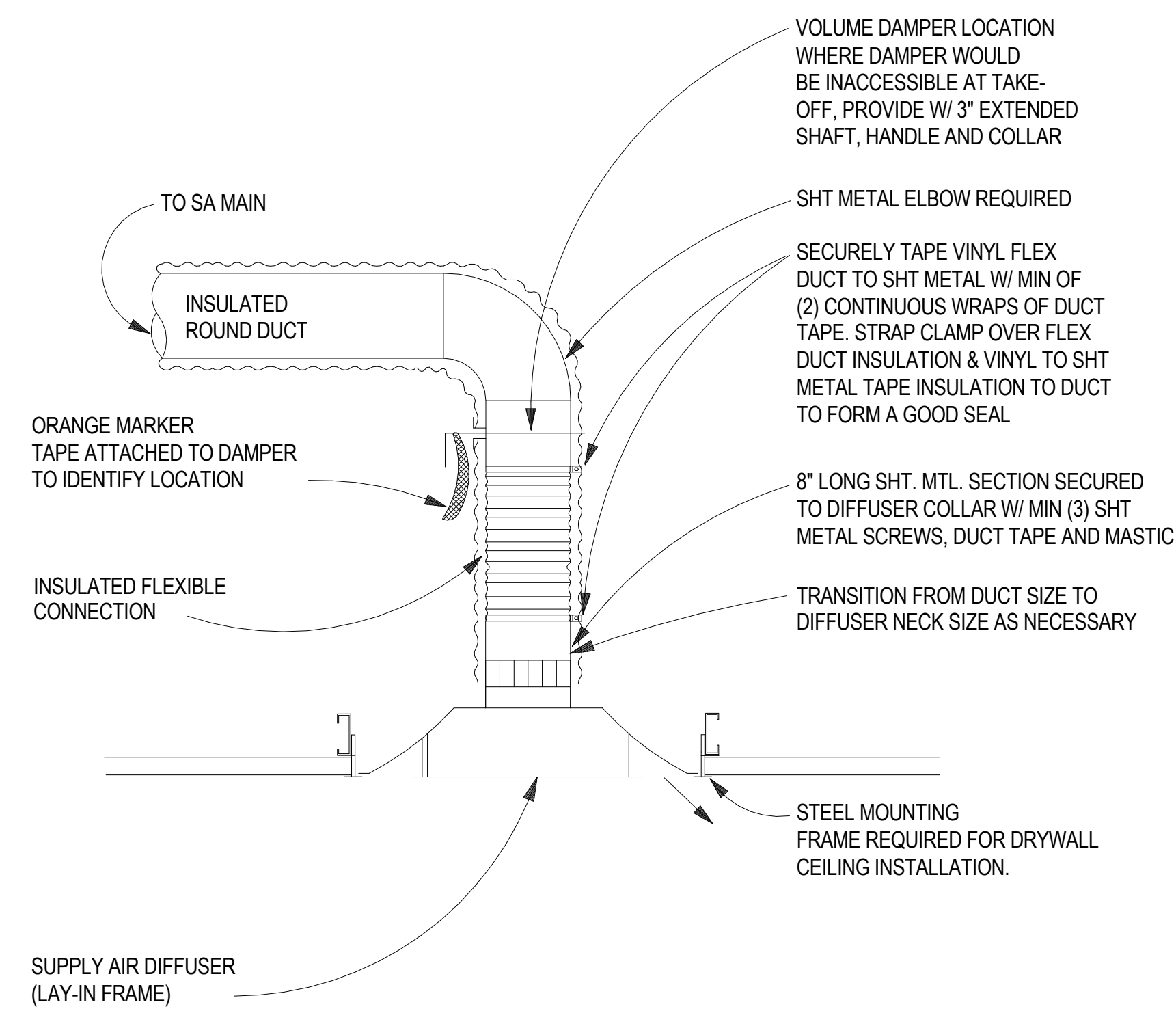
FINAL DEVELOPMENT PLAN

DESCRIPTION	DUCTWORK AS SHOWN ON THE PLANS		DETAILED CONSTRUCTION REQUIRED
	DOUBLE LINE DRAWING	SINGLE LINE DRAWING	
DUCT TAKEOFF FROM 2 IN PRESSURE CLASS OR LESS MAIN			
ELBOW AND SPLIT (2 IN PRESSURE CLASS OR LESS DUCTWORK ONLY)			
ELBOW			
SQUARE OR RECTANGULAR RADIUS ELBOW			
UNEQUAL ELBOWS (2 IN PRESSURE CLASS OR LESS DUCTWORK ONLY)			
DUCT TAKEOFF FROM RECTANGULAR 2 IN PRESSURE CLASS OR LESS MAIN WITH BELLMOUTH FITTING			

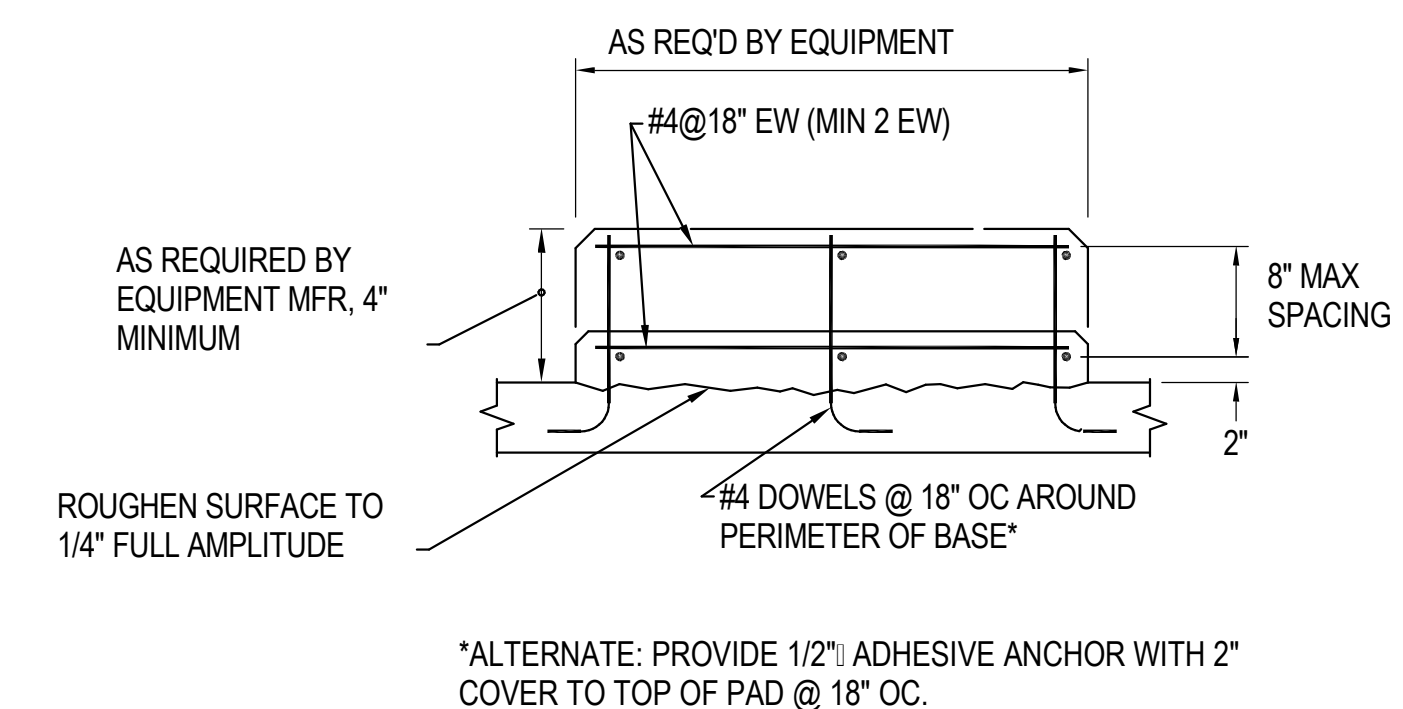
NOTES:

- SUPPLY AND RETURN AIR DUCTWORK SHOWN AS INDICATED TO HAVE TURNING VANES.
- DUCT PRESSURES CLASSES**
RECTANGULAR DUCT - SUPPLY, RETURN OR EXHAUST TO BE CONSTRUCTED TO MEET SMACNA STANDARDS FOR 2" WG PRESSURE.
- FROM 0 - 35° USE 2 GORE FITTINGS, 35 - 71° USE 3 GORE FITTINGS, 72 - 90° USE 5 GORE FITTINGS. FOR ELBOWS WHICH EXCEED 90°, ADD ONE GORE FOR EACH ADDITIONAL 18° FOR FITTING CONSTRUCTION. NOTE: 90° ELBOW DEPICTED REQUIRES 5 GORE FITTING CONSTRUCTION.

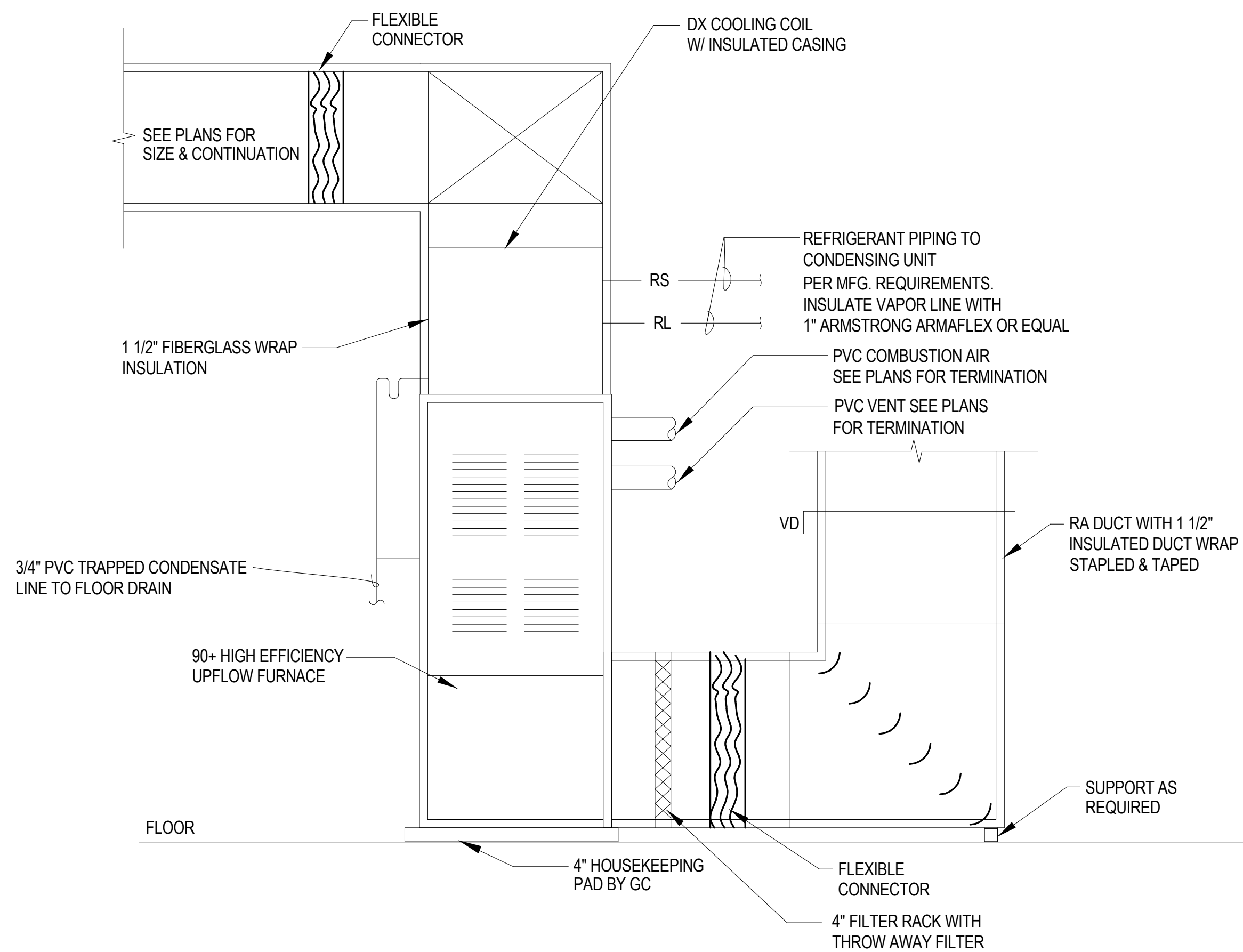
1 DETAIL DUCT CONSTRUCTION
NTS



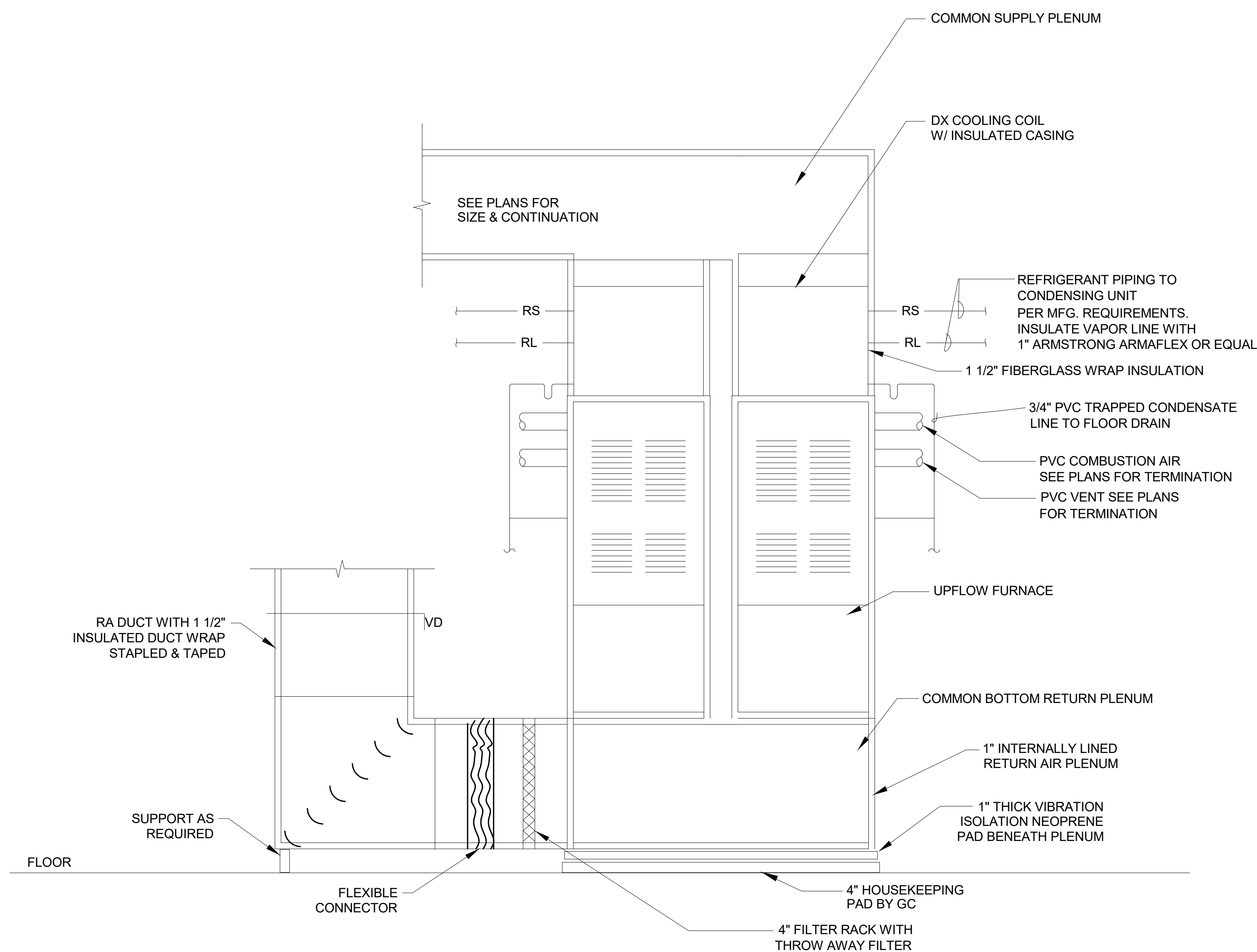
2 DETAIL DIFFUSER MOUNTING
NTS



3 DETAIL INTERIOR EQUIPMENT PAD
NTS



4 DETAIL FURNACE (F-1)
NTS



5 DETAIL TWINNED FURNACES (F-2)
NTS

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DRAWING TITLE:

DETAILS - MECHANICAL

05/12/2021

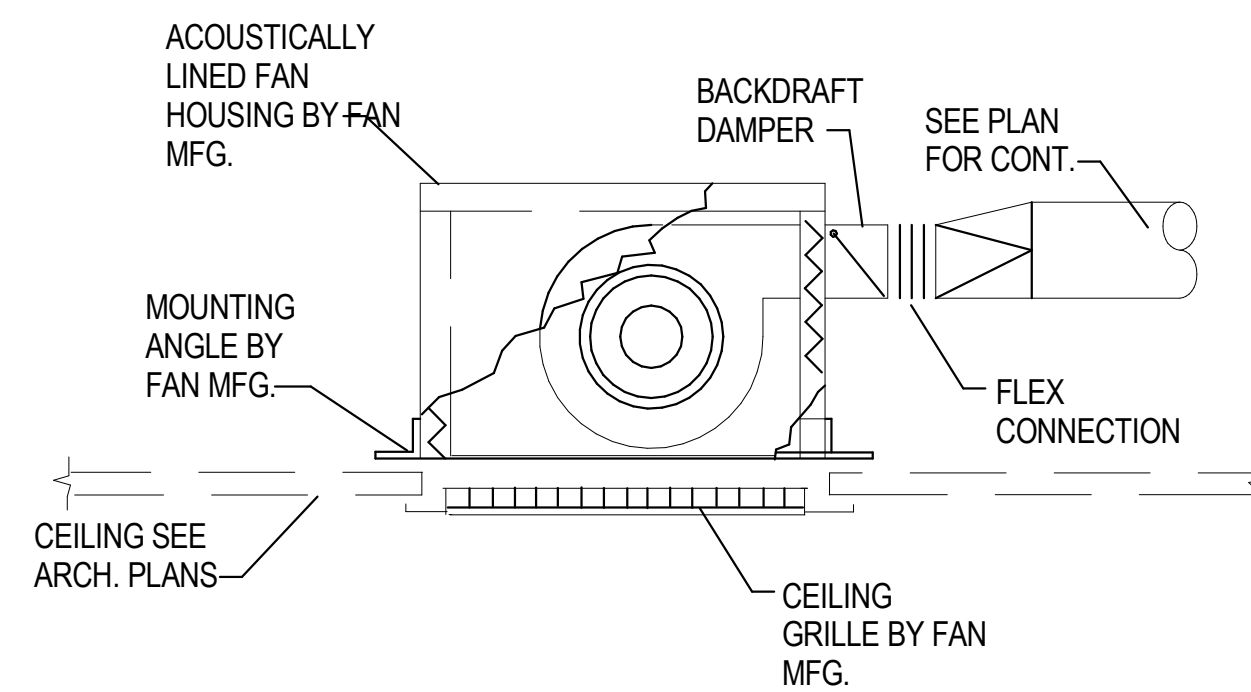
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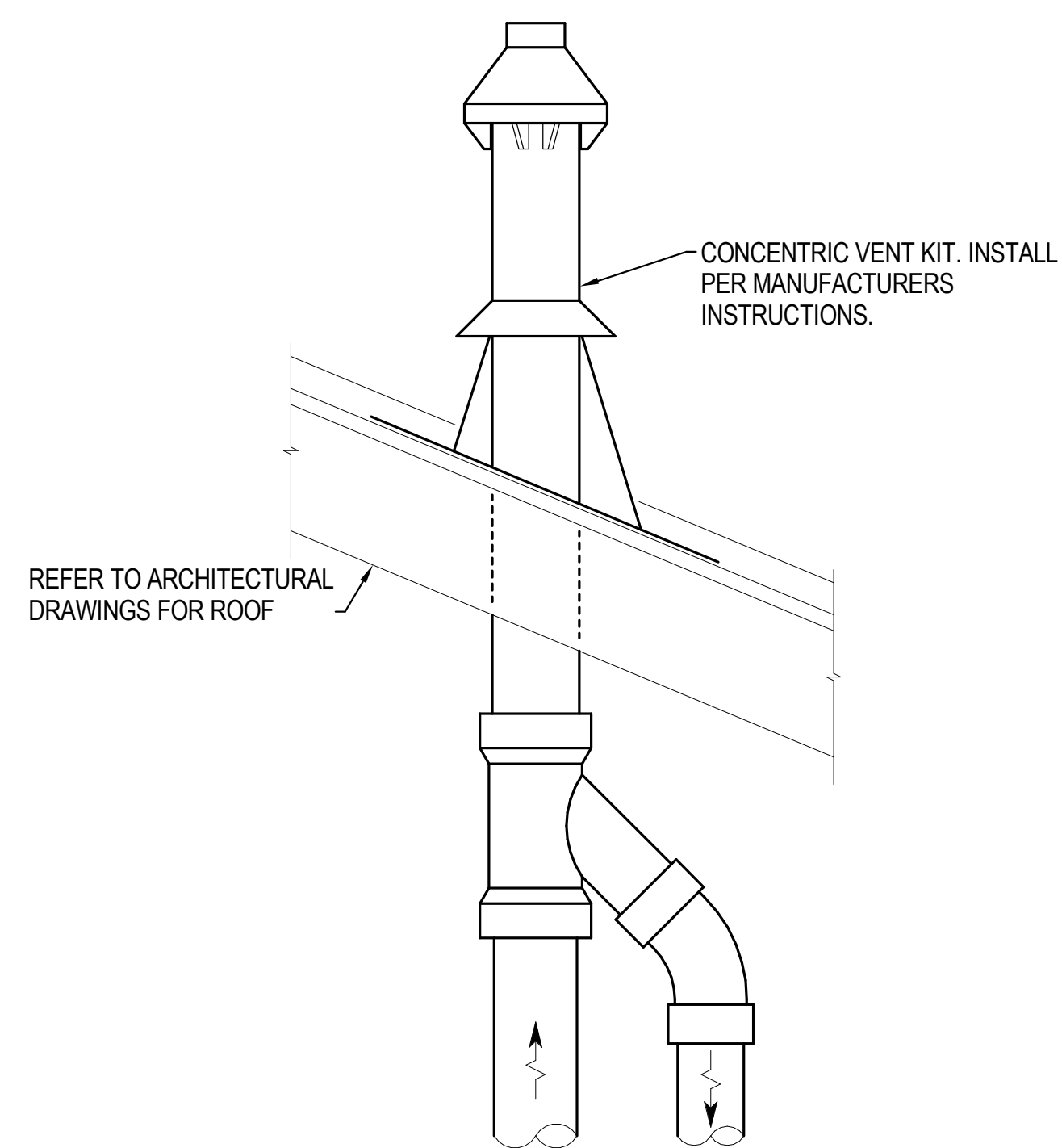
M-501

FINAL DEVELOPMENT PLAN

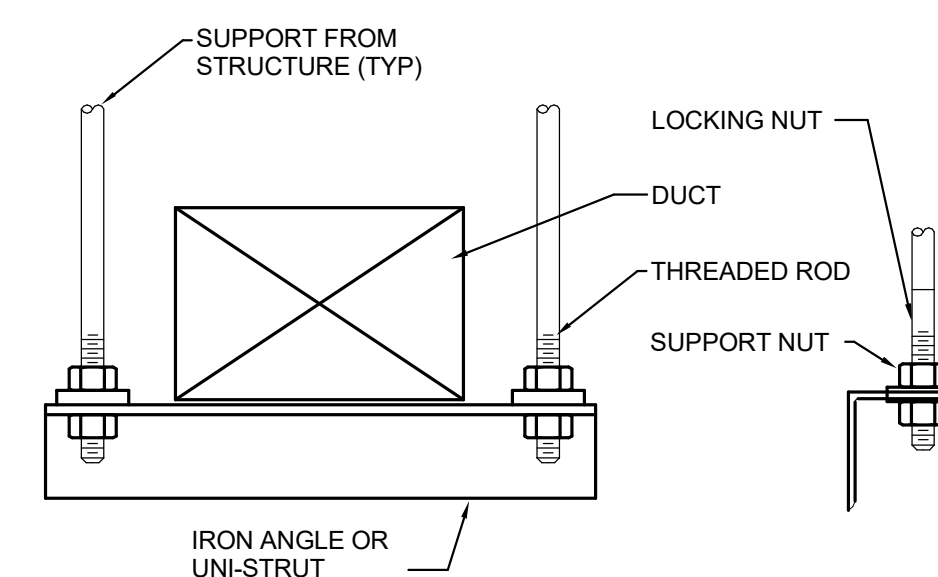
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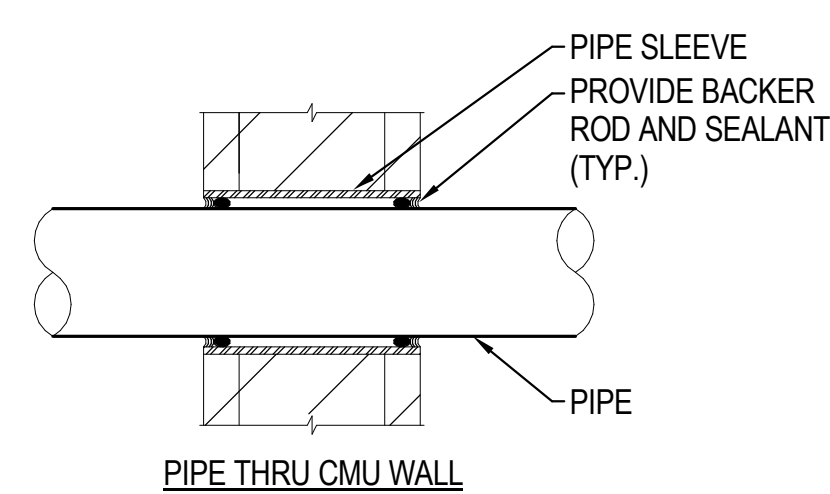
1 DETAIL DETAIL - CEILING MOUNTED EXHAUST FAN
NTS



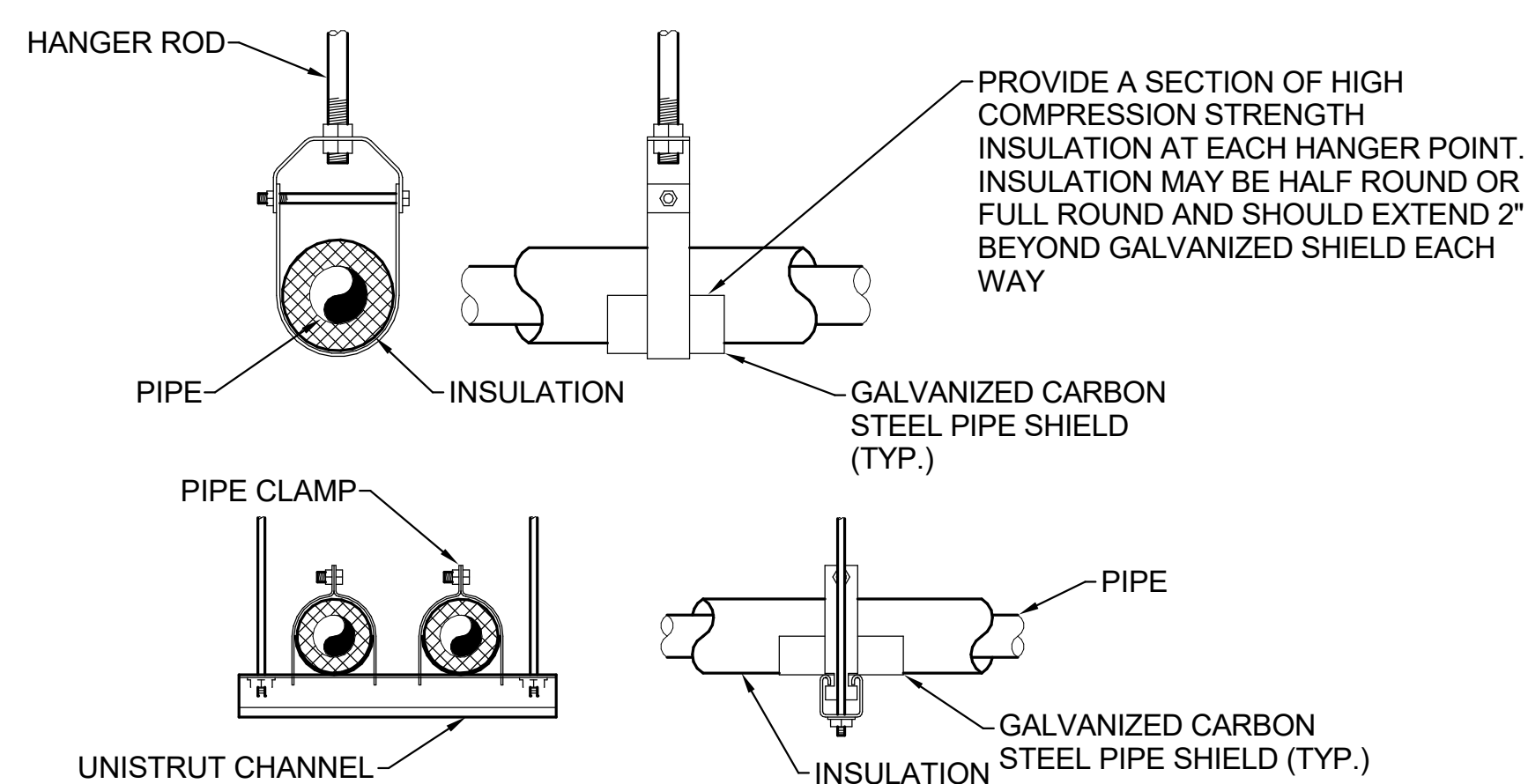
2 DETAIL DETAIL - FURNACE VENTING
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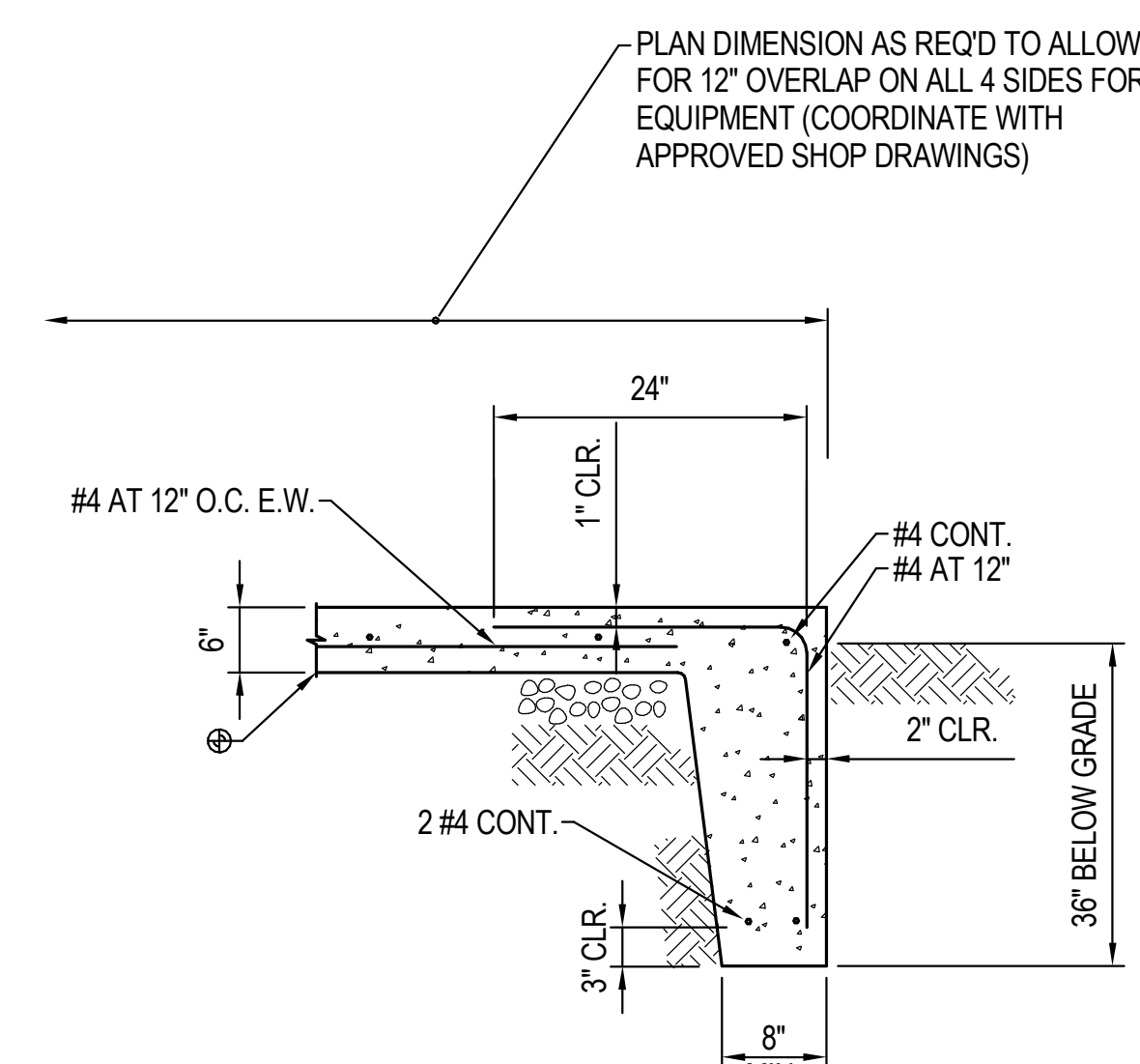
3 DETAIL DETAIL - TYPICAL DUCT SUPPORT
NTS



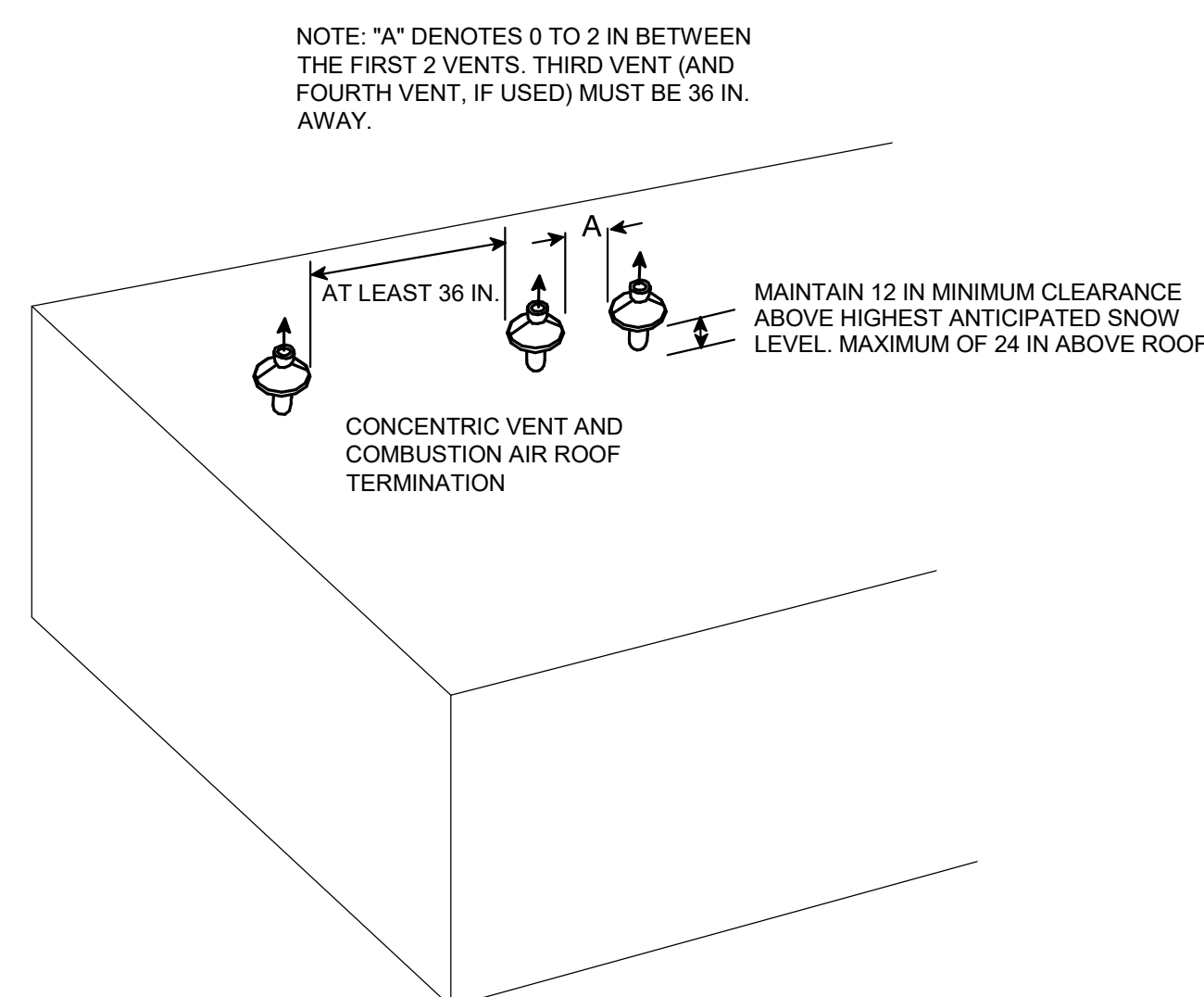
4 DETAIL DETAIL - TYPICAL WALL PENETRATION
NTS



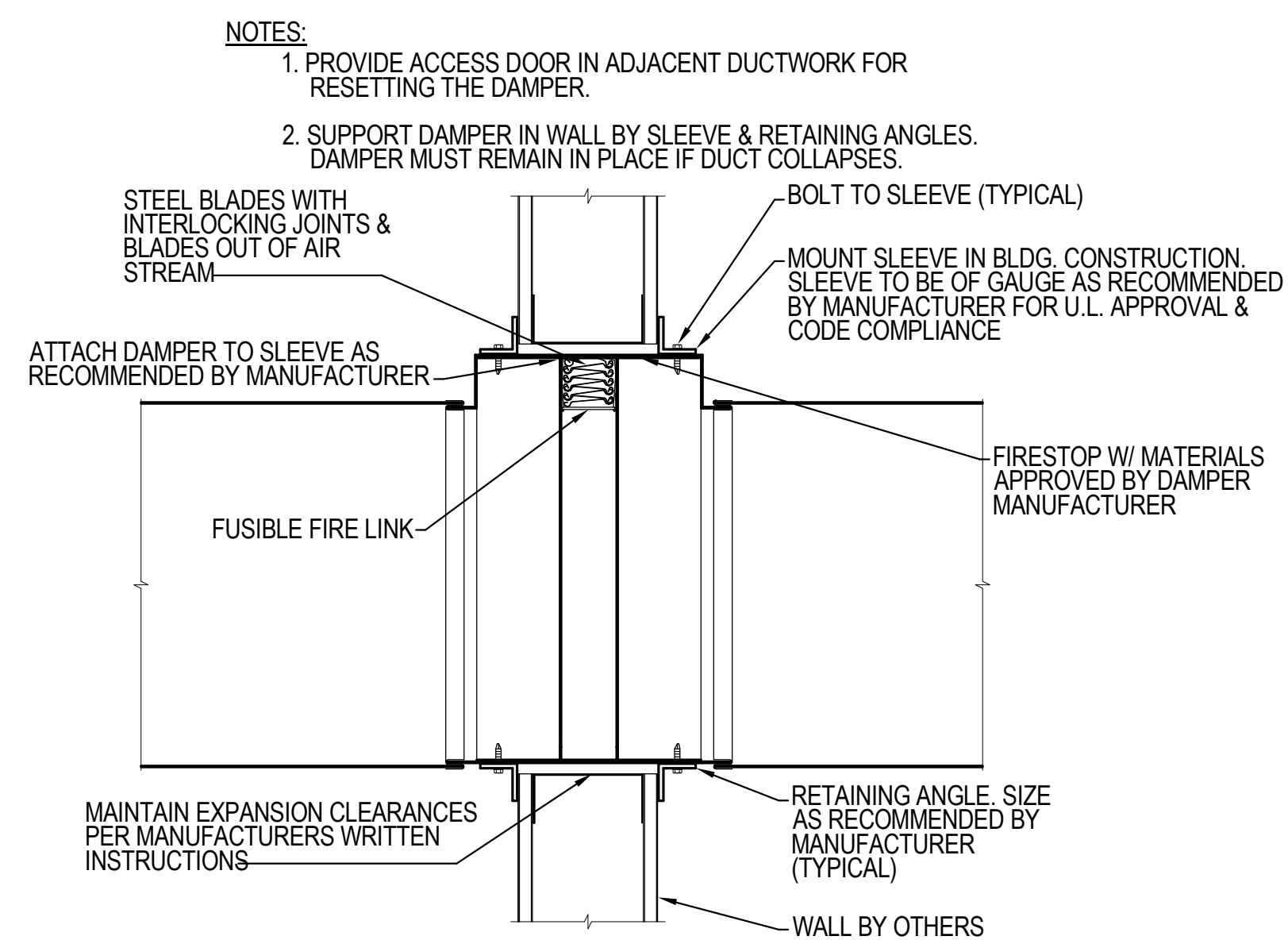
5 DETAIL DETAIL - TYPICAL PIPE HANGER
NTS



6 DETAIL DETAIL - EXTERIOR CONCRETE PAD
NTS



7 DETAIL DETAIL - CONCENTRIC VENT CLEARANCES
NTS



8 DETAIL DETAIL - FIRE DAMPER INSTALLATION - STYLE B
NTS

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DRAWING TITLE:

DETAILS - MECHANICAL

05/12/2021

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M-502

FINAL DEVELOPMENT PLAN

NATURAL GAS FURNACES

EQUIPMENT BASED ON BRYANT UNLESS NOTED OTHERWISE

REFRIGERANT TO BE R-410A		FURNACE & BLOWER																COOLING COIL				CONDENSING UNITS					REMARKS
TAG	SERVICE	MODEL NO.	TYPE	INPUT (MBH)	OUTPUT (MBH)	AFUE %	CFM	MIN VENT AIR CFM	ESP (IN WC)	BLOWER HP	VOLT	PHASE	MODEL NO.	EAT °F		COOLING CAPACITY (MEH)		UNIT TAG	MODEL NO.	MCA	VOLT	PHASE	AHR SEER	WEIGHT (LBS)	SOUND POWER (dBA)		
														DB	WB	TOTAL	SENSIBLE										
F-1	BASEMENT	926TA66120V24	DIRECT-VENT FIXED-CAPACITY	120	117	96.0	1,400	250	0.5	1	115	1	CNPVP4324ALA	80	67	41.5	31.87	CU-1	113ANAD420N0	23.5	208	1	14.5	188	78	PROGRAMMABLE THERMOSTAT WITH AUTO CHANGE-OVER, CRANKCASE HEATER, FILTER DRIER, LIQUID-LINE SOLENOID VALVE, LOW-AMBIENT CONTROLLER, WINTER START CONTROL, MERV-13 FILTER	
F-2	BASEMENT	926TA66120V24	DIRECT-VENT FIXED-CAPACITY	120	117	96.0	1,400	210	0.5	1	115	1	CNPVP4324ALA	80	67	41.5	31.87	CU-2A	113ANAD420N0	23.5	208	1	14.5	188	78	PROGRAMMABLE THERMOSTAT WITH AUTO CHANGE-OVER, CRANKCASE HEATER, FILTER DRIER, LIQUID-LINE SOLENOID VALVE, LOW-AMBIENT CONTROLLER, WINTER START CONTROL, MERV-13 FILTER, TWINNING KIT MODEL KGATW0801HS	
		926TA66120V24	DIRECT-VENT FIXED-CAPACITY	120	117	96.0	1,400																				0.5

SEQUENCE OF OPERATIONS

SPLIT SYSTEM SEQUENCE

THERE ARE 2 SPLIT SYSTEM SERVING THE BUILDING. EACH SPLIT SYSTEM CONSISTS OF AN INDOOR FURNACE UNIT WITH EVAPORATOR COIL (F-1 THRU F-2) AND AN OUTDOOR CONDENSING UNIT (CU-1, CU-2A, CU-2B).

THE INDOOR FURNACE FAN SPEED SHALL BE CONTROLLED BY THE SPLIT-SYSTEM CONTROLLER'S BUILT-IN CONTROL SYSTEM. AT ANY TIME THE BUILDING IS IN OCCUPIED MODE, THE OUTDOOR AIR DAMPER SHALL OPEN AND THE FAN SHALL OPERATE CONTINUOUSLY.

EACH SPLIT-SYSTEM SHALL CYCLE ITS REFRIGERANT CIRCUIT IN HEATING OR COOLING MODE DEPENDENT UPON SPACE DEMAND FROM THE ZONE SPACE THERMOSTAT TO MAINTAIN SETPOINT (HEATING: 70 DEGREES, ADJUSTABLE; COOLING: 75 DEGREES, ADJUSTABLE).

IF A ZONE FURNACE IS OPERATING IN THE HEATING MODE, THE GAS FURNACE SHALL BE ENABLED AND THE OUTDOOR CONDENSING UNIT SHALL SHUT DOWN. THE GAS FURNACE SHALL MODULATE ITS BURNER DEPENDENT UPON SPACE DEMAND FROM THE ZONE SPACE THERMOSTAT TO MAINTAIN SETPOINT (70 DEGREES, ADJUSTABLE).

THE SPLIT-SYSTEM FACTORY CONTROLLER SHALL OPERATE ON ITS OWN CONTROLS AND SAFETIES. UPON ACTIVATION OF A DUCT MOUNTED SMOKE DETECTOR, THE UNIT SHALL SHUT DOWN.

ELECTRIC UNIT HEATER SEQUENCE

RECESSED CEILING MOUNTED ELECTRIC UNIT HEATER (EUH-1) SERVES THE VESTIBULE.

ELECTRIC UNIT HEATER SHALL ACTIVATE UPON A SIGNAL FROM ITS INTEGRAL THERMOSTAT WHEN THE SPACE TEMPERATURE DROPS BELOW SETPOINT (70 DEGREES, ADJUSTABLE).

JANITOR CLOSET EXHAUST FAN SEQUENCE

EXHAUST FAN EF-3 SHALL RUN CONTINUOUSLY.

RESTROOM EXHAUST FAN SEQUENCE (EF-1, 2, 4)

EXHAUST FANS EF-1, 2, AND 4 SHALL BE TIED INTO THE LIGHT SWITCH. UPON ACTIVATION OF THE LIGHT SWITCH, THE FAN SHALL RUN.

VAV ZONE DIFFUSER SEQUENCE

THE VAV ZONE DIFFUSERS SHALL BE CONTROLLED BY A REMOTE THERMOSTAT. CONFERENCE ROOM 103 INCLUDES A MASTER VAV DIFFUSER AND DRONE VAV DIFFUSER. ALL OTHER SPACES WITH ZONE DIFFUSERS ONLY CONSIST OF A MASTER VAV ZONE DIFFUSER.

SUMMER

THE VAV ZONE DIFFUSER(S) SHALL BE CONTROLLED BY A DIFFUSER MOUNTED TEMPERATURE SENSOR IN COOLING MODE. A WALL MOUNTED ASSEMBLY WILL PROVIDE SET-POINT ADJUSTMENT.

THE VAV ZONE DIFFUSER(S) SHALL BE NORMALLY FULLY OPEN. UPON A DROP IN SPACE TEMPERATURE BELOW THE COOLING SETPOINT (75°F SUMMER (ADJ.)) THE DAMPER(S) SHALL MODULATE CLOSED UNTIL THE SPACE TEMPERATURE IS SATISFIED. UPON A RISE IN SPACE TEMPERATURE ABOVE THE COOLING SETPOINT (75°F SUMMER (ADJ.)), THE DAMPER(S) SHALL MODULATE OPEN UNTIL THE SPACE TEMPERATURE IS SATISFIED.

WINTER

THE VAV ZONE DIFFUSER(S) SHALL BE CONTROLLED BY A WALL MOUNTED ASSEMBLY IN HEATING MODE AND SHALL PROVIDE SET-POINT ADJUSTMENT.

THE VAV ZONE DIFFUSER(S) SHALL BE NORMALLY FULLY OPEN. UPON A RISE IN SPACE TEMPERATURE ABOVE THE HEATING SETPOINT (70°F (ADJ.)) THE DAMPER(S) SHALL MODULATE CLOSED UNTIL THE SPACE TEMPERATURE IS SATISFIED. UPON A DROP IN SPACE TEMPERATURE BELOW THE HEATING SETPOINT (70°F (ADJ.)), THE DAMPER(S) SHALL MODULATE OPEN UNTIL THE SPACE TEMPERATURE IS SATISFIED.

FC - FORWARD CURVE																FANS									
TAG	LOCATION	SERVICE	FAN TYPE	WHEEL TYPE	CFM	RPM	ESP (IN WC)	MOTOR			MAX SONES	MANUFACTURER AND MODEL	WEIGHT (LBS)	REMARKS											
								WATTS	PH	VOLT															
EF-1,2	RESTROOMS	EXHAUST	CENTRIFUGAL	FC	100	784	0.5	24	1	115	3.5	GREENHECK SP-A390-VG	32	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE											
EF-3	JAN CLST.	EXHAUST	CENTRIFUGAL	FC	50	935	0.549	6	1	115	2.0	GREENHECK SP-80-VG	12	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE											
EF-4	RESTROOM	EXHAUST	CENTRIFUGAL	FC	70	935	0.487	6	1	115	2.0	GREENHECK SP-80-VG	19	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE, ROOF CURB CAP.											

DIFFUSER, REGISTER, AND GRILLES												
TAG	SERVICE	NECK SIZE (IN)	TYPE	DAMPER	FACE SIZE	MATERIAL	FINISH	PATTERN	MANUFACTURER	MODEL NO.	CONTROL POWER (V)	REMARKS
D1	CEILING SUPPLY AIR	SEE PLANS	SQUARE LAY-IN	YES	24x24	STEEL	WHITE	4-WAY	ACUTHERM	ADV	120	ALL
D2	CEILING SUPPLY AIR	SEE PLANS	SQUARE LAY-IN	NO	24x24	STEEL	WHITE	4-WAY	TITUS	OMNI	-	-
D3	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	YES	-	ALUMINUM	WHITE	2-WAY	ACUTHERM	ADVL	120	ALL
D4	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	NO	-	ALUMINUM	WHITE	1-WAY	TITUS	ML-38	-	4
D5	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	NO	-	ALUMINUM	WHITE	1-WAY	TITUS	ML-38	-	5
G1	RETURN/ TRANSFER AIR	SEE PLANS	GRILLE SURFACE	NO	NECK SIZE +1.75"	STEEL	WHITE	-	TITUS	350RL	-	-
G2	RETURN AIR	SEE PLANS	GRILLE LAY-IN	NO	NECK SIZE +1.75"	STEEL	WHITE	-	TITUS	350RL	-	-

NOTES:
 1. PROVIDE WITH WALL MOUNTED THERMOSTAT.
 2. PROVIDE WITH 115V TO 24V (ONBOARD) TRANSFORMER FOR MASTER.
 3. 2-SLOT, 2-WAY AIRFLOW, 60" LENGTH. PROVIDE WITH INSULATED PLENUM.
 4. 2-SLOT, 60" LENGTH. PROVIDE WITH TITUS MP9-38 INSULATED PLENUM.
 5. 2-SLOT, 48" LENGTH. PROVIDE WITH TITUS MP9-38 INSULATED PLENUM.

LOUVER SCHEDULE											
EQUIPMENT BASED ON GREENHECK UNLESS NOTED OTHERWISE											
TAG	MODEL	LOCATION	SERVICE	CFM	TYPE	MATERIAL	DIMENSION HxWxD (IN)	FREE FACE AREA (SF)	MAX SP DROP	FREE AREA VEL (FPM)	REMARKS
L-1	ESD-635	MECH ROOM	INTAKE	460	STATIONARY DRAINABLE	ALUM	14x26x6	1.1	0.03	420	ALL


NOTES: 1. PROVIDE WITH BIRDSCREEN.

ELECTRIC UNIT HEATER SCHEDULE									
EQUIPMENT BASED ON QMARK UNLESS NOTED OTHERWISE									
UNIT DATA				HEATING ELEMENTS					REMARKS
TAG	SERVICE	MODEL	TYPE	CFM	AMPS	TOTAL KW	VOLTS	PHASE	
EUH-1	VESTIBULE 101	CDF-542	RECESSED	300	9.6	2	208	1	ALL

NOTES:
 1. PROVIDE INTEGRAL THERMOSTAT.
 2. PROVIDE INTEGRAL DISCONNECT SWITCH.
 3. PROVIDE RECESSED ENCLOSURE.

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DRAWING TITLE:

SCHEDULES - MECHANICAL

	05/12/2021	
DRAWN BY: Author	CHECKED BY: Checker	
	20022	
M-601		
FINAL DEVELOPMENT PLAN		

 **ADVANCED ENGINEERING CONSULTANTS**
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 1400 Dublin Road, Ste. 614 | 43015
 Columbus, Ohio 43215 Fax: (614) 466-4082

ABBREVIATIONS	
NOTE: NOT ALL ABBREVIATIONS MAY BE USED.	
(A)	EXISTING TO BE ABANDONED
(D)	EXISTING TO BE DEMOLISHED
(E)	EXISTING TO REMAIN
(F)	FUTURE
(R)	EXISTING TO BE RELOCATED
A	AMPERE
AC	ALTERNATING CURRENT OR AIR CONDITIONER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AIC	AMPS INTERRUPTING CAPACITY
ANNC	ANNUNCIATOR
AWG	AMERICAN WIRE GAUGE
BPS	BOLTED PRESSURE SWITCH
C	CONDUIT
CB	CIRCUIT BREAKER
CCTV	CLOSED CIRCUIT TELEVISION
CKT	CIRCUIT
CM	CONSTRUCTION MANAGER
DC	DIRECT CURRENT
DP	DISTRIBUTION PANELBOARD
DTT	DOUBLE TWIN TUBE
EB	ELECTRONIC BALLAST
EC	ELECTRICAL CONTRACTOR
EM	EMERGENCY
EMT	ELECTRICAL METAL TUBING
EWC	ELECTRIC WATER COOLER
FA	FIRE ALARM
FLA	FULL LOAD AMPS
G	GROUND
GC	GENERAL TRADES CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GEN	GENERATOR
HOA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HPC	HIGH PRESSURE CONTACT SWITCH
HZ	HERTZ
IG	ISOLATED GROUND
IMC	INTERMEDIATE METAL CONDUIT
INCD	INCANDESCENT
KVA	KILOVOLT AMPERE
KW	KILOWATT
LTG	LIGHTING OR LIGHT
LRA	LOCKED ROTOR AMPS
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MLO	MAIN LUGS ONLY
MOCP	MAXIMUM OVERCURRENT PROTECTION
MSB	MAIN SWITCHBOARD
MH	METAL HALIDE
MTS	MANUAL TRANSFER SWITCH
NAC	NOTIFICATION APPLIANCE CIRCUIT
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NF	NON-FUSED
OCC	OCCUPANCY
PA	PUBLIC ADDRESS
PB	PULL BOX OR PUSH BUTTON
PVC	POLYVINYL CHLORIDE (PLASTIC PIPE)
PWR	POWER
RECP	RECEPTACLE
STP	SHIELDED, TWISTED PAIR
TC	TIME CLOCK
TRT	TRIPLE TUBE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UTP	UNSHIELDED, TWISTED PAIR
V	VOLT
W	WATT
WAP	WIRELESS ACCESS POINT
WH	WATTHOUR
WP	WEATHERPROOF, NEMA 3R UNO
XFMR	TRANSFORMER
Z	IMPEDANCE
∅	PHASE

LIGHTING SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	GENERAL PURPOSE LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	GENERAL PURPOSE LUMINAIRE ON EMERGENCY POWER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	GENERAL PURPOSE DUAL BALLAST LUMINAIRE ONE BALLAST ON EMERGENCY POWER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	ROUND LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL WASHER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL MOUNTED LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL MOUNTED DECORATIVE LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL MOUNTED FLOOD LIGHT: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	TRACK LIGHTING
	TRACK LIGHTING HEAD
	REMOTE HEAD
	STEP LIGHT
	EMERGENCY LIGHT
	EXIT SIGN
	CEILING MOUNTED ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS
	EMERGENCY DUAL FACE ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS
	EXIT SIGN WITH INTEGRAL HEADS
	SWITCH: X=BLANK-SINGLE POLE 20A, TOGGLE; X=S-THREE WAY, X=H-FOUR WAY, X=P-PILOT LIGHT; X=K-KEY; X=MS-MOMENTARY
	PHOTOCELL
	WALL MOUNTED OCCUPANCY SENSOR: X=BLANK-DUAL TECHNOLOGY; X=IR-PASSIVE INFRARED; X=US-ULTRASONIC
	CEILING MOUNTED OCCUPANCY SENSOR: X=BLANK-DUAL TECHNOLOGY; X=IR-PASSIVE INFRARED; X=US-ULTRASONIC
	DIMMER
	POWER PACK
	JUNCTION BOX
	PANELBOARD
	LIGHTING CONTROL PANEL
	LOW VOLTAGE TRANSFORMER

POWER SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	20A DUPLEX RECEPTACLE WITH COVER PLATE: X=TYPE, Y=NON-STANDARD MOUNTING HEIGHT, Z=SPECIAL DESIGNATION, (18" AFF TYPICAL)
	DUPLEX RECEPTACLE ON EMERGENCY CIRCUIT WITH COVER PLATE: X=TYPE, Y=NON-STANDARD MTG HEIGHT, Z=SPECIAL DESIGNATION, (18" AFF TYPICAL)
	FLOOR OR CEILING MOUNTED DUPLEX RECEPTACLE:
	DUPLEX RECEPTACLE: ABOVE COUNTER (48" AFF TYPICAL)
	DOUBLE DUPLEX RECEPTACLE WITH SINGLE COVER PLATE
	SIMPLEX RECEPTACLE WITH COVER PLATE
	WEATHER RESISTANT DUPLEX RECEPTACLE, GROUND FAULT CIRCUIT INTERRUPTING WITH IN-USE COVER
	WALL MOUNTED SPECIAL RECEPTACLE: REFER TO PLANS FOR ADDITIONAL INFORMATION
	FLOOR OR CEILING MOUNTED SPECIAL RECEPTACLE: F=FLOOR, C=CEILING REFER TO PLANS FOR ADDITIONAL INFORMATION
	SURFACE MOUNTED RACEWAY
	STANDARD DISCONNECT SWITCH: X=DISCONNECT SIZE, Y=NUMBER OF POLES
	STANDARD FUSED DISCONNECT SWITCH: X=DISCONNECT SIZE, Y=FUSE SIZE, Z=NUMBER OF POLES
	MOTOR STARTER: X=STARTER SIZE, Y=NUMBER OF POLES
	COMBINATION MOTOR STARTER/DISCONNECT SWITCH: X=STARTER SIZE, Y=FUSE SIZE, Z=NUMBER OF POLES
	MOTOR (BY OTHERS); PROVIDE POWER AS INDICATED
	UTILITY METER
	FRACTIONAL HORSEPOWER MANUAL MOTOR STARTER
	JUNCTION BOX
	TRANSFORMER
	HANDHOLE/POLE BOX: SEE DETAILS FOR ADDITIONAL INFORMATION
	CONTROL PANEL
	SURGE PROTECTIVE DEVICE
	PANELBOARD
	AUTOMATIC TRANSFER SWITCH
	VARIABLE FREQUENCY DRIVE (BY DIVISION 23)
	PUSH BUTTON
	POWER POLE
	CORD REEL
	GROUND ROD
	POKE THROUGH SERVICE FITTING: X=TYPE

TELECOMM SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	4" JUNCTION BOX ROUGH-IN WALL MOUNTED DATA OUTLET (18" AFF)
	WIRELESS ACCESS POINT
	POKE THROUGH DEVICE: PROVIDE (1) DUPLEX OUTLET AND (2) CAT6 DATA JACKS, TERMINATE DATA ON PATCH PANEL, IN NEAREST IT CLOSET; A=POWER / AV / DATA, B=POWER / DATA
	SURFACE MOUNTED RACEWAY
	CABLE TRAY
	EQUIPMENT RACK
	TELEPHONE TERMINAL BOARD/PLYWOOD BACKBOARD: REFER TO PLANS FOR ACTUAL LENGTHS

SECURITY SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	CAMERA: PTZ=PAN, TILT, AND ZOOM; F=FIXED DIRECTIONAL; D=DOME CAMERA
	ALARM HORN
	CARD READER
	DOOR LATCH
	INTERCOM
	KEY PAD
	LATCH MONITOR
	MONITORING STATION
	MOTION DETECTOR
	TAMPER SWITCH
	POWER SUPPLY
	REQUEST EXIT
	ELECTRIC STRIKE
	PUSH BUTTON
	CCTV EQUIPMENT RACK

LINE TYPE LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW WORK

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
 FAX: (614) 280-8881

MOODY-NOLAN

DRAWING TITLE:
GENERAL INFORMATION - ELECTRICAL

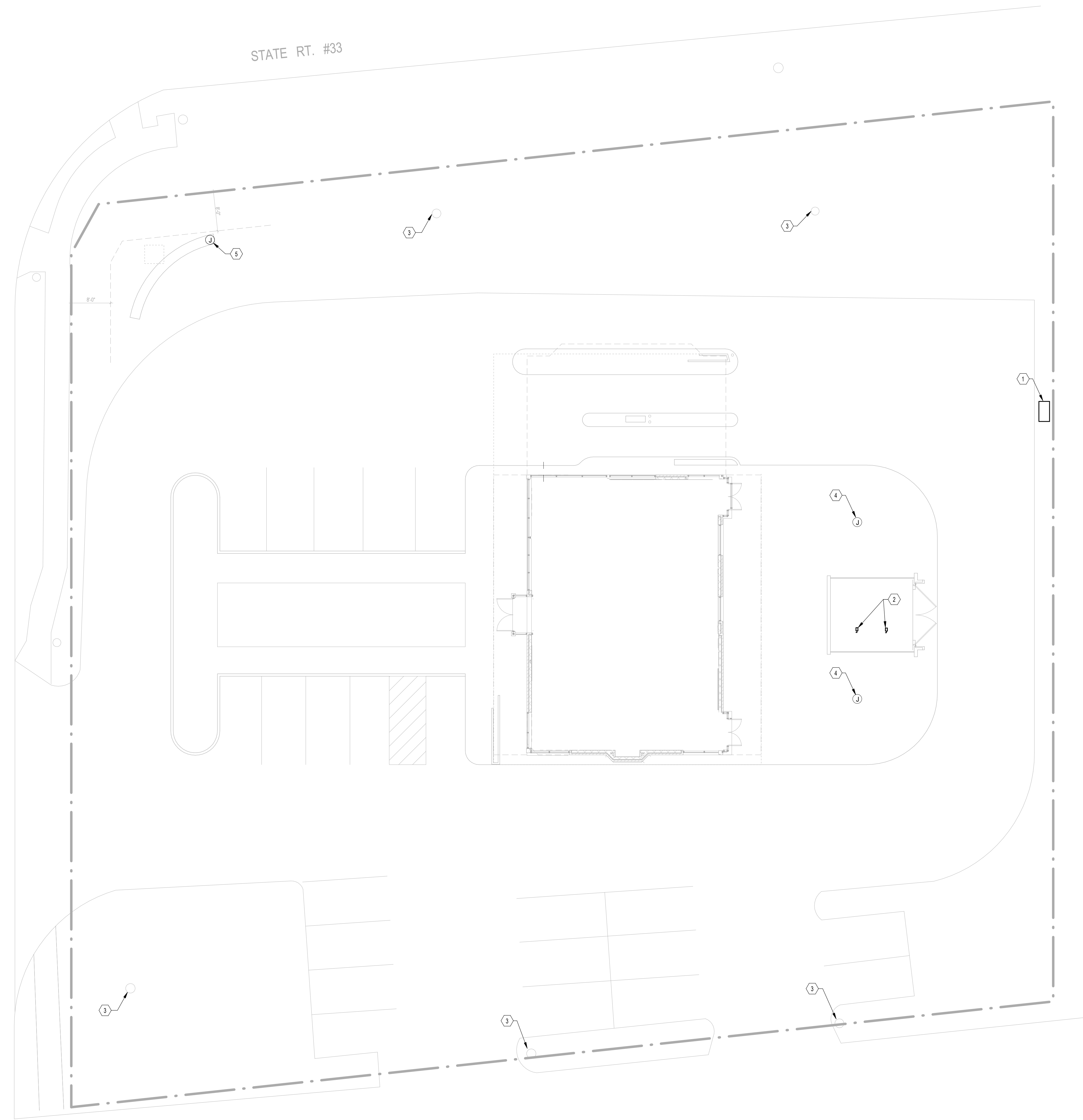
05/12/2021
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 20022

E-001

FINAL DEVELOPMENT PLAN

FRANTZ ROAD

STATE RT. #33



1 PLAN SITE PLAN - ELECTRICAL DEMOLITION
 1" = 10'-0"

- CODED NOTES:**
- EXISTING UTILITY TRANSFORMER AND SECONDARY FEEDER TO REMAIN.
 - POWER CONNECTION AND DISCONNECT TO EXISTING CONDENSING UNIT. CONDUCTORS SHALL BE COMPLETELY REMOVED BACK TO SOURCE. CONDUIT SHALL REMAIN FOR REUSE.
 - DEMOLISH EXISTING POLE LIGHT AND BASE. PROVIDE 8" X 8" HANDHOLE TO INTERCEPT CIRCUIT REFER TO NEW WORK PLAN FOR ADDITIONAL REQUIREMENTS.
 - EXISTING JUNCTION BOX TO REMAIN. RE-SECURE TO EXISTING POLE BASE AND TIGHTEN COVER TO ENSURE WATER RESISTANCE.
 - DEMOLISH EXISTING SIGN. PROVIDE 8" X 8" HANDHOLE TO INTERCEPT CIRCUIT REFER TO NEW WORK PLAN FOR ADDITIONAL REQUIREMENTS.

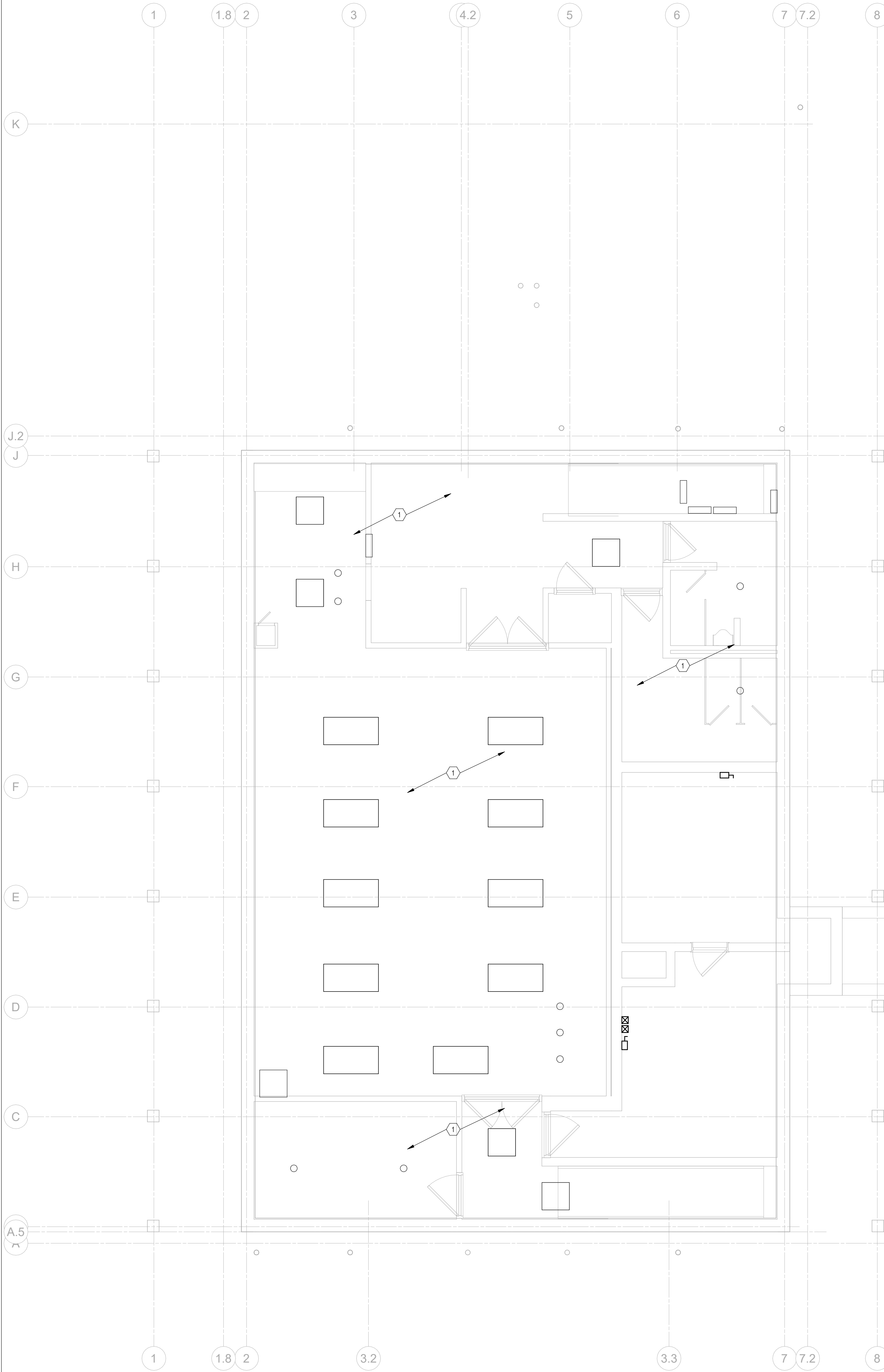
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
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 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

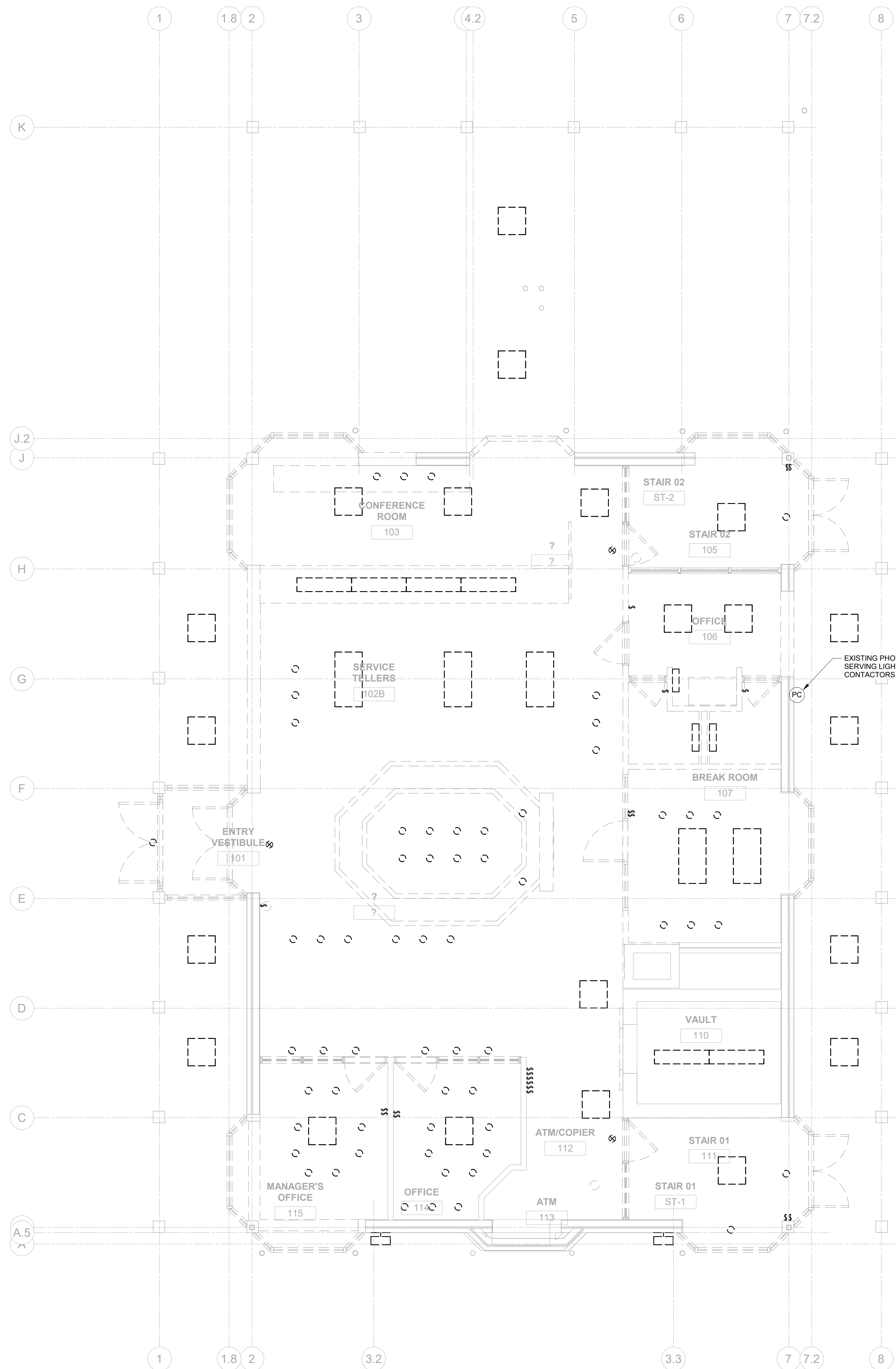
MOODY-NOLAN
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SITE PLAN - ELECTRICAL - DEMOLITION

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ED100		FINAL DEVELOPMENT PLAN



2 PLAN BASEMENT CEILING PLAN - ELECTRICAL - DEMOLITION
 1/4" = 1'-0"



1 PLAN FIRST FLOOR CEILING PLAN - LIGHTING - DEMOLITION
 1/4" = 1'-0"

- GENERAL NOTES:**
- A. UNLESS NOTED OTHERWISE ALL 1ST FLOOR INTERIOR LUMINAIRES AND CONTROLS SHALL BE DEMOLISHED.
 - B. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND REPRESENT AN APPROXIMATION OF INITIAL CONDITIONS. INFORMATION PROVIDED IS BASED ON THE BEST AVAILABLE DATA. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF THE NEW WORK PRIOR TO CONSTRUCTION.
 - C. ENSURE THAT ALL LIGHTING FIXTURES AND WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPERATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH CIRCUITING AS REQUIRED TO MAINTAIN SERVICE.
 - D. ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH STATE, LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
 - E. UNLESS NOTED OTHERWISE, ALL CONDUCTORS OF DEMOLISHED DEVICES AND EQUIPMENT THAT ARE NOT INDICATED FOR REUSE SHALL BE COMPLETELY REMOVED BACK TO SOURCE.
- CODED NOTES:**
- 1. EXISTING LUMINAIRES TO REMAIN. TEMPORARILY SUSPEND LUMINAIRES DURING CONSTRUCTION AS REQUIRED

#	DATE	CHANGE DESCRIPTION

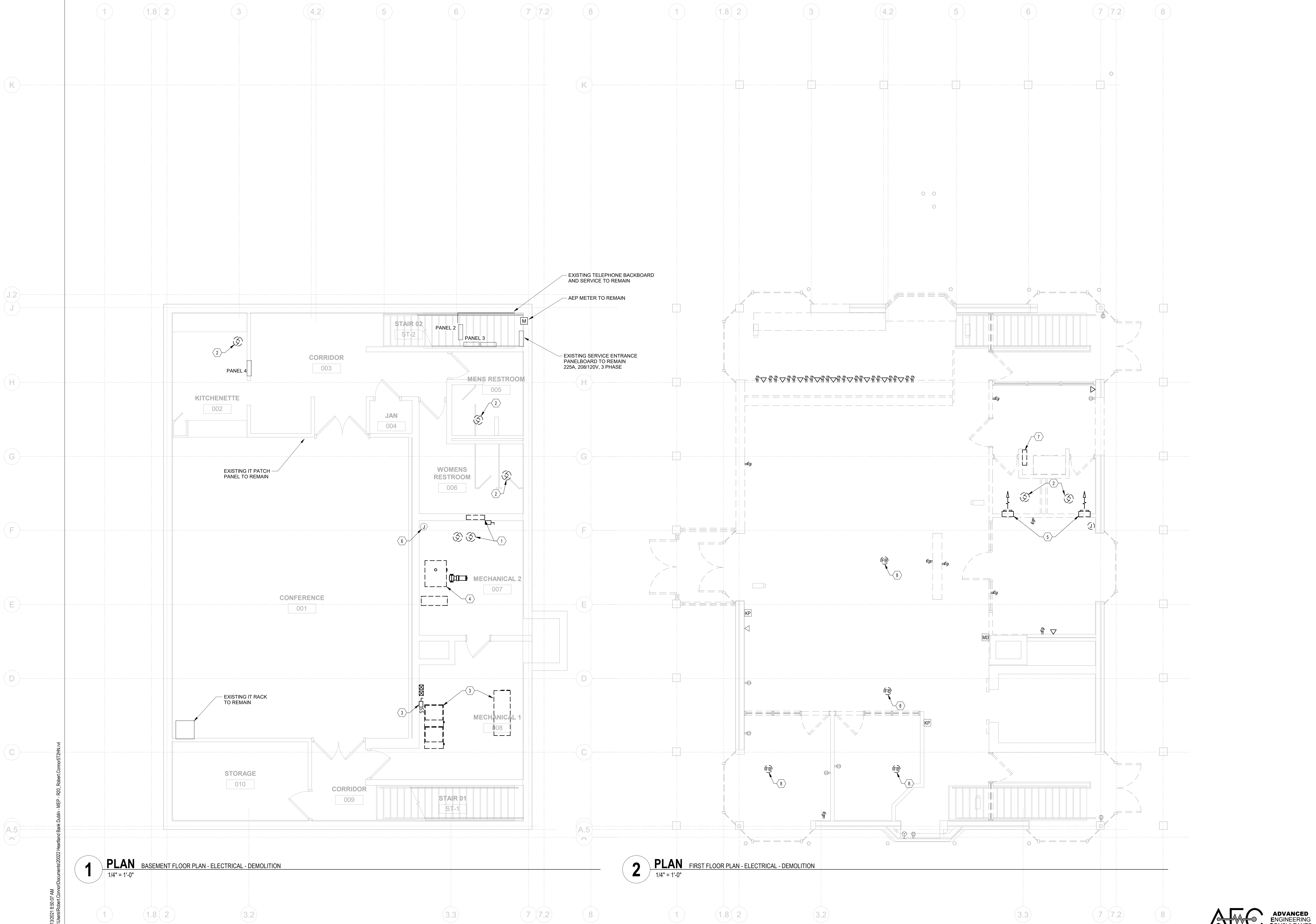
RENOVATION OF HEARTLAND BANK DUBLIN
 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
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FLOOR PLANS - LIGHTING - DEMOLITION

DRAWING TITLE:		05/12/2021
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ED101		FINAL DEVELOPMENT PLAN

AEC ADVANCED ENGINEERING CONSULTANTS
 Mechanical | Electrical | Plumbing | Fire Protection
 1400 Dublin Road, Ste. 614, 43015
 Columbus, Ohio 43215 Fax: (614) 486-4082



1 PLAN BASEMENT FLOOR PLAN - ELECTRICAL - DEMOLITION
1/4" = 1'-0"

2 PLAN FIRST FLOOR PLAN - ELECTRICAL - DEMOLITION
1/4" = 1'-0"

- GENERAL NOTES:**
- A. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND REPRESENT AN APPROXIMATION OF INITIAL CONDITIONS. INFORMATION PROVIDED IS BASED ON THE BEST AVAILABLE DATA. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF THE NEW WORK PRIOR TO CONSTRUCTION.
 - B. ENSURE THAT ALL WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPERATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH CIRCUITING AS REQUIRED TO MAINTAIN SERVICE.
 - C. ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH STATE, LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
 - D. UNLESS NOTED OTHERWISE, ALL CONDUCTORS OF DEMOLISHED DEVICES AND EQUIPMENT THAT ARE NOT INDICATED FOR REUSE SHALL BE COMPLETELY REMOVED BACK TO SOURCE.
 - E. ALL REMAINING OPEN JUNCTION BOXES OR BACK BOXES AS A RESULT OF DEMOLITION WORK SHALL BE CLOSED WITH BLANK COVERPLATES AND KNOCKOUT ENCLOSURE MATCHING FINISHES.

- CODED NOTES:**
- 1. POWER CONNECTION TO SEWAGE EJECTOR PUMP AND SUMP PUMP TO BE DEMOLISHED. DEMOLISH EXISTING CONTROL PANEL AND ASSOCIATED HARDWARE. MAINTAIN AND PROTECT EXISTING CIRCUITS FOR USE WITH NEW PUMPS.
 - 2. POWER CONNECTION TO EXHAUST FAN TO BE DEMOLISHED.
 - 3. POWER CONNECTION TO FURNACE AND ASSOCIATED HARDWARE TO BE DEMOLISHED.
 - 4. POWER CONNECTION TO BOILER AND ASSOCIATED HARDWARE TO BE DEMOLISHED.
 - 5. POWER CONNECTION TO UNIT HEATER TO BE DEMOLISHED.
 - 6. WATER HEATER TO REMAIN.
 - 7. DEMOLISH EXISTING LOAD CENTER. ENSURE THAT ALL WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPERATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH CIRCUITING AS REQUIRED TO MAINTAIN SERVICE.
 - 8. DEMOLISH EXISTING FLOOR BOX. INFILL BACKBOX AS REQUIRED.

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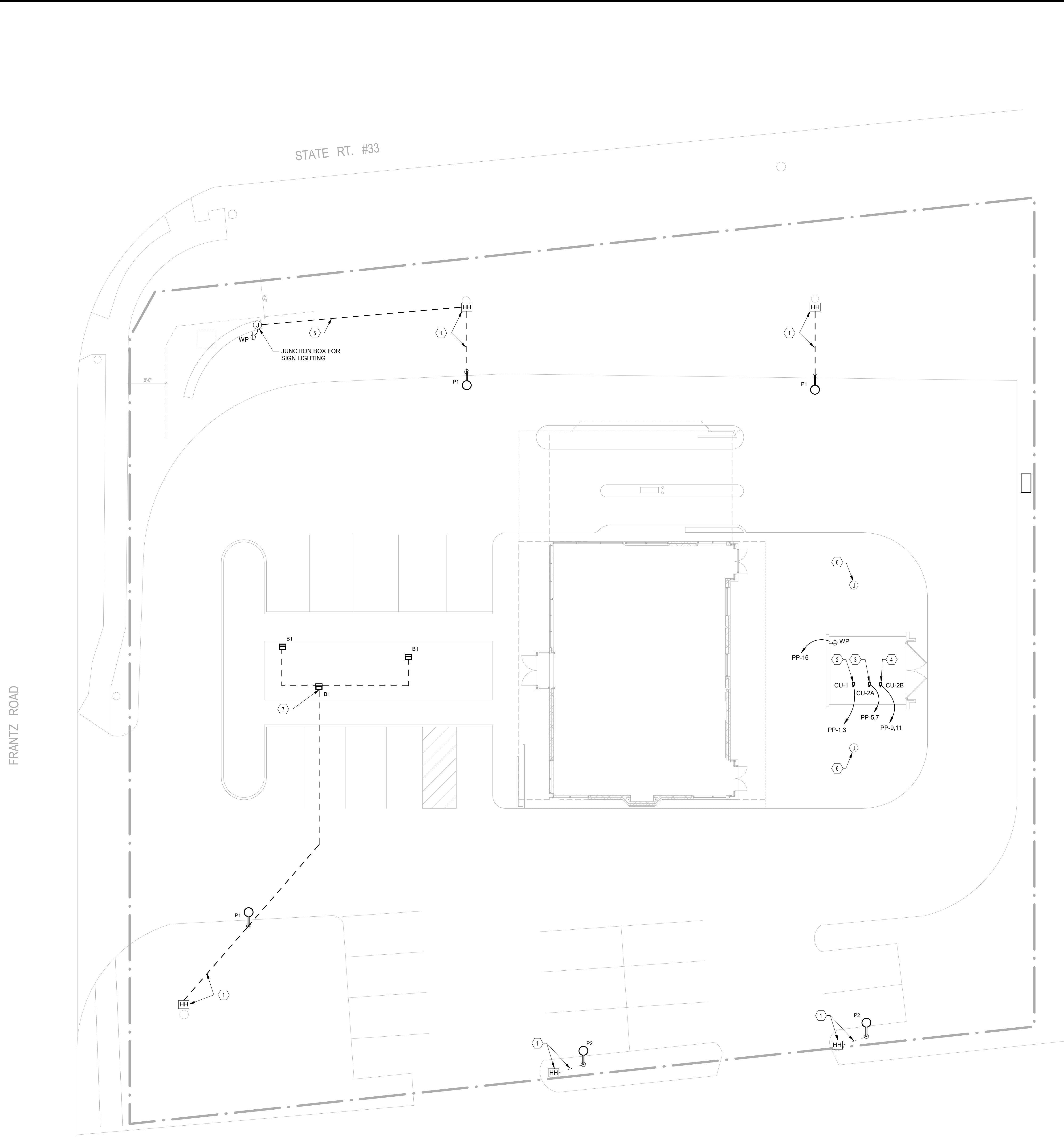
RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

**FLOOR PLANS -
POWER/SYSTEMS - DEMOLITION**

DRAWING TITLE:
05/12/2021
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20022

ED201
FINAL DEVELOPMENT PLAN



1 PLAN SITE PLAN - ELECTRICAL
 1" = 10'-0"

GENERAL NOTES:

- A. UNLESS NOTED OTHERWISE, MINIMUM CONDUIT SIZE FOR ALL EXTERIOR INSTALLATIONS SHALL BE 1".
- B. UNDERGROUND CONDUIT ROUTING SHOWN IS DIAGRAMMATIC. CONTRACTOR SHALL CONDUCT UNDERGROUND UTILITY LOCATING AND DETERMINE EXACT ROUTING. CONTRACTOR SHALL ALSO CONTACT "DUPS" NO LESS THAN 7 CALENDAR DAYS PRIOR TO DIGGING.
- C. COORDINATE ALL SITE WORK WITH OTHER TRADES AND EXISTING UNDERGROUND UTILITIES.

CODED NOTES:

- 1. PROVIDE NEW LIGHT POLE AND LUMINAIRE. EXTEND EXISTING CIRCUIT (WITH #12 AWG CONDUCTORS) FROM HANDHOLE TO LUMINAIRE.
- 2. CU-1, 208V, 1PH 23.5A: PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY. 2-#10, #10 G IN EXISTING CONDUIT.
- 3. CU-2A, 208V, 1PH 23.5A: PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY. 2-#10, #10 G EXISTING CONDUIT.
- 4. CU-2B, 208V, 1PH 23.5A: PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY. 2-#10, #10 G IN 3/4" CONDUIT.
- 5. EXTEND EXISTING LIGHTING CIRCUIT FROM HANDHOLE TO SIGN LIGHTING. INTERCEPT CIRCUIT. MATCH WIRE SIZE. MAKE JUNCTIONS AND EXTEND TO NEW SIGN.
- 6. EXISTING JUNCTION BOX TO REMAIN. RE-SECURE TO EXISTING POLE BASE AND TIGHTEN COVER TO ENSURE WATER RESISTANCE.
- 7. EXTEND EXISTING SITE LIGHTING CIRCUIT FROM SITE LIGHTING HANDHOLE TO BOLLARD LIGHTING. COORDINATE BOLLARD LOCATIONS WITH LANDSCAPING PLANS PRIOR TO ROUGH-IN.

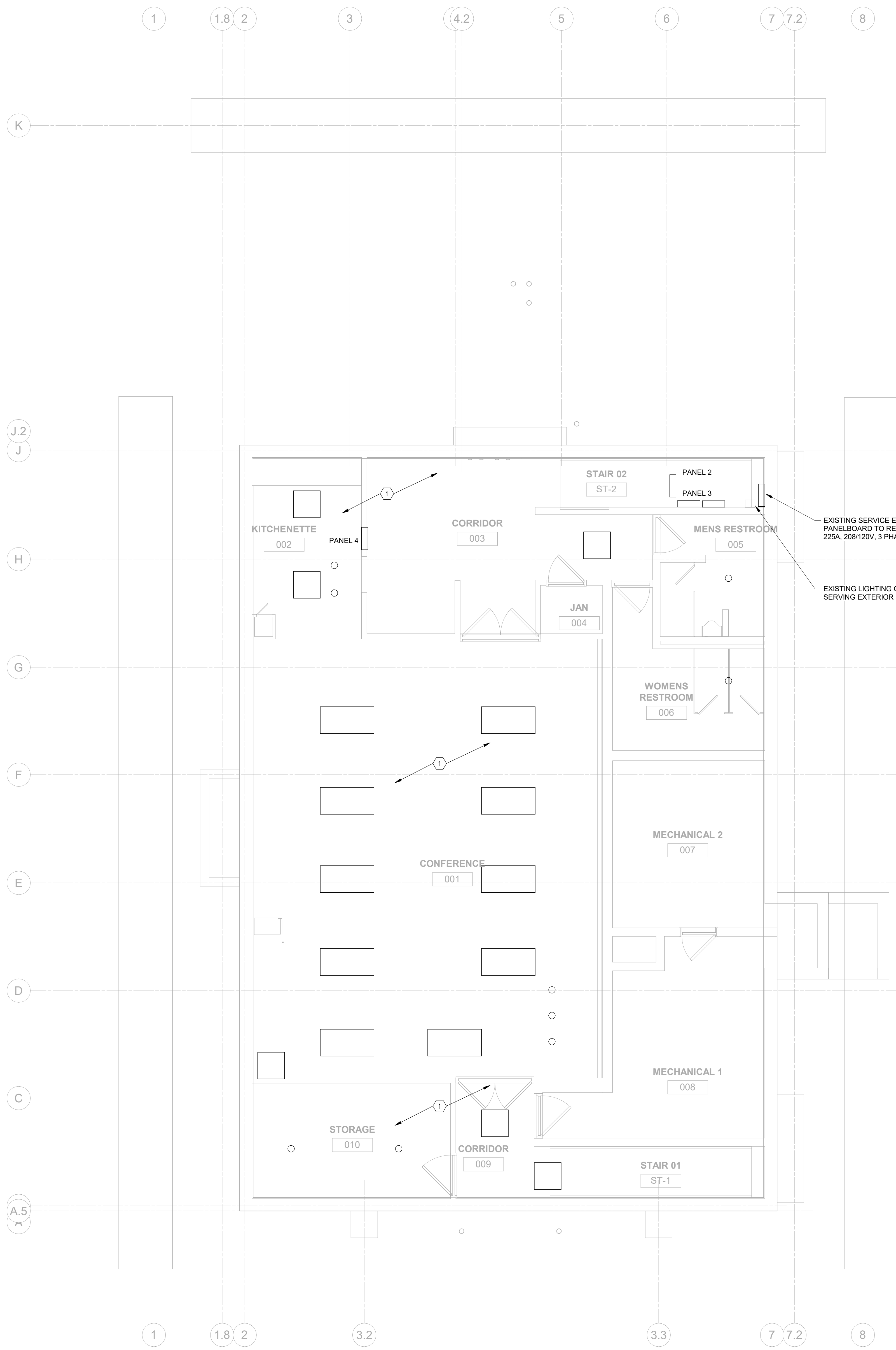
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
 6500 FRANTZ ROAD
 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
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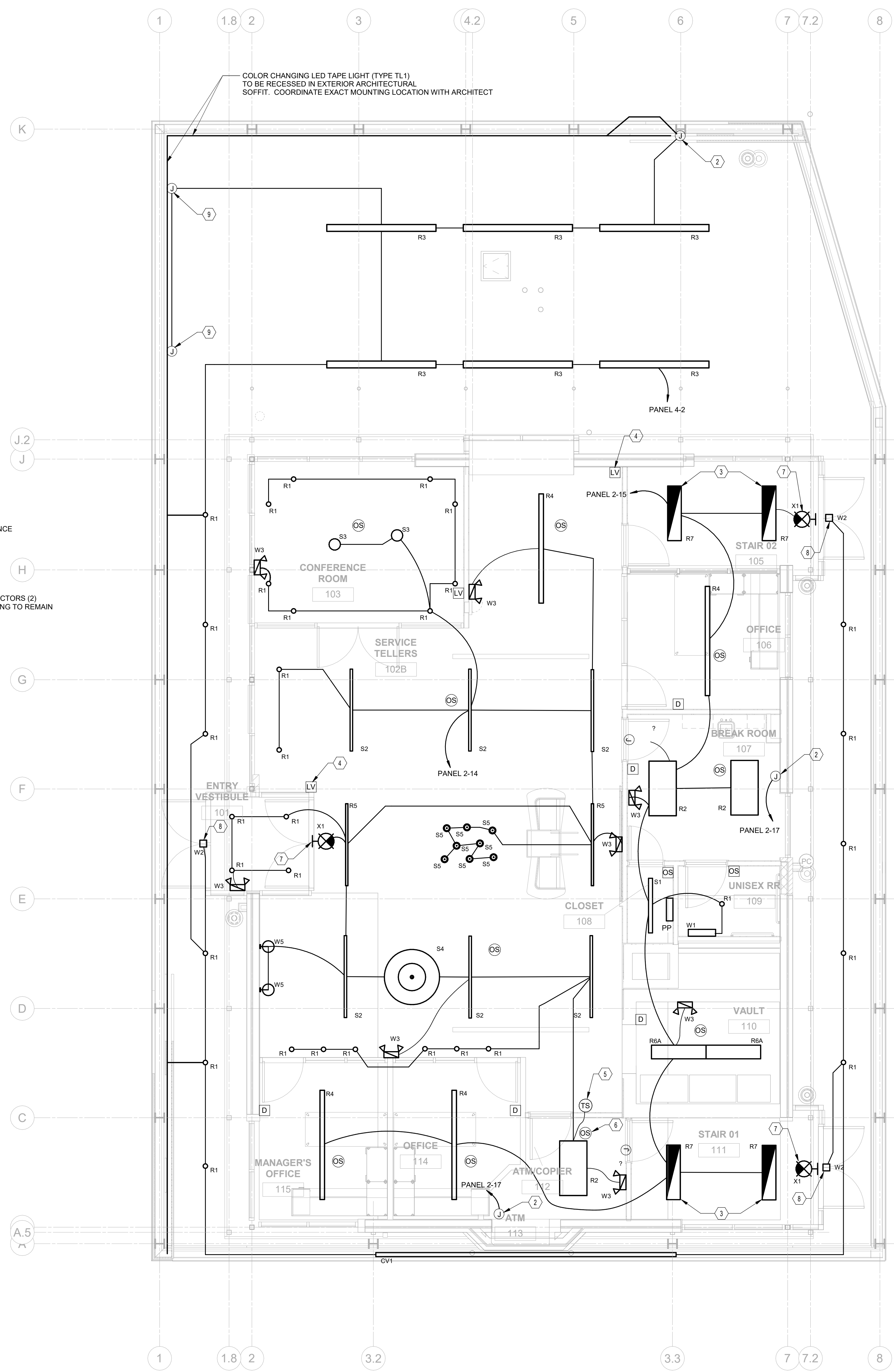
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SITE PLAN - ELECTRICAL

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	ES100
	FINAL DEVELOPMENT PLAN



1 PLAN BASEMENT CEILING PLAN - LIGHTING
1/4" = 1'-0"

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2 PLAN FIRST FLOOR CEILING PLAN - LIGHTING
1/4" = 1'-0"

- GENERAL NOTES:**
- A. COORDINATE EXACT LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING PLAN AND HVAC PLANS PRIOR TO ROUGH-IN TO AVOID CONFLICTS.
 - B. CONTRACTOR SHALL FIELD VERIFY EXISTING PANEL CIRCUITING FOR CIRCUIT MODIFICATIONS SHOWN. MAINTAIN CIRCUITRY CONTINUITY FOR DOWNSTREAM DEVICES.
 - C. POWER PACKS AND SLAVE PACKS ARE NOT SHOWN FOR CLARITY. POWER PACKS AND SLAVE PACKS SHALL BE LOCATED WITHIN EACH ROOM ABOVE CEILING ADJACENT TO THE ENTRY DOOR.
 - D. NO SHARED NEUTRALS - EACH NEW CIRCUIT SHALL HAVE DEDICATED NEUTRAL CONDUCTOR.
 - E. PROVIDE ALL MOUNTING HARDWARE PER MANUFACTURER'S WRITTEN INSTRUCTIONS TO SUPPORT LUMINAIRES. CONTRACTOR TO VERIFY MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN. LUMINAIRES SHALL NOT BE SUPPORTED BY CEILINGS.
 - F. STRAIGHT LINES INDICATE LUMINAIRES CIRCUITED TO COMMON CONTROLS. ARCHED LINES INDICATE A COMMON BRANCH CIRCUIT BUT SEPARATE CONTROLS.
 - G. EMERGENCY EGRESS LIGHTING, EXIT SIGNS AND NIGHT LIGHTS SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING OR CONTROLS WITH A MINIMUM OF #12 CONDUCTORS.
- CODED NOTES:**
1. EXISTING LUMINAIRES TO REMAIN. TEMPORARILY SUSPEND LUMINAIRES DURING CONSTRUCTION AS REQUIRED.
 2. POWER CONNECTION TO EXTERIOR LIGHTED SIGN. COORDINATE EXACT REQUIREMENTS WITH SIGN MANUFACTURER PRIOR TO ROUGH-IN.
 3. LUMINAIRES MOUNTED IN STAIRS SHALL BE PROVIDED WITH INTEGRAL OCCUPANCY SENSOR. LIGHTING POWER IN STAIRS SHALL BE REDUCED AUTOMATICALLY BY AT LEAST 50% WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING THE STAIRS.
 4. SWITCH FOR AFTER HOURS OVERRIDE.
 5. TOUCH SCREEN CONTROLLER FOR LIGHTING SYSTEM. COORDINATE EXACT LOCATION WITH OWNERS REPRESENTATIVE PRIOR TO ROUGH-IN.
 6. OCCUPANCY SENSOR SET TO AUTO ON/OFF.
 7. MULLION MOUNTED EXIT SIGN.
 8. MULLION MOUNTED EMERGENCY LIGHT. REMOTE POWER SUPPLY/EMERGENCY BATTERY TO BE MOUNTED IN ADJACENT ACCESSIBLE CEILING. LOCATE REMOTE TEST SWITCH IN ACCESSIBLE CEILING.
 9. JUNCTION BOX FOR POWER CONNECTION TO FUTURE DRIVE-THRU SIGNAL LIGHT.

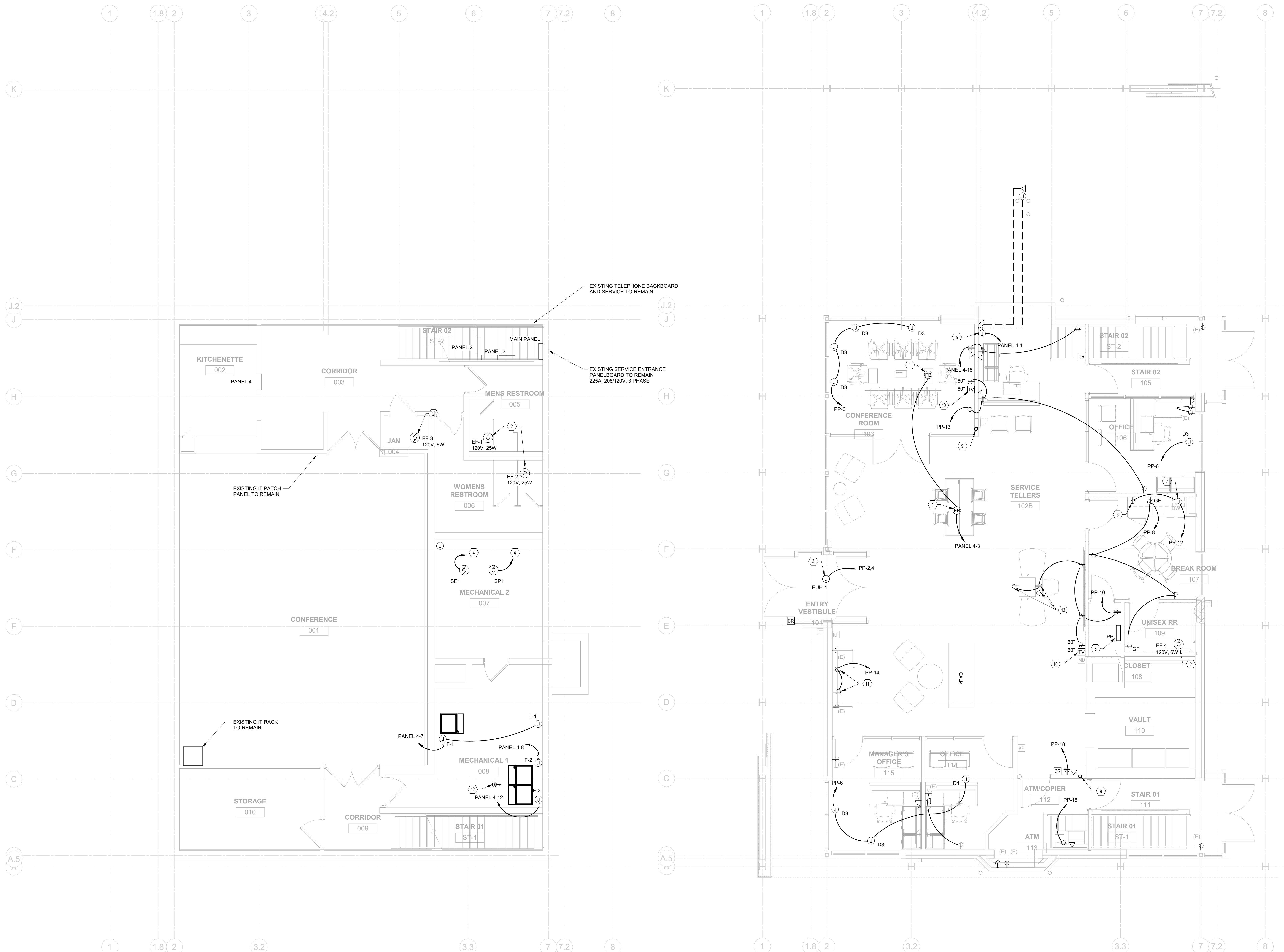
#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6505 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
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DRAWING TITLE:
FLOOR PLANS - LIGHTING

05/12/2021	
DRAWN BY: Author	CHECKED BY: Checker
20022	
E-101	
FINAL DEVELOPMENT PLAN	



1 PLAN BASEMENT FLOOR PLAN - ELECTRICAL
 1/4" = 1'-0"

2 PLAN FIRST FLOOR PLAN - ELECTRICAL
 1/4" = 1'-0"

- GENERAL NOTES:**
- UNLESS NOTED OTHERWISE NO ELECTRICAL WORK ANTICIPATED IN BASEMENT.
 - DRAWING REPRESENTS AN APPROXIMATION OF INITIAL CONDITIONS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXTENT OF DEMOLITION WORK PRIOR TO BID.
 - COORDINATE ROUGH-IN REQUIREMENTS OF DEVICES WITH FURNITURE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 - ALL DATA CABLING/DEVICE MATERIALS AND INSTALLATION SHALL BE BY OWNER.
 - CONTRACTOR SHALL FIELD VERIFY EXISTING PANEL CIRCUITING FOR CIRCUIT MODIFICATIONS SHOWN. MAINTAIN CIRCUITRY CONTINUITY FOR DOWNSTREAM DEVICES.
 - NO SHARED NEUTRALS - EACH NEW CIRCUIT SHALL HAVE DEDICATED NEUTRAL CONDUCTOR.
- CODED NOTES:**
- PROVIDE POKE THRU WITH RECEPTACLE AND TWO (2) DATA OUTLETS. HUBBELL SYSTEM ONE S1PFTF-S1SPDU2IM (OR EQUAL). COVER PLATE TYPE AND COLOR TO BE SELECTED BY ARCHITECT.
 - EXHAUST FAN 120V FRACTIONAL HP WITH INTEGRAL DISCONNECT. FAN SHALL BE CIRCUITED AND CONTROLLED WITH LIGHTS SERVING THE SPACE.
 - ELECTRIC UNIT HEATER, 208V SINGLE PHASE 19.2A WITH INTEGRAL DISCONNECT.
 - UTILIZE EXISTING CIRCUIT RETAINED FROM DEMOLITION PHASE TO SERVE NEW EQUIPMENT. INTERCEPT CIRCUIT. MATCH WIRE SIZE, MAKE JUNCTIONS AND EXTEND TO NEW EQUIPMENT AS NECESSARY.
 - POWER CONNECTION TO TELLER/CUSTOMER INTERFACE. EXTEND TWO (2) 3/4" CONDUITS FOR POWER/DATA UNDERGROUND FROM TELLER TERMINAL ASSEMBLY TO CUSTOMER TERMINAL ASSEMBLY AND TO AUDIO MATRIX PER MANUFACTURERS RECOMMENDATIONS. COORDINATE EXACT LOCATION PRIOR TO ROUGH-IN.
 - RECEPTACLE FOR UNDER COUNTER REFRIGERATOR.
 - POWER CONNECTION TO UNDER COUNTER DISH WASHER.
 - NEW SURFACE MOUNTED SUB PANEL PP. EXTEND 4-#1 AND 1-#6 GROUND IN 1.5" CONDUIT TO PANEL "MAIN" IN BASEMENT.
 - PROVIDE 2" CONDUIT RISER WITH PULL STRING FOR OWNERS FUTURE DATA CABLING INSTALLATION. STUB TO ABOVE ACCESSIBLE CEILING WITH INSULATION RING AT TOP OF CONDUIT.
 - ROUGH-IN FOR TV OUTLET. EXTEND CONDUIT AND PULL STRING TO ACCESSIBLE CEILING ABOVE.
 - COORDINATE DEVISE LOCATION WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
 - DUCT MOUNTED SMOKE DETECTOR AND REMOTE INDICATOR TO BE PROVIDED BY DIVISION 23 FOR SHUTDOWN OF FURNACE F2.
 - PROVIDE 1" CONDUIT STUB FROM BASEMENT FOR EACH DEVICE AT THIS COUNTER.

#	DATE	CHANGE DESCRIPTION

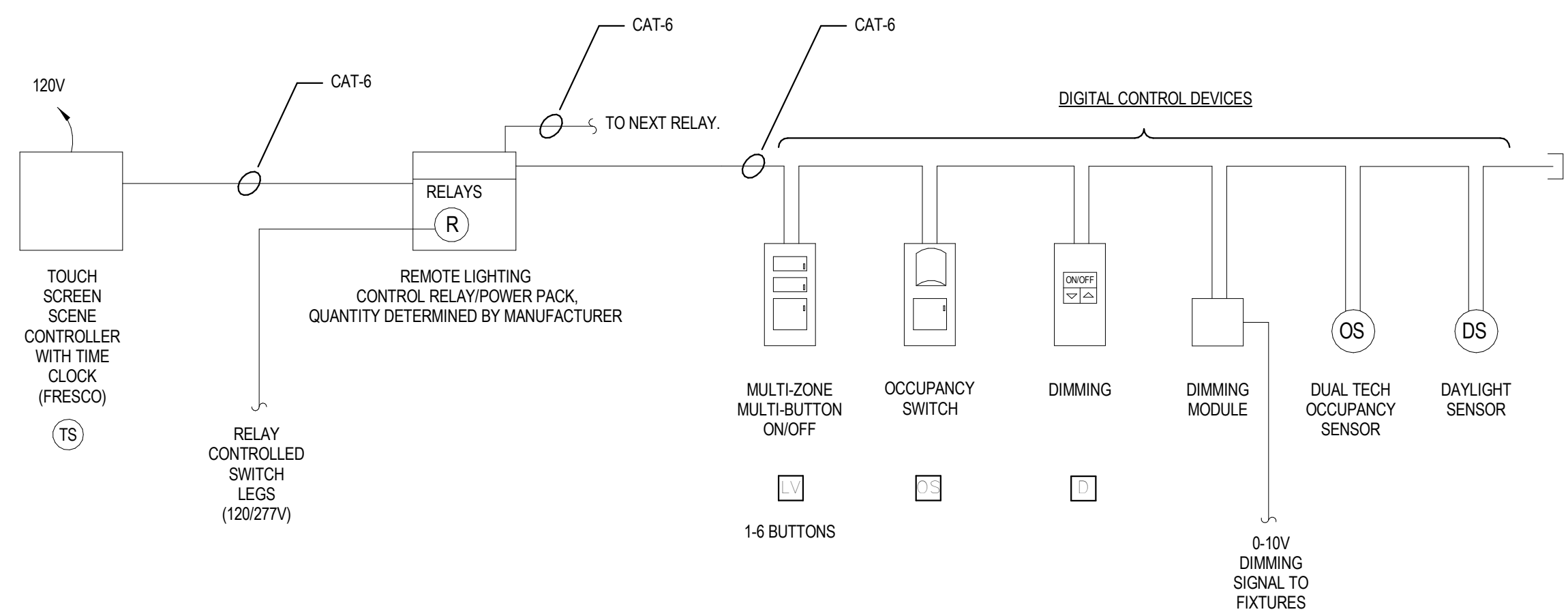
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 DUBLIN, OH 43017
 FOR
HEARTLAND BANK

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FLOOR PLANS - POWER/SYSTEMS

DRAWING TITLE:
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 20022

E-201
 FINAL DEVELOPMENT PLAN



ROOM CONTROL SCENARIOS

BASIS OF DESIGN RELAY CONTROL SYSTEM IS LIGHT BY ACUTY BRANDS. UPPER CASE LETTER DENOTES SWITCH TYPE. LOWER CASE LETTERS INDICATE CONTROL GROUPS. REFER TO PLANS.

COMMON SPACES (CORRIDORS, LOBBY)

- (TC) TIME CLOCK TURNS INTERIOR LIGHTS 'ON' / 'OFF'.
- (TS) TOUCH SCREEN SHALL OVER-RIDE 'ON/OFF' AND CONTROL PROGRAMMED SCENES
- (L) LOCAL WALL SWITCH SHALL OVER-RIDE TIME CLOCK 'ON' / 'OFF'. INTENDED FOR AFTER HOURS USE. PROVIDE QUANTITY OF SMALL BUTTONS TO MATCH QUANTITY OF SWITCH GROUPS SHOWN. PROVIDE ONE 'ALL OFF' BUTTON.
- (OS) LOCAL OCCUPANCY SENSOR (WHERE SHOWN) SHALL OPERATE ONLY AFTER HOURS, 'ON' / 'OFF'.
- (DS) DAYLIGHT SENSOR (WHERE SHOWN) SHALL DIM DESIGNATED FIXTURES TO MAINTAIN A CONSTANT FOOT-CANDLE LEVEL IN THE SPACE.

PRIVATE OFFICES

- (OS) OCCUPANCY SENSOR SHALL TURN LIGHTS 'ON' / 'OFF'. AUTO-ON SHALL PRODUCE 50% OUTPUT (DIMMING).
- (L) LOCAL WALL SWITCH SHALL ALLOW USER TO RAISE OR LOWER LIGHTING LEVELS WITH FULL RANGE 0-10V DIMMING, OR SELECT 'OFF'. PROVIDE THREE BUTTON SWITCH WITH 'HIGH', 'LOW', 'OFF' SELECTIONS.

CONFERENCE ROOMS

- (OS) OCCUPANCY SENSOR SHALL TURN LIGHTS 'ON' / 'OFF'. AUTO-ON SHALL PRODUCE 50% OUTPUT (DIMMING).
- (L) LOCAL WALL SWITCH SHALL ALLOW USER TO RAISE OR LOWER LIGHTING LEVELS WITH FULL RANGE 0-10V DIMMING, OR SELECT 'OFF'. PROVIDE THREE BUTTON SWITCH WITH 'HIGH', 'LOW', 'OFF' SELECTIONS.

BREAK ROOM

- (L) LOCAL WALL SWITCHES SHALL PROVIDE MANUAL 'ON' / 'OFF' AND ALLOW USER TO RAISE OR LOWER LIGHTING LEVELS WITH 0-10V DIMMING MINIMUM TRIM SET TO 20%. PROVIDE THREE BUTTON SWITCH WITH 'HIGH', 'LOW', 'OFF' SELECTIONS.
- (OS) OCCUPANCY SENSOR SHALL TURN LIGHTS 'OFF' ONLY.

RESTROOMS, JANITORS CLOSET

- (L) LOCAL OS WALL SWITCH SHALL PROVIDE AUTO 'ON' / 'OFF'. PROVIDE ONE MANUAL BUTTON FOR 'ON' / 'OFF' OVER-RIDE.

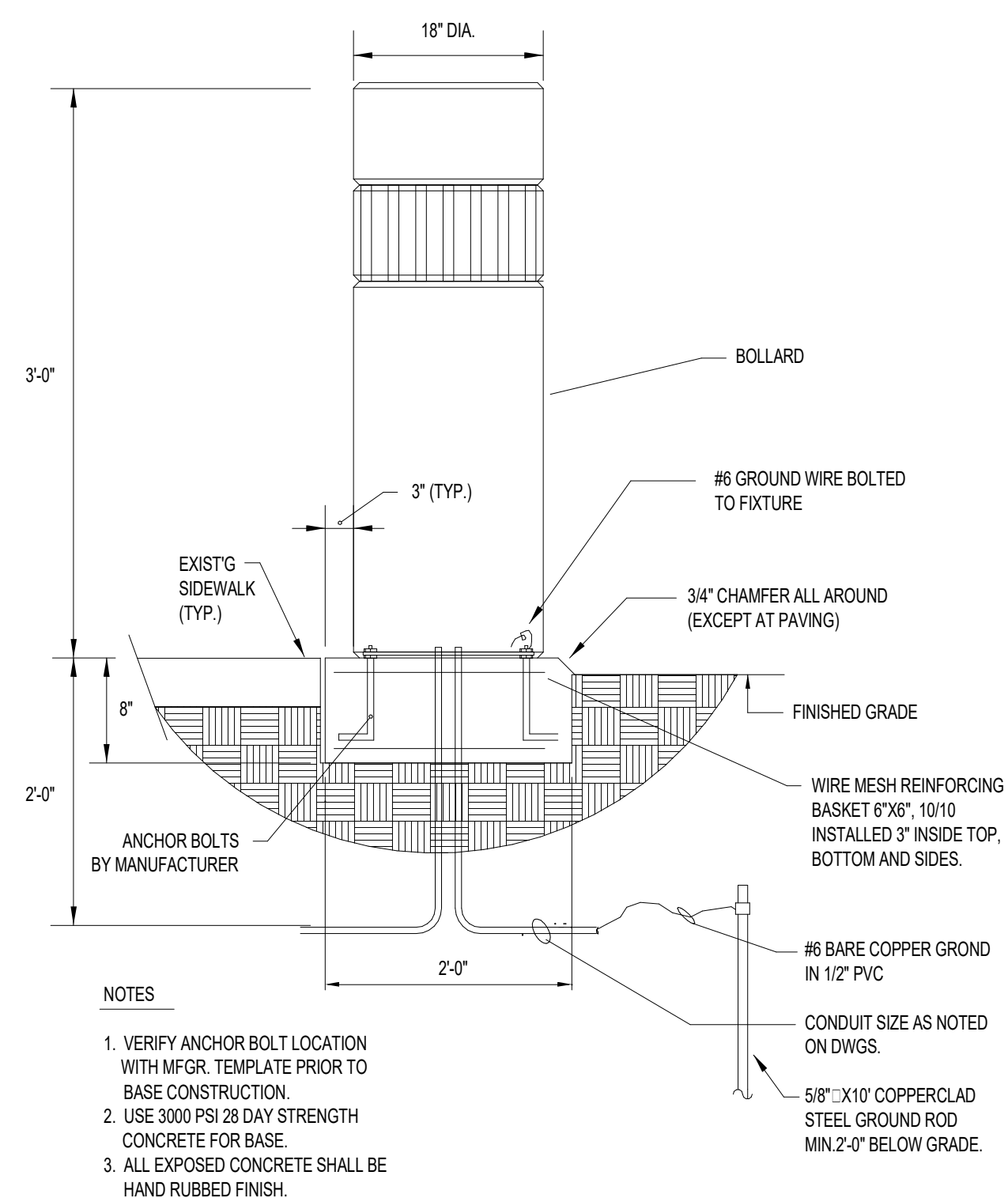
EXTERIOR EMERGENCY LIGHTING

- (PC) OUTDOOR PHOTOCELL SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'.
- (TC) TIME CLOCK SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'. COORDINATE SCHEDULE WITH OWNER.

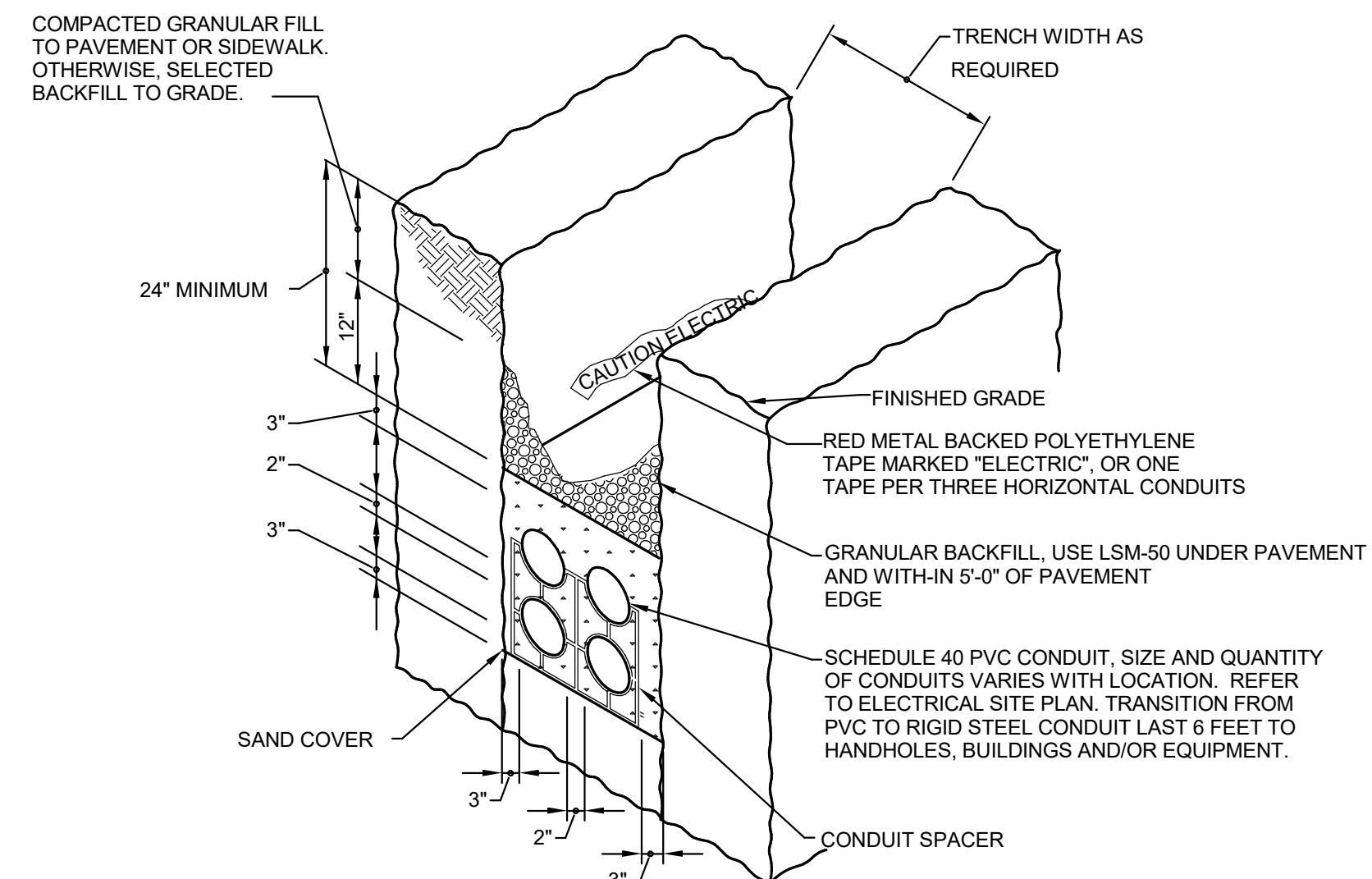
EXTERIOR PERIMETER FACADE LIGHTING

- (PC) OUTDOOR PHOTOCELL SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'.
- (TC) TIME CLOCK SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'. COORDINATE SCHEDULE WITH OWNER. SCHEDULE SHALL COMPLY WITH ASHRAE 90.1 2010.

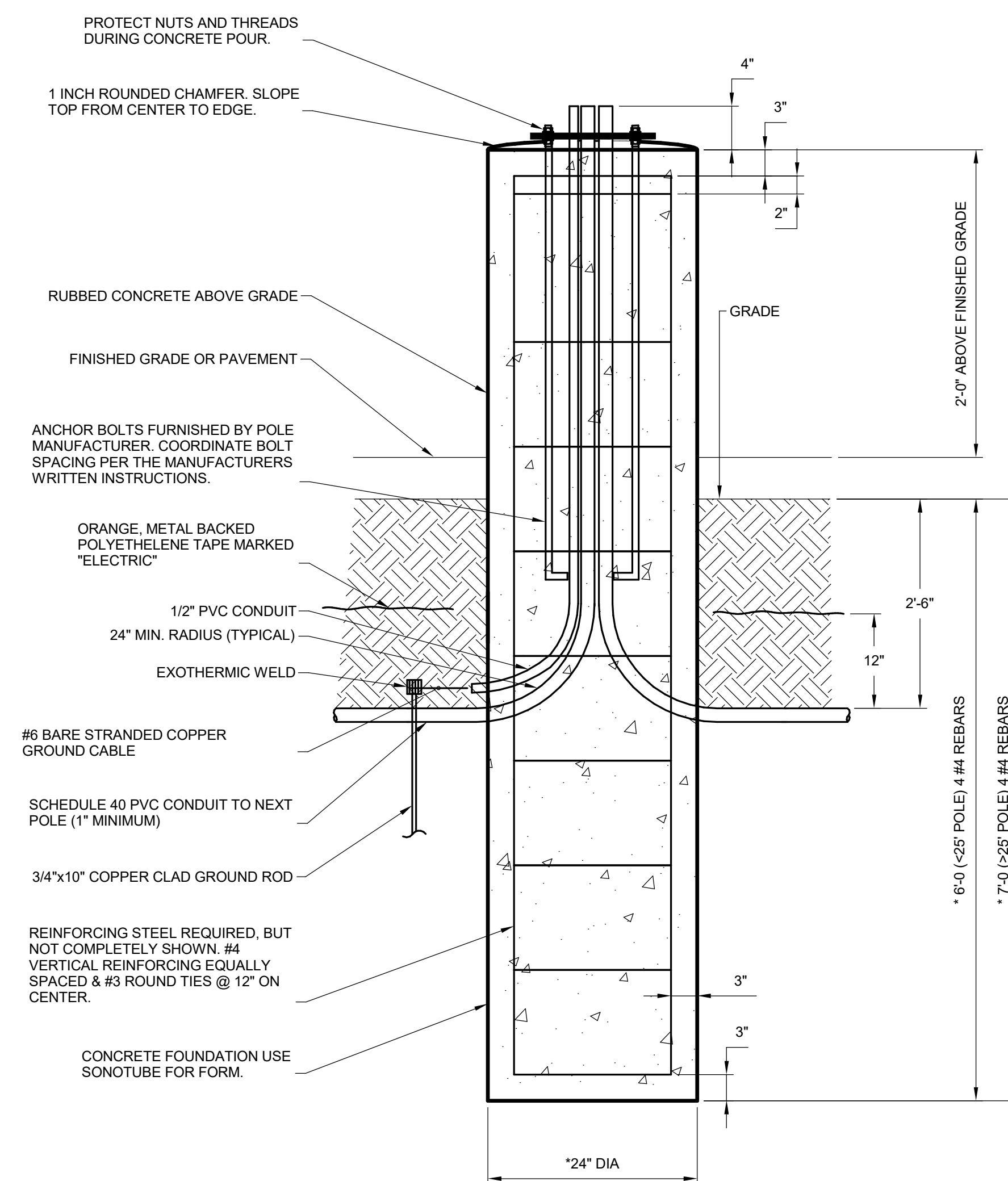
1 DETAIL - LIGHTING CONTROL RISER
NTS



4 DETAIL - LIGHTED BOLLARD BASE
NTS



2 DETAIL - DIRECT BURIED CONDUIT
NTS



3 DETAIL - CONCRETE POLE BASE
NTS

#	DATE	CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

MOODY-NOLAN
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

DRAWING TITLE:
DETAILS ELECTRICAL

05/12/2021	CHECKED BY: Checker
DRAWN BY: Author	20022
E-501	
FINAL DEVELOPMENT PLAN	

Panel: MAIN... Location: BASEMENT Supply From: UTILITY Mounting: SURFACE Enclosure: Type 1. Includes circuit descriptions, trip poles, and load calculations.

Panel: PANEL 2 Location: STAIR 02 ST-2 Supply From: MAIN PANEL Mounting: Recessed Enclosure: Type 1. Includes circuit descriptions, trip poles, and load calculations.

Panel: PANEL 3 Location: STAIR 02 ST-2 Supply From: MAIN PANEL Mounting: Recessed Enclosure: Type 1. Includes circuit descriptions, trip poles, and load calculations.

Panel: PANEL 4 Location: KITCHENETTE 002 Supply From: MAIN PANEL Mounting: Recessed Enclosure: Type 1. Includes circuit descriptions, trip poles, and load calculations.

Panel: PP Location: UNISEX RR 109 Supply From: MAIN PANEL Mounting: Surface Enclosure: Type 1. Includes circuit descriptions, trip poles, and load calculations.

LUMINAIRE SCHEDULE Table with columns: TYPE, DIMENSIONS, MOUNTING, CONSTRUCTION AND FINISH, DESCRIPTION AND OPTIONS, LAMPS, DRIVER(S), VOLTAGE/OAD, APPROVED MANUFACTURER(S). Lists various lighting fixtures like bollards, linear slots, and troffers.

- GENERAL NOTES: 1. PANELBOARD INFORMATION SHOWN IS FROM EXISTING PANEL SCHEDULES AND AS-BUILT DRAWINGS... 2. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS...

- CODED NOTES: 1. ALL FINAL LUMINAIRE FINISHES, COLOR AND TRIM SELECTIONS SHALL BE BY THE ARCHITECT... 2. PROVIDE 100A/3P BREAKER FOR NEW LOAD...

Change Description Table with columns: #, DATE, CHANGE DESCRIPTION.

RENOVATION OF HEARTLAND BANK DUBLIN. 6500 FRANTZ ROAD DUBLIN, OH 43017 FOR HEARTLAND BANK

MOODY-NOLAN 300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 461-4664 FAX: (614) 280-8881

DRAWING TITLE: SCHEDULES - ELECTRICAL

SCHEDULES - ELECTRICAL

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022 E-601 FINAL DEVELOPMENT PLAN

AFC ADVANCED ENGINEERING CONSULTANTS Mechanical Electrical Plumbing Fire Protection 1400 Dublin Road, Columbus, Ohio 43215