

# RENOVATION OF HEARTLAND BANK DUBLIN

6500 FRANTZ ROAD DUBLIN, OH 43017

PREPARED FOR:



430 N. HAMILTON ROAD WHITEHALL, OH 43213

PREPARED BY:

CIVIL ENGINEER



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LANDSCAPE ARCHITECT



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**ARCHITECT** 



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STRUCTURAL ENGINEER



DUBLIN, OH 43017

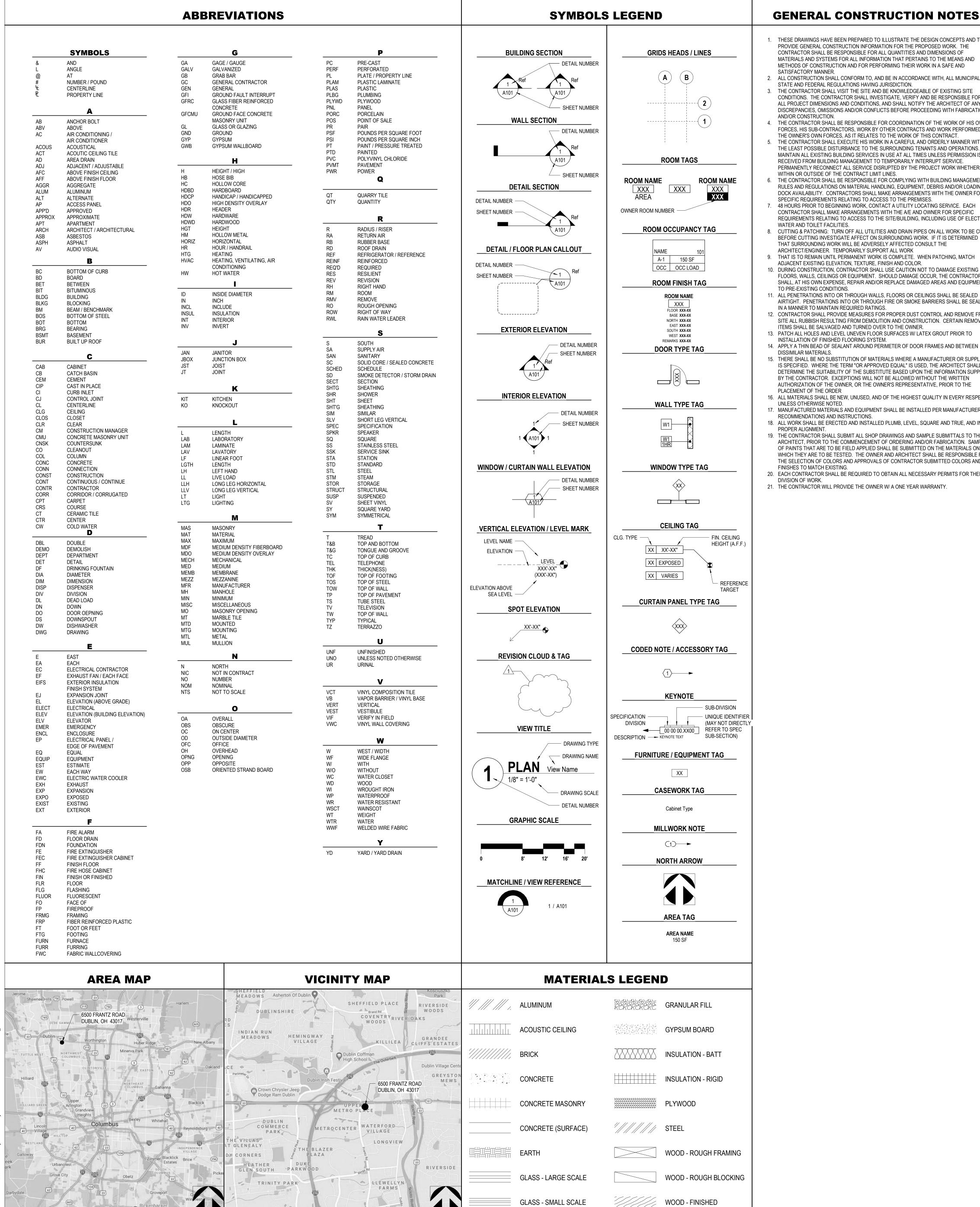
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FINAL DEVELOPMENT PLAN 05/12/2021



1. THESE DRAWINGS HAVE BEEN PREPARED TO ILLUSTRATE THE DESIGN CONCEPTS AND TO PROVIDE GENERAL CONSTRUCTION INFORMATION FOR THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES AND DIMENSIONS OF MATERIALS AND SYSTEMS FOR ALL INFORMATION THAT PERTAINS TO THE MEANS AND

SATISFACTORY MANNER. ALL CONSTRUCTION SHALL CONFORM TO, AND BE IN ACCORDANCE WITH, ALL MUNICIPAL STATE AND FEDERAL REGULATIONS HAVING JURISDICTION.

3. THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL PROJECT DIMENSIONS AND CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE WORK OF HIS OWN FORCES, HIS SUB-CONTRACTORS, WORK BY OTHER CONTRACTS AND WORK PERFORMED BY THE OWNER'S OWN FORCES. AS IT RELATES TO THE WORK OF THIS CONTRACT. THE CONTRACTOR SHALL EXECUTE HIS WORK IN A CAREFUL AND ORDERLY MANNER WITH

THE LEAST POSSIBLE DISTURBANCE TO THE SURROUNDING TENANTS AND OPERATIONS MAINTAIN ALL EXISTING BUILDING SERVICES IN USE AT ALL TIMES UNLESS PERMISSION IS RECEIVED FROM BUILDING MANAGEMENT TO TEMPORARILY INTERRUPT SERVICE. PERMANENTLY RECONNECT ALL SERVICE DISRUPTED BY THE PROJECT WORK WHETHER WITHIN OR OUTSIDE OF THE CONTRACT LIMIT LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH BUILDING MANAGEMENT

RULES AND REGULATIONS ON MATERIAL HANDLING, EQUIPMENT, DEBRIS AND/OR LOADING DOCK AVAILABILITY. CONTRACTORS SHALL MAKE ARRANGEMENTS WITH THE OWNER FOR SPECIFIC REQUIREMENTS RELATING TO ACCESS TO THE PREMISES. 48 HOURS PRIOR TO BEGINNING WORK, CONTACT A UTILITY LOCATING SERVICE. EACH CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE A/E AND OWNER FOR SPECIFIC REQUIREMENTS RELATING TO ACCESS TO THE SITE/BUILDING, INCLUDING USE OF ELECTRIC, WATER AND TOILET FACILITIES.

8. CUTTING & PATCHING: TURN OFF ALL UTILITIES AND DRAIN PIPES ON ALL WORK TO BE CUT. BEFORE CUTTING INVESTIGATE AFFECT ON SURROUNDING WORK. IF IT IS DETERMINED THAT SURROUNDING WORK WILL BE ADVERSELY AFFECTED CONSULT THE ARCHITECT/ENGINEER. TEMPORARILY SUPPORT ALL WORK

9. THAT IS TO REMAIN UNTIL PERMANENT WORK IS COMPLETE. WHEN PATCHING, MATCH ADJACENT EXISTING ELEVATION, TEXTURE, FINISH AND COLOR.

10. DURING CONSTRUCTION, CONTRACTOR SHALL USE CAUTION NOT TO DAMAGE EXISTING FLOORS, WALLS, CEILINGS OR EQUIPMENT. SHOULD DAMAGE OCCUR, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR AND/OR REPLACE DAMAGED AREAS AND EQUIPMENT TO PRE-EXISTING CONDITIONS.

11. ALL PENETRATIONS INTO OR THROUGH WALLS, FLOORS OR CEILINGS SHALL BE SEALED AIRTIGHT. PENETRATIONS INTO OR THROUGH FIRE OR SMOKE BARRIERS SHALL BE SEALED IN A MANNER TO MAINTAIN REQUIRED RATINGS.

12. CONTRACTOR SHALL PROVIDE MEASURES FOR PROPER DUST CONTROL AND REMOVE FROM SITE ALL RUBBISH RESULTING FROM DEMOLITION AND CONSTRUCTION. CERTAIN REMOVED ITEMS SHALL BE SALVAGED AND TURNED OVER TO THE OWNER. 13. PATCH ALL HOLES AND LEVEL UNEVEN FLOOR SURFACES W/ LATEX GROUT PRIOR TO

INSTALLATION OF FINISHED FLOORING SYSTEM. 14. APPLY A THIN BEAD OF SEALANT AROUND PERIMETER OF DOOR FRAMES AND BETWEEN DISSIMILAR MATERIALS. 15. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER OR SUPPLIER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT SHALL DETERMINE THE SUITABILITY OF THE SUBSTITUTE BASED UPON THE INFORMATION SUPPLIED

PLACEMENT OF THE ORDER 16. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.

17. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. 18. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN

PROPER ALIGNMENT. 19. THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS AND SAMPLE SUBMITTALS TO THE ARCHITECT, PRIOR TO THE COMMENCEMENT OF ORDERING AND/OR FABRICATION. SAMPLES OF PAINTS THAT ARE TO BE FIELD APPLIED SHALL BE SUBMITTED ON THE MATERIALS ON WHICH THEY ARE TO BE TESTED. THE OWNER AND ARCHITECT SHALL BE RESPONSIBLE FOR

THE SELECTION OF COLORS AND APPROVALS OF CONTRACTOR SUBMITTED COLORS AND/OR FINISHES TO MATCH EXISTING. 20. EACH CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THEIR

DRAWING INDEX - VOLUME 1 NUMBER SHEET NAME COVER SHEET DRAWING INDEX, GENERAL NOTES CODE DATA AND PLANS SITE SURVEY SITE DEMOLITION PLAN SITE PLAN SITE DETAILS TREE DEMOLITION AND PRESERVATION PLAN SITE LANDSCAPE AND IRRIGATION PLANS LANDSCAPE: 2 GENERAL STRUCTURE INFORMATION 1ST FLOOR FRAMING PLAN ROOF FRAMING PLAN SCREENWALL FRAMING PLAN FOUNDATION DETAILS FRAMING DETAILS FRAMING DETAILS FRAMING DETAILS FRAMING DETAILS FRAMING ELEVATIONS FRAMING ELEVATIONS STRUCTURAL: 11 DEMOLITION ROOF DEMO PLAN DEMO RCP DEMO ELEVATIONS DEMOLITION: 4 **IARCHITECTURAL** ARCHITECTURAL SITE PLAN BASEMENT FLOOR PLAN FIRST FLOOR PLAN ROOF PLAN RCP - OVERALL AXONOMETRIC VIEWS **EXTERIOR ELEVATIONS - OVERALL** EXTERIOR ELEVATIONS - OVERALL BUILDING SECTIONS WALL SECTIONS WALL SECTIONS WALL SECTIONS EXTERIOR DETAILS DOOR & WINDOW SCHEDULES DOOR & WINDOW DETAILS INTERIOR DETAILS & MOUNTING HEIGHTS CASEWORK DETAILS FINISH PLANS AND LEGEND INTERIOR ELEVATIONS ARCHITECTURAL: 19 GENERAL INFORMATION - PLUMBING FLOOR PLANS - PLUMBING - DEMOLITION FLOOR PLANS - PLUMBING GENERAL INFORMATION - MECHANICAL FLOOR PLANS - MECHANICAL - DEMOLITION ENLARGED PLANS - MECHANICAL - DEMOLITION FLOOR PLANS - HVAC FLOOR PLANS - HVAC PIPING SECTIONS - MECHANICAL ENLARGED PLANS - MECHANICAL DETAILS - MECHANICAL DETAILS - MECHANICAL SCHEDULES - MECHANICAL MECHANICAL: 10 GENERAL INFORMATION - ELECTRICAL SITE PLAN - ELECTRICAL - DEMOLITION FLOOR PLANS - LIGHTING - DEMOLITION FLOOR PLANS - POWER/SYSTEMS - DEMOLITION SITE PLAN - ELECTRICAL FLOOR PLANS - LIGHTING FLOOR PLANS - POWER/SYSTEMS DETAILS ELECTRICAL SCHEDULES - ELECTRICAL ELECTRICAL: 9 Grand total: 66

**INDEX OF DRAWINGS** 

CHANGE DESCRIPTION **RENOVATION OF HEARTLAND BANK DUBLIN** 6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

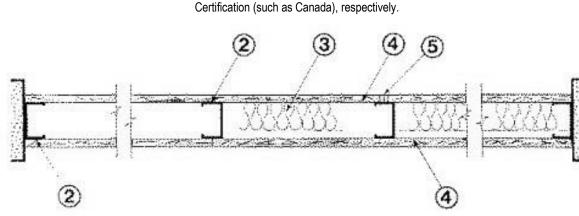
PHONE: (614) 461-4664 FAX: (614) 280-8881 MOODY•NOLAN

DRAWING INDEX, GENERAL NOTES

> **PROGRESS** DRAWING NOT FOR

CONSTRUCTION

05/12/2021 DRAWN BY: XXX CHECKED BY: XXX 20022



1. Floor and Ceiling Runners — (Not Shown) — Channel shaped runners, 3-5/8 in. deep (min), 1-1/4 in. legs, formed from min No. 25 MSG galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

1A. Framing Members\* — Floor and Ceiling Runners — (Not Shown) — As an alternate to Item 1 — Channel shaped, min 3-5/8 in. deep, attached to floor and ceiling with fasteners 24 in. OC. max.

ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System

CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System

QUAIL RUN BUILDING MATERIALS INC — Type SUPREME Framing System

SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME Framing System

UNITED METAL PRODUCTS INC — Type SUPREME Framing System

1B. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2B, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper20™ Track

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track

FUSION BUILDING PRODUCTS — Viper20™ Track

IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track

1C. Floor and Ceiling Runners — (Not Shown) — For use with Item 2C — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, min depth to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners spaced max 24 in. OC.

1D. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1C — For use with Item 2D and 4G only, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel. attached to floor and ceiling with fasteners spaced 24 in. OC max.

CLARKDIETRICH BUILDING SYSTEMS — CD ProTRAK

STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProTRAK

DMFCWBS L L C — ProTRAK

MBA METAL FRAMING — ProTRAK

RAM SALES L L C — Ram ProTRAK

1E. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1D — For use with Item 2E and

4l only, proprietary channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

TELLING INDUSTRIES L L C — TRUE-TRACK™ F. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1E — For use with Item 2,

channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 25 MSG steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

KIRII (HONG KONG) LTD — Type KIRII

1G. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 through 1F — For use with Item 2, channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide, attached to floor and ceiling with fasteners spaced 24 in. OC max.

STUDCO BUILDING SYSTEMS — CROCSTUD Track 1H. Floor and Ceiling Runners — (Not Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min width to

accommodate stud size, with min 1 in. long legs, for use with studs specified below and fabricated from min 0.02 in. galv steel or thicker, attached to floor and ceiling with fasteners spaced max 24 in. OC.

MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™ Track VT100

FUSION BUILDING PRODUCTS — Viper20™ Track VT100

IMPERIAL MANUFACTURING GROUP INC — Viper20™ Track VT100

11. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2H, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max.

1J. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Items 1 — For use with Item 2 L, proprietary

TELLING INDUSTRIES L L C — Viper20™ Track

channel shaped runners, 1-1/4 in. deep by min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max. STEEL INVESTMENT GROUP L L C — AlphaTRAK

1K. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2M, proprietary

channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness), attached to floor and ceiling with fasteners spaced 24 in. OC max. CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X Track

1L. Framing Members\* — Floor and Ceiling Runners — Not Shown — In lieu of Item 1 — For use with Item 2N, proprietary channel shaped runners, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC max. CRACO MFG INC — SmartTrack20™

2. Steel Studs — Channel shaped, 3-5/8 in. deep (min), formed from min No. 25 MSG galv steel spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.

2A. Framing Members\* — Steel Studs — As an alternate to Item 2 — Channel shaped studs, min 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.

ALLSTEEL & GYPSUM PRODUCTS INC — Type SUPREME Framing System CONSOLIDATED FABRICATORS CORP, BUILDING PRODUCTS DIV — Type SUPREME Framing System

QUAIL RUN BUILDING MATERIALS INC — Type SUPREME Framing System

SCAFCO STEEL STUD MANUFACTURING CO — Type SUPREME Framing System

STEEL CONSTRUCTION SYSTEMS INC — Type SUPREME Framing System

UNITED METAL PRODUCTS INC — Type SUPREME Framing System

2B. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1B, proprietary channel shaped steel studs. 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.

CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper20™

CRACO MFG INC — SmartStud20™ MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20™

FUSION BUILDING PRODUCTS — Viper20™

IMPERIAL MANUFACTURING GROUP INC — Viper20™ 2C. Steel Studs — (As an alternate to Item 2, For use with Item 4E) — Channel shaped, fabricated from min 20 MSG corrosionprotected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and ceiling runners. Studs to be cut 5/8 to 3/4 in. less than assembly height.

2D. Framing Members\* — Steel Studs — As an alternate to Items 2 through 2C — For use with Item 1D and 4G only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in.

CLARKDIETRICH BUILDING SYSTEMS — CD ProSTUD

DMFCWBS L L C — ProSTUD

MBA METAL FRAMING — ProSTUD

RAM SALES L L C — Ram ProSTUD

STEEL STRUCTURAL PRODUCTS L L C — Tri-S ProSTUD

2E. Framing Members\* — Steel Studs — As an alternate to Items 2 through 2D — For use with Item 1E and 4I only, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly height.

TELLING INDUSTRIES L L C — TRUE-STUD™

2F. Framing Members\* — Steel Studs — As an alternate to Items 2 through 2E — For use with Item 1F, channel shaped studs. min 3-5/8 in. wide fabricated from min 25 MSG steel, spaced a max of 24 in. OC. Studs to be cut 1/2 in. less than assembly

KIRII (HONG KONG) LTD — Type KIRII

2G. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 through 2F — For use with Item 1G. Proprietary channel shaped studs, minimum 3-5/8 in. wide, Studs to be cut 1/2 in. less than the assembly height. STUDCO BUILDING SYSTEMS — CROCSTUD

Design No. U465 (continued)

2H. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1I, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than

TELLING INDUSTRIES L L C — Viper20™

OLMAR SUPPLY INC — PRIMESTUD

2l. Framing Members\* — Steel Studs — In lieu of Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height. EB METAL INC — NITROSTUD

2J. Framing Members\* — Steel Studs — In lieu of Item 2 — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 3-5/8 in. deep (min), spaced 24 in. OC max. Studs to be cut 3/4 in. less than assembly height.

2K. Framing Members\* — Steel Studs — As an alternate to Item 2 — For use with Item 1B (3-5/8 in. wide track), channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, 1-1/4 in. wide by 3-5/8 in. deep, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.

MARINO/WARE, DIV OF WARE INDUSTRIES INC — StudRite™

2L. Framing Members\* — Steel Studs — As an alternate to Items 2 — For use with Item 1J, channel shaped studs, min 3-5/8 in. wide fabricated from min 0.018 in. thick galv steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height. STEEL INVESTMENT GROUP L L C — AlphaSTUD

2M. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1K, proprietary channel shaped steel studs, min 1-1/4 in. wide by min 3-5/8 in. deep, fabricated from min 25 MSG (0.018 in. min. bare metal thickness). Studs cut 3/4 in. less in length than assembly height.

CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X

2N. Framing Members\* — Steel Studs — Not Shown — In lieu of Item 2 — For use with Item 1L, proprietary channel shaped steel studs, 1-1/4 in. wide by min 3-5/8 in. deep fabricated from min 0.020 in. thick galv steel. Studs cut 3/4 in. less in length than assembly height.

CRACO MFG INC — SmartStud20™

3. Batts and Blankets\* — (Optional) — Mineral wool or glass fiber batts partially or completely filling stud cavity. See Batts and Blankets (BZJZ) category for names of Classified companies.

3A. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 3) — (100% Borate Formulation) — Spray applied cellulose material. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product with a nominal dry density of 2.7 lb/ft3. Alternate Application Method: The fiber is applied without water or adhesive at a nominal dry density of 3.5 lb/ft3, in accordance with the application instructions supplied with the product.

U S GREENFIBER L L C — INS735 & INS745 for use with wet or dry application. INS765LD and INS770LD are to be used for dry application only

3B. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 3) and Item 3A — Spray applied cellulose insulation material. The fiber is applied with water to interior surfaces in accordance with the application instructions supplied with the product. Applied to completely fill the enclosed cavity. Minimum dry density of 4.3 pounds per cubic ft.

NU-WOOL CO INC — Cellulose Insulation

3C. Fiber, Sprayed\* — As an alternate to Batts and Blankets (Item 3) — Spray applied cellulose fiber. The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. The minimum dry density shall be 4.30 lbs/ft3.

INTERNATIONAL CELLULOSE CORP — Celbar-RL

3D. Batts and Blankets\* — For use with Item 8. Nom 3 in. thick, minimum 3.4 pcf mineral wool batts, friction fit between the studs and floor and ceiling runners.

See Batts and Blankets (BZJZ) category for names of manufacturers.

3E. Batts and Blankets\* — For use with Item 4P and 4R. Placed in stud cavities, any min. 3-1/2 in. thick glass fiber insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance. See Batts and Blankets (BKNV or BZJZ) Categories for names of Classified companies.

4. Gypsum Board\* — 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC. along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly. When attached to Items 6 (resilient channels) or 6A, 6B, 6C, 6D, or 6E (furring channels), gypsum board is screw attached to furring channels with 1 in. long, Type S steel screws spaced 12 in. OC.

ACADIA DRYWALL SUPPLIES LTD — Type X, 5/8 Type X, Type Blueglass Exterior Sheathing

AMERICAN GYPSUM CO — Types AG-C, AGX-1, M-Glass, LightRoc

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO — Type DBX-1 CGC INC — Types AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint tape and compound, Item 5, optional for use with Type USGX)

CERTAINTEED GYPSUM INC — Types 1, EGRG, GlasRoc, Type X, Type X-1, Type C, Type X-2, 5/8" Easi-Lite Type X, Easi-Lite Type X-2

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Types LGFC2A, LGFC6A, LGFC-C/A, LGFC-WD, LGLLX

GEORGIA-PACIFIC GYPSUM L L C — Types 5, 6, 9, C, DAP, DD, DA, DAPC, DGG, DS, GPFS6, LS, Type X, Veneer Plaster

Base - Type X, Water Rated - Type X, Sheathing - Type X, Soffit - Type X, TG-C, GreenGlass Type X, Type X ComfortGuard Sound Deadening Gypsum Board, Type LWX, Veneer Plaster Base-Type LWX, Water Rated-Type LWX, Sheathing Type-LWX, Soffit-Type LWX, Type DGLW, Water Rated-Type DGLW, Sheathing Type- DGLW, Soffit-Type DGLW, Type LW2X, Veneer Plaster Base - Type LW2X, Water Rated - Type LW2X, Sheathing - Type LW2X, Soffit - Type LW2X, Type DGL2W, Water Rated - Type DGL2W, Sheathing - Type DGL2W

NATIONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSMR-C, FSW-C, FSW-G, FSW, FSW-3, FSW-5, FSW-6, FSW-8, FSL

NATIONAL GYPSUM CO — Riyadh, Saudi Arabia — Type FR, or WR

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Types PG-C, PG-9, PG-11, PGS-WRS

PANEL REY S A — Types GREX, PRC, PRC2, PRX, RHX, MDX, ETX

SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop M2TECH, Gyproc FireStop ACTIV'Air, Gyproc FireStop MR ACTIV'Air, Gyproc FireStop M2TECH ACTIV'Air, Gyproc DuraLine, Gyproc DuraLine MR, Gyproc DuraLine M2TECH, Gyproc DuraLine ACTIV'Air, Gyproc DuraLine MR ACTIV'Air, Gyproc DuraLine

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD — Type EX-1

than 48 in., gypsum panels to be installed horizontally.

THAI GYPSUM PRODUCTS PCL — Type X, Type C

UNITED STATES GYPSUM CO — Type AR, C, FRX-G, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRC, WRX, USGX (Joint tape and compound, Item 5, optional for use with Type USGX) USG BORAL DRYWALL SFZ LLC — Types C, SCX, USGX (Joint tape and compound, Item 5, optional for use with Type

USG MEXICO S A DE C V — Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint tape and compound, Item 5, optional for use with Type USGX)

4A. Gypsum Board\* — (As alternate to Item 4) — Nom 5/8 in. thick gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Panels attached to steel studs and floor runner with 1 in. long Type S steel screws spaced 8 in. OC when applied horizontally, or 8 in. OC along vertical and bottom edges and 12 in. OC in the field when panels are applied vertically. When used in widths other

CERTAINTEED GYPSUM INC — Type X, Type X-1, Type C, Type X-2, Type EGRG/ GlasRoc, GlasRoc-2, Type SilentFX, Easi-

CGC INC — Types AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint tape and compound, Item 5, optional for use with Type USGX) CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Types LGFC2A, LGFC6A, LGFC-C/A, LGFC-WD

GEORGIA-PACIFIC GYPSUM L L C — Types DAP, DAPC, DGG, DS SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop M2TECH, Gyproc FireStop ACTIV'Air, Gyproc FireStop MR ACTIV'Air, Gyproc FireStop M2TECH ACTIV'Air, Gyproc DuraLine, Gyproc

DuraLine MR, Gyproc DuraLine M2TECH, Gyproc DuraLine ACTIV'Air, Gyproc DuraLine MR ACTIV'Air, Gyproc DuraLine THAI GYPSUM PRODUCTS PCL — Type X, Type C

UNITED STATES GYPSUM CO — Types AR, C, FRX-G, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, WRC, WRX, USGX (Joint tape and compound, Item 5, optional for use with Type USGX) USG BORAL DRYWALL SFZ LLC — Types C, SCX, USGX (Joint tape and compound, Item 5, optional for use with Type

USG MEXICO S A DE C V — Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCX, SHX, USGX, WRC or WRX (Joint tape and

4B. Gypsum Board\* — (As an alternate to Items 4 or 4A) — Nom 3/4 in. thick, 4 ft wide, installed as described in Item 4A with screw length increased to 1-1/4 in.

CGC INC — Types AR, IP-AR UNITED STATES GYPSUM CO — Types AR, IP-AR

USG MEXICO S A DE C V — Types AR, IP-AR

4C. Gypsum Board\* — As an alternate to Items 4, 4A, and 4B — Nom. 5/8 in. thick gypsum panels, with square edges, applied horizontally. Gypsum panels fastened to framing with 1 in. long bugle head steel screws spaced a max 8 in. OC, with last 2 screws 3/4 in. and 4 in. from each edge of board. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs on interior walls need not be staggered or backed by steel framing.

GEORGIA-PACIFIC GYPSUM L L C — Type DGG, GreenGlass Type X 4D. Gypsum Board\* — As an alternate to Items 4, 4A, 4B, and 4C — Nom. 5/8 in. thick gypsum panels applied vertically or

horizontally. Vertical joints centered over studs and staggered one stud cavity on opposite sides of studs. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Gypsum panels fastened to framing with 1 in. long Type S steel screws 12 in. OC along vertical edges and in the field. Screws spaced a max 12 in. along the top and bottom edges of the wall for both vertical and horizontal applications. When used in widths other than 48 in., gypsum

NATIONAL GYPSUM CO — Types eXP-C, FSK, FSK-C, FSK-G, FSL, FSW-C, FSW-G, FSW, FSW-3, FSW-5, FSW-6, FSMR-

Design No. U465 (continued)

4E. Gypsum Board\* — (As an alternate to Items 4 through 4D) — Installed as described in Item 4. 5/8 in. thick, 4 ft. wide, applied vertically only and fastened to the studs and plates with 1 in. long, Type S steel screws spaced, 12 in. OC.

NATIONAL GYPSUM CO — SoundBreak XP Type X Gypsum Board

4F. Gypsum Board\* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C) - Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Gypsum board secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field.

RAY-BAR ENGINEERING CORP — Type RB-LBG

attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC. along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly.

4G. Gypsum Board\* — (As an alternate to Items 4 through 4F) — For use with Items 1D and 2D only, 5/8 in. thick, 4 ft wide,

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Type LGFC6A, LGFC-C/A NATIONAL GYPSUM CO — Types FSW

UNITED STATES GYPSUM CO — Type SCX

USG BORAL DRYWALL SFZ LLC — Type SCX

4H. Gypsum Board\* — (As an alternate to Items 4 through 4G) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically and secured as described in Item 4.

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock ES

4I. Gypsum Board\* — (As an alternate to Items 4 through 4F) — For use with Items 1E and 2E only, 5/8 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track with 1 in. long, Type S steel screws spaced 8 in. OC. along edges of board and 12 in. OC in the field of the board. Joints oriented vertically and staggered on opposite sides of the assembly.

UNITED STATES GYPSUM CO — Type SCX

USG BORAL DRYWALL SFZ LLC — Type SCX

4J. Gypsum Board\* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C) — Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Gypsum board secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. To be used with Lead Batten Strips (see Item 9A) or Lead Discs (see Item 10A).

MAYCO INDUSTRIES INC — Type X-Ray Shielded Gypsum

UNITED STATES GYPSUM CO — Type ULX

4K. Gypsum Board\* — (As an alternate to Item 4 and 4A, not for use with Items 1D, 1E, 2D and 2E) — Nom. 5/8 in. thick gypsum panels with beveled, square or tapered edges installed as described in Item 4 and 4A.

CGC INC — Type ULX

USG MEXICO S A DE C V — Type ULX 4L. Gypsum Board\* — (Not Shown) — (As an alternate to Item 4 when used as the base layer on one or both sides of wall. For direct attachment only to steel studs Item 2C). Nom 5/8 in. thick lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs.

Wallboard secured to study with 1-1/4 in. long Type S-12 steel screws gypsum panel steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. Lead batten strips required behind vertical joints of lead backed gypsum wallboard and optional at remaining stud locations. Lead batten strips, min 2 in. wide, max 8 ft long with a max thickness of 0.14 in. placed on the face of studs and attached to the stud with construction adhesive and two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead discs, nominal 3/8 in. diam by max 0.085 in. thick. Compression fitted or adhered over the screw heads. Lead batten strips and discs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C".

4M. Gypsum Board\* — (For use with Item 8) — 5/8 in. thick, 4 ft wide, applied vertically over Mineral and Fiber Board (Item 8) with vertical joints located anywhere over stud cavities. Secured to mineral and fiber boards with 1-1/2 in. Type G Screws spaced 8 in. OC along edges of each vertical joint and 12 in. OC in intermediate field of the Mineral and Fiber Board (Item 8). Secured to outermost studs and floor and ceiling runners with 2 in. long Type S screws spaced 8 in. OC. Gypsum Board joints covered with

AMERICAN GYPSUM CO — Type AG-C

CGC INC — Types C, IP-X2, IPC-AR

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type PG-C

CONTINENTAL BUILDING PRODUCTS OPERATING CO, L L C — Type LGFC-C/A

RADIATION PROTECTION PRODUCTS INC — Type RPP - Lead Lined Drywall

paper tape and joint compound. Screw heads covered with joint compound.

GEORGIA-PACIFIC GYPSUM L L C — Types 5, DAPC, TG-C

CERTAINTEED GYPSUM INC — Type FRPC, Type C, Type X-2

NATIONAL GYPSUM CO — Types eXP-C, FSK-C, FSW-C

PANEL REY S A — Types PRC. PRC2

SAINT-GOBAIN GYPROC MIDDLE EAST FZE — Type Gyproc FireStop, Gyproc FireStop MR, Gyproc FireStop M2TECH, Gyproc FireStop ACTIV'Air, Gyproc FireStop MR ACTIV'Air, Gyproc FireStop M2TECH ACTIV'Air, Gyproc DuraLine, Gyproc DuraLine MR, Gyproc DuraLine M2TECH, Gyproc DuraLine ACTIV'Air, Gyproc DuraLine MR ACTIV'Air, Gyproc DuraLine M2TECH ACTIV'Air

THAI GYPSUM PRODUCTS PCL — Type C UNITED STATES GYPSUM CO — Types C, IP-X2, IPC-AR

USG BORAL DRYWALL SFZ LLC — Type C USG MEXICO S A DE C V — Types C, IP-X2, IPC-AR

4N. Wall and Partition Facings and Accessories\* — (As an alternate to Item 4) — Nominal 5/8 in. thick, 4 ft wide panels, applied

vertically and secured as described in Item 4. PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock 527

4O. Gypsum Board\* — As an alternate to Items 4, 4A, 4B, and 4C — Two layers Nom. 5/16 in. thick gypsum panels applied vertically or horizontally. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered or backed by steel framing. Horizontal joints on the same side need not be staggered. When applied horizontally, both layers of gypsum board fastened to each side of framing with 1 in. long Type S steel screws spaced 8 in. OC and staggered 4 in. OC between layers. When applied vertically, both layers of gypsum board fastened to each side of framing with 1 in. long Type S steel screws spaced 8 in. OC along vertical edges and 12 in. OC in the field, staggered 4 in. OC between layers. Screws spaced

a max 12 in. along the top and bottom edges of the wall.

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type PG-13

NATIONAL GYPSUM CO — Type FSW 4P. Gypsum Board\* — As an alternate to Item 4. For use with Item 3E, Batts and Blankets\* — 5/8 in. thick, 4 ft wide, installed as

described in Item 4. UNITED STATES GYPSUM CO — Types ULIX

4Q. Gypsum Board\* — 3/4 in. thick, 4 ft wide, attached to steel studs and floor and ceiling track as described in Item 4 with screw length increased to min. 1- 1/8 in.

4R. Gypsum Board\* — As an alternate to Item 4D. For use with Item 3E, Batts and Blankets\* — 5/8 in. thick, 4 ft wide, installed as described in Item 4

NATIONAL GYPSUM CO — Type FSLX. 5. Joint Tape and Compound — Vinyl, dry or premixed joint compound, applied in two coats to joints and screw heads; paper tape, 2 in. wide, embedded in first layer of compound over all joints. As an alternate, nominal 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced. Paper tape and joint compound may be omitted when gypsum boards are supplied with square edges.

6. Resilient Channel — (Optional — Not Shown) — 25 MSG galv steel resilient channels spaced vertically max 24 in. OC, flange portion attached to each intersecting stud with 1/2 in. long type S-12 pan head steel screws. May not be used with Item 4F, 4J or

6A. Steel Framing Members\* — (Not Shown) — As an alternate to Item 6, furring channels and Steel Framing Members as described below a. Furring Channels — Formed of No. 25 MSG galv steel. 2-9/16 in. or 2-23/32 in. wide by 7/8 in. deep, spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels are overlapped 6 in. and tied together with double strand of No. 18 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping No. 6 framing screws, min 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Not for use with Items 4F, 4J, or 4L. b. Framing Members\* — Used to attach furring channels (Item a) to studs (Item 2). Clips spaced 48 in. OC., and secured to studs with 1-5/8 in. wafer or hex head Type S steel screw through the center grommet. Furring channels are friction fitted into clips. RSIC-1 clip for use with 2-9/16 in. wide furring channels. RSIC-1 (2.75) clip for use with 2-23/32 in. wide furring

PAC INTERNATIONAL L L C — Types RSIC-1, RSIC-1 (2.75)

a. Furring Channels — Formed of No. 25 MSG galv steel. 2-3/8 in. wide by 7/8 in. deep, spaced max. 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Gypsum board attached to furring channels as described in Item 4. Not for use with Items 4F, 4J, or 4L. b. Steel Framing Members\* — Used to attach furring channels (Item 6Ba) to studs (Item 2). Clips spaced max. 48 in. OC. GENIECLIPS secured to study with No. 8 x 1-1/2 in. minimum self-drilling, S-12 steel screw through the center grommet. Furring channels are friction fitted into clips. PLITEQ INC — Type Genie Clip

6B. Framing Members\* — (Not Shown) — (Optional on one or both sides) — As an alternate to Item 6, furring channel and Steel

6C. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below: a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18

b. Steel Framing Members\* — Used to attach furring channels (Item 6Ca) to studs. Clips spaced 48 in. OC., and secured to studs with 2 in. coarse drywall screw with 1 in. diam washer through the center hole. Furring channels are friction fitted into STUDCO BUILDING SYSTEMS — RESILMOUNT Sound Isolation Clips - Type A237R

AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 4. Not for use with Items 4F,

6D. Steel Framing Members\* — (Optional, Not Shown) — Furring channels and Steel Framing Members as described below:

a. Furring Channels — Formed of No. 25 MSG galv steel. Spaced 24 in. OC perpendicular to studs. Channels secured to

AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 4. Not for use with Items 4F,

studs as described in Item 6Db. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18

b. Steel Framing Members\* — UUsed to attach furring channels (Item 6Da) to studs. Clips spaced 48 in. OC, and secured to studs with No.8 x 2-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips.

Design No. U465 (continued)

STUDCO BUILDING SYSTEMS — Type SonusClip

6E. Steel Framing Members\* — (Optional, Not Shown) — Resilient channels and Steel Framing Members as described below: a. Resilient Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, and perpendicular to studs. Channels secured to studs as described in Item b. Ends of adjoining channels overlapped 6 in. and secured in place with two No. 8 15 x 1/2 in. Philips Modified Truss screws spaced 2-1/2 in. from the center of the overlap. Gypsum board attached to resilient channels as described in Item 4. b. Steel Framing Members\* — Used to attach resilient channels (Item 6Ea) to studs. Clips spaced 48 in. OC., and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Resilient channels are secured to clips with one No. 10 x 1/2 in. pan-head self-drilling screw.

KEENE BUILDING PRODUCTS CO INC — Type RC+ Assurance Clip

7. Wall and Partition Facings and Accessories\* — (Optional, Not Shown) — Nominal 1/2 in. thick, 4 ft wide panels, for optional use as an additional layer on one or both sides of the assembly. Panels attached in accordance with manufacturer's recommendations. When the QR-500 or QR-510 panel is installed between the steel framing and the UL Classified gypsum board, the required UL Classified gypsum board layer(s) is/are to be installed as indicated as to fastener type and spacing, except that the required fastener length shall be increased by a minimum of 1/2 in. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board.

8. Mineral and Fiber Board\* — (Optional, Not Shown) — For optional use as an additional layer on one side of wall. Nom 1/2 in.

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type QuietRock QR-500 and QR-510

thick, 4 ft wide with long dimension parallel and centered over studs. Attached to studs and floor and ceiling runners with 1-5/8 in. long Type S steel screws, spaced 12 in. OC and 24 in. OC along all intermediate framing. The required UL Classified gypsum board layer (Item 4M) is to be installed over the Mineral and Fiber Boards. Batts and Blankets, Item 3D, and Adhesive, Item 11,

HOMASOTE CO — Homasote Type 440-32

are required.

9. Lead Batten Strips — (Not Shown, For Use With Item 4E) — Lead batten strips, min 1-1/2 in, wide, max 10 ft long with a max thickness of 0.125 in. Strips placed on the interior face of studs and attached from the exterior face of the stud with two 1 in. long Type S-12 pan head steel screws, one at the top of the strip and one at the bottom of the strip. Lead batten strips to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". Lead batten strips required behind vertical joints of lead backed gypsum board (Item 4E) and optional at remaining stud locations. Required behind vertical joints. 9A. Lead Batten Strips — (Not Shown, for use with Item 4J) — Lead batten strips, 2 in. wide, max 10 ft long with a max thickness of 0.140 in. Strips placed on the face of studs and attached to the stud with two min. 1 in. long min. Type S-8 pan head steel screws, one at the top of the strip and one at the bottom of the strip or with one min. 1 in. long min. Type S-8 pan head steel screw at the top of the strip. Lead batten strips to have a purity of 99.5% meeting the Federal specification QQ-L-201f. Grades "B, C or D". Lead batten strips required behind vertical joints of lead backed gypsum wallboard (Item 4J) and optional at remaining stud locations.

10. Lead Discs or Tabs — (Not Shown, For Use With Item 4E) — Used in lieu of or in addition to the lead batten strips (Item 8) or

optional at other locations - Max 3/4 in. diam by max 0.125 in. thick lead discs compression fitted or adhered over steel screw

heads or max 1/2 in. by 1-1/4 in. by max 0.125 in. thick lead tabs placed on gypsum boards (Item 4E) underneath screw

locations prior to the installation of the screws. Lead discs or tabs to have a purity of 99.9% meeting the Federal specification QQ-L-201f, Grade "C". 10A. Lead Discs — (Not Shown, for use with Item 4J) — Max 5/16 in. diam by max 0.140 in. thick lead discs compression fitted

or adhered over steel screw heads. Lead discs to have a purity of 99.5% meeting the Federal Specification QQ-L-201f, Grades

in. wide beads down the length of both vertical edges of Mineral and Fiber Board (Item 8).

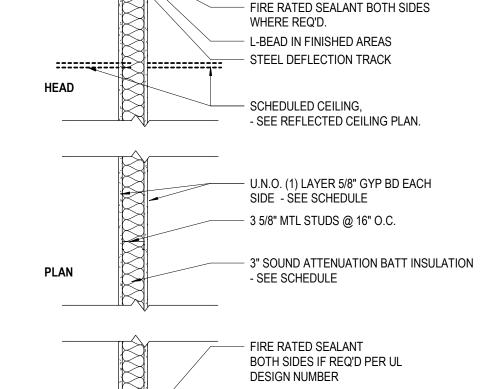
11. Adhesive — Not Shown — (For use with Item 8) — Construction grade adhesive applied in vertical, serpentine, nominal 3/8

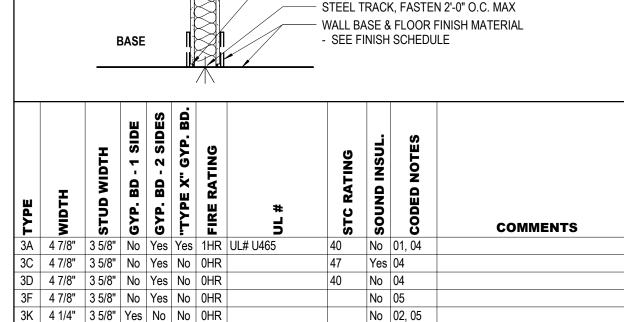
12. Wall and Partition Facings and Accessories\* — (Optional, Not Shown) — For use with Items 1 to 11, Items 2 to 2J, Item 3, Items 4 to 4l, Item 5 and Item 6. For maximum fire rating of 1 hour. On one side of the wall, over the first layer of Gypsum Board (Item 4 to Item 4I), install RefleXor membrane with the gold side facing outwards. Membrane installed with T50 staples spaced 12 inches on center in both directions as per manufacturer's instructions, seams in membrane to be overlapped by 2 inches. When RefleXor membrane is used an additional layer of Gypsum Board that is identical to the one used in the first layer and as specified in Item 4 to Item 4I shall be installed over the membrane. The additional layer of Gypsum Board to be installed through the membrane to the stud as specified in Item 4 to Item 4I except the fastener length shall be increased by a minimum of 5/8 inch. Install Batts and Blankets in the stud cavity as per Item 3. On the other side of the wall, prior to the installation of the Gypsum Board, install Resilient Channels as per Item 6. Over the Resilient Channels install 3/4 inch thick SONOpan panel secured to the Resilient Channels with drywall screws and washers spaced at 16 in. OC on the perimeter of the panel and 8 in. OC in the field of the panel. Over the SONOpan panel install the same Gypsum Board as specified in Item 4 to Item 4I with the fastener length increased by minimum 3/4 inch. Not evaluated or intended as a substitute for the required layer(s) of UL Classified Gypsum Board.

MSL — RefleXor membrane, SONOpan panel

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

# TYPE 3 - 3 5/8" METAL STUD WALL TYPES WIDTH REFER TO SCHEDULE - UNDERSIDE OF DECK/STRUCTURE ABOVE

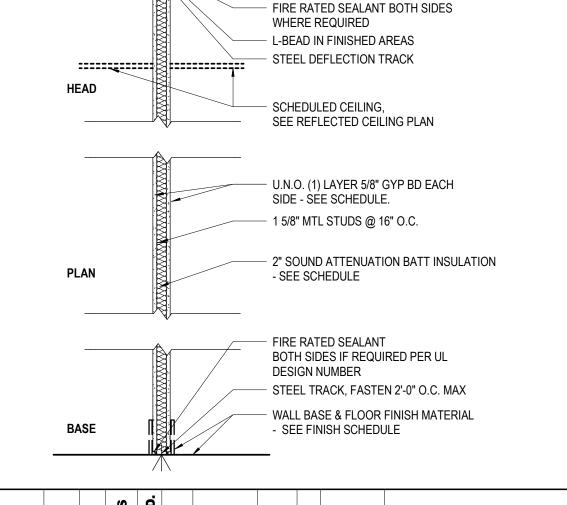




# TYPE 1 - 1 5/8" METAL STUD WALL TYPES

UNDERSIDE OF DECK/STRUCTURE ABOVE

WIDTH REFER TO SCHEDULE



**COMMENTS** 

**BANK DUBLIN** 6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 300 SPRUCE STREET

MOODY•NOLAN

DRAWN BY: Author | CHECKED BY: Checker

PHONE: (614) 461-4664

FAX: (614) 280-8881

FINAL DEVELOPMENT PLAN

1. ALL DIMENSIONS TO FACE OF WALL U.N.O.

2. USE 5/8" WATER RESISTANT GYP. BD. ON ALL WET WALLS, UNO.

3. USE CEMENT BOARD FOR ALL WALLS TO RECEIVE CERAMIC TILE, UNO.

**GENERAL NOTES - WALL TYPE** 

4. FIRE SAFE ALL JOINTS AND PENETRATIONS AT FIRE RATED PARTITIONS

MANUFACTURERS' EQUIVALENT ASSEMBLY INFORMATION MUST BE APPROVED BY ARCHITECT. INSULATION MUST EXTEND FULL HEIGHT OF PARTITION. WHERE SOUND

5. UL NUMBERS LISTED APPLY ONLY TO THE TESTED MANUFACTURERS. EQUAL

ATTENUATION BATTS ARE INDICATED IN PARTITIONS, INSTALL ACOUSTIC SEALANT AT BOTH SIDES, ALONG THE TOP AND BOTTOM, AND AT INTERSECTING PARTITIONS.

WHERE 3 5/8". 4" OR 6" STUD WALLS ARE INDICATED. SEE SPECIFICATIONS FOR HEIGHT LIMITS

PROVIDE ACOUSTIC SEALANT AT TOP & BOTTOM OF PARTITION AS REQUIRED

REFER TO FINISH SCHEDULE FOR FINISHES.

DECK/STRUCTURE ABOVE.

BY STC RATING.

**CODED NOTES - WALL TYPES** 

RATED WALL IS LOCATED IN THE ATTIC AS AN EXTENSION OF THE EXISTING SHAFT WALLS

STOP GYP. BD. AND STUDS 6" AFC. BRACE PARTITION TO DECK/STRUCTURE

BRACE EACH STUD @ 8'-0" O.C. TO BACK-UP WALL FOR ENTIRE HEIGHT OF PARTITION. (3) FULL HEIGHT PARTITION. TERMINATE GYP BD., PLYWOOD AND STUDS AT

PER METAL STUD MANUFACTURER DESIGN LOADING CRITERIA.

4 FULL HEIGHT PARTITION. TERMINATE GYP. BD. AND STUDS AT DECK/STRUCTURE ABOVE.

**CHANGE DESCRIPTION** # DATE RENOVATION OF HEARTLAND

> SUITE 300 COLUMBUS, OHIO 43215

**WALL TYPES** 

PROGRESS

DRAWING

NOT FOR

CONSTRUCTION

20022

05/12/2021

RENOVATION OF AN EXISTING 2,280 SF BANK FACILITY. THE BUIDLING IS SINGLE STORY WITH A BASEMENT. PROPOSED WORK INCLUDES THE INSTALLATION OF NEW CANOPIES AND SCREENWALLS TO UPDATE THE EXTERIOR. REMODELING WORK INCLUDES NEW INTERIOR FINISHES, NEW CONFERENCE ROOM, OFFICE, BREAK ROOM AND ACCESSIBLE UNI-SEX TOILET ALONG WITH ASSOCIATED MECHANICAL, ELECTRICAL AND PLUMBING WORK. OTHER THAN WHAT IS REQUIRED FOR UPDATED MEP SYSTEMS,

SITE INFORMATION	
SITE ZONING	-
SITE AREA	0.913 ACRES
PARKING REQUIRED	(4386/1000x2.5) = 11 SPACES
PARKING SHOWN	19 SPACES
HANDICAPPED PARKING	2 SPACES
TOTAL PARKING	21

BUILDING CODES	
TITLE	EDITION
OHIO BUILDING CODE	2017 OBC
OHIO PLUMBING CODE	2017 OPC
OHIO MECHANICAL CODE	2017 OMC
NATIONAL ELECTRICAL CODE	2017 NEC - NFPA 70
INTERNATIONAL FUEL GAS CODE	2015 IFGC
INTERNATIONAL ENERGY CONSERVATION CODE	2012 IECC
ASHRAE 90.1 - 2010 ENERGY STANDARDS FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL BUILDINGS	2010 ASHRAE 90.1
ICC A117.1 - 2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES	2009 ANSI A117.1
OHIO FIRE CODE	2017 OFC
NATIONAL FIRE ALARM AND SIGNALING CODE	NFPA 72-10

GENERAL BUILDING HEIGHTS	AND AREAS	
	REQUIREMENTS	SECTION/TABLE
CONSTRUCTION TYPE	TYPE 5B	602.5
USE GROUP	B - BUSINESS	304
ALLOWABLE HEIGHT	40 FT	TABLE 504.3
ACTUAL HEIGHT	26 FT	
ALLOWABLE AREA	9,000 SF	TABLE 506.2
ACTUAL FIRST FLOOR AREA	2,280 SF	
ACTUAL BASEMENT AREA	2,106 SF	
TYPES OF CONSTRUCTION		
	REQUIREMENTS	SECTION
CONSTRUCTION TYPE	5B	TABLE 601
EXTERIOR BEARING WALLS	0	TBD
EXTERIOR NON-BEARING WALLS	0	TBD
INTERIOR BEARING WALLS	0	TBD
INTERIOR NON-BEARING WALLS	0	TBD
EXTERIOR COLUMNS	0	TBD
INTERIOR COLUMNS	0	TBD
BEAMS, GIRDERS, TRUSSES	0	TBD

0 DISTANCE ≥ 30 FT

		02011011
STAIRWAY ENCLOSURES	0	1019.3.1
VERTICAL OPENINGS	0	712.1.9
SHAFT ENCLOSURES	1	713.4
ENCLOSURE AT THE BOTTOM	OPEN TO BASEMENT	713.11 EXCEPTION 3
ENCLOSURE AT TOP	EXTEND TO DECK	713.12
CORRIDORS	0	1020.1 EXCEPTION 4
INTERIOR FINISHES		
	REQUIREMENTS	SECTION
CLASSIFICATION	B BUSINESS	803
WALL AND CEILING - INT EXIT STAIRWAYS	CLASS B	TABLE 803.11
WALL AND CEILING - EXIT CORRIDORS	CLASS B	TABLE 803.11
WALL AND CEILING - ROOMS	CLASS C	TABLE 803.11
FLOOR COVERINGS	DOC FF-1 "PILL TEST" OR ASTM D2859	804.4
FIRE PROTECTION SYSTEMS		
	REQUIREMENTS	SECTION
SPRINKLER AND STANDPIPE SYSTEMS	N/A	
FIRE EXTINGUISHERS	CLASS 2A - 75' TRAVEL DISTANCE / 3,000 SF	906 / NFPA 10
FIRE ALARM SYSTEM	N/A	
FIRE COMMAND PANEL	N/A	
EMERGENCY POWER	N/A	
	1	I .

REQUIREMENTS

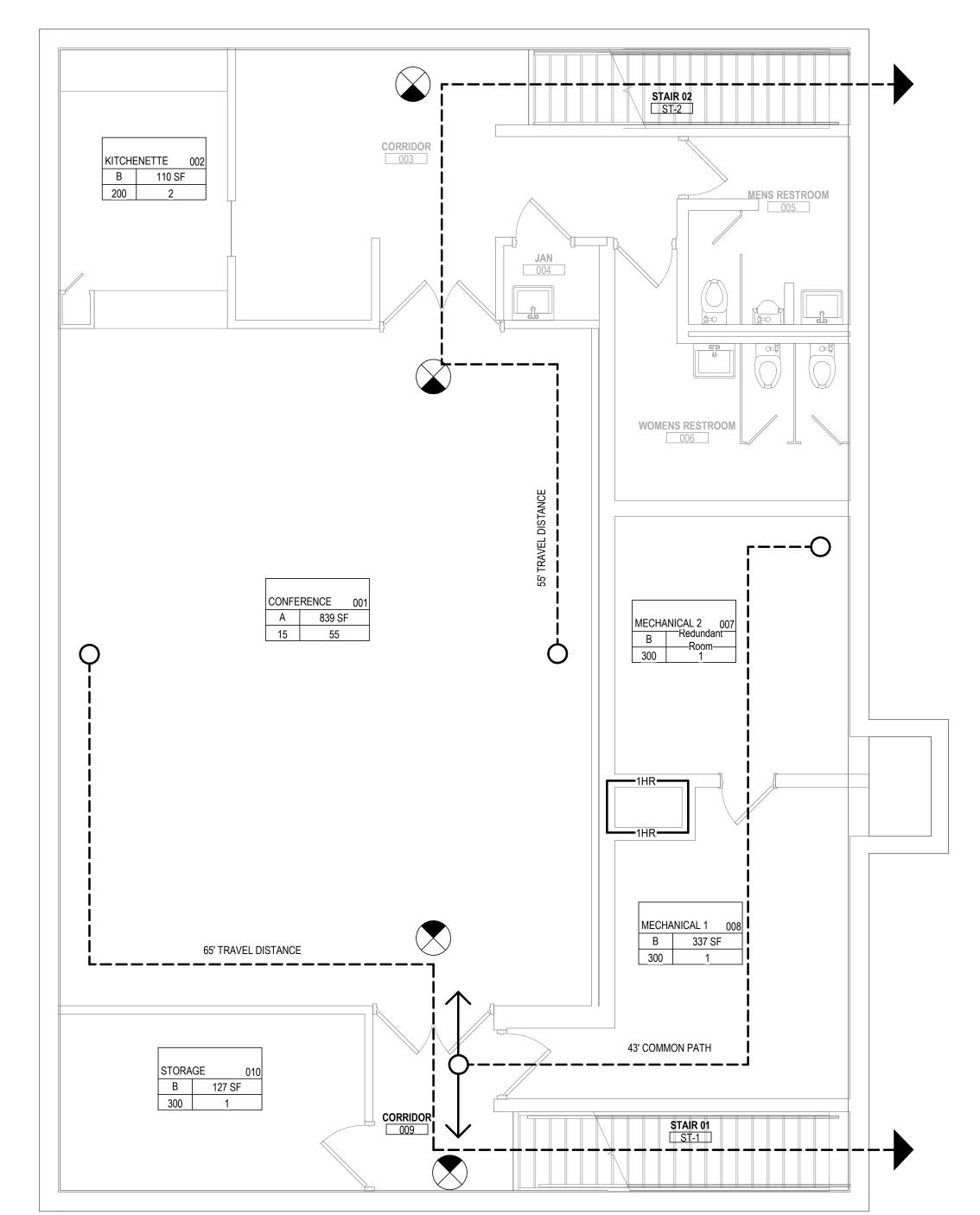
FIRE-RESISTIVE-RATED CONSTRUCTION

FIRE AND SMOKE DETECTORS

MEANS OF EGRESS		
	REQUIREMENTS	SECTION
OCCUPANCY CALCULATION	TBD	1004
FIRST FLOOR	2,094 SF / 100 SF GROSS/PERSON = 21	
CONFERENCE 103	186 SF / 15 SF NET/PERSON = 13	
TOTAL	34	
BASEMENT	OCCUPANCY BASED ON USE = 5	
CONFERENCE 001	825 SF / 15 SF NET/PERSON = 55	
TOTAL	60	
BUILDING TOTAL	94	
EGRESS WIDTH	44"	TABLE 1020.2
STAIRWAY WIDTH	46" (EXISTING)	
STAIRWAY EGRESS CAPACITY	0.3 INCH / OCCUPANT / FLOOR: 46" = 153	1005.3.1
DOOR EGRESS CAPACITY	0.2 INCH / OCCUPANT / FLOOR: 72" = 360	1005.3.2
MINIMUM NUMBER OF EXITS	FIRST FLOOR - 34 OCCUPANTS = 1 EXIT	TABLE 1006.2.1
TRAVEL DISTANCE LIMITATIONS	75' (OL ≥ 30)	TABLE 1006.2.1
MINIMUM NUMBER OF EXITS	BASEMENT - 70 OCCUPANTS = 2 EXITS	TABLE 1006.3.1
TRAVEL DISTANCE LIMITATIONS	200' (OL ≥ 30)	TABLE 1017.2
COMMON PATH OF TRAVEL	75'	TABLE 1006.2.1
EXIT SEPARATION	1/2 OF DIAGONAL DISTANCE OF THE SPACE	1007.1.1

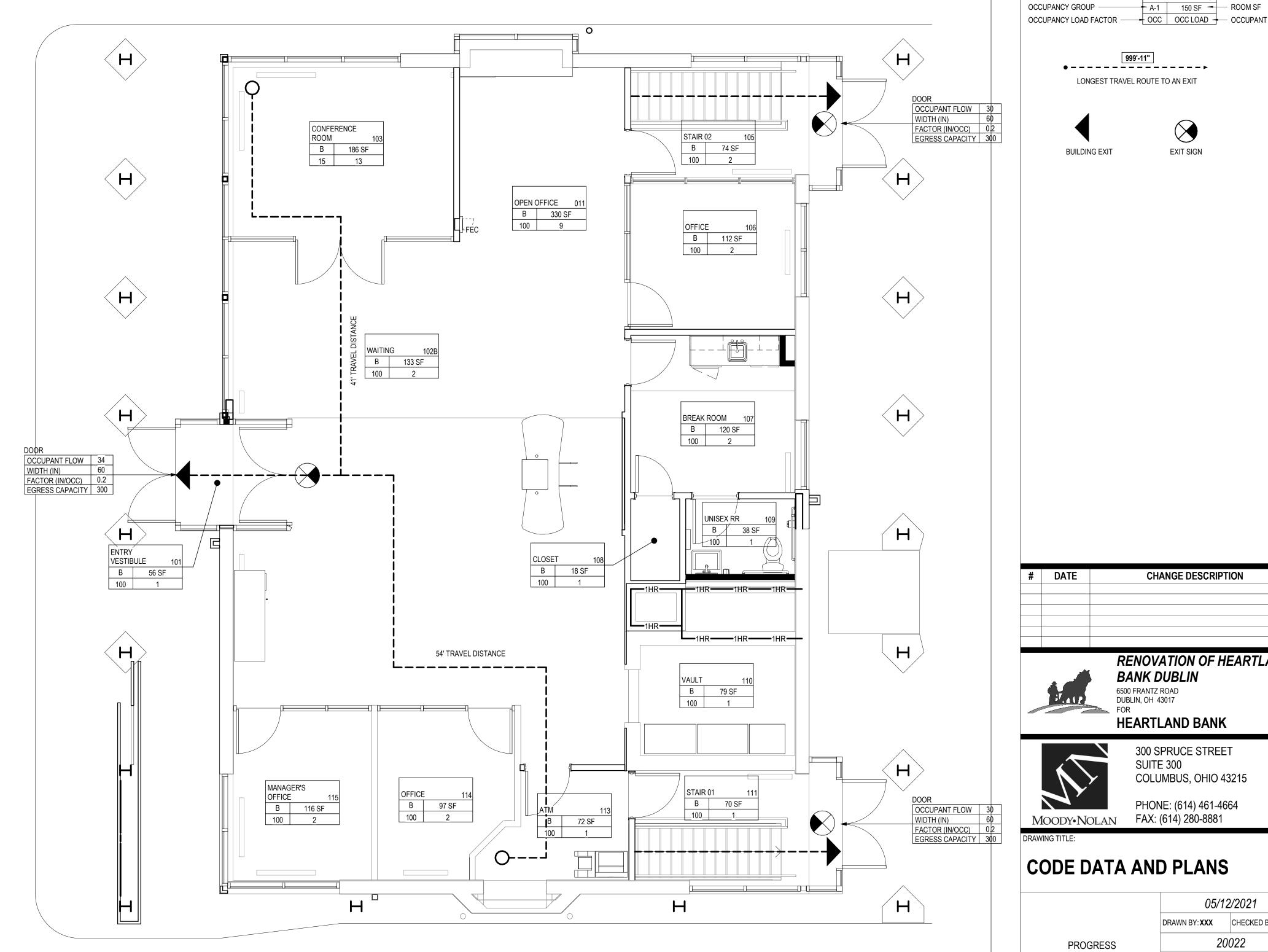
						BASI	ED O	N 20	17 IBC				
							PLUMBI	NG FIXTU	RE TOTALS				
	occu	PANCY	WATER	CLOSETS	URINALS	WATER CLOSETS	LAVA	TORIES	DATUS & SUSMEDS	DRINKING	OFDWOF ONWO	KITOLIEN OINIKO	AUTO CLOTHES
	MALE	FEMALE	MALE	FEMALE	PERMITTED FOR SUBSTITUTION	MINUS URINALS	MALE	FEMALE	BATHS & SHOWERS	FOUNTAINS	AINS SERVICE SINKS	S KITCHEN SINKS	WASHER CONNS
SUBTOTAL	47	47 47	1.88	1.88			1.18	1.18	0.00	0.04			0
SOBIOTAL	47	41	2	2			2	2		0.00	0.94		
TOTAL	9	)4	•	4	1	3		4	0	1	1	0	0

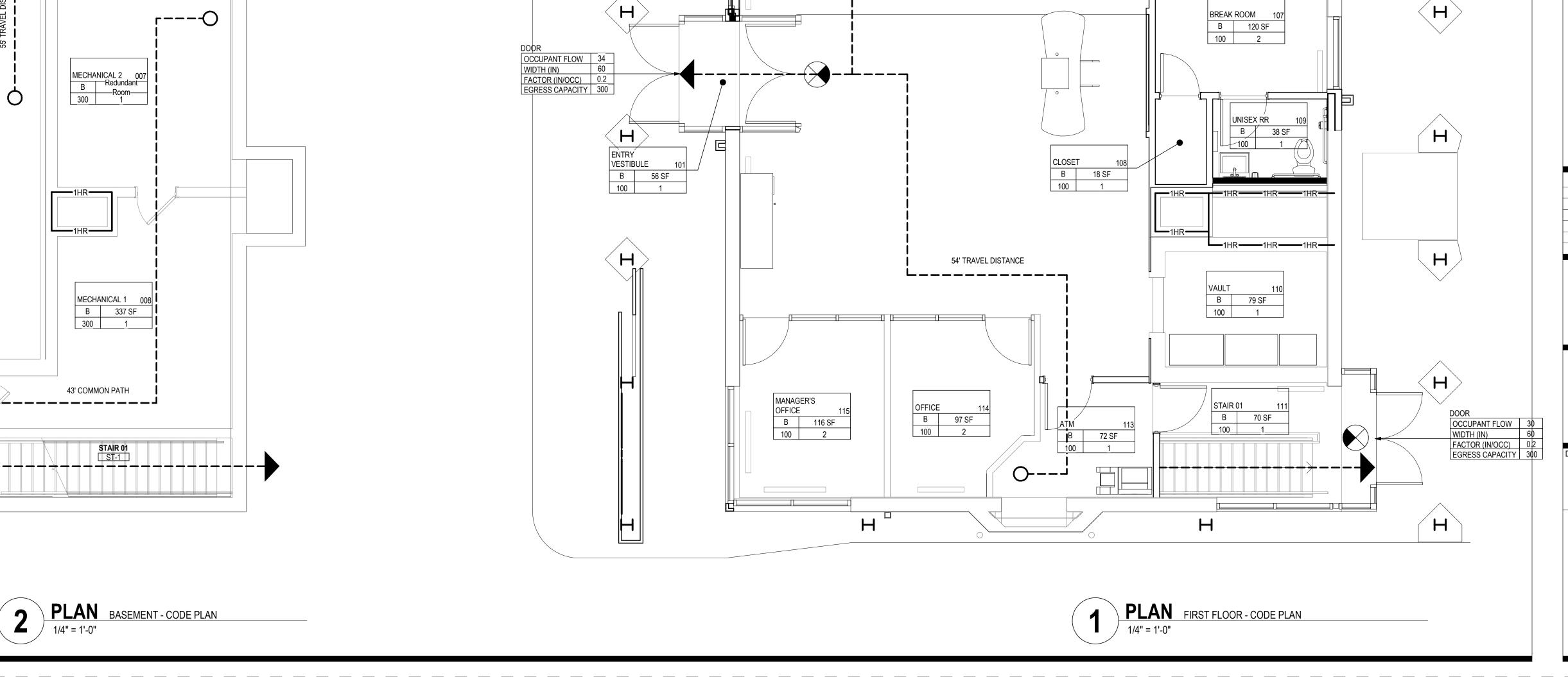
	PLUMBING FIXTURE CALCULATOR												
CLASSIFICATION	OCCUPANCY TYPE	DESCRIPTION	OCCUPANCY GENDER OCCUPANCY TOTAL TOTALS			WATER CLOSETS URINALS		LAVATORIES		BATHTUBS OR SHOWERS	DRINKING FOUNTAINS	OTHER	
				MALE	FEMALE	MALE	FEMALE		MALE	FEMALE			
BUSINESS	В	Buildings for the transaction of business, profess. services, other services involving merchandise, office bldgs, banks, light industrial and similar uses	94	47	47	1.88 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1.88 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	0.92	1.18 1 per 40 bit the first 80 and 1 per 80 for the remainder exceeding 80	1.18 1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	-	0.94 1 per 100	*1 SERVICE SINK TOTAL: <b>1</b>



**FLOORS** 

EXTERIOR WALL OPENINGS





GENERAL NOTES - CODE PLAN

4. TBD

**CODED NOTE LEGEND** 

FIRE EQUIPMENT LEGEND FIRE EXTINGUISHER

FIRE EXTINGUISHER AND CABINET FIRE EXTINGUISHER / VALVE CABINET FIRE DEPARTMENT / VALVE CABINET

RATED WALL LEGEND

==1HR===1HR== EXISTING (1 HOUR) FIRE RESISTANT RATED PARTITION

**OCCUPANCY TAGS** 

FACTOR (IN/OCC) 0.2

 OCCUPANT FLOW
 0.0

 WIDTH (IN)
 0"

 FACTOR (IN/OCC)
 0.20

 EGRESS CAPACITY
 0.0

OCCUPANCY LOAD FACTOR — OCC OCC LOAD — OCCUPANT LOAD 999'-11"

LONGEST TRAVEL ROUTE TO AN EXIT



EXIT SIGN

CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR

300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

**HEARTLAND BANK** 

PHONE: (614) 461-4664

MOODY• NOLAN FAX: (614) 280-8881

DRAWING TITLE:

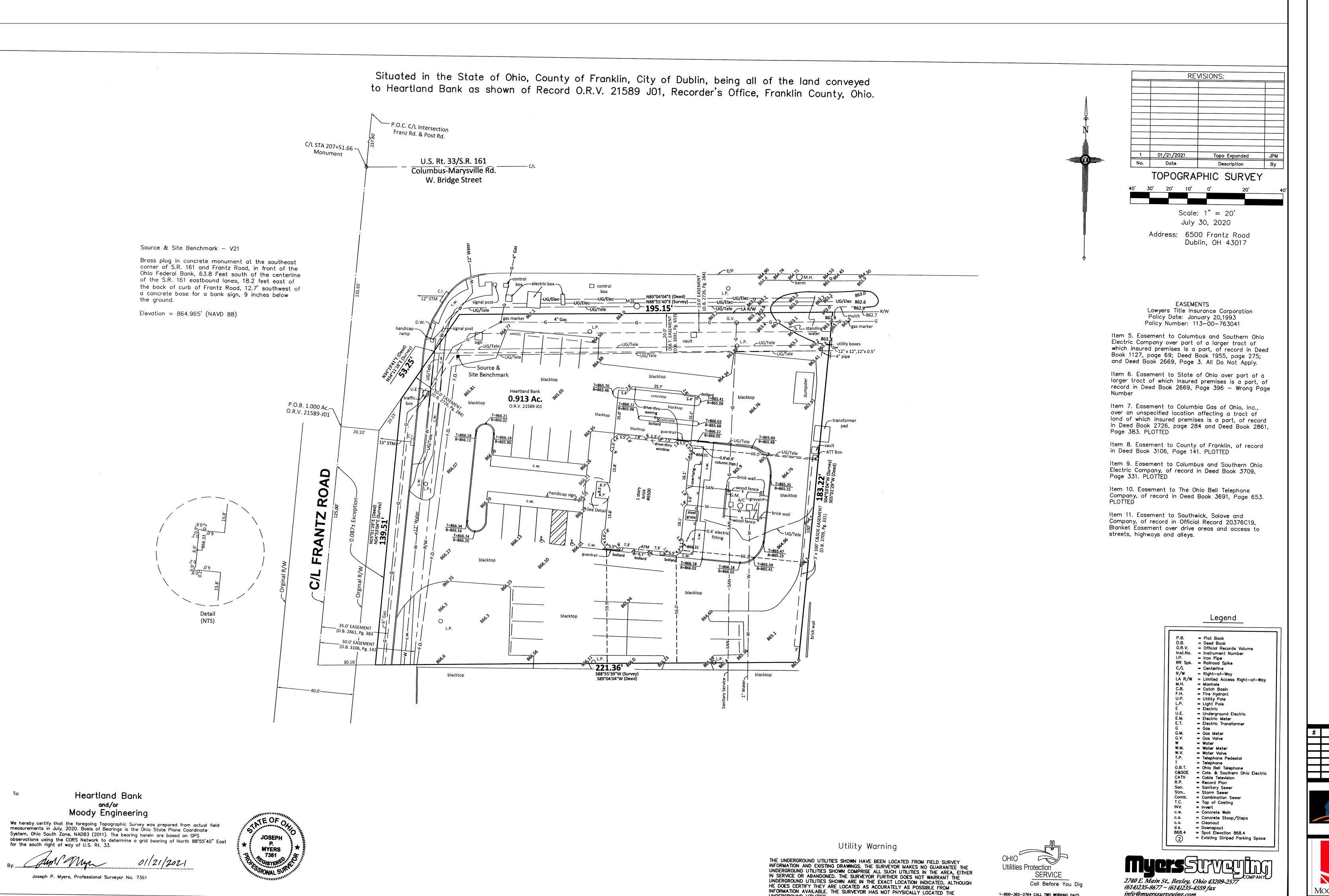
CODE DATA AND PLANS

PROGRESS DRAWING NOT FOR CONSTRUCTION

DRAWN BY: XXX CHECKED BY: XXX 20022 G100

FINAL DEVELOPMENT PLAN

05/12/2021





**300 SPRUCE STREET** SUITE 200 COLUMBUS, OHIO 43215

MOODY-ENG.COM

CHANGE DESCRIPTION RENOVATION OF HEARTLAND



DUBLIN, OH 43017 HEARTLAND BANK



(614)235-8677 ~ (614)235-4559 fax

| X -

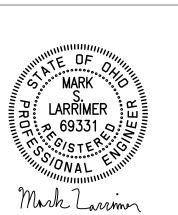
info@myerssurveying.com

m.o.# 10-06/23/2020

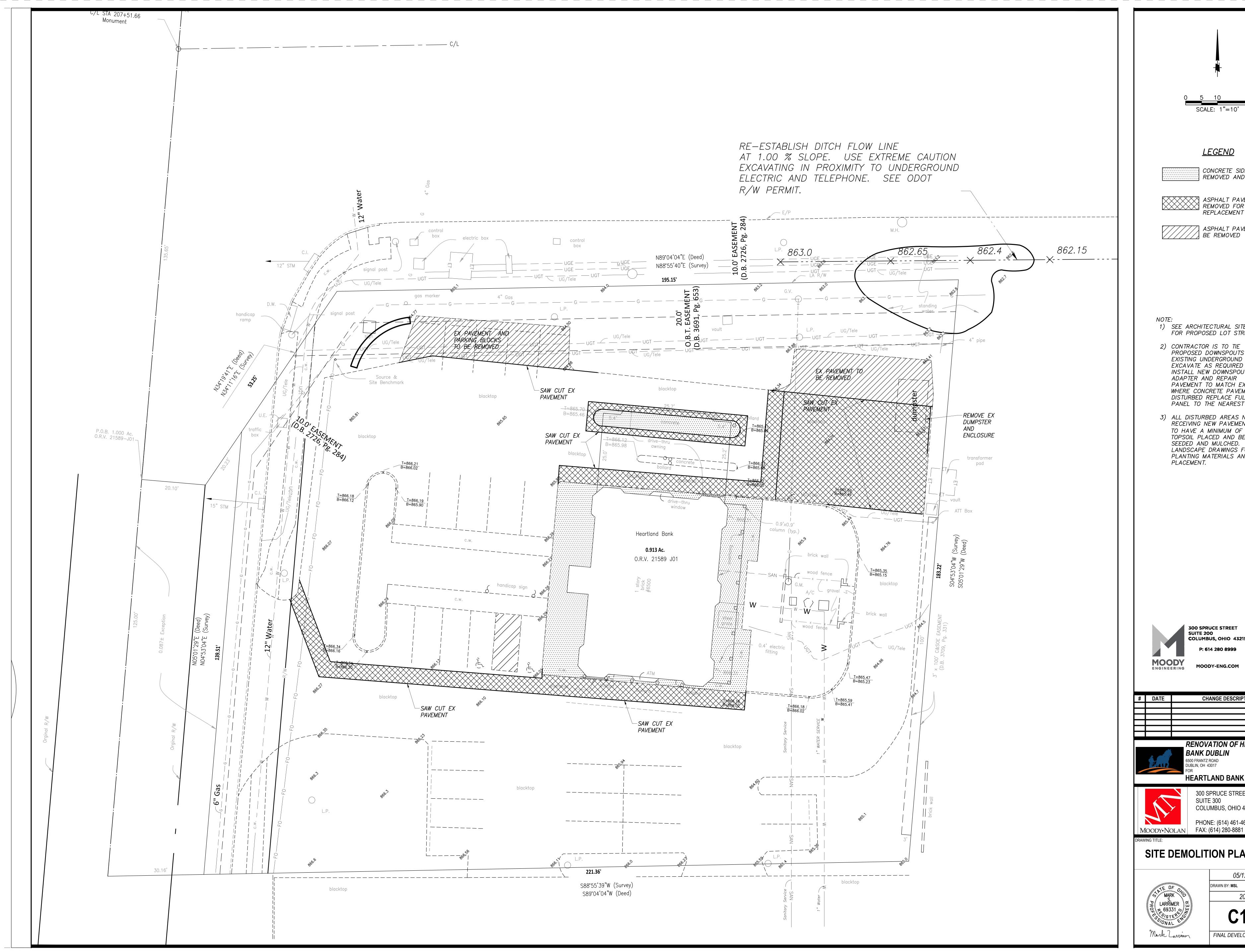
1-800-362-2764 CALL TWO WORKING DAYS BEFORE YOU DIG (NON MEMBERS MUST BE CALLED DIRECTLY)

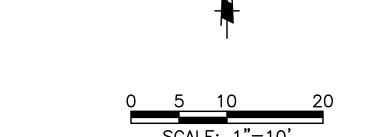
SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 461-4664 MOODY•NOLAN FAX: (614) 280-8881

SITE SURVEY



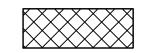
05/12/2021 20022





<u>LEGEND</u>

CONCRETE SIDEWALK REMOVED AND REPLACED



ASPHALT PAVEMENT REMOVED FOR REPLACEMENT



ASPHALT PAVEMENT TO BE REMOVED

1) SEE ARCHITECTURAL SITE PLAN FOR PROPOSED LOT STRIPING

- EXCAVATE AS REQUIRED TO INSTALL NEW DOWNSPOUT ADAPTER AND REPAIR WHERE CONCRETE PAVEMENT IS DISTURBED REPLACE FULL PANEL TO THE NEAREST JOINT.
- 3) ALL DISTURBED AREAS NOT RECEIVING NEW PAVEMENT ARE TO HAVE A MINIMUM OF 6" TOPSOIL PLACED AND BE SEEDED AND MULCHED. SEE LANDSCAPE DRAWINGS FOR PLANTING MATERIALS AND PLACEMENT.



**300 SPRUCE STREET** SUITE 200 COLUMBUS, OHIO 43215

MOODY-ENG.COM

#	DATE	CHANGE DESCRIPTION



RENOVATION OF HEARTLAND DUBLIN, OH 43017

HEARTLAND BANK

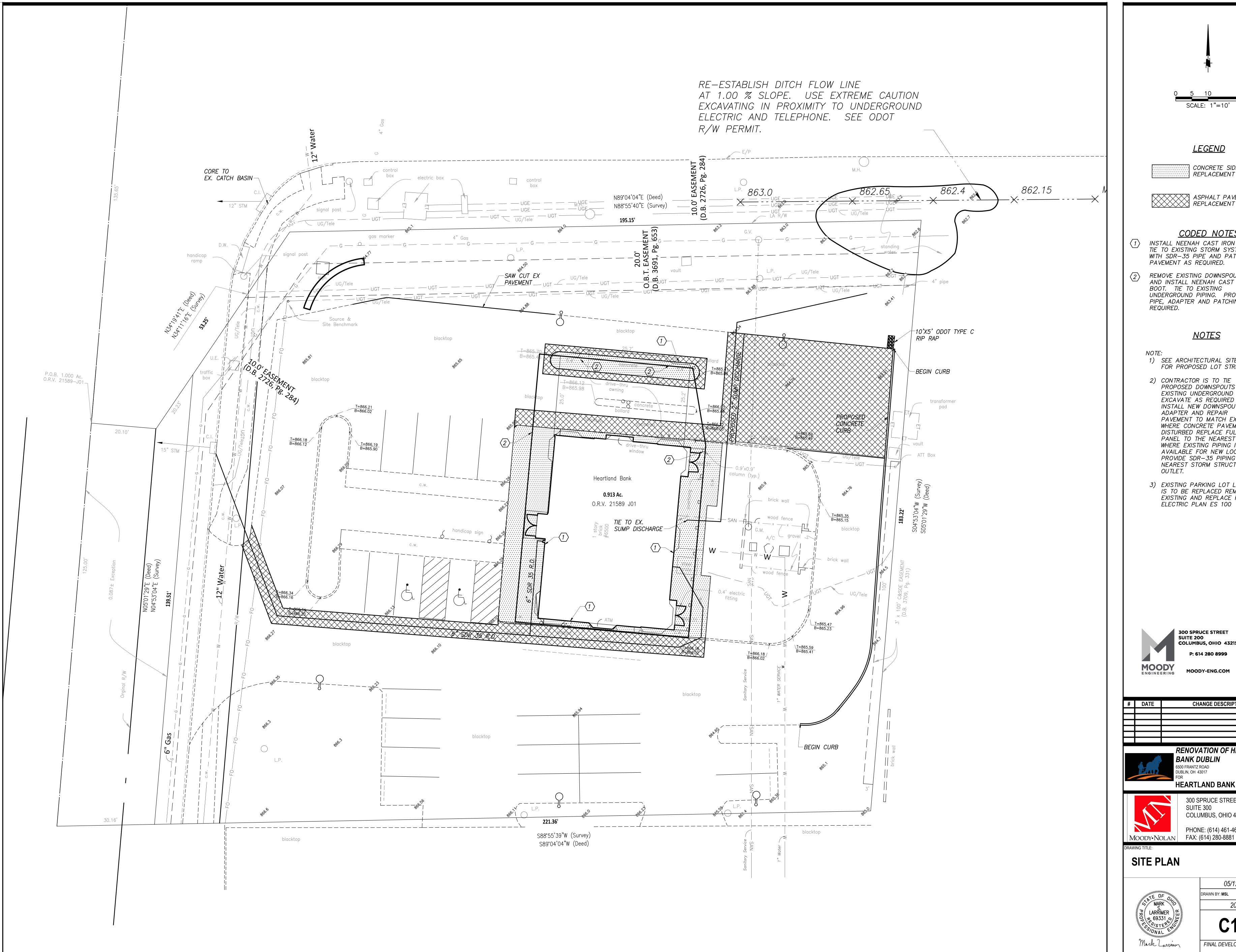


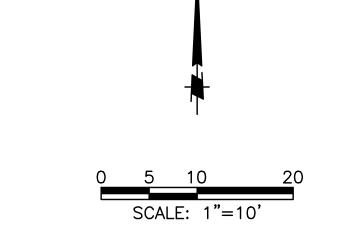
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

SITE DEMOLITION PLAN



05/12/2021 DRAWN BY: MSL CHECKED BY: MSL 20022





<u>LEGEND</u>

CONCRETE SIDEWALK REPLACEMENT

ASPHALT PAVEMENT REPLACEMENT

### CODED NOTES

- INSTALL NEENAH CAST IRON BOOT. TIE TO EXISTING STORM SYSTEM WITH SDR-35 PIPE AND PATCH PAVEMENT AS REQUIRED.
- REMOVE EXISTING DOWNSPOUT BOOT AND INSTALL NEENAH CAST IRON BOOT. TIE TO EXISTING UNDERGROUND PIPING. PROVIDE PIPE, ADAPTER AND PATCHING AS REQUIRED.

# <u>NOTES</u>

- 1) SEE ARCHITECTURAL SITE PLAN FOR PROPOSED LOT STRIPING
- PROPOSED DOWNSPOUTS TO EXISTING UNDERGROUND LINES. EXCAVATE AS REQUIRED TO INSTALL NEW DOWNSPOUT ADAPTER AND REPAIR PAVEMENT TO MATCH EXISTING. WHERE CONCRETE PAVEMENT IS DISTURBED REPLACE FULL PANEL TO THE NEAREST JOINT. WHERE EXISTING PIPING IS NOT AVAILABLE FOR NEW LOCATIONS, PROVIDE SDR-35 PIPING TO NEAREST STORM STRUCTURE TO
- 3) EXISTING PARKING LOT LIGHTING IS TO BE REPLACED REMOVE EXISTING AND REPLACE PER ELECTRIC PLAN ES 100



300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215

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#	DATE	CHANGE DESCRIPTION
		RENOVATION OF HEARTI AND



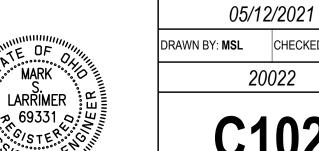
DUBLIN, OH 43017

HEARTLAND BANK



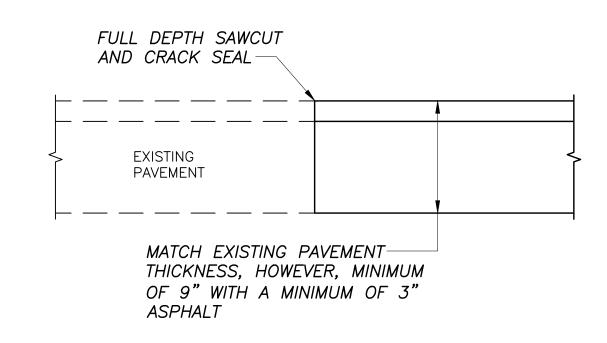
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

SITE PLAN

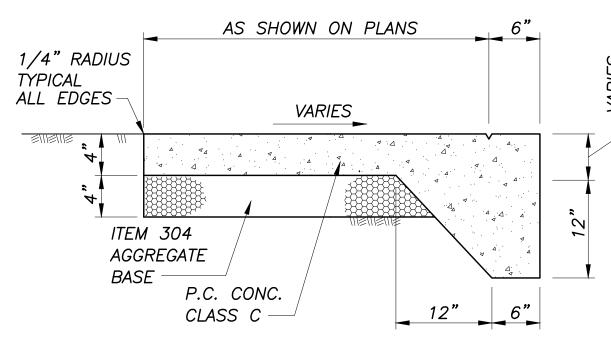


FINAL DEVELOPMENT PLAN

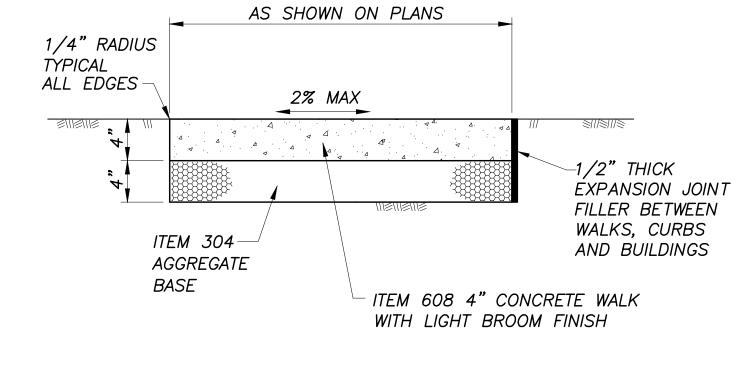
20022



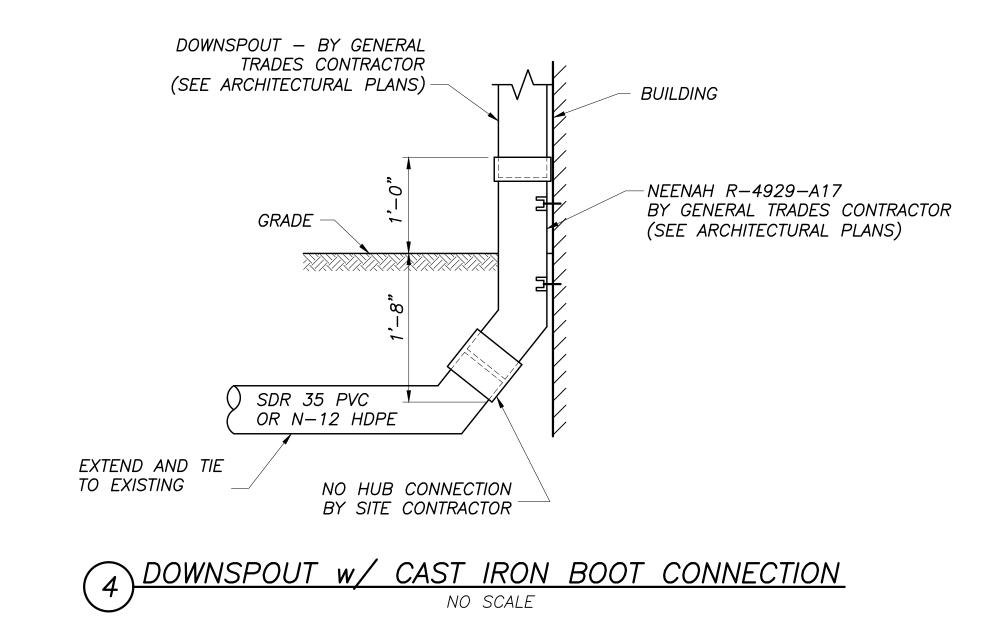
ASPHALT PAVEMENT REPAIR



2) SIDEWALK WITH INTEGRAL CURB NO SCALE



3) CONCRETE WALKS NO SCALE



EXISTING — PAVEMENT SURFACE CITY OF COLS. ITEM 609 -STRAIGHT 18" CONCRETE CURB (SEE CITY STD DWG. 2000 FOR ADDITIONAL DETAILS) └ NO. 8 OR NO. 57 AGGREGATE

5 CONCRETE CURBS

NO SCALE



300 SPRUCE STREET SUITE 200 COLUMBUS, OHIO 43215 MOODY-ENG.COM

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND DUBLIN, OH 43017

HEARTLAND BANK 300 SPRUCE STREET



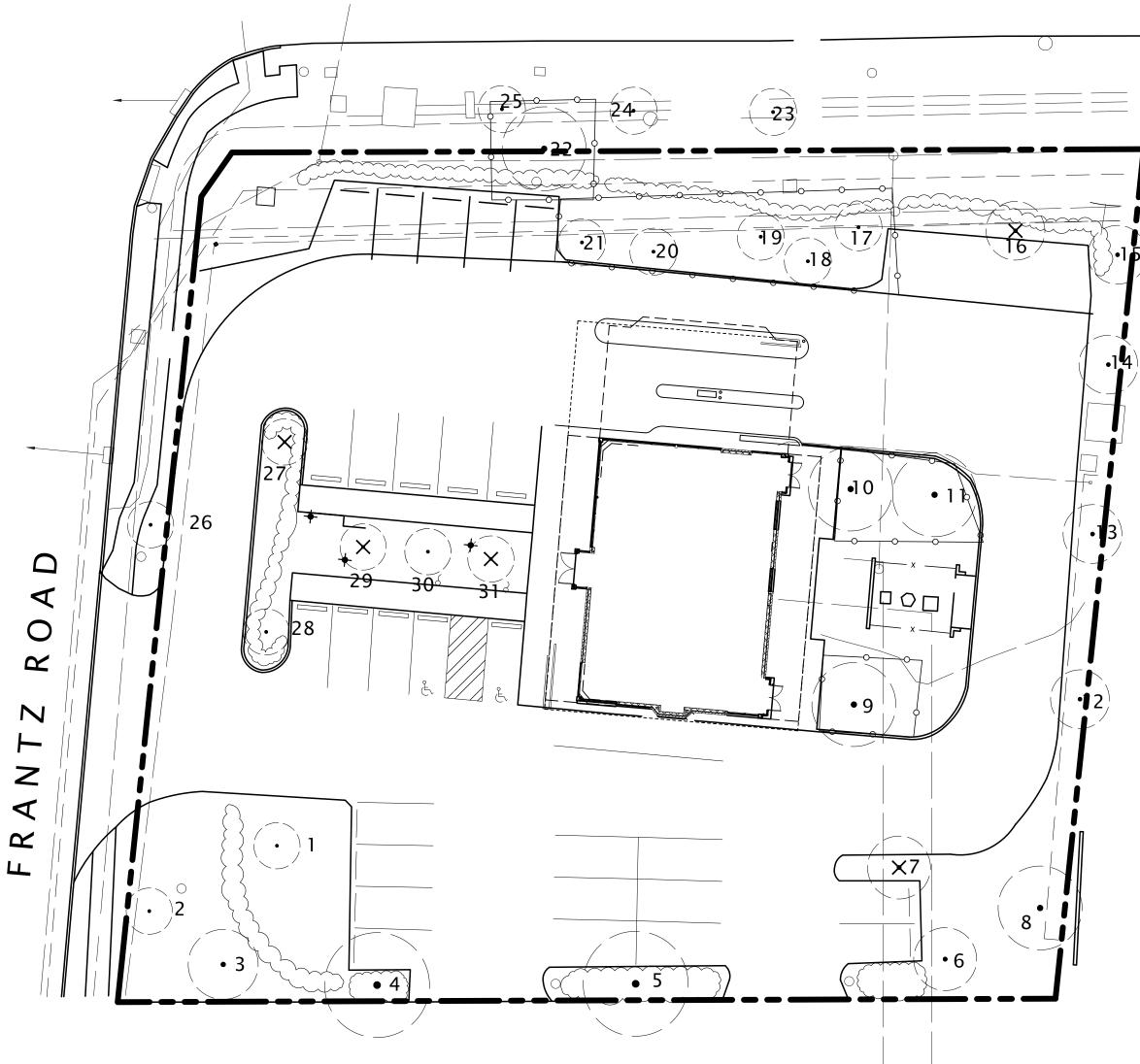
SUITE 300 COLUMBUS, OHIO 43215

SITE DETAILS



05/12/2021 20022

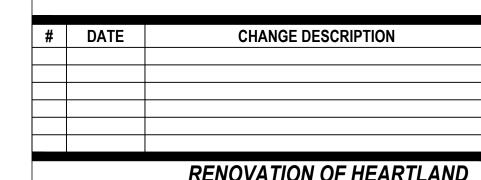
# WEST BRIDGE STREET



EXISTING TREES TO REMAIN TYPICAL  EXISTING TREE TO BE REMOVED  EXISTING EXISTING EXISTING EXERCISE TREE PROTECTION FENCING	TREE DEMOLITION AND PRESERVATION PLAN	0'
--	---------------------------------------	----

# EXISTING TREE LEGEND

NO.	TREE TYPE	SIZE	CONDIT	ON
1	GINKGO	2" CALIPER	GOOD	RETAIN
2	CRABAPPLE	3" CALIPER	GOOD	RETAIN
3	ZELCOVA	4" CALIPER	GOOD	RETAIN
4	ZELCOVA	6" CALIPER	GOOD	RETAIN
5	ZELCOVA	6" CALIPER	GOOD	RETAIN
6	ZELCOVA	3" CALIPER	GOOD	RETAIN
7	OAK	3" CALIPER	POOR	REPLACE
8	MAPLE	20" CALIPER	GOOD	RETAIN
9	HONEYLOCUS	15" CALIPER	GOOD	RETAIN
10	HONEYLOCUS	17" CALIPER	GOOD	RETAIN
11	HONEYLOCUS	15" CALIPER	GOOD	RETAIN
12	PEAR	6" CALIPER	GOOD	RETAIN
13	PEAR	6" CALIPER	GOOD	RETAIN
14	PEAR	6" CALIPER	GOOD	RETAIN
15	PEAR	6" CALIPER	GOOD	RETAIN
16	ZELCOVA	4" CALIPER	POOR	REPLACE
17	ZELCOVA	3" CALIPER	GOOD	RETAIN
18	GINKGO	1" CALIPER	GOOD	RETAIN
19	ZELCOVA	11" CALIPER	GOOD	RETAIN
20	GINKGO	2" CALIPER	GOOD	RETAIN
21	GINKGO	2" CALIPER	GOOD	RETAIN
22	OAK	24" CALIPER	GOOD	RETAIN
23	LILAC	4" CALIPER	GOOD	RETAIN
24	LILAC	5" CALIPER	GOOD	RETAIN
25	LILAC	8" CALIPER	GOOD	RETAIN
26	LILAC	3" CALIPER	GOOD	RETAIN
27	MAPLE	5" CALIPER	POOR	REPLACE
28	LINDEN	5" CALIPER	GOOD	RETAIN
29	MAGNOLIA	5" CALIPER	GOOD	REMOVE
30	MAGNOLIA	5" CALIPER	GOOD	RETAIN
31	MAGNOLIA	5" CALIPER	GOOD	REMOVE









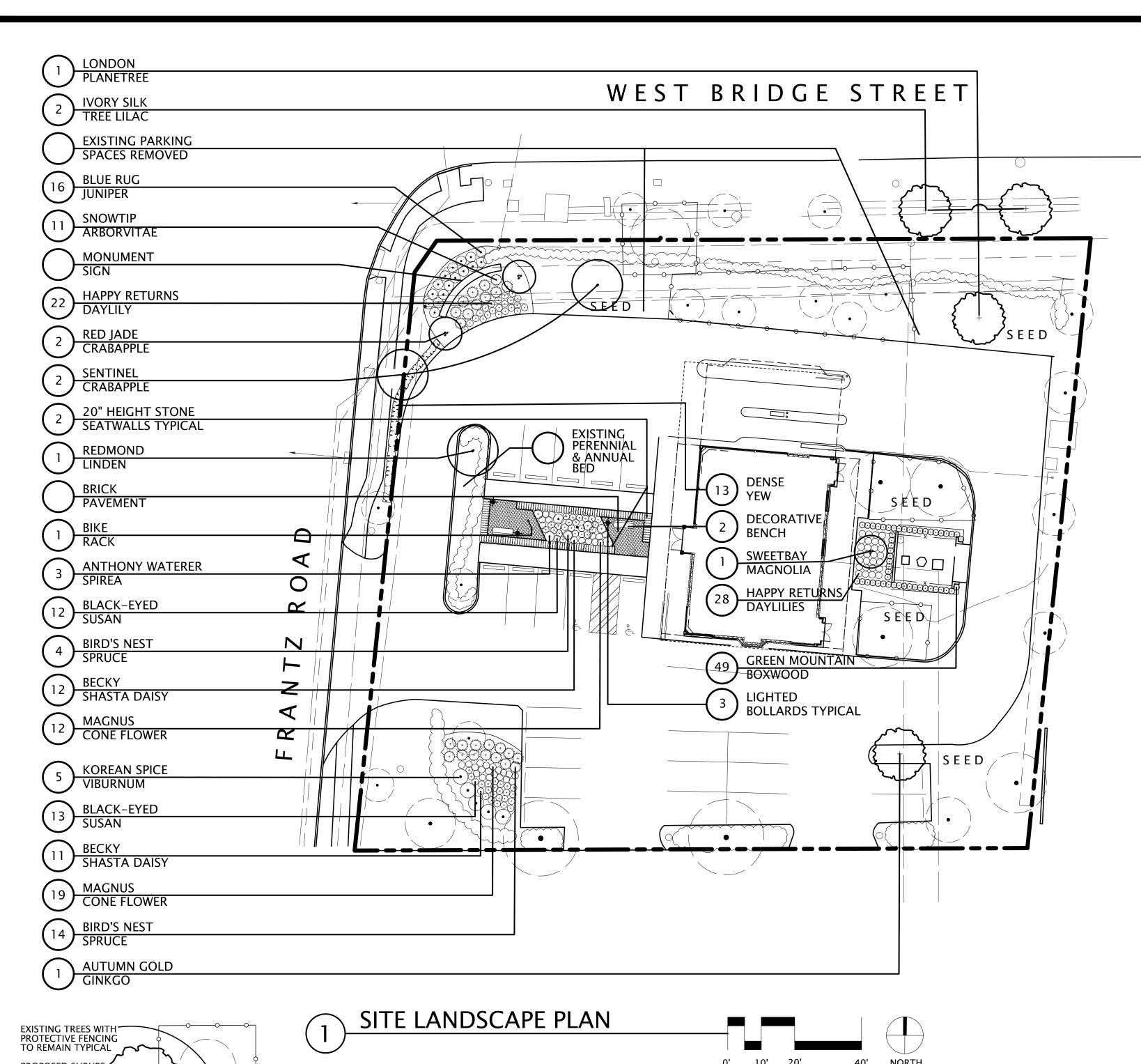
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

TREE DEMOLITION AND PRESERVATION PLAN

DRAWN BY: **GrK** CHECKED BY: **GrK** 

20022 L1.01





EVERGREEN HEDGE

PLANT LEGEND

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
	TREES			
5	SKYLINE HONEYLOCUST	Geditsia t. i. 'Skyline'	2 1/2" Cal.	B&B
3	SOMERSET MAPLE	Acer rubrum 'Somerset'	2 1/2" Cal.	B&B
1	REDMOND LINDEN	Tilia americana 'Redmond'	2 1/2" Cal.	B&B
1	LONDON PLANETREE	Platanus x acerifolia	2 1/2" Cal.	B&B
2	IVORY SILK TREE LILAC	Syringa reticulata 'Ivory Silk'	2" Cal.	B&B
2	RED JADE CRABAPPLE	Malus 'Red Jade'	1 3/4" Cal.	B&B
2	SENTINEL CRABAPPLE	Malus 'Sentinel'	1 3/4" Cal.	B&B
1	AUTUMN GOLD GINKGO	Ginkgo 'Autumn Gold'	2 1/2" Cal.	B&B
1	SWEETBAY MAGNOLIA	Magnolia virginiana	6' Hgt. Multistem	B&B
	SHRUBS AND PERENNIALS			
11	SNOWTIP ARBORVITAE	Thuja occidentalis 'Snowtip'	5' Hgt.	B&B
13	DENSE YEW	Taxus x media 'Densiformis'	24" Hgt.	B&B
16	BLUE RUG JUNIPER	Juniperus horizontalis 'Blue Rug'	18" Spr.	Cont
18	BIRD'S NEST SPRUCE	Picea abies 'Nidiformis'	15" Spr.	Cont
5	KOREAN SPICE VIBURNUM	Viburnum carlesii	24" Hgt.	Cont
3	ANTHONY WATERER SPIREA	Spirea 'Anthony Waterer'	24" Spr.	Cont.
23	BECKY SHASTA DAISY	Leucanthemum x superbum 'Becky'	Clump	#2 Cor
25	BLACK-EYED SUSAN	Rudbeckia fulgida 'Goldsturm'	Clump	#2 Cor
31	MAGNUS CONE FLOWER	Echinacea 'Magnus'	Clump	#2 Cor
50	HAPPY RETURNS DAYLILY	Hemerocalis 'Happy Returns'	Clump	#2 Cor
26	GREEN MOUNTAIN BOXWOOD	Buxus x 'Green Mountain'	24" Hgt.	Cont.

NOTES: SEE PLAN FOR PATTERN

**BRICK PAVERS** 

5 DRY LAID BRICK PAVEMENT
NTS

STEEL EDGING IN CASES OF NO ADJACENT STRUCTURE

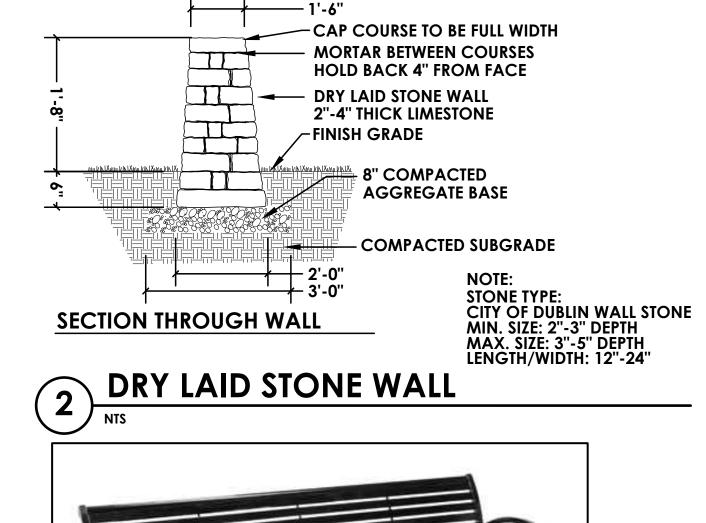
TIGHT BUTT JOINTS (SAND SWEPT)

BELCREST 500 BY BELDEN BRICK

- 6" COMPACTED AGGREGATE BASE COURSE

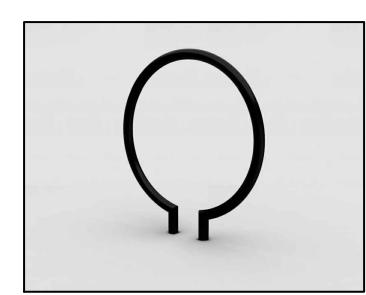
- 1-1/2" SAND SETTING BED

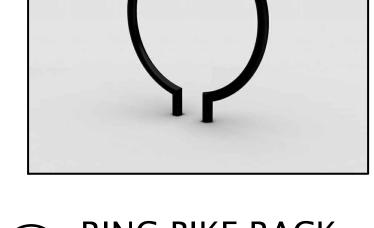
COMPACTED SUBGRADE



NOTE: KEEP BATTER CONSISTENT ON BOTH SIDES OF WALL.







RING BIKE RACK
BY I AND COLOR

# **GENERAL PLANTING NOTES**

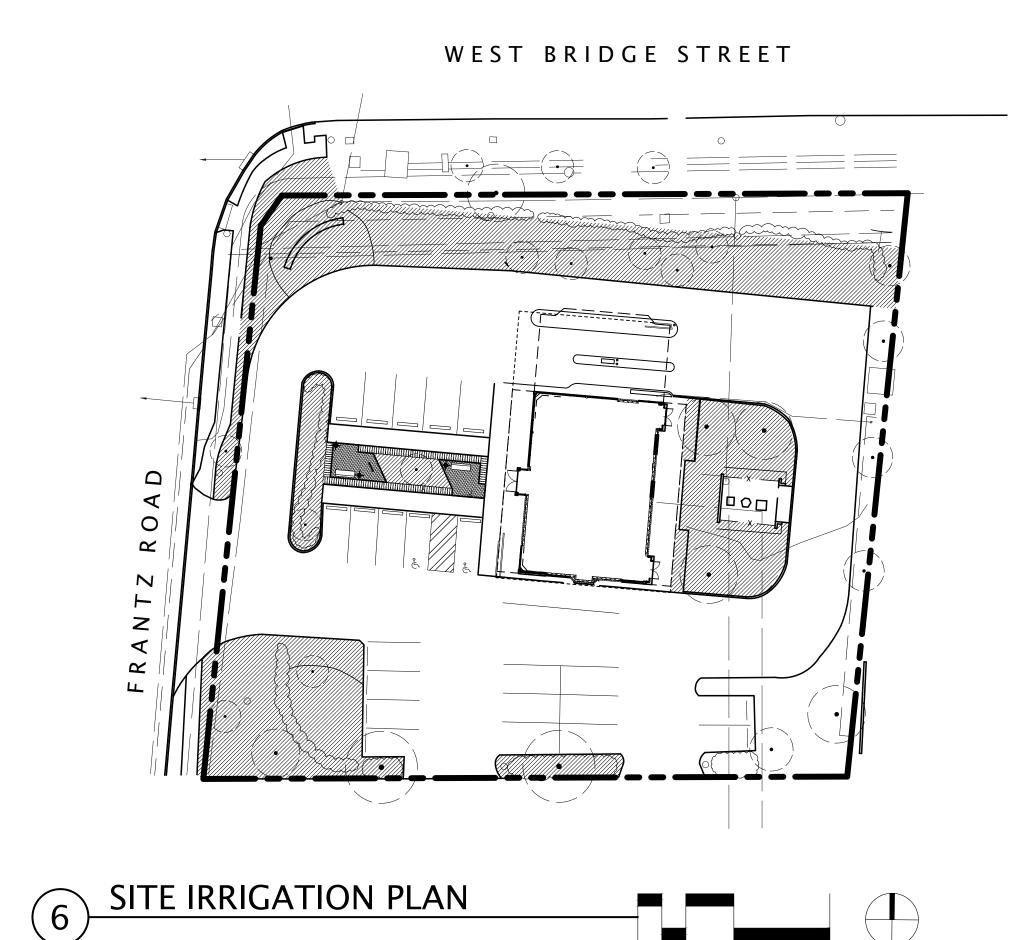
- 1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- 2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN
- CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING. 3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE
- SATISFACTION OF THE OWNER. 4. ALL PLANT MASSES TO BE CONTAINED
- WITHIN 3" DEEP HARDWOOD BARK MULCH BED. ALL PLANT MASSES TO BE INCORPORATED BY CONTINUOUS MULCH BED TO LIMITS SHOWN.

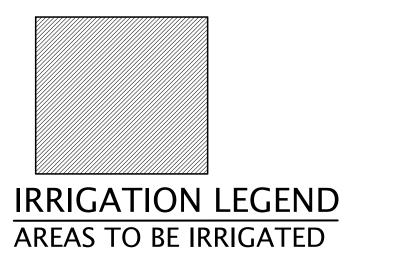
5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN PLANTING

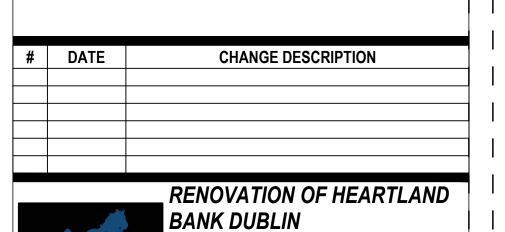
- 6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL
- GRADE FREE OF IRREGULARITIES OR DEPRESSIONS. 7. CONTRACTOR SHALL SEED ALL AREAS DISTURBED DURING

CONSTRUCTION.

- 8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- 9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. 10. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE
- IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
- 11. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- 12. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT MATERIALS LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
- 13. CONTRACTOR TO PROVIDE A COMPLETE 1 YEAR WARRANTY OF PLANT MATERIAL INCLUDING PLANTS AS VIABLE AND THRIVING. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL AND LAWNS
- FOR THE ENTIRE LENGTH OF THE WARRANTY PERIOD. 14. ANY SUBSTITUTIONS OF PLANT MATERIAL OR CHANGES TO THE DESIGN
- SHALL BE AUTHORIZED BY THE LANDSCAPE ARCHITECT. 15. BIKE RAKE AND BENCHES TO BE INSTALLED WITH AN EMBEDDED METHOD
- AS SPECIFIED BY THE MANUFACTURER. 16. IRRIGATION IS TO BE A DESIGN / BUILD PROJECT UTILIZING THE EXISTING SYSTEM
- AS MUCH AS IS POSSIBLE. SEE SPECIFICATIONS.











PHONE: (614) 461-4664 FAX: (614) 280-8881

SITE LANDSCAPE AND IRRIGATION PLANS

6500 FRANTZ ROAD

DRAWN BY: **GrK** CHECKED BY: **GrK** 20022

> L1.02 FINAL DEVELOPMENT PLAN



GENERAL STRUCTURAL NOTES FIELD CONNECTIONS ARE TO BE BOLTED, EXCEPT AS INDICATED OTHERWISE. SHOP CONNECTIONS MAY BE WELDED OR BOLTED. ANCHOR BOLT CONNECTIONS ARE TO BE DESIGNED BY THE FABRICATOR TO DEVELOP EITHER 100% OF THE FULL UNIFORM LOAD CAPACITY OF THE ADDITIONAL MEMBER, OR THE FORCES SHOWN ON THE PLANS. MINIMUM CONNECTION CAPACITY TO BE 15 KIPS. FOLLOW INSTRUCTIONS ON DRAWINGS FOR GENERAL ARRANGEMENT OR PARTICULAR DETAILS. ALUM ALUMINUM THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION IS FULLY COMPLETED. IT IS SOLELY THE MISCELLANEOUS STEEL MEMBERS (ANGLES, CHANNELS, ETC.) THAT SUPPORT DECK AROUND THE PERIMETER OF A FLOOR OR ROOF SHALL BE CONTINUOUS. WHERE SPLICES IN THESE MEMBERS MUST OCCUR TO FACILITATE ERECTION, PROVIDE PARTIAL PENETRATION CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO ENSURE THE SAFETY OF THE BUILDING AND ARCH ARCHITECTURAL TS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUYS, SQUARE GROOVE WELD (BUTT JOINT) W/ 3/16" EFFECTIVE THROAT ON ONE SIDE, EACH LEG. OR TIEDOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL IS TO REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE B/ or BO BOTTOM OF BOTTOM FLANGE BRACE A. DO NOT PAINT STEEL OR ANCHOR RODS WHICH WILL BE ENCASED IN CONCRETE OR MASONRY, NOR ANY STEEL WHICH IS SCHEDULED BLDG BUILDING IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF TO RECEIVE SPRAY-APPLIED OR INTUMESCENT-MASTIC FIREPROOFING.
PAINT ALL INTERIOR EXPOSED STEEL (INCLUDING INTERIOR LINTELS) WITH TWO COATS OF RED-OXIDE PRIMER. BEAM BOTTOM HOT-DIP GALVANIZE ALL EXTERIOR STEEL (INCLUDING LINTELS AND BRICK SHELF ANGLES).
PROVIDE A FIELD-APPLIED COAT OF ASPHALT-MASTIC PAINT FOR ALL BELOW-GRADE STEEL (INCLUDING ANCHOR RODS, NUTS, MECHANICAL EQUIPMENT LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR IS TO OBTAIN APPROVAL OF MECHANICAL AND OTHER TRADES BEFORE PROCEEDING WITH SUCH WASHERS, BASE PLATES, AND THE BELOW-GRADE PORTION OF COLUMNS) WHICH IS NOT FULLY ENCASED IN CONCRETE. COLD-FORMED METAL FRAMING PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN MECHANICAL REQUIREMENTS TO BE BORNE BY MECHANICAL INTERIOR NON-EXPOSED STEEL NEED NOT BE PRIME PAINTED. COLD-FORMED METAL TRUSS CONTROL OR CONSTRUCTION JOINT CLEAR DO NOT SCALE THE DRAWINGS WHERE DIMENSIONS ARE NOT SPECIFICALLY GIVEN. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND PROVIDE HOLES FOR OTHERS. IF OPENING IS NOT SHOWN ON THE STRUCTURAL DRAWINGS, OBTAIN PRIOR APPROVAL. CONSTRUCTION MANAGER ELEVATIONS NOT SHOWN. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONS AND STEEL SUPPORTING OR CONNECTING TO MECHANICAL AND OTHER EQUIPMENT AND ROOF OPENINGS AS SHOWN ON ARCHITECTURA ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE NOT INTENDED TO AUGMENT, NOR SUPERSEDE THOSE SHOWN ON THE CONCRETE MASONRY UNIT MECHANICAL AND/OR ON STRUCTURAL DRAWINGS IS SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR IS TO RECONCILE EXACT SIZE AND LOCATION WITH MECHANICAL AND OTHER REQUIREMENTS BEFORE PROCEEDING WITH THIS WORK. COLUMN GROUT UNDER BEARING PLATES TO BE NON-METALLIC, NON-SHRINKING TYPE. CONCRETE STEEL BELOW GRADE TO BE PROTECTED BY A MINIMUM OF 3" OF CONCRETE, 4" OF SOLID MASONRY, OR A FIELD-APPLIED COAT OF FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY WHERE CONFLICTS EXIST CONTINUOUS WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND FIELD CONDITIONS. ASPHALT-MASTIC PAINT. COORD COORDINATE PROVIDE 1/4" THICK SETTING PLATES FOR ALL BEAMS AND BEAM LINTELS BEARING ON MASONRY OR CONCRETE WHICH DO NOT CUBIC YARD REQUIRE A THICKER BEARING PLATE.
PROVIDE HEAVY PLATE WASHERS AT ALL ANCHOR RODS. THROUGHOUT THESE PLANS, THE TERM "PROVIDE" IS DEFINED AS "SUPPLY AND INSTALL". INISH ENDS OF ALL COLUMNS, STIFFENERS AND ALL OTHER MEMBERS IN DIRECT BEARING. SHOP DRAWINGS ARE TO BE SUBMITTED BY COMPLETE ERECTION PHASE OR SEQUENCE. LIMITS OF EACH INDIVIDUAL ERECTION PHASE OR PROVIDE BOLT HOLES FOR WOOD NAILERS AND JOISTS BOLTED TO BEAMS. PROVIDE ATTACHMENT FOR JOINING EXTENDED JOIST BOTTOM CHORDS. DEMOLISH OR DEMOLITION SEQUENCE ARE TO BE CLEARLY INDICATED ON THE PLANS. INCOMPLETE OR PIECEMEAL SHOP DRAWINGS WILL BE RETURNED PRIOR TO REVIEW. RESUBMITTALS ARE TO HAVE REVISIONS CLEARLY MARKED OR IDENTIFIED. THE CONTRACTOR SHALL REVIEW AND ACCEPT FULL STEEL IN CONTACT WITH PRESSURE-TREATED LUMBER IS TO BE PROTECTED FROM CORROSION FROM PRESERVATIVE CHEMICALS DETAIL RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS. ALL SHOP DRAWINGS MUST BEAR THE APPROVAL STAMP OF THE CONTRACTOR PRIOR WITH A 20 MIL (MIN.) VAPOR BARRIER. BOLTS AND SCREWS THROUGH PRESSURE-TREATED LUMBER ARE TO BE HOT DIPPED DIAMETER GALVANIZED PER ASTM A153 WITH A MINIMUM G185 COATING OR STAINLESS STEEL WITH CHEMICAL COMPOSITION CONFORMING TO DIAGONAL DIMENSION PROVIDE MISCELLANEOUS ANGLES OR CHANNELS TO SUPPORT DECK EDGES AROUND COLUMNS THAT EXTEND THROUGH THE DECK. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, THE DRAWING PROVIDE ADDITIONAL SUPPORT FOR ALL DECK OPENINGS THAT ARE EQUAL TO OR GREATER THAN 12" IN WIDTH OR DIAMETER. NOT SPECIFICATIONS OR WITH EACH OTHER. THE STRICTEST PROVISION WILL GOVERN. ALL DECK OPENINGS ARE SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE SIZE AND LOCATION WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND OTHER TRADES CODE INFORMATION M. SEE ARCHITECTURAL SECTIONS AND DETAILS FOR ALL MISCELLANEOUS STRUCTURAL STEEL NOT OTHERWISE INDICATED IN THE **EXPANSION JOINT** 2017 OHIO BUILDING CODE - BUILDING RISK CATEGORY: CATEGORY II ENGINEER **EACH WAY** 7. FIELD QUALITY CONTROL: A. INSPECTION AGENCY IS TO PERFORM INSPECTION OF BOLTED CONNECTIONS PER THE REQUIREMENTS OF AISC SPECIFICATION FOR **EXPANSION** ROOF LIVE LOADS - ORDINARY FLAT, PITCHED, AND CURVED ROOFS STRUCTURAL JOINTS. 20 PSF FOUNDATION FINISH OR FINISHED SNOW LOADS A. PROVIDE AND ERECT 1/4 TON OF STRUCTURAL AND/OR MISCELLANEOUS STEEL (STRUCTURAL SHAPES, ANGLES, PLATES, ETC.) TO BE FLOOR - GROUND SNOW LOAD (Pg) USED AS DIRECTED BY THE ARCHITECT/ENGINEER. CONNECTIONS TO BE FIELD-WELDED IF REQUIRED. - FLAT ROOF SNOW LOAD (PI FOOTING - SNOW EXPOSURE FACTOR (Ce) FRTW FIRE-RETARDANT TREATED WOOD - SNOW LOAD IMPORTANCE FACTOR (Is) - THERMAL FACTOR (Ct) GAGE WIND LOADS UNPROTECTED PAINTED DECK: ASTM A1008 GALVANIZE - WIND IMPORTANCE FACTOR GALVANIZED SHEET STEEL: ASTM A653 GENERAL CONTRACTOR - BASIC ULTIMATE WIND SPEED (V ult) ROOF DECK: 1-1/2" DEEP, WIDE RIB, GALVANIZED. - BASIC ALLOWABLE WIND SPEED (V asd) 90 PSF HOLLOW CORE - SITE EXPOSURE CATEGORY - INTERNAL PRESSURE COEFFICIENT +/- 0.18 A. WELDING PERSONNEL AND PROCEDURES ARE TO BE QUALIFIED PER AWS. DESIGN, FABRICATION, AND ERECTION TO BE GOVERNED BY AISL\*SPECIFICATION OF THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS." SEISMIC LOADS: INSIDE DIMENSION STRUCTURAL WELDING CODE, AWS D1.3 OF THE AMERICAN WELDING SOCIETY. - SEISMIC IMPORTANCE FACTOR INSIDE FACE SDI "DESIGN MANUAL FOR FLOOR DECK AND ROOF DECKS". - MAPPED SPECTRAL RESPONSE ACCELERATION (Ss) INTERIOR - MAPPED SPECTRAL RESPONSE ACCELERATION (S1) - SEISMIC SITE CLASS DECK TO STRUCTURAL STEEL OR JOISTS: 5/8" DIAMETER PUDDLE WELDS. - DESIGN SPECTRAL RESPONSE ACCELERATION (Sds) - DESIGN SPECTRAL RESPONSE ACCELERATION (Sd1) SIDE LAP FASTENING: #10 SCREWS ROOF DECK FASTENING TO RESIST A GROSS UPLIFT OF 30 PSF MINIMUM. - SEISMIC DESIGN CATEGORY KICKER BRACE - RESPONSE MODIFICATION COFFFICIENT (R) - SEISMIC RESPONSE COEFFICIENT (Cs) A. PRIME PAINTED SHEET STEEL: ASTM A1008 SHOP PRIMED WITH MANUFACTURER'S STANDARD BAKED-ON, RUST-INHIBITIVE PRIMER; - SEISMIC DESIGN BASE SHEAR (V) **ANGLE** EQUIVALENT LATERAL FORCE COLOR: MANUFACTURER'S STANDARD. - ANALYSIS PROCEDURE LIGHT GAGE METAL FRAMING GALVANIZED: CONFORM TO ASTM A653, G60. - BASIC SEISMIC FORCE-RESISTING SYSTEM STEEL SYSTEMS NOT SPECIFICALLY DETAILED GALVANIZED AND SHOP-PRIMED STEEL SHEET: ASTM A653, G60. CLEANED, PRETREATED, AND PRIMED WITH MANUFACTURER'S LLBB LONG LEG BACK-TO-BACK STANDARD BAKED ON RUST-INHIBITIVE PRIMER; COLOR: MANUFACTURER'S STANDARD. LONG LEG HORIZONTAL SPECIAL LOADS LONG LEG VERTICAL - INTERIOR WALLS & PARTITIONS 5 PSF HORIZONTAL - HANDRAIL LOADS (ANY DIRECTION) 50 PLF/200# CONC. A. UNITS ARE TO BE CONTINUOUS OVER AT LEAST THREE SPANS. WHERE FEWER THAN THREE SPANS ARE NEEDED, GAGE IS TO BE MASONRY - RETAINING WALLS INCREASED AS REQUIRED TO OBTAIN THE SAME DESIGN STRENGTH AS THE THREE-SPAN CONDITION. END LAPS ARE ONLY BE MAXIMUM - BASEMENT WALLS FIELD CUTTING TO BE PERFORMED WITH A SAW. MINIMUM METAL DECK SHOULD BE PROTECTED FROM CORROSION FROM PRESERVATIVE CHEMICALS IN PRESSURE-TREATED LUMBER WITH A METAL GEOTECHNICAL: MINIMUM 20 MIL VAPOR BARRIER. ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE-TREATED LUMBER ARE TO BE HOT - GEOTECNICAL ENGINEER GEOTECHNICAL CONSULTANTS INC. DIPPED GALVANIZED PER ASTM A153 AND ASTM A123 WITH A MINIMUM G185 COATING. - REFERENCE REPORT NO. NORTH PROVIDE ADDITIONAL SUPPORT FOR ALL DECK OPENINGS THAT ARE EQUAL TO OR GREATER THAN 12" IN WIDTH OR DIAMETER. NOT - REFERENCE REPORT DATE JULY 27, 2020 ALL DECK OPENINGS ARE SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE SIZE AND LOCATION WITH ARCHITECTURAL, NOT APPLICABLE - ALLOWABLE DESIGN BEARING PRESSURE: NOT IN CONTRACT - FOUNDATION TYPE: SHALLOW SPREAD FOOTING NOT TO SCALE COLD FORMED METAL FRAMING REINFORCED CONCRETE OUTSIDE DIAMETER COLD-FORMED METAL STUDS AND JOISTS SHOWN ON THE CONTRACT DOCUMENTS ARE DESIGNATED BY "DEPTH", "SHAPE", "WIDTH", SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI-301-16, "SPECIFICATIONS FOR STRUCTURAL CONCRETE". OVERHEAD AND "THICKNESS" AS FOLLOWS: DEPTH: 362 (3-5/8"), 600 (6"), 800 (8"), ETC. OPPOSITE SHAPE: S (C-SHAPE), T (TRACK), U (CH OPENING WIDTH: 125 (1-1/4"), 162 (1-5/8"), 200 (2"), ETC. ORIENTED STRAND BOARD THICKNESS: -43 (18 GA.), -54 (16 GA.), -68 (14 GA.), -97 (12 GA.) EXAMPLE: 600S162-54 = 6" C-SHAPE, 1 5/8" FLANGE, 16 GA. POWDER ACTUATED FASTENERS ALL 18 GA AND LIGHTER STUDS TO BE 33 KSI MATERIAL; ALL 16 GA AND HEAVIER STUDS TO BE 50 KSI MATERIAL. ALL TRACKS AND ACCESSORIES: FY = 33 KSI MINIMUM. PRF-FNGINFFRED METAL BUILDING OR SLABS ON GRADE WHICH RECEIVE MOISTURE 0.45 PFRP PERPENDICUI AR POUNDS PER SQUARE INCH 0.45 5%-7% WELDING PERSONNEL AND PROCEDURES ARE TO BE QUALIFIED PER AWS. DESIGN, FABRICATION, AND ERECTION TO BE GOVERNED BY POUNDS PER SQUARE FOOT 0.45 AISI "SPECIFICATION OF THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS." STRUCTURAL WELDING CODE, AWS D1.3 OF THE AMERICAN WELDING SOCIETY. REINFORCING 5.000 0.40 5%-7% REQUIRED A. SUBMIT MANUFACTURER'S STANDARD PRODUCT DATA AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF COLD-FORMED METAL SCHED ALL DEFORMED REINFORCING BARS: FY = 60,000 PSI. SCHEDULE. CEMENT: PORTLAND CEMENT, ASTM C150, TYPE 1. ALL CEMENT FOR CONCRETE EXPOSED TO VIEW IS TO BE FROM THE SAME MILL. SECTION SUBMIT FULLY DIMENSIONED ERECTION PLANS AND CONNECTION DETAILS INDICATING ALL COMPONENT AND MEMBER LOCATIONS AGGREGATES: ASTM C33, USE SIZE NO. 57 FOR ALL MIXES UNLESS NOTED OTHERWISE. STRUCTURAL ENGINEER OF RECORD ORIENTATION, AND LAYOUT. PLANS TO INCLUDE MEMBER SIZES, TYPES, GAGE DESIGNATIONS, QUANTITY AND SPACING. ALSO INCLUDE DETAILS OF CONNECTIONS NOTED SCREW TYPES, QUANTITIES, LOCATIONS, WELD SIZES, LENGTHS, AND LOCATIONS, AND ADDITIONAL SQUARE FOOT WATER-REDUCING, LOW AND MID RANGE: ASTM C494, TYPE A OR D. STRAPPING, BRACING, OR ACCESSORIES REQUIRED FOR A PROPER AND COMPLETE INSTALLATION. HIGH-RANGE WATER REDUCING, SUPERPLASTICIZER: ASTM C494, TYPE F OR G SI OPED AIR-ENTRAINING: ASTM C260. SHORT LEG BACK-TO-BACK SPECIFICATION NON-CHLORIDE, NON-CORROSIVE ACCELERATOR: ASTM C494, TYPE C OR E. FIELD CONNECTIONS MAY BE EITHER WELDED OR SCREWED, EXCEPT AS SPECIFICALLY DETAILED OTHERWISE. SQUARE VAPOR RETARDER SHALL CONFORM TO ASTM E1745 "STANDARD SPECIFICATION FOR PLASTIC WATER VAPOR RETARDERS USED IN WELD SIZE TO BE 1/8" WITH AWS TYPE 6013 OR 7014 ROD. CONTACT WITH SOIL OR GRANULAR FILL UNDER CONCRETE SLABS", CLASS A. EXCEPT AS NOTED OTHERWISE, MECHANICAL FASTENERS TO BE SELF TAPPING #10-16 SCREWS. STAINLESS STEEL VAPOR RETARDER SHALL BE INSTALLED IN ACCORDANCE WITH ASTM E1643 "STANDARD PRACTICE FOR INSTALLATION OF WATER STANDARD VAPOR RETARDERS USED IN CONTACT WITH EARTH OR GRANULAR FILL UNDER CONCRETE SLABS. THE VAPOR RETARDER/BARRIER SQUARE YARD SHALL BE A MINIMUM OF 10 MILS THICK AND PLACED DIRECTLY ON THE GRANULAR FILL, BELOW THE CONCRETE FLOOR SLAB. LAP ALL MATERIAL TO BE GALVANIZED COATED IN ACCORDANCE WITH ASTM A525 G-60. SYMMETRICAL JOINTS A MINIMUM OF 6 INCHES AND SEAL WITH MANUFACTURER'S RECOMMENDED TAPE OR ADHESIVE. TOUCH-UP FIELD WELDS WITH ZINC RICH PAINT. T/ or TO TOP OF FIELD MANUAL: PROVIDE AT LEAST ONE COPY OF THE ACI FIELD REFERENCE MANUAL, SP-15 IN THE FIELD OFFICE AT ALL TIMES. TOP AND BOTTOM TEMPORARY OR TEMPERATURE TRACKS TO BE SECURELY ANCHORED TO SUPPORTING STRUCTURE WITH WELD OR SCREW AT EACH SIDE OF TRACKS. A. SUBMIT A MIX DESIGN FOR EACH MIXTURE USAGE REQUIRED FOR THE PROJECT. CONCRETE PROPORTIONS ARE TO BE ESTABLISHED PROVIDE HORIZONTAL BRIDGING AT 6'-0" O.C. MAX. FOR ALL STUD WALLS UNLESS NOTED OTHERWISE. BRIDGING IS NOT REQUIRED FOR TONGUE AND GROOVE ON THE BASIS OF PREVIOUS FIELD EXPERIENCE OR TRIAL MIXTURES.
SUBMIT PLACING DRAWINGS FOR ALL REINFORCING. INDICATE STRENGTH, SIZE, AND DETAILS OF ALL BAR REINFORCING. D. JOISTS TO BE LOCATED DIRECTLY OVER BEARING WALL STUDS UNLESS A LOAD DISTRIBUTION MEMBER IS PROVIDED AT THE TOP SUBMIT PRODUCT LITERATURE FOR ADMIXTURES AND CURING COMPOUNDS PROPOSED FOR USE. UNLESS NOTED SUBMIT REPORTS OF ALL REQUIRED TESTING AND INSPECTIONS. E. BEARING WALL STUDS ARE TO BE LOCATED DIRECTLY BELOW JOIST OR ROOF TRUSS BEARING UNLESS A LOAD DISTRIBUTION MEMBER IS PROVIDED AT THE TOP TRACK. UNLESS NOTED OTHERWISE END BLOCKING OR CONTINUOUS TRACK IS TO BE PROVIDED WHERE JOIST ENDS ARE NOT OTHERWISE RESTRAINED FROM ROTATION. PROVIDE LEAN CONCRETE UNDER FOUNDATIONS FOR ACCIDENTAL OVER EXCAVATION, SOFT SPOTS, AND UTILITY TRENCHES. G. WEB PUNCH-OUTS FOR BEAMS, JOISTS, AND RAFTERS ARE TO BE LOCATED A MINIMUM OF 10" AWAY FROM BEARING AND VAPOR BARRIER CONCENTRATED LOAD LOCATIONS. IF A PUNCH-OUT FALLS WITHIN 10" OF THESE LOCATIONS. PROVIDE REINFORCEMENT FOR THE MEMBER AS REQUIRED. ALTERNATELY, UN-PUNCHED SECTIONS MAY BE PROVIDED FOR BEAMS, JOISTS, AND RAFTERS. VERICAL EACH MEMBER OF MULTIPLE MEMBER COLUMNS ARE TO BE SCREWED TOGETHER USING FULL-HEIGHT TRACKS AND #10 SCREWS AT 12" A. OPENINGS SHOWN ARE FOR BIDDING PURPOSES ONLY. RECONCILE THEIR EXACT SIZE AND LOCATION WITH ARCHITECTURAL, D.C. ALTERNATELY, MULTIPLE MEMBER COLUMNS MAY BE WELDED TOGETHER WITH A 1" WELD AT 18" ON CENTER, EACH SIDE, EACH WIDE FLANGE MECHANICAL AND OTHER REQUIREMENTS BEFORE PROCEEDING WITH WORK. PIECE, FOR THE FULL LENGTH OF THE COLUMN. PROVIDE 2 NO. 5 BARS (PER CURTAIN) AROUND ALL WALL OPENINGS, EXTENDING TWO FEET BEYOND OPENING IN EVERY DIRECTION. WITH OPENINGS IN WALLS NOT EXCEEDING 12" x 12" MAY BE SLEEVED AS REQUIRED BY WORKING THE REINFORCING STEEL AROUND THEM WITHOUT IF ANY OPENING NOT SHOWN ON THE PLANS IS REQUIRED, SECURE APPROVAL OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WEIGHT POST-INSTALLED ANCHOR SYSTEMS WWF WELDED WIRE FABRIC DOWELS IN FOOTINGS TO MATCH VERTICAL PIER OR WALL REINFORCING. A. LISTED ANCHOR PRODUCTS PROVIDED BELOW ARE NOT TO BE USED AS INTERCHANGEABLE PRODUCTS. EACH ANCHOR HAS DEFINED PROVIDE CORNER BARS AT WALL AND FOOTING CORNERS TO MATCH HORIZONTAL REINFORCING. MINIMUM LENGTH OF EACH LEG - 36 CAPACITIES BASED UPON TESTED PERFORMANCE WITH APPLICABLE SAFETY FACTORS AND WILL VARY ACROSS MANUFACTURERS. DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL BOTH ADJACENT FLOOR SLABS ARE IN PLACE. YPES OF ANCHORS INDICATED THROUGHOUT THE DESIGN DOCUMENTS ARE DETAILED FOR THEIR SPECIFIC PURPOSE AND CAPACIT SUBSTITUTION OF ANCHORS FROM THOSE SPECIFIED ARE ONLY ALLOWED AFTER ENGINEER REVIEW AND APPROVAL OR AMENDMENT B. PROVIDE ANCHORAGE MATCHING MANUFACTURER, TYPE, DIAMETER, EMBEDMENT, AND BASE MATERIAL AS INDICATED IN THE A. LAP SPLICE REINFORCING BARS AS SCHEDULED. MINIMUM LAP = 36 DIAMETERS. C. ALL POST-INSTALLED ANCHORS TO BE HAMMER DRILLED. FOLLOW ALL HOLE CLEANING AND INSTALLATION INSTRUCTIONS AS PULATED BY THE ANCHOR MANUFACTURER. FOLLOW ALL OSHA GUIDELINES FOR CONCRETE DRILLING AS IT PERTAINS TO SILICA A. PER ACI 117, SURFACES OF INTERIOR SLABS ON GRADE ARE TO BE FINISHED TO THE FOLLOWING TOLERANCES: FLOOR FLATNESS F(f)= INSTALLATION OF ADHESIVE ANCHORS MUST BE PERFORMED BY PERSONNEL TRAINED TO INSTALL ADHESIVE ANCHORS THROUGH TYPICAL INTERIOR FLOOR AREAS TO RECEIVE CARPET, RESILIENT FLOOR COVERING, OR TO REMAIN EXPOSED - TROWELED FINISH. MANUFACTURER TRAINING PROGRAMS. INTERIOR FLOOR AREAS TO RECEIVE QUARRY TILE OR CERAMIC TILE - FLOATED FINISH. INSTALLATION OF ADHESIVE ANCHORS IN THE HORIZONTAL OR UPWARDLY INCLINED ORIENTATION AND WHERE SUPPORTING EXTERIOR SLABS - BROOM FINISH. SUSTAINED TENSION LOADS SHALL BE INSTALLED BY CERTIFIED PERSONNEL BY ACI/CRSI INSTALLATION PROGRAMS. MINIMUM CONCRETE AGE FOR POST-INSTALLED ADHESIVE ANCHORS SHALL BE NOT LESS THAN 28 DAYS. ALL ANCHORS IN CONTACT WITH PRESSURE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED PER ASTM A153 WITH A MINIMUM G185 COATING OR STAINLESS STEEL WITH CHEMICAL COMPOSITION CONFORMING TO AISI 303/304 OR AISI 316. FASTENERS AND CONNECTORS ARE TO BE OF THE SAME MATERIAL, STAINLESS STEEL OR HOT DIPPED GALVANIZED, DO NOT MIX MATERIALS. A. CURING IS TO COMMENCE IMMEDIATELY AFTER CONCRETE PLACEMENT AND CONTINUE FOR AT LEAST 7 DAYS. DO NOT ALLOW CURING INTERIOR SLABS TO RECEIVE QUARRY TILE OR CERAMIC TILE ARE TO BE MOIST-CURED WITHOUT THE USE OF A CURING COMPOUND. ALL OTHER SLABS MAY BE EITHER MOIST-CURED OR RECEIVE AN APPLICATION OF CURING COMPOUND ANCHORAGE TO CONCRETE ACCEPTABLE MECHANICAL EXPANSION ANCHORAGE SYSTEMS DEWALT POWER STUD +SDI WEDGE EXPANSION ANCHOR HILTI KWIK BOLT 3 EXPANSION ANCHOR A. OBTAIN CONCRETE FOR REQUIRED TESTS AT POINT OF PLACEMENT. IF CONCRETE IS PUMPED, OBTAIN CONCRETE AT DISCHARGE END. HILTI KWIK BOLT TZ EXPANSION ANCHOR SIMPSON STRONG-BOLT 2 WEDGE EXPANSION ANCHOR B. FOR EACH CLASS OF CONCRETE, OTHER THAN LEAN CONCRETE, PERFORM ONE STRENGTH TEST FOR EACH 50 YARDS, OR FRACTION ACCEPTABLE MECHANICAL SLEEVE ANCHORAGE SYSTEMS: (MAY NOT BE USED TO SECURE MAIN BUILDING FRAME COMPONENTS) THEREOF, FOR ONE DAY PLACEMENT DEWALT LOK-BOLT AS SLEEVE ANCHOR DETERMINE SLUMP FOR EACH STRENGTH TEST DETERMINE AIR CONTENT FOR EACH STRENGTH TEST OF EXTERIOR EXPOSED CONCRETE. SIMPSON SLEEVE-ALL SLEEVE ANCHOR MAINTAIN RECORDS OF ALL TESTS INDICATING EXACT LOCATION OF THE STRUCTURE REPRESENTED BY EACH TEST. ACCEPTABLE MECHANICAL SCREW ANCHORAGE SYSTEMS DEWALT SCREW-BOLT+ HILTI KWIK HUS-EZ SCREW ANCHOR CCEPTABLE ADHESIVE ANCHORAGE SYSTEMS DEWALT AC200+ ADHESIVE FOR REINFORCING BAR CONCRETE BLOCK: ASTM C90 (HOLLOW AND SOLID), fm = 2,500 PSI DEWALT PURE50+ ADHESIVE FOR THREADED ROD AND REINFORCING BAR MORTAR: ASTM 270 TYPE S. MINIMUM COMPRESSIVE STRENGTH = 1.800 PSI DEWALT PURE110+ ADHESIVE FOR THREADED ROD AND REINFORCING BAR BOND BEAM AND CORE FILL: ASTM C476, COARSE TYPE WITH fc = 2,500 PSI MIN. HILTI HIT-HY 200 ADHESIVE FOR THREADED ROD, REINFORCING BAR, AND HILTI SPECIFIC ROD AND INSERT SYSTEMS. HORIZONTAL JOINT REINFORCING: STANDARD LADDER TYPE, 9 GA., MILL GALVANIZED FINISH. PROVIDE AT 8" O.C. BELOW GRADE, AND HILTI HIT-RE 500 ADHESIVE FOR THREADED ROD AND REINFORCING BAR. 16" O.C. ABOVE GRADE, UNLESS NOTED OTHERWISE HILTI HIT-RE 100 ADHESIVE FOR THREADED ROD AND REINFORCING BAR. SIMPSON AT-XP ADHESIVE FOR THREADED ROD AND REINFORCING BAR. PROVIDE CONTROL JOINTS IN ALL MASONRY WALLS AT A SPACING NOT TO EXCEED THREE TIMES THE WALL HEIGHT OR 24 FEET ON ANCHORAGE TO CONCRETE MASONRY OR BRICK MASONRY AS INDICATED: CENTER, WHICHEVER IS SMALLER. IN ADDITION, PROVIDE CONTROL JOINTS AT THE ENDS OF LINTELS, CHANGES IN WALL HEIGHT, FOLLOW ALL MANUFACTURERS INSTALLATION INSTRUCTIONS IN REGARD TO LOCATION OF ANCHORS AWAY FROM HEAD JOINTS, CHANGES IN WALL THICKNESS, WITHIN 2 FEET OF WALL CORNERS AND INTERSECTIONS, TRANSITIONS FROM INTERIOR WALL TO MINIMUM EDGE DISTANCES, AND MINIMUM ANCHOR SPACING. EXTERIOR WALL, AND TRANSITIONS FROM WALL BEARING ON FOUNDATION TO WALL BEARING ON FLOOR SLAB. ACCEPTABLE MECHANICAL EXPANSION ANCHORAGE SYSTEMS DEWALT POWER STUD +SDI WEDGE EXPANSION ANCHOR IN GROUT FILLED OR SOLID CONCRETE MASONRY HILTI KWIK BOLT 3 EXPANSION ANCHOR IN GROUT FILLED OR SOLID CONCRETE MASONRY SIMPSON STRONG-BOLT 2 WEDGE EXPANSION ANCHOR IN GROUT FILLED OR SOLID CONCRETE MASONRY PROVIDE 100% SOLID CMU BEARING, MINIMUM 3 COURSES UNDER BEAMS, 2 COURSES UNDER JOISTS, UNLESS DETAILED OTHERWISE. CEPTABLE MECHANICAL SLEEVE ANCHORAGE SYSTEMS: (MAY NOT BE USED TO SECURE MAIN BUILDING FRAME COMPONENTS) PROVIDE SOLID OR GROUT-FILLED CMU FOR ALL BELOW-GRADE FOUNDATION WALLS. DEWALT LOK-BOLT AS SLEEVE ANCHOR IN GROUT FILLED. SOLID. OR HOLLOW CONCRETE MASONRY, AND SOLID BRICK MASONRY FILL CORE SOLID AROUND CAST-IN ANCHOR RODS. HILTI HLC SLEEVE ANCHOR IN GROUT FILLED, SOLID, OR HOLLOW CONCRETE MASONRY, AND SOLID BRICK MASONRY PROVIDE SOLID CMU OR SOLIDLY FILLED HOLLOW CMU AT ALL EPOXY ANCHOR AND WEDGE ANCHOR LOCATIONS. EXTEND SOLID AREA SIMPSON SLEEVE-ALL SLEEVE ANCHOR IN GROUT FILLED OR SOLID CONCRETE MASONRY AT LEAST 8" IN ALL DIRECTIONS FROM CENTER OF ANCHOR ACCEPTABLE MECHANICAL SCREW ANCHORAGE SYSTEMS: SET WELD PLATES IN BOND BEAMS AFTER THE GROUT IS PLACED, BUT WHILE IT IS STILL PLASTIC. HILTI KWIK HUS-EZ SCREW ANCHOR IN GROUT FILLED OR SOLID CONCRETE MASONRY FILL ALL BEARING POCKETS AROUND BEAM AND JOIST SEATS WITH SOLID CMU. DEWALT SCREW-BOLT+ SCREW ANCHOR IN GROUT FILLED OR SOLID CONCRETE MASONRY AND BRICK MASONRY HOLLOW MASONRY UNITS TO BE LAID WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. WEBS ARE TO SIMPSON TITEN HD SCREW ANCHOR IN GROUT FILLED, SOLID, OR HOLLOW CONCRETE MASONRY ALSO BE BEDDED IN ALL COURSES OF PIERS. PILASTERS. THE STARTING COURSE ON FOOTINGS, AND WHEN ADJACENT TO CELLS OR EPTABLE ADHESIVE ANCHORAGE SYSTEMS: CAVITIES TO BE REINFORCED OR FILLED WITH CONCRETE OR GROUT. SOLID UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS. DEWALT AC100+ GOLD FOR THREADED ROD AND REINFORCING BAR IN GROUT FILLED MASONRY CONSTRUCTION. USE WITH PROVIDE APPROPRIATE MASONRY ANCHORS AT 16" O.C. MAX. TO TIE MASONRY TO ABUTTING STEEL COLUMNS, STEEL BEAM WEBS, AND SCREEN TUBES IN HOLLOW MASONRY CONSTRUCTION. ALL ABUTTING CONCRETE SURFACES. HILTI HIT-HY 270 ADHESIVE FOR THREADED ROD, REINFORCING BAR, AND HILTI SPECIFIC ROD AND INSERT SYSTEMS IN GROUT MINIMUM EMBEDMENT FOR WEDGE ANCHORS IS TO BE 7 BOLT DIAMETERS, UNLESS DESIGNATED OTHERWISE. MINIMUM EMBEDMENT FILLED OR SOLID CONCRETE MASONRY CONSTRUCTION. USE WITH SCREEN TUBES IN HOLLOW MASONRY, MULIT-WYTHE FOR EPOXY ANCHORS IS TO BE 9 BOLT DIAMETERS, UNLESS DESIGNATED OTHERWISE. WHERE HOLLOW MASONRY UNITS ARE USED ABOVE HOLLOW MASONRY UNITS OF A DIFFERENT THICKNESS, PROVIDE A CONTINUOUS 3. SIMPSON SET-XP ADHESIVE FOR THREADED ROD AND REINFORCING BAR IN GROUT FILLED, SOLID, AND HOLLOW CONCRETE COURSE OF SOLID MASONRY AT LEAST 8" HIGH BELOW THE TRANSITION. LAP SPLICE REINFORCING BARS AS SCHEDULED MINIMUM LAP = 48 BAR DIAMETERS ALL GROUTING OF MASONRY WALLS IS TO BE BY THE LOW-LIFT GROUTING METHOD (MAXIMUM LIFT HEIGHT 5'-0"), UNLESS CLEAN-OUTS AND INSPECTIONS ARE PROVIDED. STRUCTURAL STEEL STRUCTURAL STEEL WIDE FLANGE SHAPES: ASTM A992, Fy = 50 KSI STRUCTURAL STEEL CHANNELS ANGLES ETC : ASTM A36 Ev = 36 KSI STRUCTURAL STEEL PLATES: UNLESS NOTED OTHERWISE - ASTM A36, Fy = 36 KSI; ASTM A529 OR A572, Fy = 50 KSI, WHERE NOTED HIGH STRENGTH BOLTS: ASTM A325 OR A490 ANCHOR RODS: ASTM F1554, GRADE 36, UNLESS NOTED OTHERWISE ELECTRODES: SERIES E70 RECTANGULAR HSS: ASTM A500, GRADE C. FY = 50 KSI ROUND HSS: ASTM A500, GRADE C. FY = 46 KSI STRUCTURAL PIPES: ASTM A53, GRADE B, FY = 35 KSI

IN ACCORDANCE WITH CHAPTER 17 OF THE REFERENCE BUILDING CODE, THE OWNER SHALL EMPLOY INSPECTION AGENCIES TO PERFORM SPECIAL INSPECTIONS DURING CONSTRUCTION INCLUDING INSPECTIONS OF SHOP-FABRICATED ITEMS WHEN APPLICABLE. ALL INSPECTION AGENCIES, INCLUDING FABRICATION FACILITIES, WHEN REQUIRED, SHALL BE QUALIFIED AND APPROVED BY THE BUILDING OFFICIAL. REFER TO OTHER DISCIPLINES FOR SPECIAL INSPECTIONS OF NON-STRUCTURAL SYSTEMS. STATEMENT OF SPECIAL INSPECTIONS FOR STRUCTURAL DISCIPLINE REQUIRED SPECIAL INSPECTIONS AND TESTS FOR SOILS SPECIAL INSPECTION SPECIAL INSPECTION VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING . VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS VERIFY USE OF PROPER MATERIALS, DENSITIES, AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL. PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN Χ REQUIRED SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION PERIODIC SPECIAL INSPECTION SPECIAL INSPECTION INSPECT REINFORCEMENT AND VERIFY PLACEMENT. 2. REINFORCING BAR WELDING A. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A706. B. INSPECT SINGLE PASS FILLET WELDS, MAXIMUM 5/16". C. INSPECT ALL OTHER WELDS. INSPECT ANCHORS CAST IN CONCRETE 4. INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS A. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS. B. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4A. VERIFY USE OF REQUIRED DESIGN MIX. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE. INSPECT CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECH VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED. LEVEL A' QUALITY ASSURANCE REQUIRED SPECIAL INSPECTIONS AND TESTS OF MASONRY CONSTRUCTION TYPE SPECIAL INSPECTION SPECIAL INSPECTION 1. PRIOR TO CONSTRUCTION, VERIFY CERTIFICATES OF COMPLIANCE USED IN MASONRY CONSTRUCTION.

TABLE 2	STATEMENT OF SPECIAL INSPECTIONS FOR STRUCTURAL DISCIPLINE		
	REQUIRED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK		
1 INCRECTION OR EVECUTION	TYPE TASKS PRIOR TO DECK PLACEMENT:	PERFORM	OB
A. VERIFY COMPLIANCE	OF MATERIALS (DECK AND DECK ACCESSORIES) WITH CONSTRUCTION DOCUMENTS, S, MATERIAL PROPERTIES, AND BASE METAL THICKNESS.	X	
B. DOCUMENT ACCEPTA	ANCE OR REJECTION OF DECK AND DECK ACCESSORIES.	X	
2. INSPECTION OR EXECUTION	TASKS AFTER DECK PLACEMENT:		
A. VERIFY COMPLIANCE	OF DECK AND ALL DECK ACCESSORIES INSTALLATION WITH CONSTRUCTION DOCUMENTS.	X	
B. VERIFY DECK MATER CONSTRUCTION DOC	IALS ARE REPRESENTED BY THE MILL CERTIFICATIONS THAT COMPLY WITH THE PUBLIC SUMENTS.	Х	
C. DOCUMENT ACCEPTE	ED OR REJECTION OF INSTALLATION OF DECK AND DECK ACCESSORIES.	X	
3. INSPECTION OR EXECUTION	TASKS PRIOR TO WELDING		
A. WELDING PROCEDUR	RE SPECIFICATIONS (WPS) AVAILABLE.		
B. MANUFACTURER CER	RTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE.		
C. MATERIAL IDENTIFICA	ATION (TYPE/GRADE).		
D. CHECK WELDING EQU	JIPMENT.		
4. INSPECTION OR EXECUTION	TASKS DURING WELDING:		
A. USE OF QUALIFIED W	ELDERS.		
B. CONTROL AND HAND	LING OF WELDED CONSUMABLES		
C. ENVIRONMENTAL CO	NDITIONS (WIND SPEED, MOISTURE, TEMPERATURE).		
D. WPS FOLLOWED			
5. INSPECTION OR EXECUTION	TASKS AFTER WELDING:		
	CATION OF WELDS, INCLUDING SUPPORT, SIDELAP, AND PERIMETER WELDS.	X	
B. WELDS MEET VISUAL	ACCEPTANCE CRITERIA.	X	
C. VERIFY REPAIR ACTIV	/ITIES	X	
	ANCE OR REJECTION OF WELDS	X	
	TASKS PRIOR TO MECHANICAL FASTENING:		
	TALLATION INSTRUCTIONS ARE AVAILABLE FOR MECHANICAL FASTENERS.		
	LABLE FOR FASTENER INSTALLATION.		
	OR MECHANICAL FASTENERS.		
	TASKS DURING MECHANICAL FASTENING:		
A. FASTENERS ARE POS			
B FASTENERS ARE INS	TALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.		
	TASKS AFTER MECHANICAL FASTENING:		
	PE, AND INSTALLATION OF SUPPORT FASTENERS.	X	
,	PE, AND INSTALLATION OF SIDELAP FASTENERS.	X	
	PE, AND INSTALLATION OF PERIMETER FASTENERS.	X	
D. VERIFY REPAIR ACTIV		x	
E. DOCUMENT ACCEPTA  FEEL DECK INSPECTION NOTES:	ANCE OR REJECTION OF MECHANICAL FASTENERS.	X	

INSPECTIONS SHALL BE PERFORMED TO DETERMINE THE EXTENT OF NON-CONFORMANCE.

REQUIRED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION TYPE	PERFORM	OBSE
INSPECTION TASKS PRIOR TO WELDING:		
A. WELDER QUALIFICATION RECORDS AND CONTINUITY RECORDS.		Х
B. WELDING PROCEDURE SPECIFICATIONS (WPS) AVAILABLE.	X	
C. MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE.	X	
D. MATERIAL IDENTIFICATION (TYPE/GRADE)		Х
E. WELDER IDENTIFICATION SYSTEM.		Х
F. FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY):		
JOINT PREPARATIONS.		X
<ul> <li>DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL.</li> </ul>		X
CLEANLINESS (CONDITION OF STEEL SURFACES).  TACKING (TACK MELD CHALITY AND LOCATION).		X
<ul> <li>TACKING (TACK WELD QUALITY AND LOCATION).</li> <li>BACKING TYPE AND FIT (IF APPLICABLE).</li> </ul>		X
G. FIT-UP OF CJP GROOVE WELDS OF HSS T-, Y-, AND K-JOINTS WITHOUT BACKING (INCLUDING JOINT GEOMETRY):		
JOINT PREPARATIONS.		X
<ul> <li>DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL.</li> </ul>		Х
CLEANLINESS (CONDITION OF STEEL SURFACES).  TACKING (TACK WELD QUALITY AND LOCATION).		X
TACKING (TACK WELD QUALITY AND LOCATION). H. CONFIGURATION AND FINISH OF ACCESS HOLES.		X
		^
I. FIT-UP OF FILLET WELDS:		
<ul> <li>DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL.</li> <li>CLEANLINESS (CONDITION OF STEEL SURFACES).</li> </ul>		X
TACKING (TACK WELD QUALITY AND LOCATION).		X
2. INSPECTION TASKS PRIOR TO WELDING:		
A. CONTROL AND HANDLING OF WELDING CONSUMABLES.		
PACKAGING		X
EXPOSURE CONTROL		X
B. NO WELDING OVER CRACKED TACK WELDS.		×
C. ENVIRONMENTAL CONDITIONS:		
WIND SPEED WITHIN LIMITS     PRECIDITATION AND TEMPERATURE.		X
PRECIPITATION AND TEMPERATURE		×
D. WPS FOLLOWED:		
<ul> <li>SETTINGS ON WELDING EQUIPMENT</li> <li>TRAVEL SPEED</li> </ul>		X
SELECTED WELDING MATERIALS		) X
SHIELDING GAS TYPE/FLOW RATE		X
PREHEAT APPLIED  INTERPACE TEMPERATURE MAINTAINER (MIN. (MAY.)		) X
<ul> <li>INTERPASS TEMPERATURE MAINTAINED (MIN./MAX.)</li> <li>PROPER POSITION (F, V, H, OH)</li> </ul>		) ×
TRAVEL SPEED		×
E. WELDING TECHNIQUES		
INTERPASS AND FINAL CLEANING		X
EACH PASS WITHIN PROFILE LIMITATIONS     THE PASS WITHIN PROFILE LIMITATIONS		X
EACH PASS MEETS QUALITY REQUIREMENTS		×
F. PLACEMENT AND INSTALLATION OF STEEL HEADED STUD ANCHORS	X	-
3. INSPECTION TASKS AFTER WELDING:		
A. WELDS CLEANED.		×
B. SIZE, LENGTH, AND LOCATION OF WELDS	X	
C. WELDS MEET VISUAL ACCEPTANCE CRITERIA:		
CRACK PROHIBITION	X	
WELD /BASE-METAL FUSION     CRATER CROSS SECTION	X	
WELD PROFILES	X	
WELD SIZE	X	
UNDERCUT  PROPOSITY	X	
POROSITY  A DO STRIKES		
D. ARC STRIKES.	X	
E. K-AREA	X	
F. WELD ACCESS HOLES IN ROLLED HEAVY SHAPES AND BUILT-UP HEAVY SHAPES.	X	-
G. BACKING REMOVED AND WELD TABS REMOVED (IF REQUIRED).	X	-
H. REPAIR ACTIVITIES.	X	
I. DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT OR MEMBER.	X	_
J. NO PROHIBITED WELDS HAVE BEEN ADDED WITHOUT THE APPROVAL OF THE EOR.		×
K. NON-DESTRUCTIVE TESTING FOR COMPLETE-JOINT-PENETRATION (CJP) WELDS:		
TON-DESTROCTIVE TESTING FOR COMPLETE-SOINT-FENETRATION (GSP) WELDS.      UT SHALL BE PERFORMED ON ALL CJP JOINTS IN MATERIAL 5/16" AND GREATER.		
	X	-
4. INSPECTION TASKS AFTER BOLTING:	V	
A. DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS.	X	-
5 ANCHOR ROD PLACEMENT INSPECTION DURING PLACEMENT OF ANCHOR RODS AND OTHER EMBEDMENTS SUPPORTING STRUCTURAL STEEL		
A. FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS (ANCHOR DIAMETER, GRADE, TYPE, AND LENGTH OF THI ANCHOR ROD OR EMBEDED ITEM AND THE EXTENT OR DEPTH OF EMBEDMENT INTO THE CONCRETE) PRIOR TO		Х
PLACEMENT OF CONCRETE.		
6. INSPECTION OF THE FABRICATED STEEL OR ERECTED STEEL FRAME IN COMPLIANCE WITH THE DETAILS SHOWN ON THE		X

STRUCTURAL STEEL INSPECTION NOTES 1. "PERFORM" — THESE TASKS SHALL BE PERFORMED FOR EACH WELDED/BOLTED JOINT OR MEMBER 2. "OBSERVE" — THE INSPECTOR SHALL OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE.

LAP SPLICE SCHEDULE FOR CONCRETE REINFORCING				
	3,000 psi & 3,500 psi CONCRETE UNCOATED REINFORCING BARS			
BAR SIZE	3/4" CLR.	1 1/2" CLR. AND GREATER		
#4	3'-1" 2'-4"	3'-1" 2'-4		
#5	3'-10" 3'-0"	3'-10" 3'-		
#6	4'-8" 3'-7"	4'-8" 3'-		
#7	7'-6" 5'-9"	6'-9" 5'-:		
#8	9'-3" 7'-1"	7'-9" 5'-1		
#9	11'-2" 8'-7"	8'-8"		
#10	13'-6" 10'-4"	9'-10" 7'-		
#11	15'-10" 12'-2"	10'-11"8'-		

4,000 psi & 4,500 psi CONCRETE UNCOATED REINFORCING BARS					
BAR SIZE	3/4" CLR.	1 1/2" CLR. GREATE			
#4	2'-8" 2'-	-1" 2'-8"			
#5	01.411	-7" 3'-4"			
#6	4'-0" 3'-	-1" 4'-0"			
#7	6'-6" 5'-	-0" 5'-10"			
#8	8'-0" 6'-	-2" 6'-8"			
#9	9'-8" 7'-	-6" 7'-6"			
#10	11'-8" 9'-	-0" 8'-6"			
#11	13'-8"	-6" 9'-5"			

LAP SPLICE SCHEDULE FOR

CONCRETE REINFORCING

CONCRETE REINFORCING				
5,000 psi & 5,500 psi C UNCOATED REINFOR				
BAR SIZE	3/4" CLR.		1 1/2" CLR. GREATE	
#4	2'-5"	1'-10"	2'-5"	
#5	3'-0"	2'-4"	3'-0"	
#6	3'-7"	2'-9"	3'-7"	
#7	5'-9"	4'-5"	5'-3"	
#8	7'-2"	5'-6"	6'-0"	
#9	8'-8"	6'-8"	6'-9"	
#10	10'-5"	8'-0"	7'-7"	
#11	12'-3"	9'-5"	8'-5"	

LAP SPLICE SCHEDULE FOR

- TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH OTHER BARS MORE THAN 12" OF CONCRETE CAST BELOW THE BAR
- 2. BAR SPACING TO BE A MINIMUM OF THREE DIAMETERS UNLESS NOTED OR SCHEDULED OTHERWISE.
- 3. APPLICABLE ONLY FOR 60 KSI STEEL AND NORMAL WEIGHT CONCRETE.
- 4. IN LIEU OF LAP SPLICING, BARS MAY BE SPLICED BY MECHANICAL MEANS WHICH DEVELOP AT LEAST 125% OF THE BAR'S SPECIFIED YIELD STRENGTH

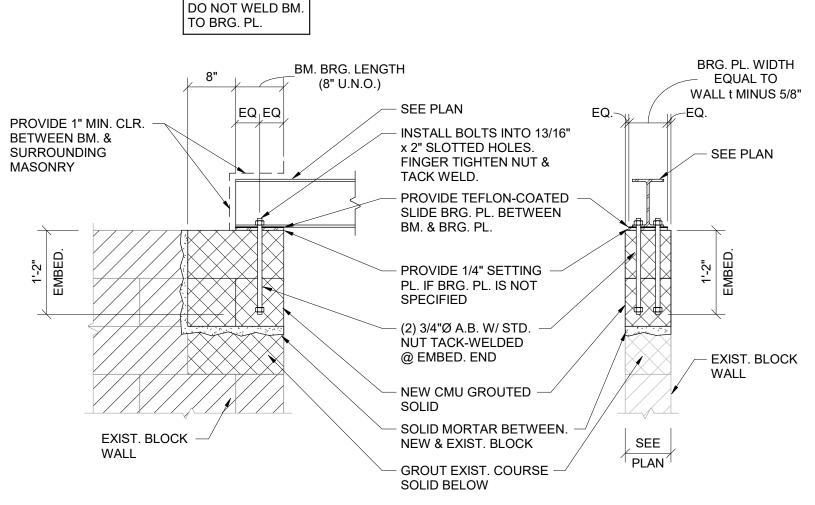
REINFORCING COVER/TOLERANCE (#3 - #11 BARS)				
EXPOSURE CONDITION	MIN. COVER (U.N.O.)	PLACEMENT TOLERANCE		
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"	0", +3"		
EXPOSED TO EARTH OR WEATHER - #5 AND SMALLER BARS: - #6 AND LARGER BARS:	1-1/2" 2"	-1/4", +1/2" -1/4", +1/2"		
NEITHER EXPOSED TO WEATHER, NOR IN CONTACT WITH GROUND - SLABS AND WALLS: - BEAMS, COLUMNS, & PIERS: (TO TIES OR STIRRUPS)	3/4" 1-1/2"	-1/4", +3/8" -1/4", +1/2"		

"_"	INDICATES TOLERANCE TOWARD	OS MEMBER FA	ACE.
"+"	INDICATES TOLERANCE AWAY FE	ROM MEMBER	FACE.

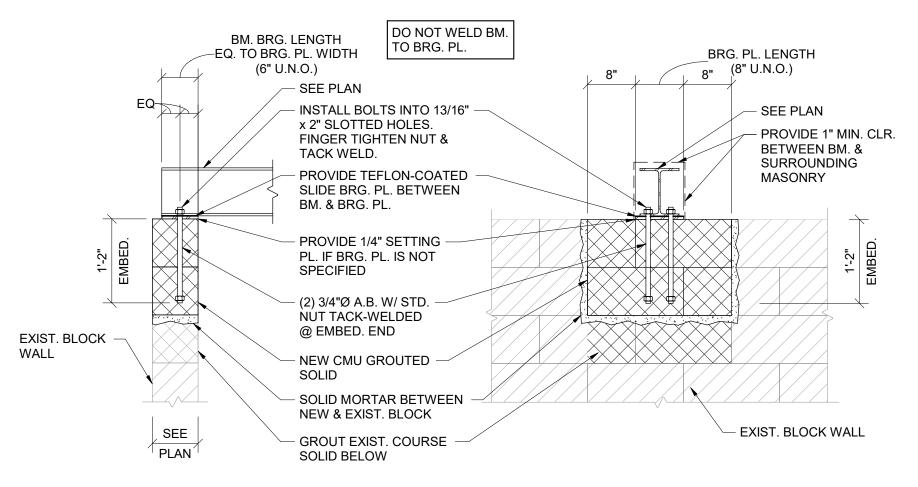
	LAP SPLICE SCHEDULE FOR MASONRY REINFORCING					
Т	f'm =	1,500 psi	BAR CENTERED IN WALL d = t/2			
E	ld (in)					
	BAR#	8" CMU	10" CMU	12" CMU	14" CMU	
	#3	1'-0"	1'-0"	1'-0"	1'-0"	
	#4	1'-3"	1'-0"	1'-0"	1'-0"	
	#5	1'-11"	1'-6"	1'-3"	1'-2"	
	#6	3'-7"	2'-10"	2'-4"	1'-11"	
	#7	5'-0"	3'-10"	3'-2"	2'-8"	
	#8	7'-8"	5'-11"	4'-9"	4'-0"	
	#9	-	7'-7"	6'-2"	5'-2"	

" INDICATES LAP LENGTH GREATER THAN MAXIMUM ALLOWABLE HEIGHT OF 5'-0" FOR LOW-LIFT GROUTING.

2. APPLICABLE ONLY FOR BARS CENTERED IN MASONRY CELL. 3. APPLICABLE ONLY FOR 60 KSI STEEL AND ASTM C90 BLOCK.



### TYPICAL BEAM BEARING PARALLEL <u>TO EXISTING MASONRY WALL OR AT CORNEI</u> **OF EXISTING MASONRY WALL**



### TYPICAL BEAM BEARING PERPENDICULAR <u> TO EXISTING MASONRY WALL</u>

**SECTION** 3/4" = 1'-0"

> PROJECT NUMBER: 20.60.008 DESIGNED BY: TC DRAWN BY: MM CHECKED BY: JC DOCUMENT STATUS: PROGRESS PERMIT BIDDING

RENOVATION OF HEARTLAND 6500 FRANTZ ROAD, **DUBLIN OH - 43017 HEARTLAND BANK** 

CHANGE DESCRIPTION



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664 MOODY•NOLAN FAX: (614) 280-8881

**GENERAL STRUCTURE INFORMATION** 

DRAWN BY: MM CHECKED BY: JC

PROGRESS DRAWING NOT FOR CONSTRUCTION

FINAL DEVELOPMENT PLAN

**S001** 

05/12/2021

20022

SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL WHICH INCLUDE ERECTION PLANS, CONNECTION DETAILS. AND SHOP DETAILS INDICATING CUTS, COPES, CAMBERS, CONNECTIONS, HOLES, THREADED FASTENER TYPES AND SIZES, AND SIZES AND LENGTHS OF B. INDICATE MATERIAL SPECIFICATIONS, STRENGTHS, AND FINISHES.

AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.

WELDING PERSONNEL AND PROCEDURES ARE TO BE QUALIFIED PER AWS D1.1. UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN,

DEFORMED BAR ANCHORS: ASTM A496, Fy = 70 KSI

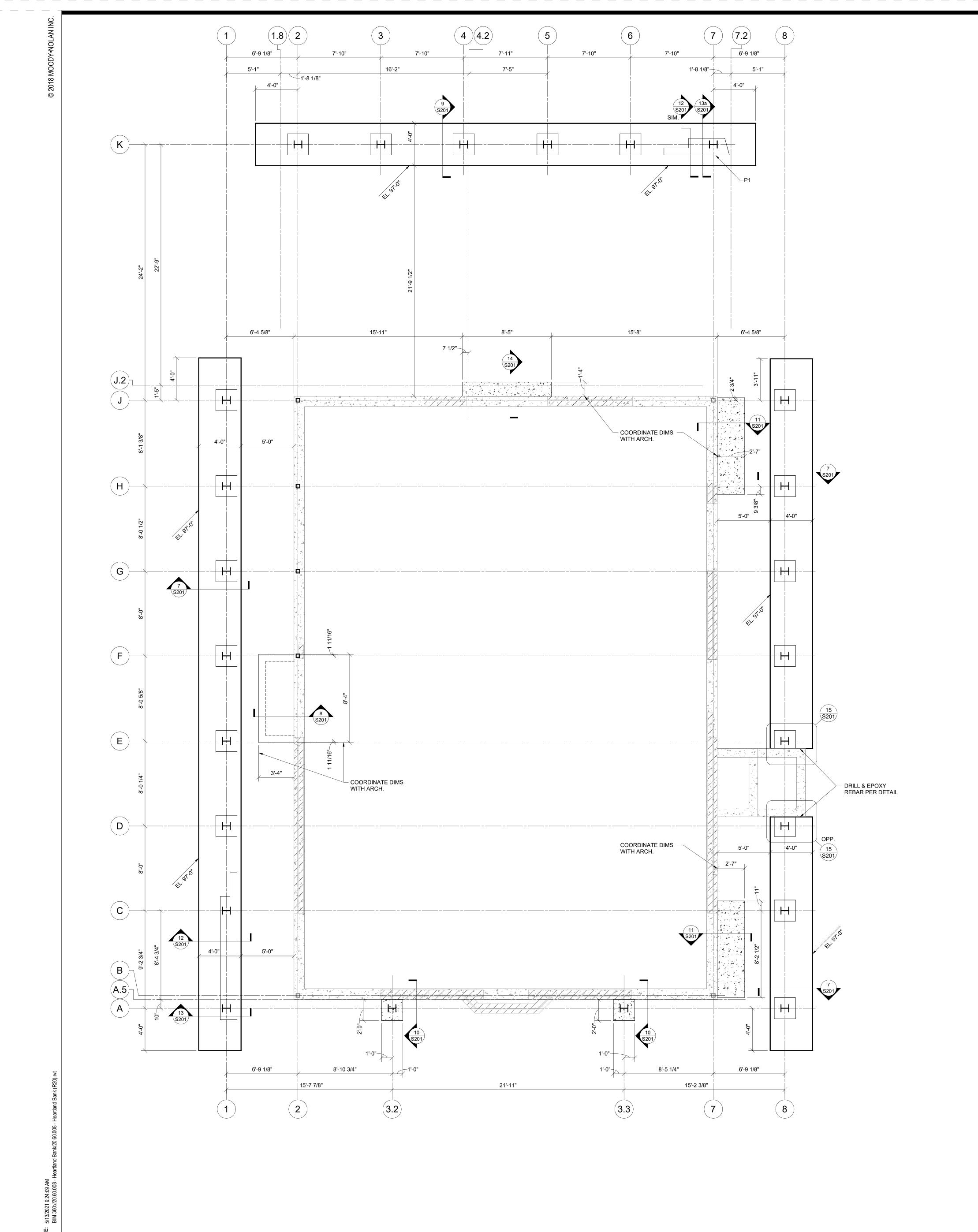
AISC CODE OF STANDARD PRACTICE.

FABRICATION AND ERECTION TO BE GOVERNED BY THE LATEST REVISIONS OF:

STRUCTURAL WELDING CODE, AWS D1.1 OF THE AMERICAN WELDING SOCIETY.

Jezerinac Geers Structural Engineering

CONSTRUCTION



# FOUNDATION/FIRST FLOOR FRAMING PLAN 1/4" = 1'-0"

1. DESIGN SOIL BEARING PRESSURE = 3,000 PSF. SEE S001 FOR REFERENCE SOILS REPORT INFORMATION. REFERENCE THIS REPORT FOR ANY REQUIRED SITE BUILDING PAD PREPARATION PRIOR TO FOUNDATION AND/OR SLAB-ON-GRADE CONSTRUCTION. FOOTING EXCAVATIONS MAY BE REQUIRED TO EXTEND THROUGH EXISTING FILL REGIONS IN ORDER TO BEAR ON SUITABLE MATERIAL. OVER-EXCAVATIONS ARE TO BE FILLED WITH LEAN CONCRETE UP TO THE PLANNED BOTTOM OF FOOTING ELEVATION. PLACE NO CONCRETE PRIOR TO INSPECTION AND APPROVAL OF BEARING SURFACES BY SOILS ENGINEER.

KEEP FOUNDATIONS FREE OF WATER AT ALL TIMES. REPLACE WEAKENED SOIL WITH LEAN CONCRETE OR FLOWABLE FILL.

BOTTOM OF FOOTINGS ARE TO BE AT LEAST 36 INCHES BELOW THE ADJACENT EXTERIOR FINISHED GRADE FOR FROST PROTECTION.

ELEVATIONS SHOWN ON FOOTINGS INDICATE ELEVATION AT TOP OF FOOTING. REFERENCE ELEVATION/TOP OF CONCRETE SLAB ELEVATION AS NOTED ON PLANS. COORDINATE ABSOLUTE ELEVATION OF TOP OF SLAB WITH SITE DRAWINGS.

5. PROVIDE CORNER BARS AT ALL FOOTING AND CONCRETE WALL INTERSECTIONS PER DETAIL 5/S201 6. SEE SECTION 4/S201 FOR TYPICAL INDOOR AND OUTDOOR MECHANICAL EQUIPMENT PADS.

EXISTING BUILDING STRUCTURE SHOWN IS BASED ON LIMITED FIELD INVESTIGATION. EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. ARE TO BE VERIFIED PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MATERIAL BY CONTRACTOR PERFORMING WORK IN EXISTING AREAS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY. DO NOT REMOVE EXISTING LOAD-BEARING WALLS, COLUMNS, OR ANY SUCH STRUCTURE WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. WHERE NEW STRUCTURE IS TO BE INSTALLED, PROVIDE SHORING AND BRACING AS REQUIRED TO PROPERLY SUPPORT THE REMAINING STRUCTURE UNTIL THE NEW STRUCTURE IS IN PLACE AND PROPERLY BRACED.

8. SEE SHEET S001 FOR GENERAL STRUCTURAL INFORMATION.

**CHANGE DESCRIPTION** 



RENOVATION OF HEARTLAND 6500 FRANTZ ROAD, DUBLIN OH - 43017 **HEARTLAND BANK** 

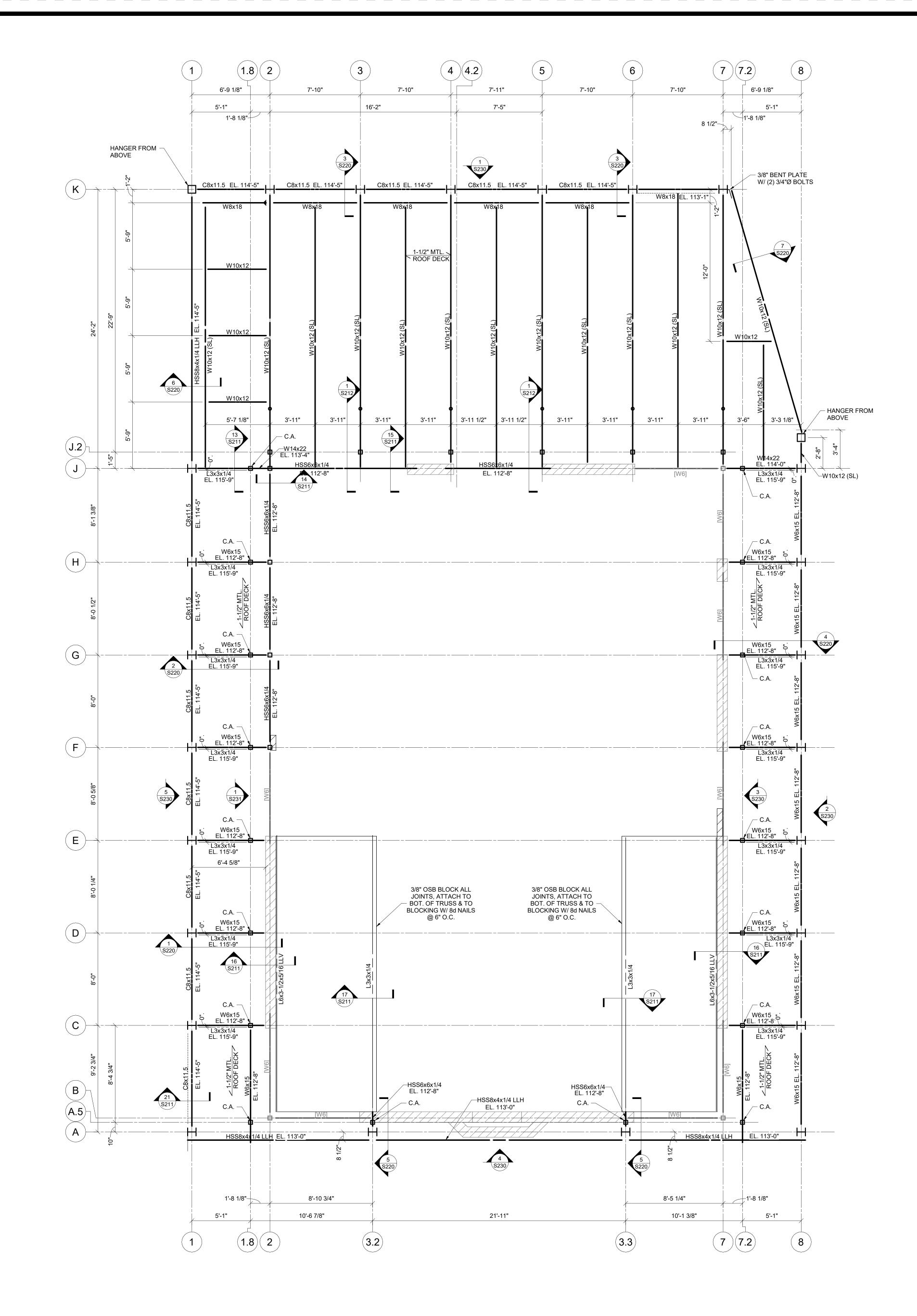


300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

**1ST FLOOR FRAMING PLAN** 

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: MM CHECKED BY: JC 20022 **S101** 



ROOF FRAMING PLAN

 DESIGN LIVE LOADS: FLAT ROOF LIVE SLOPED ROOF LIVE FLAT ROOF SNOW SLOPED ROOF SNOW WIND (ASD NET UPLIFT)

COLLATERAL

2. ROOF CONSTRUCTION:

1-1/2" x 16 GA WIDE RIB METAL DECK. SEE SECTION 3/S210 FOR TYPICAL ATTACHMENT TO SUPPORTING STRUCTURE.

3. TOP OF STEEL AS NOTED. REFERENCE ELEVATION 100'-0" = TOP OF FIRST FLOOR SLAB ON GRADE.

INDICATES MOMENT CONNECTION PER SECTIONS 8 & 9/S210. SEE S210 FOR TYPICAL STEEL FRAMING DETAILS.

6. SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS NOT INDICATED HEREIN.

EXISTING BUILDING STRUCTURE SHOWN IS BASED ON ORIGINAL BUILDING DRAWINGS AND/OR LIMITED FIELD INVESTIGATION. EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. ARE TO BE VERIFIED PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MATERIAL BY CONTRACTOR PERFORMING WORK IN EXISTING AREAS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY. DO NOT REMOVE EXISTING LOAD-BEARING WALLS, COLUMNS, OR ANY SUCH STRUCTURE WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. WHERE NEW STRUCTURE IS TO BE INSTALLED, PROVIDE SHORING AND BRACING AS REQUIRED TO PROPERLY SUPPORT THE REMAINING STRUCTURE UNTIL THE NEW STRUCTURE IS IN PLACE AND PROPERLY BRACED.

8. SEE SHEET S001 FOR GENERAL STRUCTURAL INFORMATION.

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND 6500 FRANTZ ROAD, **DUBLIN OH - 43017 HEARTLAND BANK** 



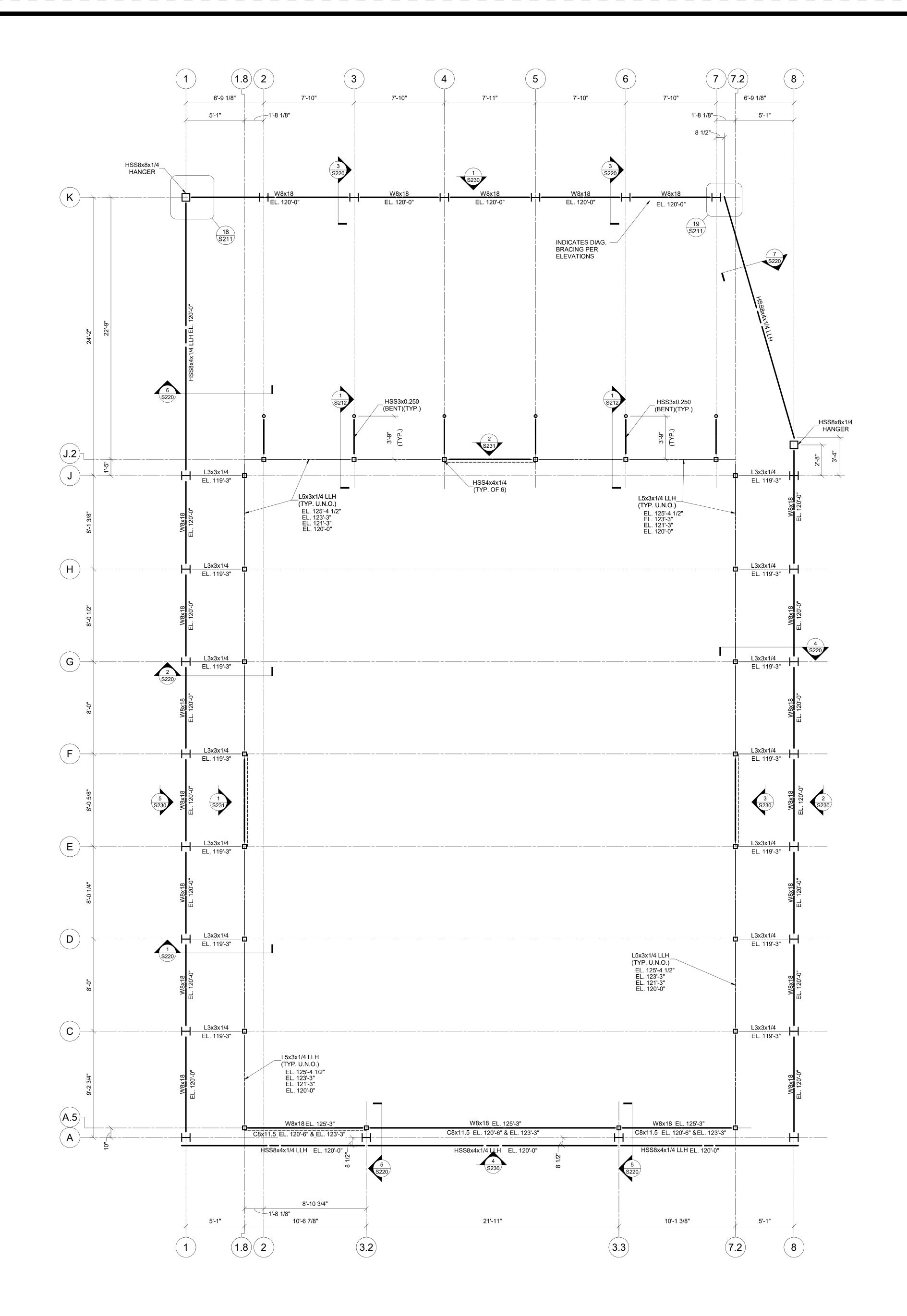
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

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**ROOF FRAMING PLAN** 

**PROGRESS** DRAWING NOT FOR CONSTRUCTION DRAWN BY: MM CHECKED BY: JC 20022 **S102** 

05/12/2021



SCREENWALL FRAMING PLAN

1/4" = 1'-0"

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD,
DUBLIN OH - 43017
FOR **HEARTLAND BANK** 

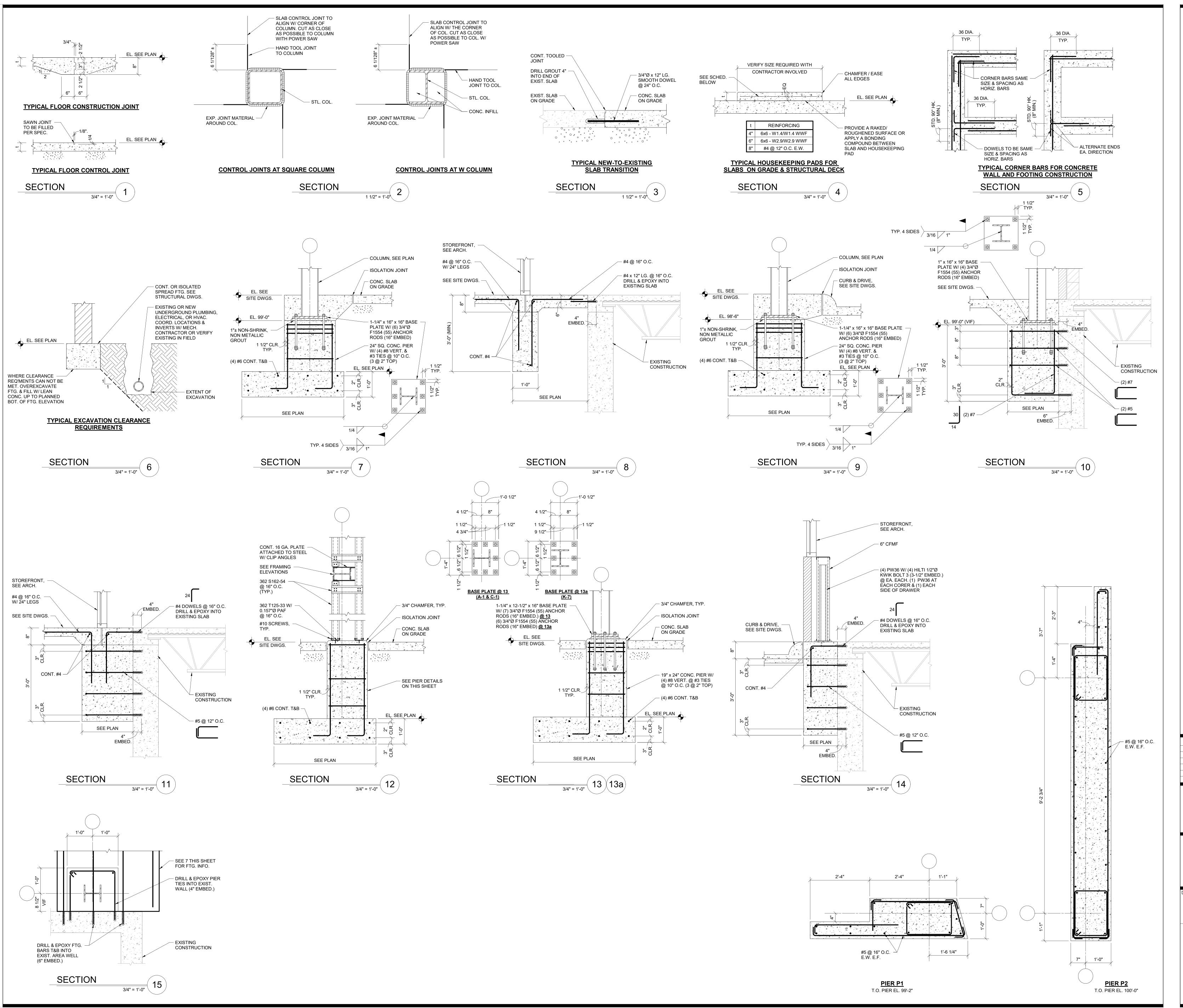


300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

SCREENWALL FRAMING PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: MM CHECKED BY: JC 20022 **S103** 







SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 461-4664 FAX: (614) 280-8881

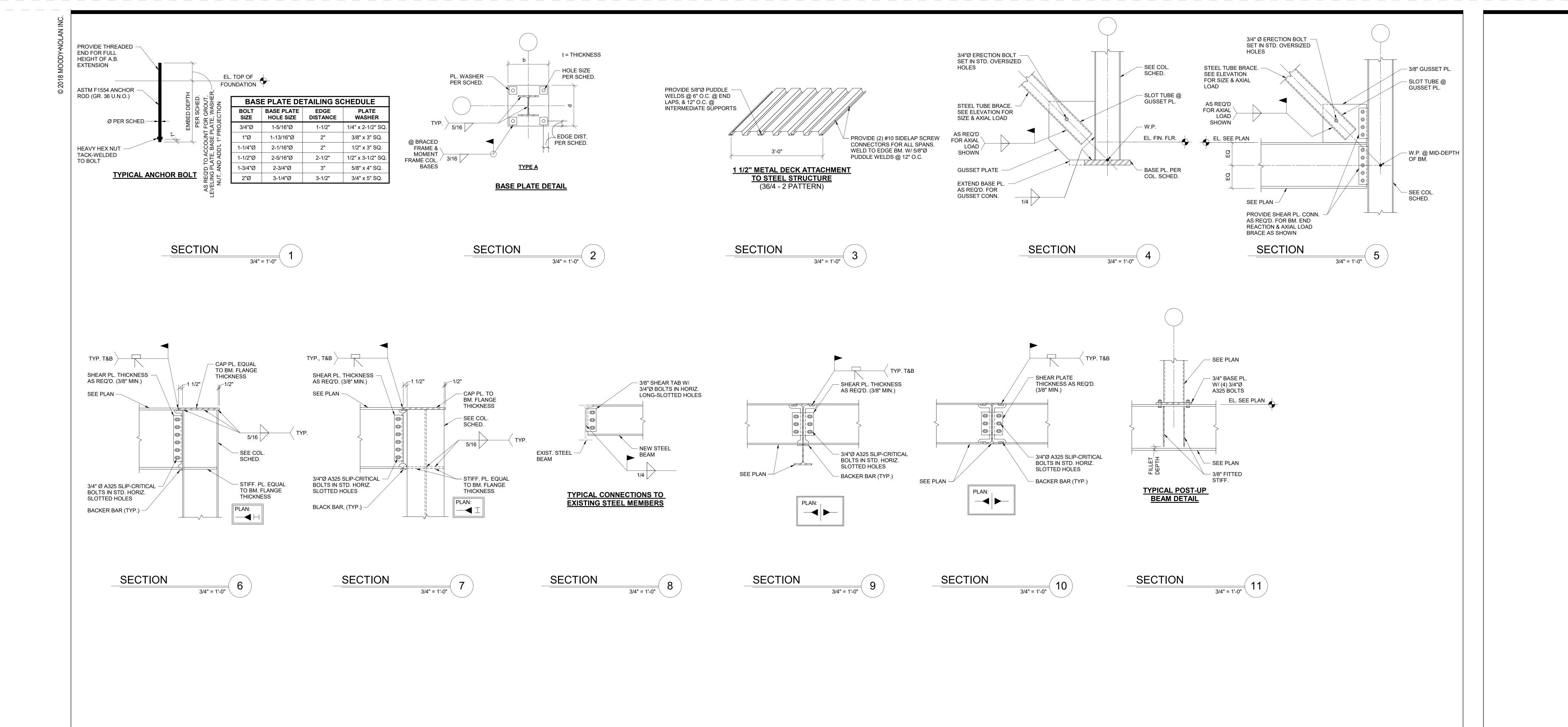
FOUNDATION DETAILS

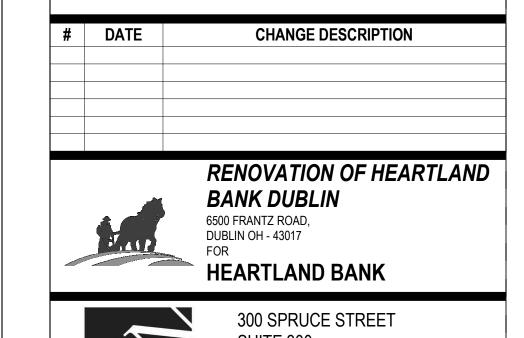
**PROGRESS** DRAWING NOT FOR CONSTRUCTION

20022 **S201** FINAL DEVELOPMENT PLAN

05/12/2021

DRAWN BY: MM CHECKED BY: JC





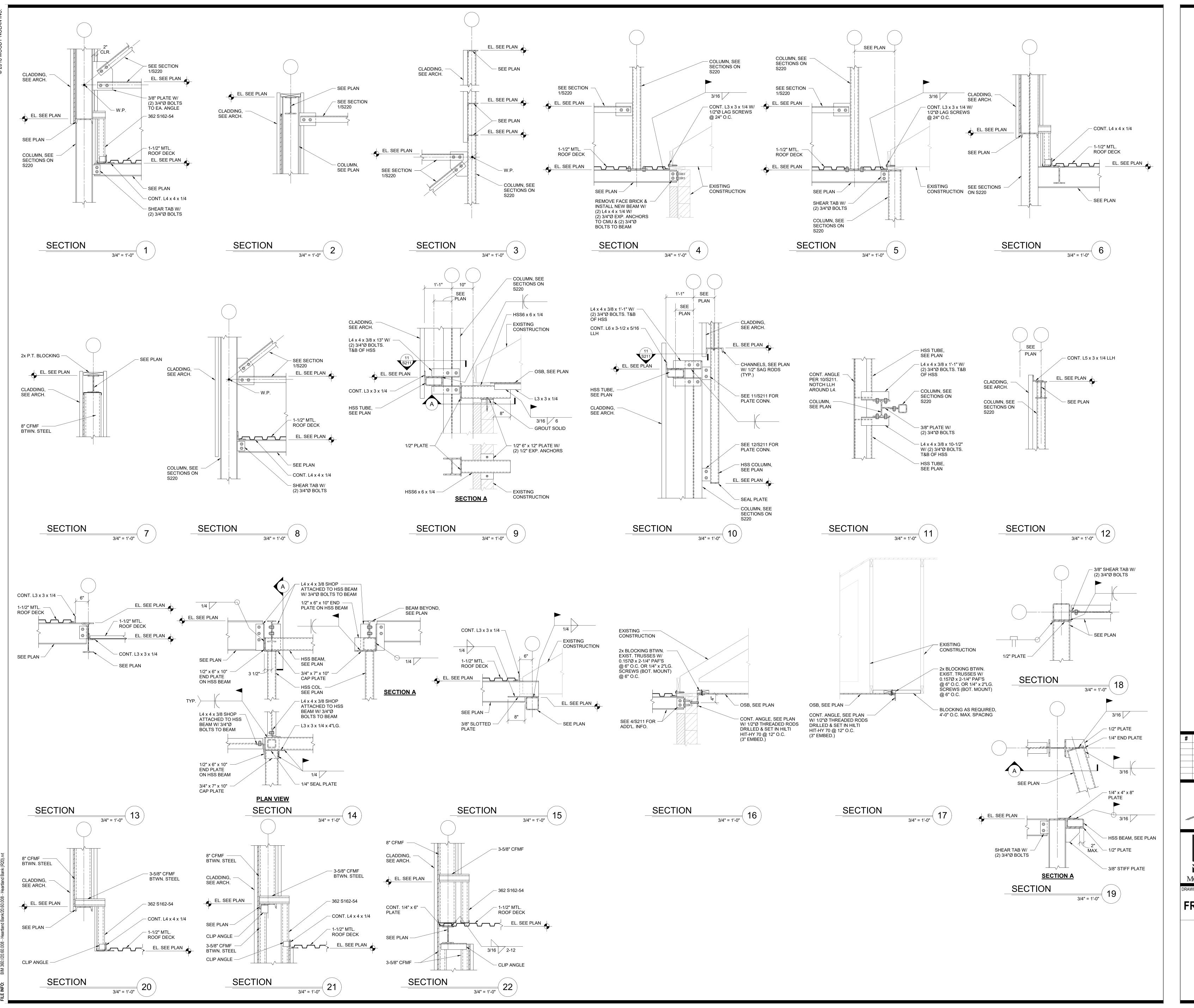


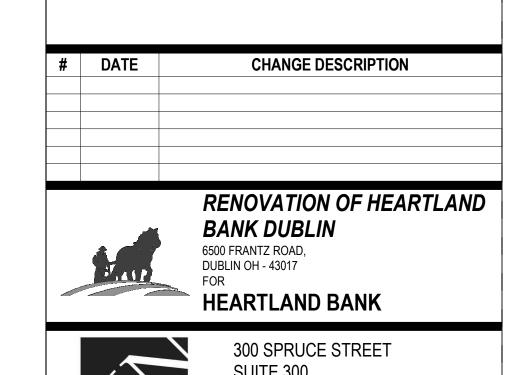
SUITE 300 COLUMBUS, OHIO 43215

FRAMING DETAILS

**PROGRESS** DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: MM CHECKED BY: JC 20022 **S210** 







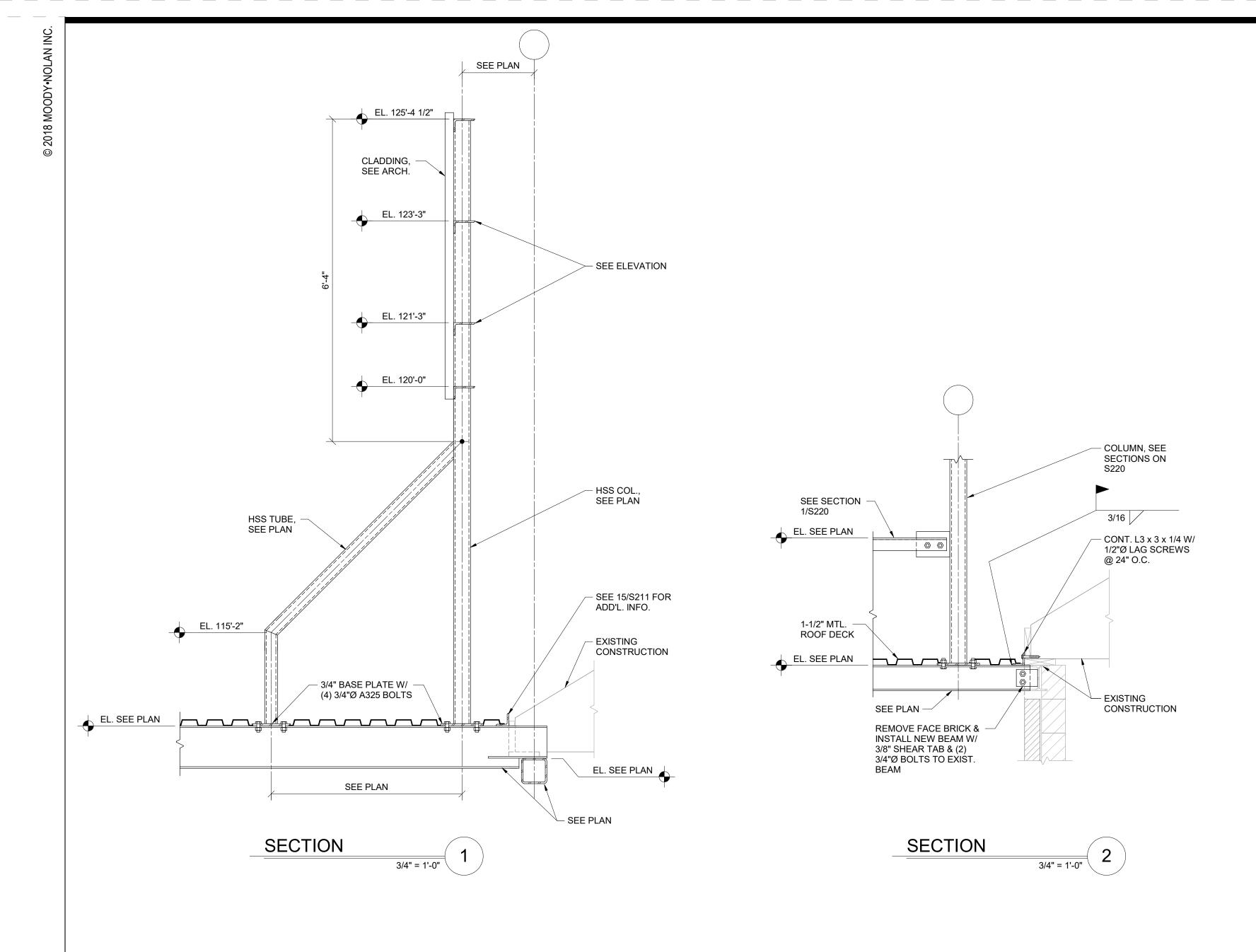
SUITE 300 COLUMBUS, OHIO 43215

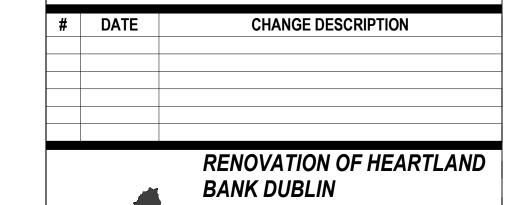
FRAMING DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION

DRAWN BY: MM CHECKED BY: JC 20022 **S211** FINAL DEVELOPMENT PLAN

05/12/2021







BANK DUBLIN
6500 FRANTZ ROAD,
DUBLIN OH - 43017
FOR
HEARTLAND BANK

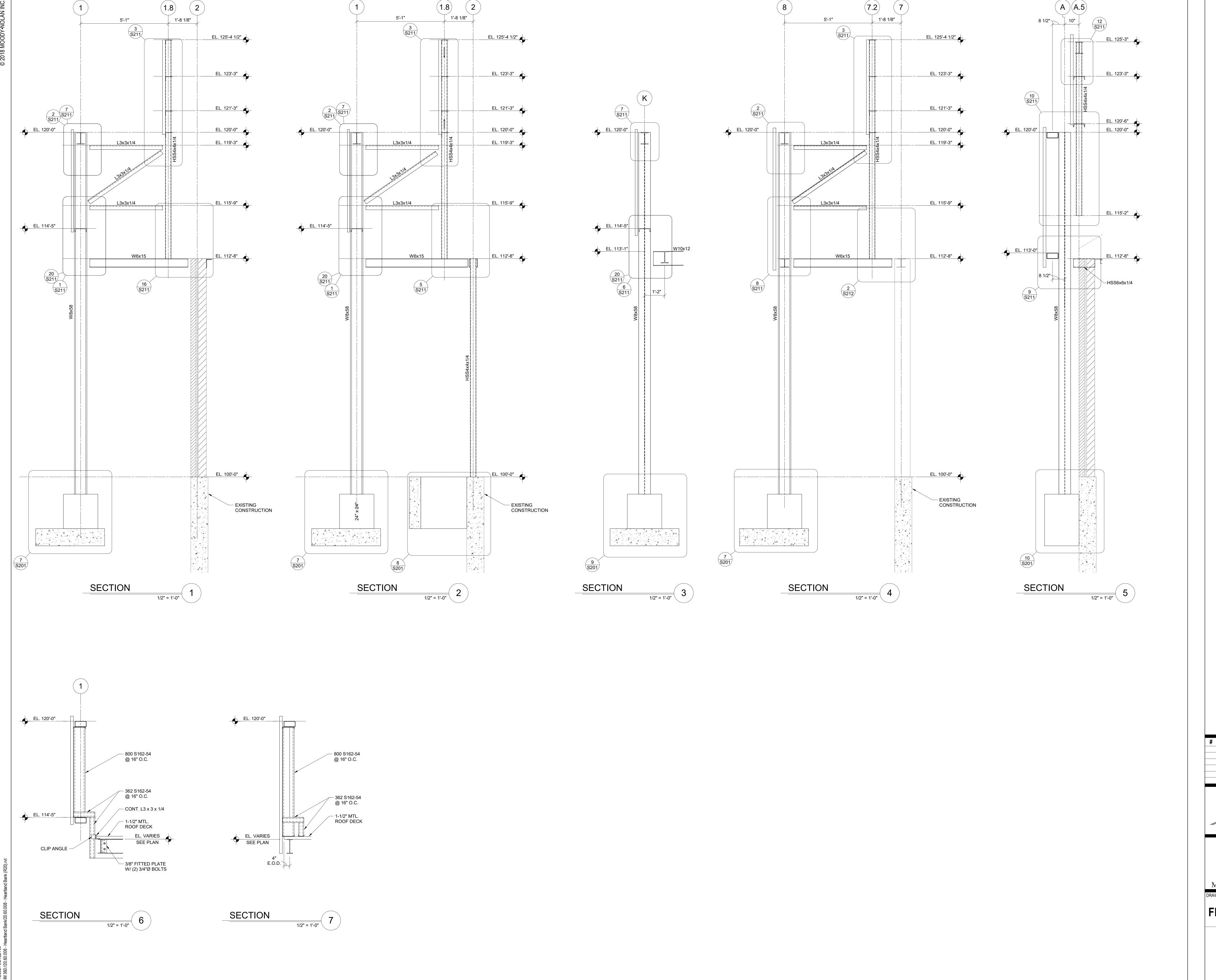


300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

FRAMING DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: MM CHECKED BY: JC 20022 **S212** 



CHANGE DESCRIPTION RENOVATION OF HEARTLAND **BANK DUBLIN** 6500 FRANTZ ROAD, DUBLIN OH - 43017 **HEARTLAND BANK** 

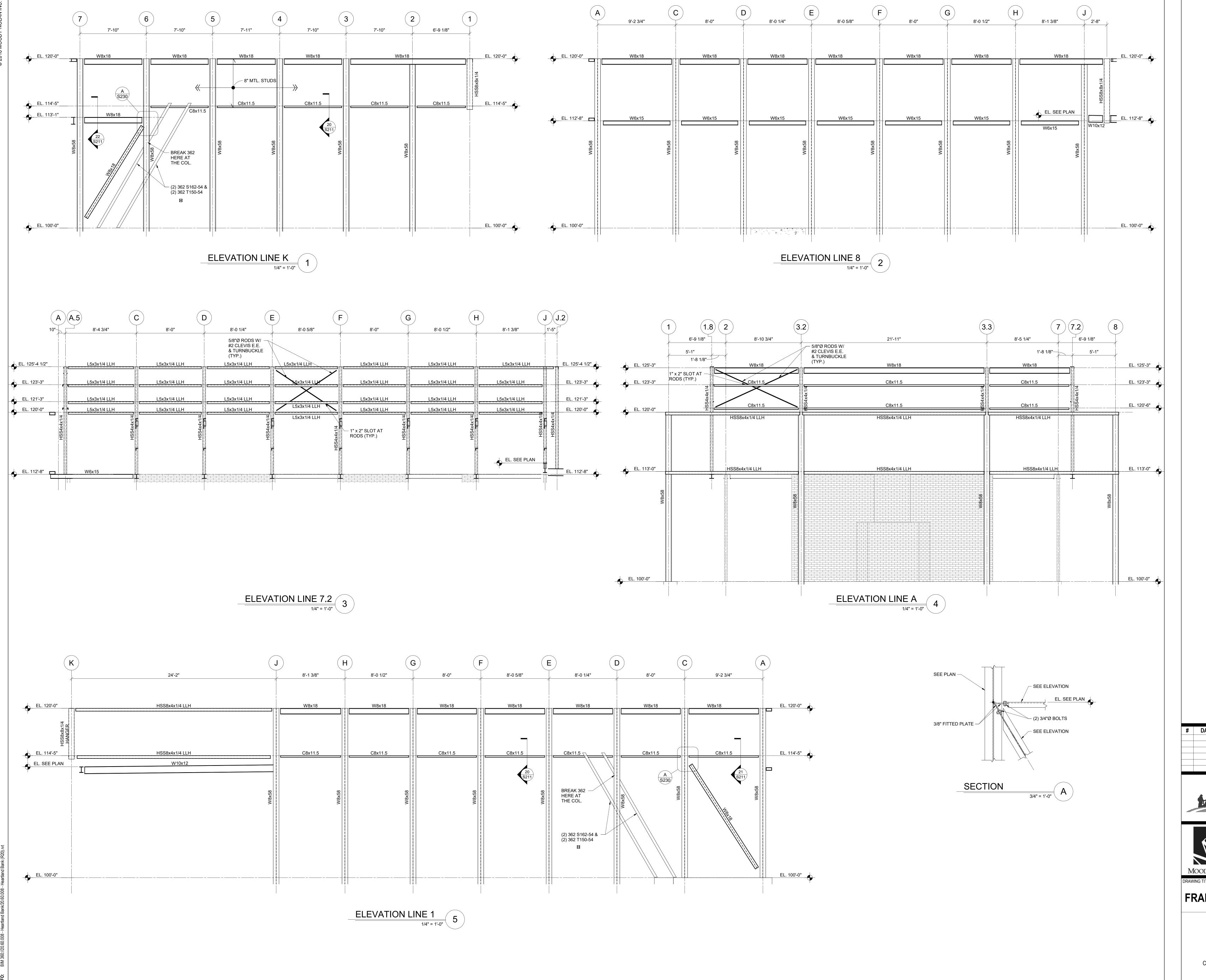


300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

FRAMING DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: MM CHECKED BY: JC 20022 **S220** 



CHANGE DESCRIPTION RENOVATION OF HEARTLAND



**BANK DUBLIN** 6500 FRANTZ ROAD, DUBLIN OH - 43017 FOR **HEARTLAND BANK** 300 SPRUCE STREET

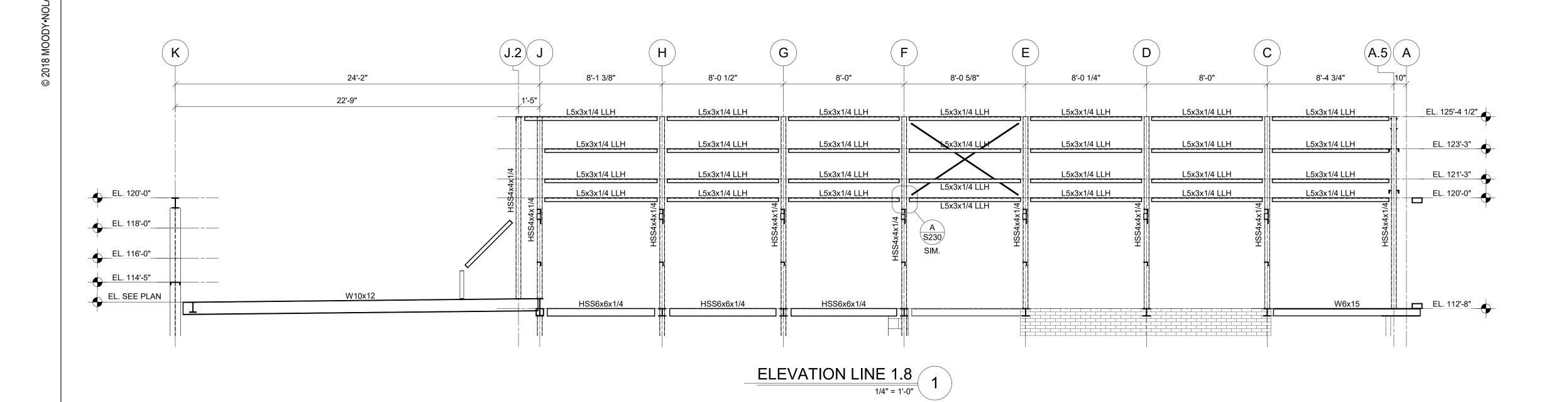


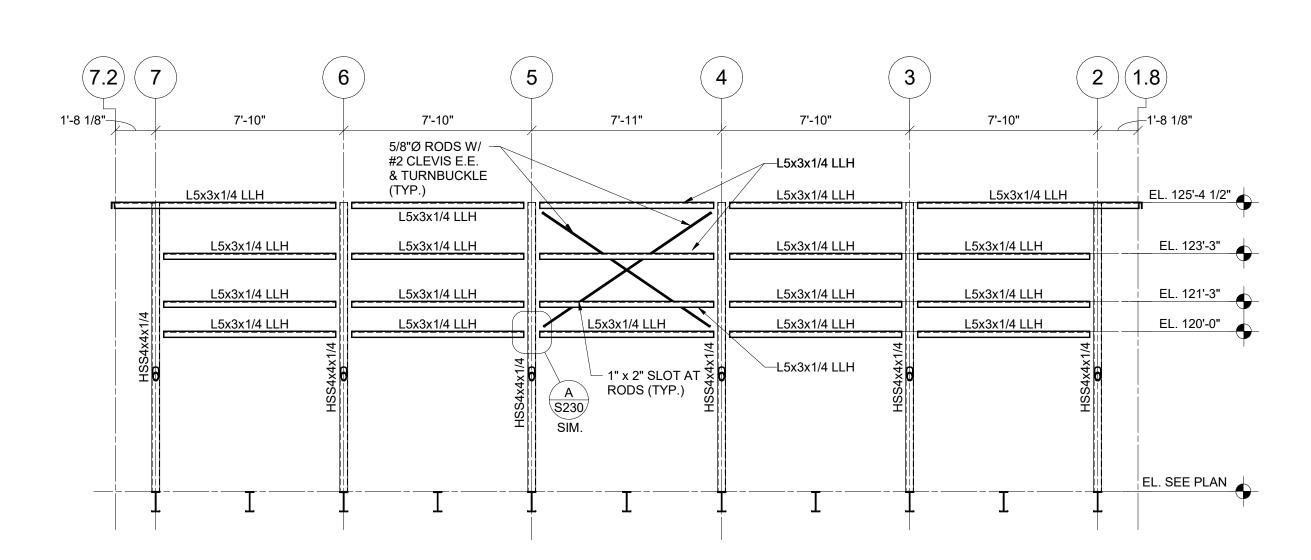
SUITE 300 COLUMBUS, OHIO 43215

FRAMING ELEVATIONS

**PROGRESS** DRAWING NOT FOR CONSTRUCTION

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ELEVATION

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

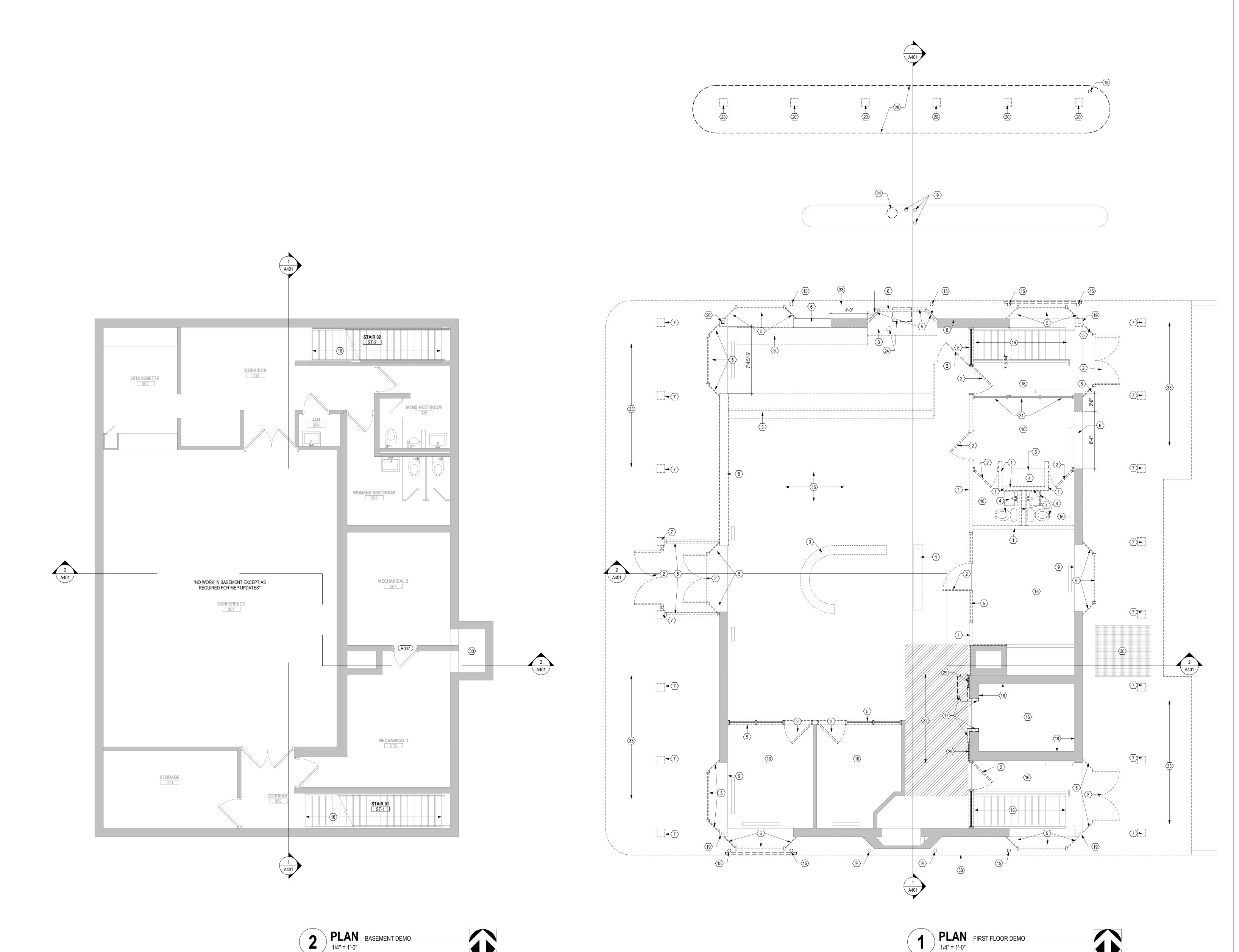
FRAMING ELEVATIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: MM CHECKED BY: JC 20022

FINAL DEVELOPMENT PLAN

**S231** 



**GENERAL NOTES - DEMOLITION PLANS** 

- 1. PRIOR TO BEGINNING OF DEMOLITION, COORDINATE w/OWNER REGARDING: A. TIMING OF WORK AND SCHEDULE
- 2. COORDINATE ALL DEMOLITION WORK w/ RELATED WORK IN PLUMBING, HVAC AND ELECTRICAL DRAWINGS.
- 3. UNLESS NOTED OTHERWISE, THE DEMOLITION OF ANY WALL SHALL BE FROM FLOOR SLAB TO STRUCTURE ABOVE AND SHALL INCLUDE THE REMOVAL OF EVERYTHING CONTAINED IN OR ATTACHED TO THE WALL.
- 4. AREAS IMPACTED BY FLOORING REMOVAL ARE TO BE PATCHED, REPAIRED AND SUITABLY PREPPED PRIOR TO INSTALLATION OF NEW FLOORING.
- 5. CEILING REMOVAL IS TO BE LIMITED TO THOSE AREAS NOTED ON THE DEMOLITION PLANS. WHERE NOTED, ALL SUSPENDED CEILING SYSTEMS (TILES, GRIDS, HANGERS) ARE TO BE REMOVED.
- 6. IN AREAS OF EXISTING WALL REMOVAL, FLOOR SURFACE IS TO BE PATCHED, REPAIRED AND LEVELED IN PREPARTION FOR NEW FLOOR INSTALLATION. REMOVE EXISTING FLOORING ON THE ENTIRE 1st FLOOR UNLESS NOTED OTHERWISE. 8. REMOVE EXISTING BATT INSULATION THAT IS SITTING ON TOP OF THE DROP

BETWEEN THE TRUSSES. THIS APPLIES TO THE ENTIRE 1ST FLOOR CEILING. EXISTING WALLS TO REMAIN ARE SHADED.

**DEMOLITION LEGEND** 

CEILINGS AS WELL AS THE FOIL FACED BATT INSULATION INSTALLED

ROOM NUMBER CONSTRUCTION TO REMAIN CONSTRUCTION TO BE REMOVED

DOOR TO REMAIN DOOR TO BE REMOVED

CODED DEMOLITION NOTES

- 1 REMOVE EXISTING WALL IN ITS ENTIRETY.
- $\langle 2 \rangle$  REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY. (3) REMOVE EXISTING CASEWORK & COUNTERTOPS IN THEIR ENTIRETY.
- 4 REMOVE EXISTING PLUMBING FIXTURE. COORDINATE W/ RELATED WORK
- ON PLUMBING DRAWINGS.
- $\langle 5 \rangle$  REMOVE EXISTING STOREFRONT WINDOW & FRAMING IN ITS ENTIRETY.
- 6 REMOVE PORTION OF EXISTING EXTERIOR WALL AS SHOWN ON PLAN.  $\overline{\langle 7 \rangle}$  REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
- (8) REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING & PLASTER CEILING. COORDINATE w/ RELATED MEP & STRUCTURAL WORK.
- (9) EXISTING STEEL BOLLARD TO REMAIN.

COORDINATE w/ RELATED MEP WORK.

- $\langle 10 \rangle$  REMOVE A PORTION OF THE EXISTING BRICK CHIMNEY AND STONE CAP.
- > REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK, STRUCTURAL FRAMING & PLASTER CLG. SEE STRUCT DWGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER.
- $\langle$ 12angle remove existing bay window -wall and roof in their entirety.
- 13 REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
- $\langle \overline{14} \rangle$  EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING.
- (15) EXISTING BOLLARD AND ANY ATTACHED GUARDRAILS TO BE REMOVED IN
- (16) REMOVE EXISTING FLOORING MATERIAL AND ADHESIVE FOR PROPER INSTALL OF NEW FLOORING.
- (17) REMOVE EXISTING VAULT DOOR. CONTRACTOR TO REMOVE DOOR & FRAME. REMOVE STL CHANNEL ON ONE SIDE TO ADJUST FOR NEW DOOR DIMENSIONS. COORDIANTE WORK WITH VAULT DOOR INSTALLER.
- (18) REMOVE WALLPAPER AND ADHESIVE OFF OF THE STEEL PLATES IN VAULT AND PREP FOR NEW FINISHES.
- (19) REMOVE EXISTING WOOD WRAP AROUND EXIST COLUMNS TO REMAIN.
- 20 REMOVE EXISTING STEEL COLUMN w/ WOOD WRAP REFER TO STRUCTURAL FOR DETAILS.
- (21) EXISTING SLATE ROOF TO REMAIN UNLESS NOTED OTHERWISE.
- $\langle 22 \rangle$  REMOVE EXISTING LIGHTS REFER TO ELECTRICAL FOR DETAILS. REMOVE EXISTING CEILING PANELS AND GRID AS REQUIRED IN THE
- BASEMENT FOR MEP WORK AND SALVAGE FOR RE-INSTALLATION. COORDINATE EXTENTS OF WORK WITH MEP SHEETS.
- (24) REMOVE EXISTING TELLER TUBE TERMINAL SYSTEM AND DEAL DRAWER (INSIDE / OUTSIDE).
- (25) REMOVE EXISTING CEILING GRID AND TILE IN ITS ENTIRETY. COORDINATE w/ related mep work.
- COORDINATE w/ RELATED MEP WORK. 27 REMOVE EXISTING SPLINE CEILING IN ITS ENTIRETY. COORDIANTE w/

(26) REMOVE EXISTING GYPSUM BOARD SOFFIT/CEILING IN ITS ENTIRETY.

- RELEATED MEP WORK.
- (28) REMOVE EXISTING CONCRETE ISLAND & SURROUNDING ASPHALT PAVEMENT AS REQ'D TO INSTALL FOOTINGS. REFER TO CIVIL SHEETS FOR REPLACEMENT DETAILS
- (29) REMOVE EXISTING DECORATIVE WOOD STRIPS AND GWB FROM EXISTING FRAME TO REMAIN.
- (30) EXISTING METAL GRATE AND MECHANICAL ACCESS TO BASEMENT.
- (31) EXISTING INTERIOR GLASS AND FRAMING TO REMAIN.
- 32 THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
- (33) REMOVE EXISTING CONCRETE WALK SEE CIVIL FOR DETAILS.

CHANGE DESCRIPTION RENOVATION OF HEARTLAND



6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664 FAX: (614) 280-8881

**DEMO PLAN** 

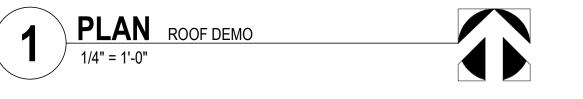
PROGRESS DRAWING NOT FOR

CONSTRUCTION

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

**AD101** 

(11)





- 1. PRIOR TO BEGINNING OF DEMOLITION, COORDINATE w/OWNER REGARDING: A. TIMING OF WORK AND SCHEDULE
- 2. COORDINATE ALL DEMOLITION WORK w/ RELATED WORK IN PLUMBING, HVAC AND ELECTRICAL DRAWINGS.
- 3. UNLESS NOTED OTHERWISE, THE DEMOLITION OF ANY WALL SHALL BE FROM FLOOR SLAB TO STRUCTURE ABOVE AND SHALL INCLUDE THE REMOVAL OF
- EVERYTHING CONTAINED IN OR ATTACHED TO THE WALL. 4. AREAS IMPACTED BY FLOORING REMOVAL ARE TO BE PATCHED, REPAIRED AND SUITABLY PREPPED PRIOR TO INSTALLATION OF NEW FLOORING.
- 5. CEILING REMOVAL IS TO BE LIMITED TO THOSE AREAS NOTED ON THE DEMOLITION PLANS. WHERE NOTED, ALL SUSPENDED CEILING SYSTEMS (TILES, GRIDS, HANGERS) ARE TO BE REMOVED.
- 6. IN AREAS OF EXISTING WALL REMOVAL, FLOOR SURFACE IS TO BE PATCHED, REPAIRED AND LEVELED IN PREPARTION FOR NEW FLOOR INSTALLATION. 7. REMOVE EXISTING FLOORING ON THE ENTIRE 1st FLOOR UNLESS NOTED
- 8. REMOVE EXISTING BATT INSULATION THAT IS SITTING ON TOP OF THE DROP CEILINGS AS WELL AS THE FOIL FACED BATT INSULATION INSTALLED BETWEEN THE TRUSSES. THIS APPLIES TO THE ENTIRE 1ST FLOOR CEILING. 9. EXISTING WALLS TO REMAIN ARE SHADED.

OTHERWISE.

### **DEMOLITION LEGEND**

ROOM NUMBER CONSTRUCTION TO REMAIN CONSTRUCTION TO BE REMOVED

DOOR TO REMAIN

DOOR TO BE REMOVED

### CODED DEMOLITION NOTES

- 1 REMOVE EXISTING WALL IN ITS ENTIRETY.
- (2) REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
- (3) REMOVE EXISTING CASEWORK & COUNTERTOPS IN THEIR ENTIRETY.
- 4 REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK ON PLUMBING DRAWINGS.
- (5) REMOVE EXISTING STOREFRONT WINDOW & FRAMING IN ITS ENTIRETY.
- $\langle 6 \rangle$  REMOVE PORTION OF EXISTING EXTERIOR WALL AS SHOWN ON PLAN.
- (7) REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.  $\langle$  8  $\rangle$  REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING & PLASTER CEILING. COORDINATE w/
- RELATED MEP & STRUCTURAL WORK. (9) EXISTING STEEL BOLLARD TO REMAIN.
- (10) REMOVE A PORTION OF THE EXISTING BRICK CHIMNEY AND STONE CAP.
- 11) REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK, STRUCTURAL FRAMING & PLASTER CLG. SEE STRUCT DWGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. COORDINATE w/ RELATED MEP WORK.
- $\langle 12 \rangle$  remove existing bay window -wall and roof in their entirety.
- REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
- (14) EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING.
- (15) EXISTING BOLLARD AND ANY ATTACHED GUARDRAILS TO BE REMOVED IN
- (16) REMOVE EXISTING FLOORING MATERIAL AND ADHESIVE FOR PROPER INSTALL OF NEW FLOORING.
- 17 REMOVE EXISTING VAULT DOOR. CONTRACTOR TO REMOVE DOOR & FRAME. REMOVE STL CHANNEL ON ONE SIDE TO ADJUST FOR NEW DOOR DIMENSIONS. COORDIANTE WORK WITH VAULT DOOR INSTALLER.
- (18) REMOVE WALLPAPER AND ADHESIVE OFF OF THE STEEL PLATES IN VAULT AND PREP FOR NEW FINISHES.
- (19) REMOVE EXISTING WOOD WRAP AROUND EXIST COLUMNS TO REMAIN.
- (20) REMOVE EXISTING STEEL COLUMN w/ WOOD WRAP REFER TO STRUCTURAL FOR DETAILS.
- (21) EXISTING SLATE ROOF TO REMAIN UNLESS NOTED OTHERWISE.
- $\langle 22 \rangle$  REMOVE EXISTING LIGHTS REFER TO ELECTRICAL FOR DETAILS. 23 REMOVE EXISTING CEILING PANELS AND GRID AS REQUIRED IN THE
- BASEMENT FOR MEP WORK AND SALVAGE FOR RE-INSTALLATION. COORDINATE EXTENTS OF WORK WITH MEP SHEETS.
- (INSIDE / OUTSIDE). 25 REMOVE EXISTING CEILING GRID AND TILE IN ITS ENTIRETY. COORDINATE
- w/ RELATED MEP WORK. (26) REMOVE EXISTING GYPSUM BOARD SOFFIT/CEILING IN ITS ENTIRETY.

(24) REMOVE EXISTING TELLER TUBE TERMINAL SYSTEM AND DEAL DRAWER

- 27 REMOVE EXISTING SPLINE CEILING IN ITS ENTIRETY. COORDIANTE w/
- (28) REMOVE EXISTING CONCRETE ISLAND & SURROUNDING ASPHALT

COORDINATE w/ RELATED MEP WORK.

FOR REPLACEMENT DETAILS

(29) REMOVE EXISTING DECORATIVE WOOD STRIPS AND GWB FROM EXISTING

PAVEMENT AS REQ'D TO INSTALL FOOTINGS. REFER TO CIVIL SHEETS

- FRAME TO REMAIN.
- (30) EXISTING METAL GRATE AND MECHANICAL ACCESS TO BASEMENT.
- (31) EXISTING INTERIOR GLASS AND FRAMING TO REMAIN. 32 THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS

RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE

DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR. (33) REMOVE EXISTING CONCRETE WALK - SEE CIVIL FOR DETAILS.

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664 MOODY•NOLAN FAX: (614) 280-8881

# **ROOF DEMO PLAN**

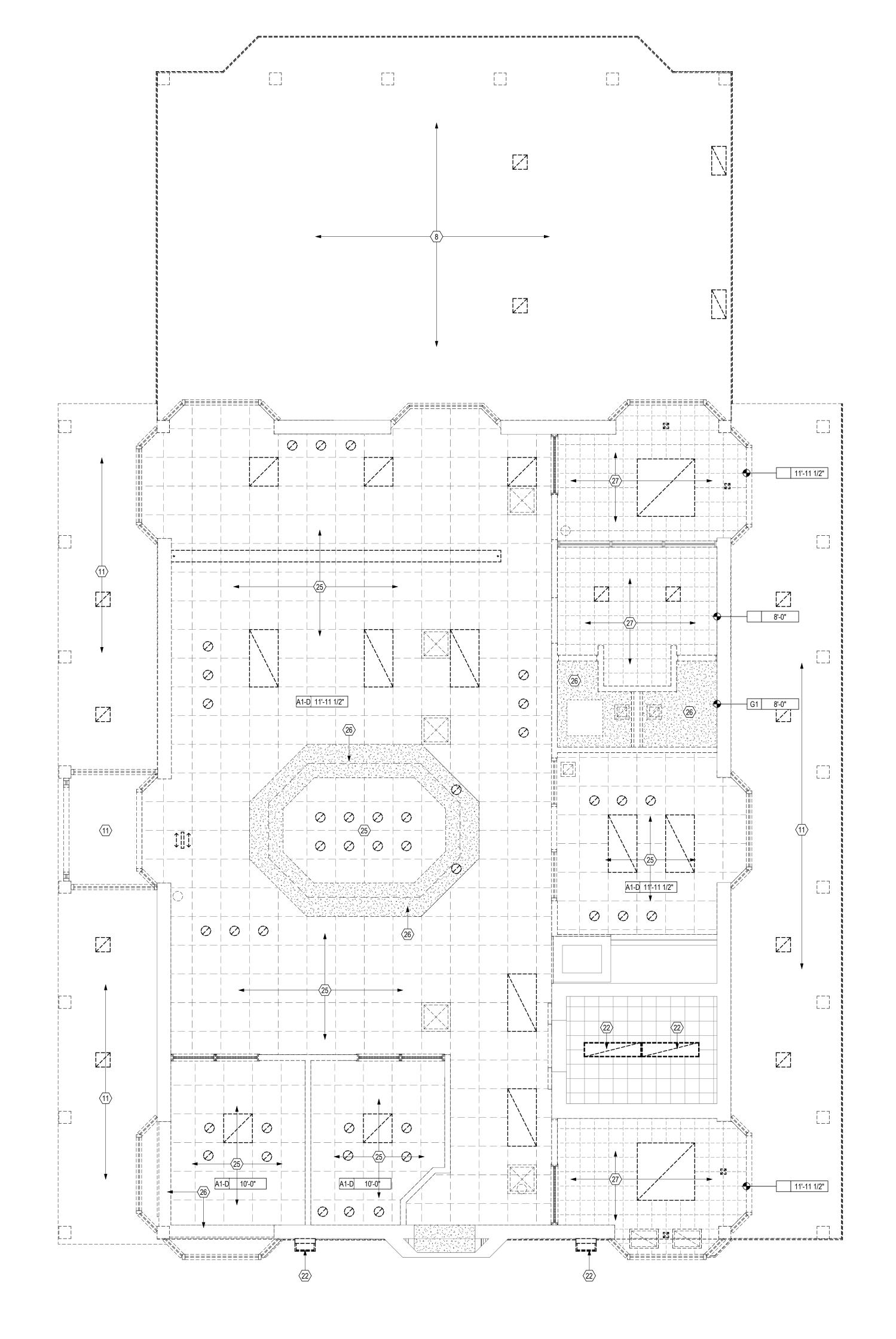
**PROGRESS** DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

FINAL DEVELOPMENT PLAN

**AD102** 

 $\stackrel{\square}{\longrightarrow}$  $\longrightarrow$ 



2 RCP BASEMENT DEMO RCP
1/4" = 1'-0"

RCP FIRST FLOOR DEMO RCP
1/4" = 1'-0"

### **GENERAL NOTES - DEMOLITION PLANS**

- 1. PRIOR TO BEGINNING OF DEMOLITION, COORDINATE w/OWNER REGARDING: A. TIMING OF WORK AND SCHEDULE 2. COORDINATE ALL DEMOLITION WORK w/ RELATED WORK IN PLUMBING, HVAC
- AND ELECTRICAL DRAWINGS. 3. UNLESS NOTED OTHERWISE, THE DEMOLITION OF ANY WALL SHALL BE FROM
- FLOOR SLAB TO STRUCTURE ABOVE AND SHALL INCLUDE THE REMOVAL OF EVERYTHING CONTAINED IN OR ATTACHED TO THE WALL. 4. AREAS IMPACTED BY FLOORING REMOVAL ARE TO BE PATCHED, REPAIRED
- AND SUITABLY PREPPED PRIOR TO INSTALLATION OF NEW FLOORING. 5. CEILING REMOVAL IS TO BE LIMITED TO THOSE AREAS NOTED ON THE DEMOLITION PLANS. WHERE NOTED, ALL SUSPENDED CEILING SYSTEMS
- (TILES, GRIDS, HANGERS) ARE TO BE REMOVED. 6. IN AREAS OF EXISTING WALL REMOVAL, FLOOR SURFACE IS TO BE PATCHED, REPAIRED AND LEVELED IN PREPARTION FOR NEW FLOOR INSTALLATION. . REMOVE EXISTING FLOORING ON THE ENTIRE 1st FLOOR UNLESS NOTED
- OTHERWISE. 8. REMOVE EXISTING BATT INSULATION THAT IS SITTING ON TOP OF THE DROP CEILINGS AS WELL AS THE FOIL FACED BATT INSULATION INSTALLED BETWEEN THE TRUSSES. THIS APPLIES TO THE ENTIRE 1ST FLOOR CEILING. 9. EXISTING WALLS TO REMAIN ARE SHADED.

### **DEMOLITION LEGEND**

**ROOM NUMBER** CONSTRUCTION TO REMAIN CONSTRUCTION TO BE REMOVED DOOR TO REMAIN

DOOR TO BE REMOVED

### **CODED DEMOLITION NOTES**

- 1 REMOVE EXISTING WALL IN ITS ENTIRETY.
- 2 REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
- (3) REMOVE EXISTING CASEWORK & COUNTERTOPS IN THEIR ENTIRETY. 4 REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK
- ON PLUMBING DRAWINGS. (5) REMOVE EXISTING STOREFRONT WINDOW & FRAMING IN ITS ENTIRETY.
- 6 REMOVE PORTION OF EXISTING EXTERIOR WALL AS SHOWN ON PLAN.
- $\overline{\langle 7 \rangle}$  REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL. 8 REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING & PLASTER CEILING. COORDINATE w/
- RELATED MEP & STRUCTURAL WORK. (9) EXISTING STEEL BOLLARD TO REMAIN.
- $\langle 10 \rangle$  REMOVE A PORTION OF THE EXISTING BRICK CHIMNEY AND STONE CAP. 1 REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK, STRUCTURAL FRAMING & PLASTER CLG. SEE STRUCT

DWGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER.

 $\langle$ 12 $\rangle$  REMOVE EXISTING BAY WINDOW -WALL AND ROOF IN THEIR ENTIRETY.

COORDINATE w/ RELATED MEP WORK.

- 3 REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
- (14) EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING.
- (15) EXISTING BOLLARD AND ANY ATTACHED GUARDRAILS TO BE REMOVED IN
- (16) REMOVE EXISTING FLOORING MATERIAL AND ADHESIVE FOR PROPER INSTALL OF NEW FLOORING.

(17) REMOVE EXISTING VAULT DOOR. CONTRACTOR TO REMOVE DOOR &

- FRAME. REMOVE STL CHANNEL ON ONE SIDE TO ADJUST FOR NEW DOOR DIMENSIONS. COORDIANTE WORK WITH VAULT DOOR INSTALLER. (18) REMOVE WALLPAPER AND ADHESIVE OFF OF THE STEEL PLATES IN VAULT
- AND PREP FOR NEW FINISHES.
- (19) REMOVE EXISTING WOOD WRAP AROUND EXIST COLUMNS TO REMAIN.
- 20 REMOVE EXISTING STEEL COLUMN w/ WOOD WRAP REFER TO STRUCTURAL FOR DETAILS.

(21) EXISTING SLATE ROOF TO REMAIN UNLESS NOTED OTHERWISE.

- $\langle 22 
  angle$  REMOVE EXISTING LIGHTS REFER TO ELECTRICAL FOR DETAILS.
- 3 REMOVE EXISTING CEILING PANELS AND GRID AS REQUIRED IN THE BASEMENT FOR MEP WORK AND SALVAGE FOR RE-INSTALLATION. COORDINATE EXTENTS OF WORK WITH MEP SHEETS.
- (24) REMOVE EXISTING TELLER TUBE TERMINAL SYSTEM AND DEAL DRAWER (INSIDE / OUTSIDE).
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- (26) REMOVE EXISTING GYPSUM BOARD SOFFIT/CEILING IN ITS ENTIRETY. COORDINATE w/ RELATED MEP WORK.
- 27 REMOVE EXISTING SPLINE CEILING IN ITS ENTIRETY. COORDIANTE w/ RELEATED MEP WORK.
- (28) REMOVE EXISTING CONCRETE ISLAND & SURROUNDING ASPHALT PAVEMENT AS REQ'D TO INSTALL FOOTINGS. REFER TO CIVIL SHEETS FOR REPLACEMENT DETAILS
- (29) REMOVE EXISTING DECORATIVE WOOD STRIPS AND GWB FROM EXISTING FRAME TO REMAIN.
- (30) EXISTING METAL GRATE AND MECHANICAL ACCESS TO BASEMENT.
- (31) EXISTING INTERIOR GLASS AND FRAMING TO REMAIN.
- 32 THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
- (33) REMOVE EXISTING CONCRETE WALK SEE CIVIL FOR DETAILS.

CHANGE DESCRIPTION RENOVATION OF HEARTLAND



6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664 FAX: (614) 280-8881

**DEMO RCP** 

**PROGRESS** DRAWING NOT FOR

DRAWN BY: Author CHECKED BY: Checker 20022 **AD201** 

05/12/2021

CONSTRUCTION



**GENERAL NOTES - DEMOLITION PLANS** 

1. PRIOR TO BEGINNING OF DEMOLITION, COORDINATE w/OWNER REGARDING: A. TIMING OF WORK AND SCHEDULE . COORDINATE ALL DEMOLITION WORK w/ RELATED WORK IN PLUMBING, HVAC

AND ELECTRICAL DRAWINGS. 3. UNLESS NOTED OTHERWISE, THE DEMOLITION OF ANY WALL SHALL BE FROM

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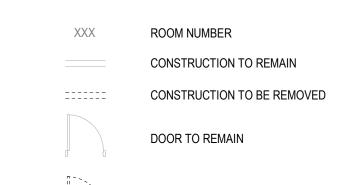
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DEMOLITION PLANS. WHERE NOTED, ALL SUSPENDED CEILING SYSTEMS (TILES, GRIDS, HANGERS) ARE TO BE REMOVED.

IN AREAS OF EXISTING WALL REMOVAL, FLOOR SURFACE IS TO BE PATCHED. REPAIRED AND LEVELED IN PREPARTION FOR NEW FLOOR INSTALLATION. REMOVE EXISTING FLOORING ON THE ENTIRE 1st FLOOR UNLESS NOTED

REMOVE EXISTING BATT INSULATION THAT IS SITTING ON TOP OF THE DROP CEILINGS AS WELL AS THE FOIL FACED BATT INSULATION INSTALLED BETWEEN THE TRUSSES. THIS APPLIES TO THE ENTIRE 1ST FLOOR CEILING.

### **DEMOLITION LEGEND**



### CODED DEMOLITION NOTES

- (1) REMOVE EXISTING WALL IN ITS ENTIRETY.
- (2) REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
- $\langle 3 \rangle$  REMOVE EXISTING CASEWORK & COUNTERTOPS IN THEIR ENTIRETY.
- $\langle 4 
  angle$  REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK ON PLUMBING DRAWINGS.
- (5) REMOVE EXISTING STOREFRONT WINDOW & FRAMING IN ITS ENTIRETY.
- $\langle 6 \rangle$  REMOVE PORTION OF EXISTING EXTERIOR WALL AS SHOWN ON PLAN. ⟨7⟩ REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
- $\langle$  8  $\rangle$  REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING & PLASTER CEILING. COORDINATE w/
- RELATED MEP & STRUCTURAL WORK. (9) EXISTING STEEL BOLLARD TO REMAIN.
- $\langle 10 \rangle$  REMOVE A PORTION OF THE EXISTING BRICK CHIMNEY AND STONE CAP.
- 1) REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK, STRUCTURAL FRAMING & PLASTER CLG. SEE STRUCT DWGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. COORDINATE w/ RELATED MEP WORK.
- $\langle 12 
  angle$  remove existing bay window -wall and roof in their entirety.
- REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM
- (14) EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING.
- (15) EXISTING BOLLARD AND ANY ATTACHED GUARDRAILS TO BE REMOVED IN
- (16) REMOVE EXISTING FLOORING MATERIAL AND ADHESIVE FOR PROPER INSTALL OF NEW FLOORING.
- $\langle 17 
  angle$  remove existing vault door. Contractor to remove door & FRAME. REMOVE STL CHANNEL ON ONE SIDE TO ADJUST FOR NEW DOOR DIMENSIONS. COORDIANTE WORK WITH VAULT DOOR INSTALLER.
- (18) REMOVE WALLPAPER AND ADHESIVE OFF OF THE STEEL PLATES IN VAULT AND PREP FOR NEW FINISHES.
- (19) REMOVE EXISTING WOOD WRAP AROUND EXIST COLUMNS TO REMAIN.
- (20) REMOVE EXISTING STEEL COLUMN w/ WOOD WRAP REFER TO STRUCTURAL FOR DETAILS.
- (21) EXISTING SLATE ROOF TO REMAIN UNLESS NOTED OTHERWISE.  $\langle 22 
  angle$  REMOVE EXISTING LIGHTS - REFER TO ELECTRICAL FOR DETAILS.
- BASEMENT FOR MEP WORK AND SALVAGE FOR RE-INSTALLATION. COORDINATE EXTENTS OF WORK WITH MEP SHEETS.
- (INSIDE / OUTSIDE). 25 REMOVE EXISTING CEILING GRID AND TILE IN ITS ENTIRETY. COORDINATE
- w/ related mep work.

(24) REMOVE EXISTING TELLER TUBE TERMINAL SYSTEM AND DEAL DRAWER

COORDINATE w/ RELATED MEP WORK. 27 REMOVE EXISTING SPLINE CEILING IN ITS ENTIRETY. COORDIANTE w/

(26) REMOVE EXISTING GYPSUM BOARD SOFFIT/CEILING IN ITS ENTIRETY.

- RELEATED MEP WORK.
- (29) REMOVE EXISTING DECORATIVE WOOD STRIPS AND GWB FROM EXISTING

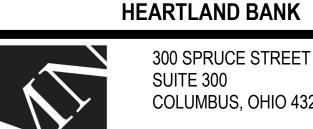
(28) REMOVE EXISTING CONCRETE ISLAND & SURROUNDING ASPHALT PAVEMENT AS REQ'D TO INSTALL FOOTINGS. REFER TO CIVIL SHEETS

- FRAME TO REMAIN.
- (30) EXISTING METAL GRATE AND MECHANICAL ACCESS TO BASEMENT.

FOR REPLACEMENT DETAILS

- (31) EXISTING INTERIOR GLASS AND FRAMING TO REMAIN.
- 32 THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
- $\langle 33 
  angle$  REMOVE EXISTING CONCRETE WALK SEE CIVIL FOR DETAILS.

CHANGE DESCRIPTION RENOVATION OF HEARTLAND 6500 FRANTZ ROAD



DUBLIN, OH 43017 **HEARTLAND BANK** 

MOODY•NOLAN

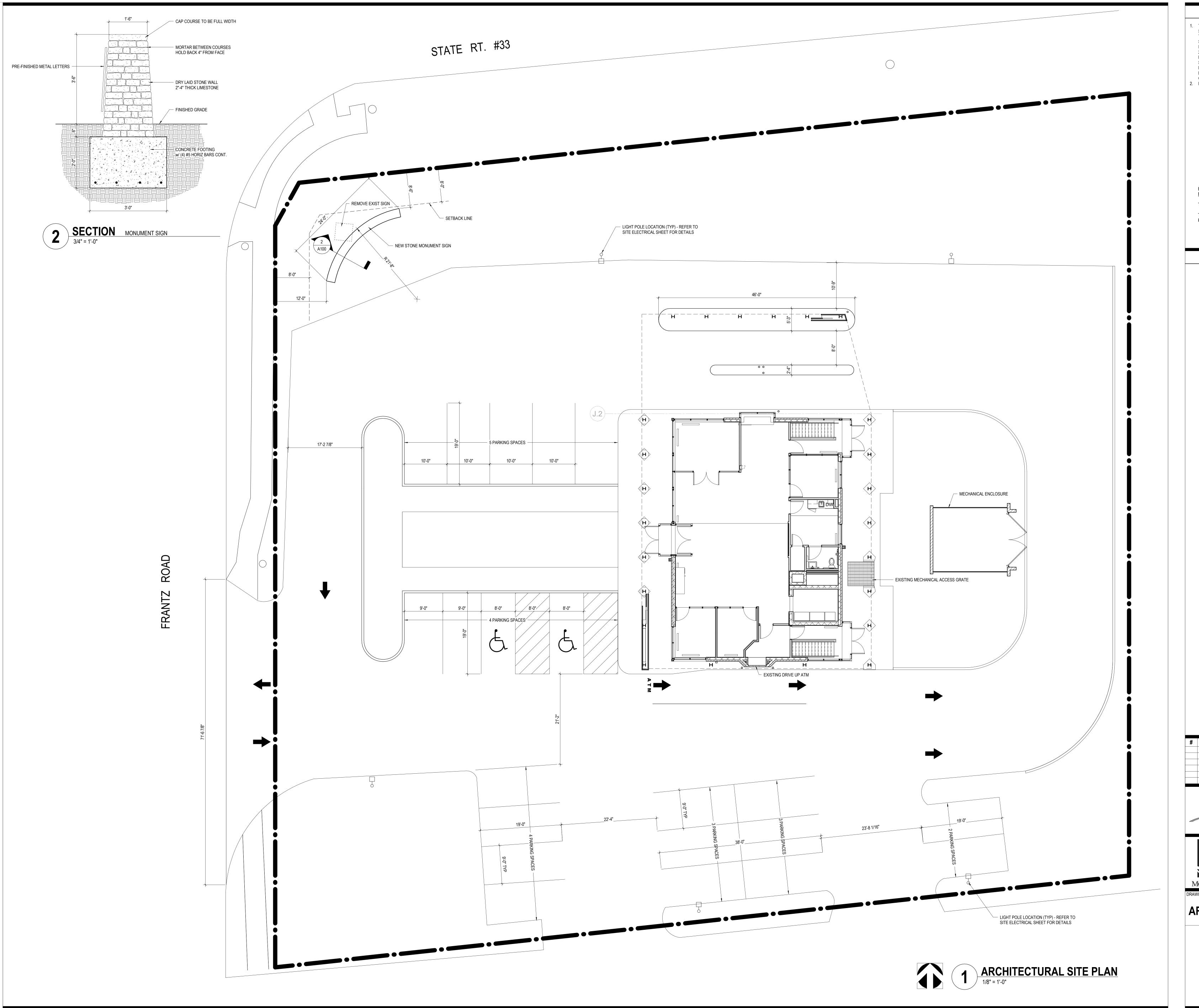
SUITE 300 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664 FAX: (614) 280-8881

# **DEMO ELEVATIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION DRAWN BY: Author CHECKED BY: Checker 20022 **AD301** 

05/12/2021



**GENERAL NOTES - PARKING PLAN** 

THIS PROJECT INVOLVES THE RENOVATION OF AN EXISTING BUILDING AND SITE WITH 27 EXISTING PARKING SPACES. THE ORIGINAL PLAN WAS TO LEAVE THE SITE LAYOUT AND PARKING COUNT AS IS. DURING THE DESIGN PROCESS SOME MINOR REVISIONS WERE MADE TO THE SITE LAYOUT THAT RESULTED IN THE ELIMINATION OF 6 PARKING SPACES. OUR FINAL SITE PLAN NOW HAS 21 PARKING SPACES. SINCE WE HAVE MADE A CHANGE TO THE SITE, WE ARE NOW TECHNICALLY EXCEEDING THE ALLOWABLE NUMBER OF PARKING SPACES BY SIX. HEARTLAND BANK WANTS TO MAINTAIN THE SIX EXTRA EXISTING PARKING SPACES AS THEY WILL BE NEEDED SOMETIMES, AND THEY DON'T WANT TO RELY ON THE ADJACENT SHOPPING CENTER PARKING FOR 2. REFER TO THE CIVIL SHEETS FOR ADDITIONAL SITE WORK AND DETAILS.

BASEMENT - 2,106 SF FIRST FLOOR - 2,280 SF TOTAL BUILDING - 4,386 SF TOTAL PARKING - 21 SPACES REQUIRED PARKING (4386/1000x2.5) = 11 SPACES

**KEYNOTE LEGEND** 

CHANGE DESCRIPTION



BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR **HEARTLAND BANK** 

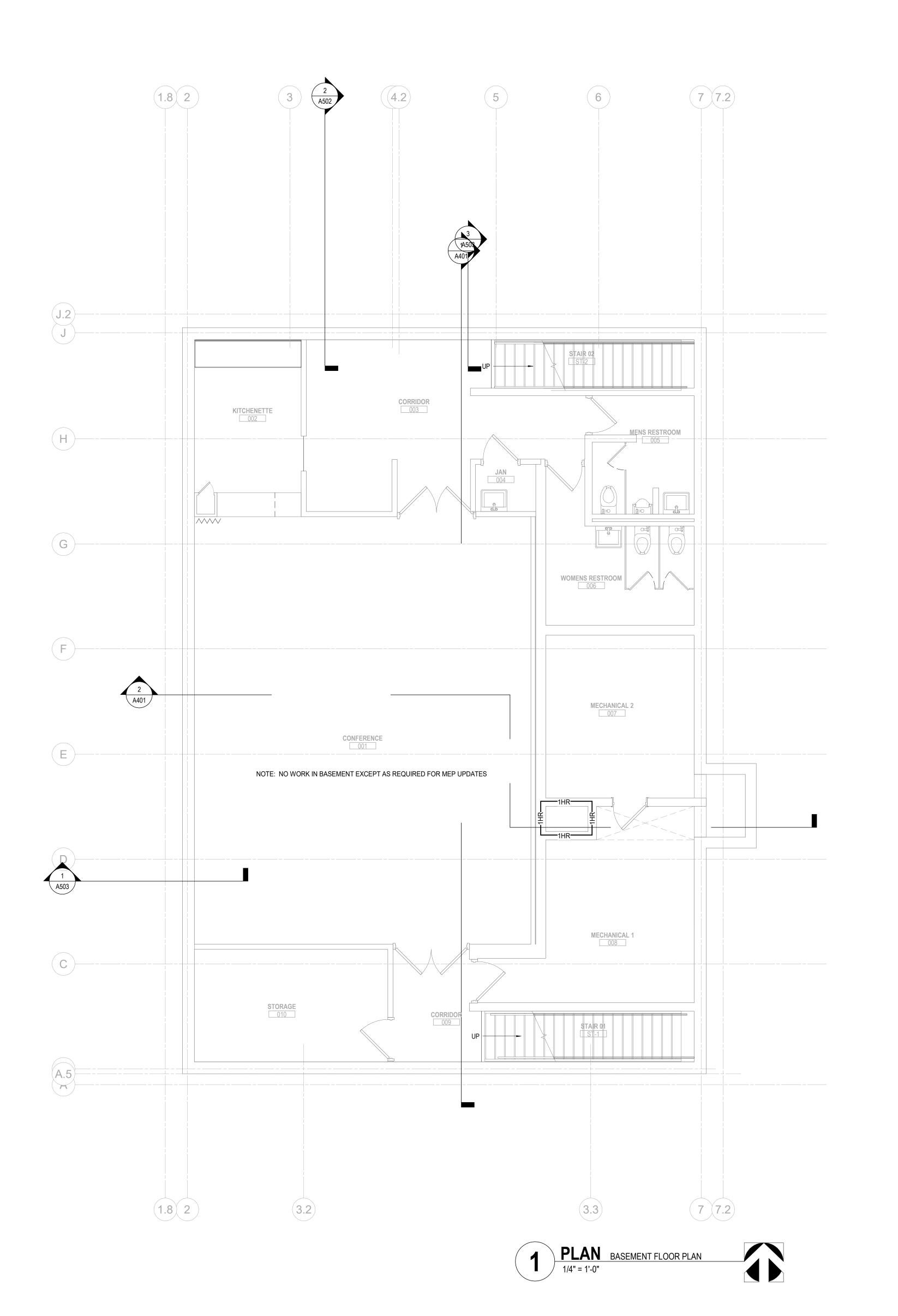


SUITE 300 COLUMBUS, OHIO 43215

ARCHITECTURAL SITE PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022 A100



**FLOOR PLAN GENERAL NOTES** 

- 1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
- 2. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.W.F., UNLESS NOTED OTHERWISE).

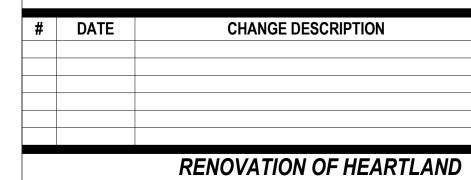
### **CODED NOTE LEGEND**

- 1 NEW STEEL VAULT DOOR PROVIDED BY OWNER. CONTRACTOR TO MODIFY EXIST ROUGH OPENING FOR NEW DOOR, MOVE DOOR FORM TRUCK TO VAULT AND ASSIST IN SETTING THE DOOR. ONCE DOOR IS SET, CONTRACTOR TO GROUT SOLID AROUND THE NEW DOOR FRAME.
- 2 PROVIDE SERVICE TELLER PER DETAILS ON A850.
- $\langle 3 \rangle$  Infill existing concrete floor opening where ductwork was
- $\overline{\langle 4 \rangle}$  ROOF DRAIN LEADER TO STORM BOOT AND STORM LINE. COORDINATE WITH CIVIL & PLUMBING.
- ALUMIMUM DOWNSPOUT TO CAST IRON STORM BOOT AND CONNECTION TO STORM SYSTEM. REFER TO CIVIL DRAWINGS FOR STORM SEWER CONNECTION.
- 6 NEW REMOTE PNEUMATIC TELLER TUBE TERMINAL SYSTEM BY OWNER. SEE
- ELECTRICAL SHEETS FOR CONDUIT AND POWER REQUIREMENTS.  $\overline{7}$  NEW DRIVE-UP TELLER RETRACTABLE DEAL DRAWER SYSTEM BY OWNER.
- THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
- $\overline{\langle 9 \rangle}$  INSTALL 5/8" GWB ON EXISTING WOOD FURRING STRIPS.

COORDINATE w/ ELECTRICAL AND CASEWORK.

- \(\sqrt{10}\) INFILL EXISTING MASONRY OPENING IN VAULT w/ CMU.
- (11) EXISTING BOLLARD TO REMAIN PAINT.
- (12) CONCRETE ISLAND REFER TO CIVIL SHEETS FOR DETAILS.
- $\langle \overline{13} \rangle$  CONCRETE WALK REFER TO CIVIL SHEETS FOR DETAILS.
- (14) EXISTING WOOD FENCE / GATE TO REMAIN PAINT.
- (15) EXISTING BRICK SCREENWALL PAINT.
- (16) 4" DIA CONCERETE FILLED STEEL BOLLARD PAINT. REFER TO CIVIL SHEETS FOR DETAILS.

 $\langle 17 \rangle$  1 1/2" DIA. HM CANE DETECTION RAILING UNDER STAIRS WHERE THE HEAD HEIGHT IS LESS THAN 80" - PAINT.





BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR **HEARTLAND BANK** 



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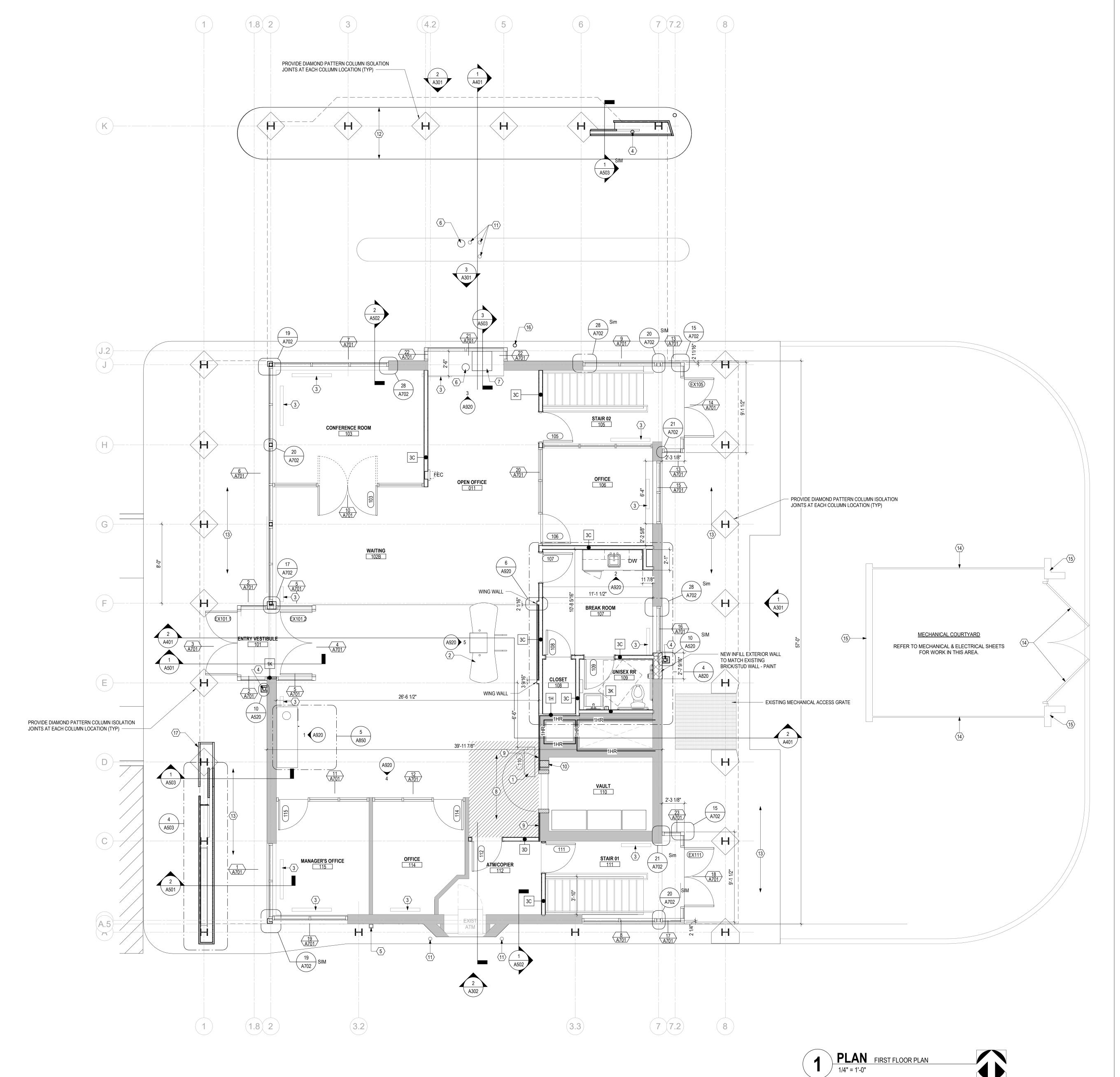
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# **BASEMENT FLOOR PLAN**

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: XXX CHECKED BY: XXX 20022

A101



**FLOOR PLAN GENERAL NOTES** 

- 1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
- 2. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.W.F., UNLESS NOTED OTHERWISE).

### **CODED NOTE LEGEND**

- NEW STEEL VAULT DOOR PROVIDED BY OWNER. CONTRACTOR TO MODIFY EXIST ROUGH OPENING FOR NEW DOOR, MOVE DOOR FORM TRUCK TO VAULT AND ASSIST IN SETTING THE DOOR. ONCE DOOR IS SET, CONTRACTOR TO GROUT SOLID AROUND THE NEW DOOR FRAME.
- 2 PROVIDE SERVICE TELLER PER DETAILS ON A850.
- (3) INFILL EXISTING CONCRETE FLOOR OPENING WHERE DUCTWORK WAS
- 4 ROOF DRAIN LEADER TO STORM BOOT AND STORM LINE. COORDINATE WITH
- CIVIL & PLUMBING.  $\overline{\langle 5 \rangle}$  ALUMIMUM DOWNSPOUT TO CAST IRON STORM BOOT AND CONNECTION TO
- STORM SYSTEM. REFER TO CIVIL DRAWINGS FOR STORM SEWER
- (6) NEW REMOTE PNEUMATIC TELLER TUBE TERMINAL SYSTEM BY OWNER. SEE ELECTRICAL SHEETS FOR CONDUIT AND POWER REQUIREMENTS.
- 7 NEW DRIVE-UP TELLER RETRACTABLE DEAL DRAWER SYSTEM BY OWNER. COORDINATE w/ ELECTRICAL AND CASEWORK.
- (8) THE EXISTING FLOOR SYSTEM IS NOT ADEQUATE TO SUPPORT THE DOOR WEIGHT DURING REMOVAL AND REPLACEMENT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ENGINEERED SHORING IN FRONT OF THE DOOR AND FOR THE PATH OF TRAVEL FOR THE DOOR.
- 9 INSTALL 5/8" GWB ON EXISTING WOOD FURRING STRIPS.
- $\langle 10 \rangle$  INFILL EXISTING MASONRY OPENING IN VAULT w/ CMU.
- 1 1 EXISTING BOLLARD TO REMAIN PAINT. (12) CONCRETE ISLAND - REFER TO CIVIL SHEETS FOR DETAILS.
- (13) CONCRETE WALK REFER TO CIVIL SHEETS FOR DETAILS.
- (14) EXISTING WOOD FENCE / GATE TO REMAIN PAINT.
- \(\sqrt{15}\) EXISTING BRICK SCREENWALL PAINT.
- 4" DIA CONCERETE FILLED STEEL BOLLARD PAINT. REFER TO CIVIL SHEETS
- (17) 1 1/2" DIA. HM CANE DETECTION RAILING UNDER STAIRS WHERE THE HEAD HEIGHT IS LESS THAN 80" - PAINT.

**CHANGE DESCRIPTION** 



6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



SUITE 300 COLUMBUS, OHIO 43215

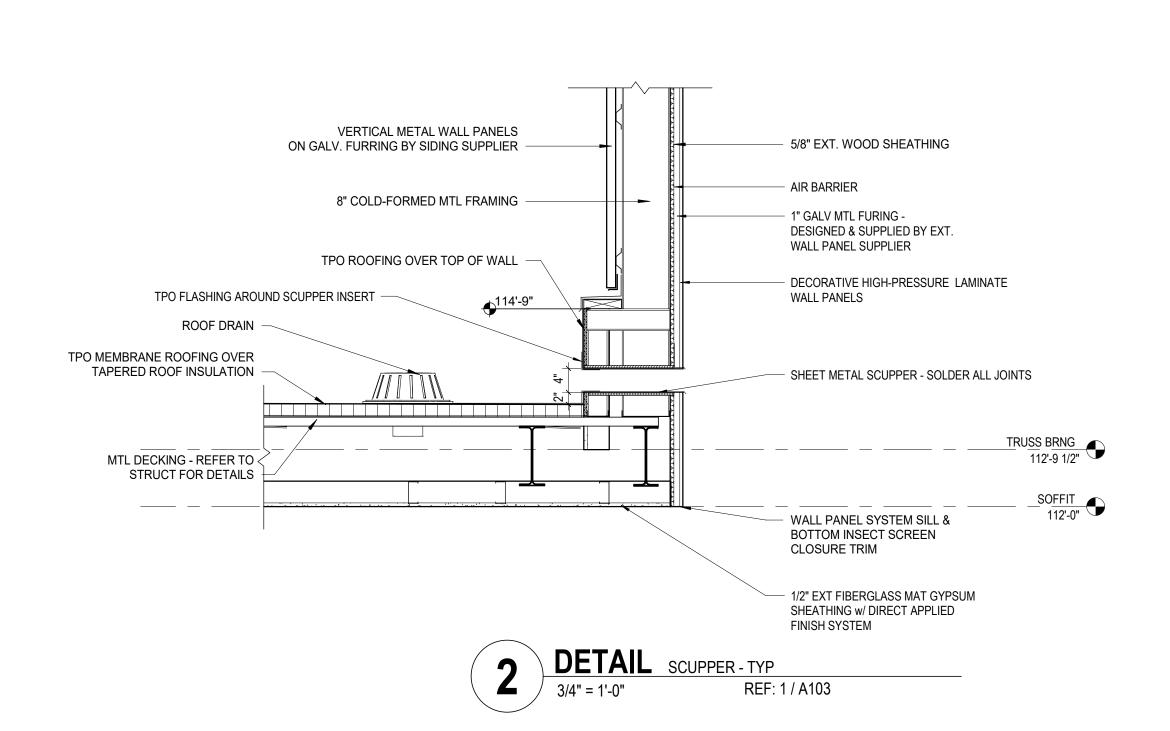
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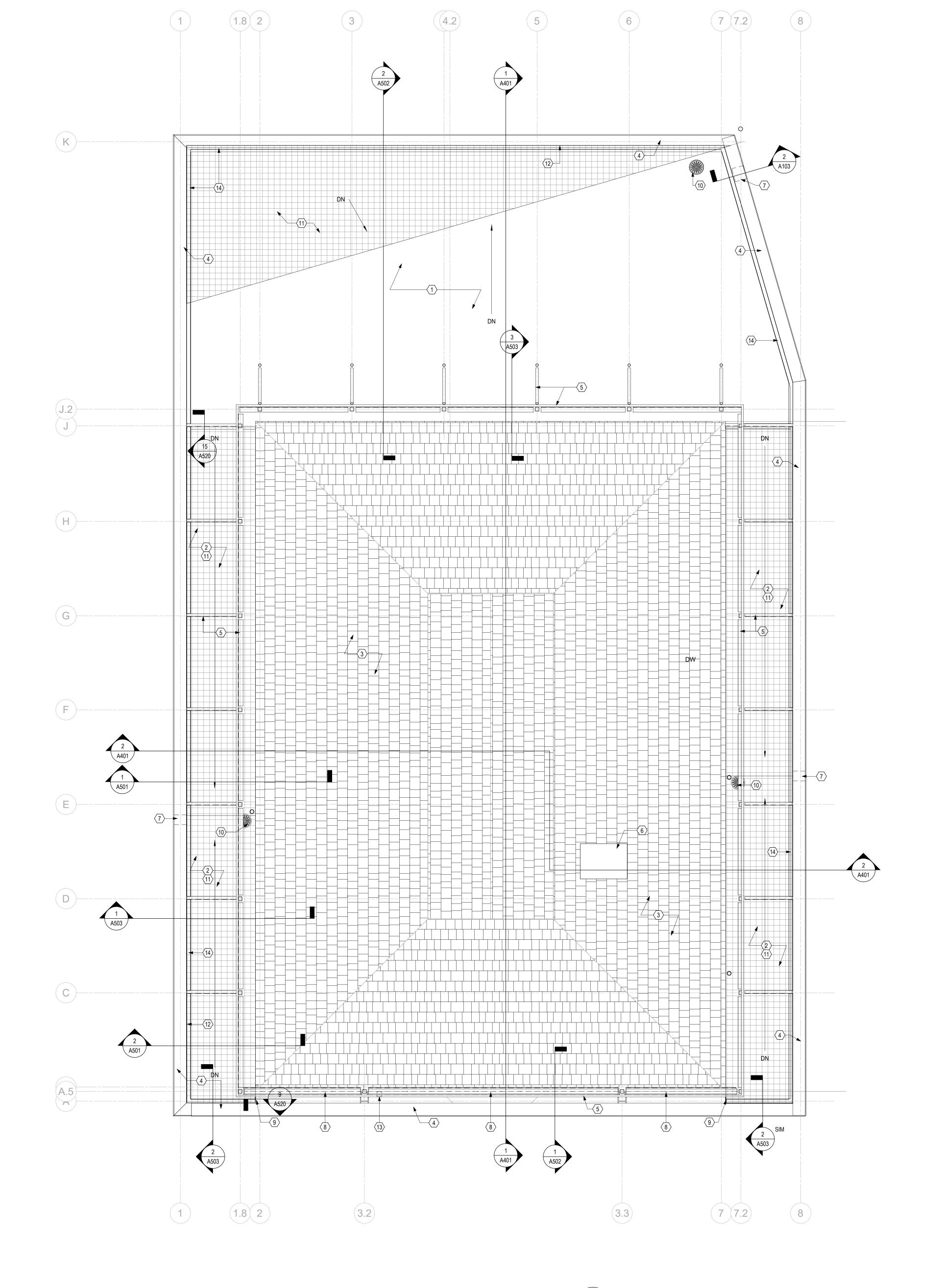
# FIRST FLOOR PLAN

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05/12/2021





1 PLAN ROOF PLAN
1/4" = 1'-0"

### **ROOF PLAN GENERAL NOTES**

. SEE STRUCTURAL DRAWINGS FOR SCREENWALL FRAMING. COORDINATE WITH MECHANICAL ON NEW PLUMBING IN ROOFS.

### **KEYNOTE LEGEND**

- DRIVE-THRU ROOF AREA TPO ROOFING OVER SLOPED 2"
  BASE LAYER OF ROOF INSULATION WITH TAPERED ROOF INSULATION 1/4" PER FT. TO DRAINS.
- 2 EAST & WEST OVERHANG ROOF CANOPIES FLAT METAL ROOF DECK WITH 2" BASE LAYER OF ROOF INSULATION & TAPERED ROOF INSULATION 1/4" PER FT. TO DRAINS.
- EXISTING SLATE ROOF TO REMAIN EXCEPT FOR REMOVAL OF BOTTOM COURSES OF SLATE FOR INTEGRATION WITH NEW TPO ROOFING. SEE ROOF DETAILS FOR INFORMATION.
- 4 PREFINISHED METAL COPING. SEE WALL SECTIONS & DETAILS.
- (5) SCREENWALL METAL PANELS ON EXPOSED GALVANIZED
- STRUCTURAL STEEL FRAMING. SEE STRUCTURAL DRAWINGS. 6 EXISTING CHIMNEY REDUCED IN HEIGHT SO TOP BELOW NEW SCREENWALL PANELS. REWORK MASONRY AS REQUIRED AND COORDINATE NEW CHIMEY MTL CAP WITH MECHANICAL. REPOINT EXISTING JOINTS AS REQUIRED AND REPAIR EXISTING FLASHING AT ROOF AS NEEDED. PAINT CHIMNEY WITH WATERPROOFING
- 7 OVERFLOW MTL SCUPPER THRU WALL PARAPET WALL 10"W X 8"H POSITION SO OUTLET IS 2" ABOVE LOW POINT OF ROOF. PROVIDE ALUM. FLASHING TO MATCH SIDING.
- $\langle 8 \rangle$  4"x4" PRE-FINISHED MTL GUTTER ALONG SOUTH EDGE OF EXISTING ROOF BETWEEN EAST & WEST OVERHANG CANOPIES. SEE WALL SECTIONS & DETAILS.
- 9 TPO ROOF EDGE FASCIA. PROVIDE AT SOUTH END OF OVERHANG CANOPIES WHERE GUTTER BEGINS. ROOF EDGE TO BE THE CANOPY ROOF DRAIN OVERFLOW LOCATION.
- (10) ROOF DRAIN. REFER TO CIVIL & PLUMBING SHEETS FOR DETAILS. (11) TAPERED ROOF INSULATION - 1/4" PER FT. TO DRAIN.
- PROVIDE 16" x 16" METAL ACCESS PANEL FOR SIGNAGE POWER/CONTROLS.
- 3"x4" PRE-FINISHED MTL DOWNSPOUT TO CAST IRON STORM BOOT. REFER TO CIVIL SHEETS FOR DETAILS.

(14) PERIMETER PARAPET WALL.

**CHANGE DESCRIPTION** 



DUBLIN, OH 43017 **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

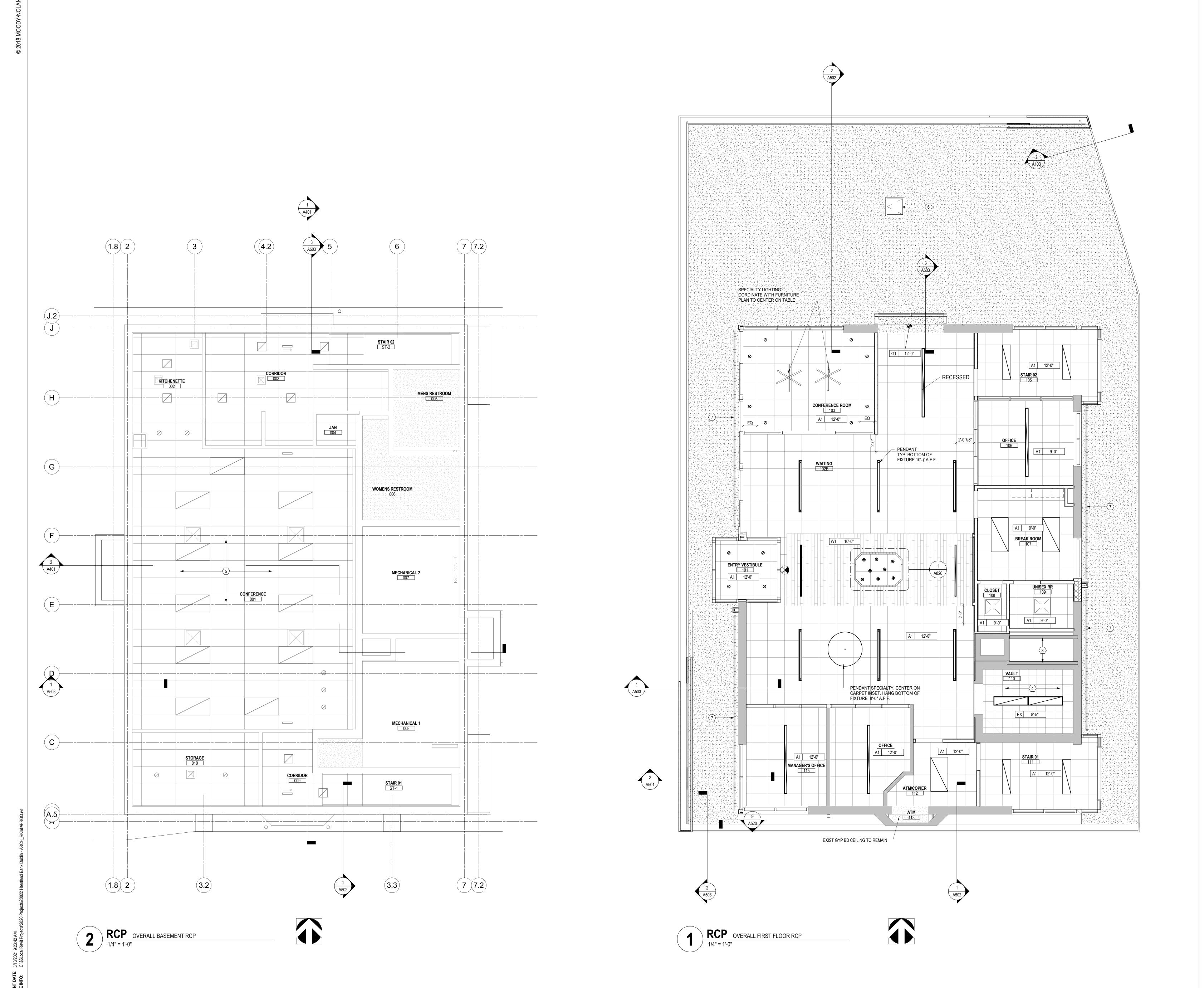
**ROOF PLAN** 

CONSTRUCTION

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20022 A103

05/12/2021



RCP GENERAL NOTES

- ALL CEILINGS TO BE ARMSTRONG ACT 2X2 ULTIMA COLOR: WHITE INSIDE OFFICES AND CONF ROOM, BLACK IN OPEN AREA. TEGULAR 9/16 GRID -
- MATCH ACT COLOR. LIGHT FIXTURES SHOWN TO INDICATE PROPOSED FIXTURES & GENERAL

DESIGN INTENT.

- FINISHED CEILING HEIGHTS ARE MARKED FROM TOP OF FINISH FLOOR (UNLESS NOTED OTHERWISE).
- COORDINATE LOCATION OF FIXTURES WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE SUPPRESSION AND TECHNOLOGY DRAWINGS. ANY CONFLICT

BETWEEN TRADES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.

- FACE OF BULKHEADS ARE TO ALIGN WITH FACE OF ADJACENT WALLS TO WHICH BULKHEADS ARE PARALLEL, UNLESS NOTED OTHERWISE OR
- DIMENSIONED. 6. ALL GYPSUM BOARD SOFFITS & CEILINGS TO BE PAINTED FLAT CEILING WHITE
- (UNLESS NOTED OTHERWISE). 8. PAINT DUCTWORK INSIDE AIR GRILLES FLAT BLACK.
- 9. CEILING GRIDS ARE CENTERED ON ROOM, U.N.O. OR DIMENSIONED.
- 10. WHERE EXIT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.
- 11. ALL CEILING DEVICES TO BE CENTERED IN TILE, U.N.O.

### **CODED NOTE LEGEND**

1 ALIGN FEATURES

- 2 OPEN TO ABOVE
- $\langle 3 \rangle$  EXTEND 1HR RATED SHAFT WALLS TO DECK. WALLS CONSTRUCTED USING UL DESIGN NO. U465.
- 4 PAINT EXISTING SPLINE CEILING
- (5) REINSTALL SALVAGED CEILING GRID & PANELS THAT WERE REMOVED FOR
- 2' X 2' ACCESS PANEL LOCATE AS REQUIRED FOR PNEUMATIC TUBE ACCESS. PAINT TO MATCH SOFFIT.
- SOFFIT VENT 3" WIDE w/ PLASTIC MESH INSECT SCREEN

### **RCP LEGEND**

A1 ACOUSTIC CEILING TYPE 1: 2'x2' LAY-IN CEILING

E1 EXPOSED STRUCTURE ABOVE

1x4 FLUORESCENT LIGHT FIXTURE

(SHADING DENOTES EMERGENCY FIXTURE)

G1 FIBERGLASS MAT GYPSUM SHEATHING w/ DIRECT APPLIED FINISH SYSTEM

2x2 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE) 2x4 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)

1x8 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)

RECESSED CAN LIGHT

SURFACE MOUNTED LIGHT

LINEAR COVE LIGHT

SUPPLY DIFFUSER

LINEAR DIFFUSER

EXHAUST/RETURN GRILLE

XX XX'-XX" CEILING TAG WITH HEIGHT

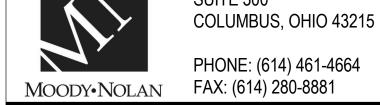
NOTE: COORDINATE ARCHITECTURAL REFLECTED CEILING PLANS WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR NUMBER OF, AND LOCATIONS. OF, AND TYPES OF FIXTURES AND GRILLES. NOT ALL ITEMS SHOWN ON LEGEND MAY BE PRESENT IN PROJECT.

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND **BANK DUBLIN** 6500 FRANTZ ROAD DUBLIN, OH 43017

**HEARTLAND BANK** 300 SPRUCE STREET

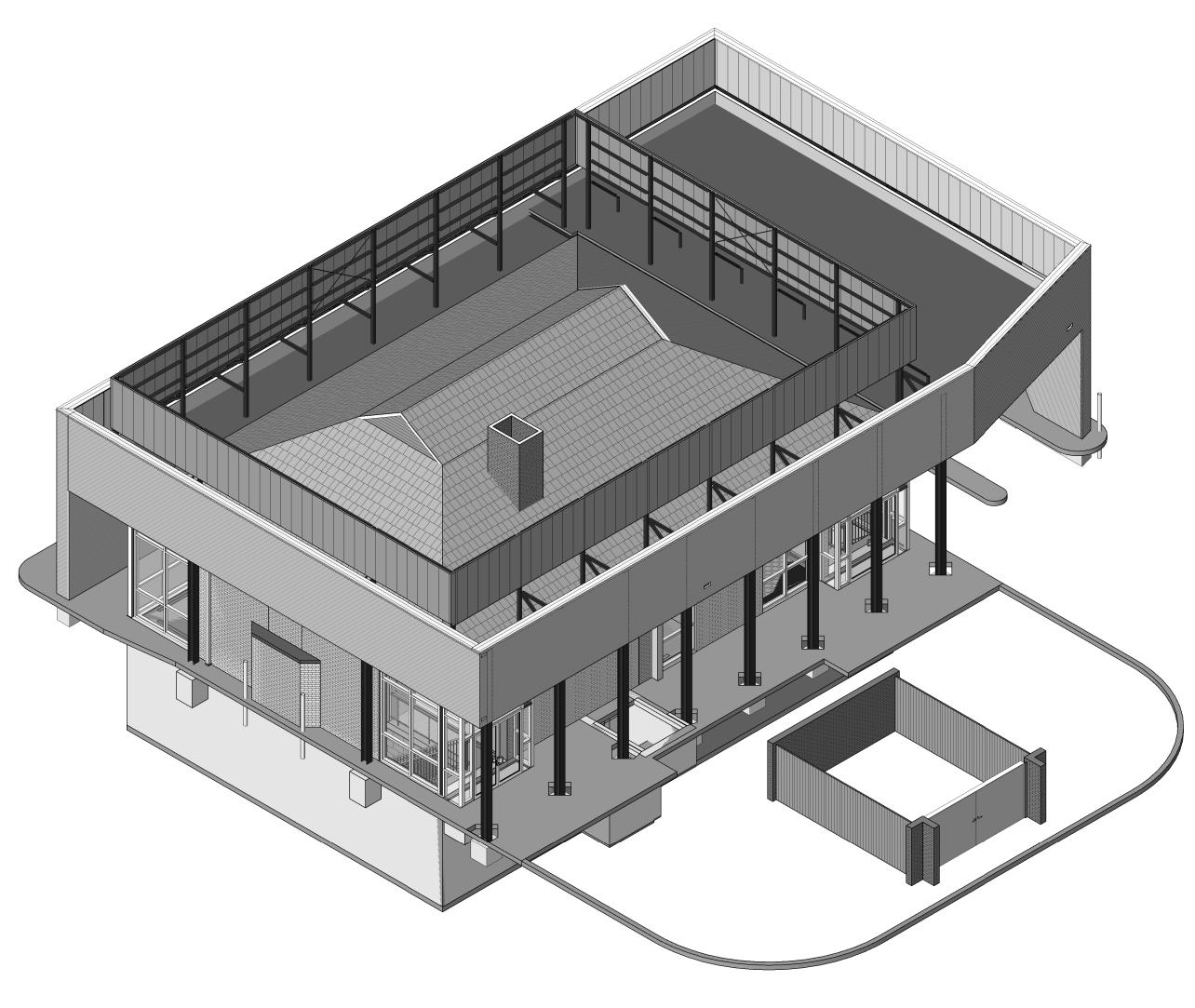


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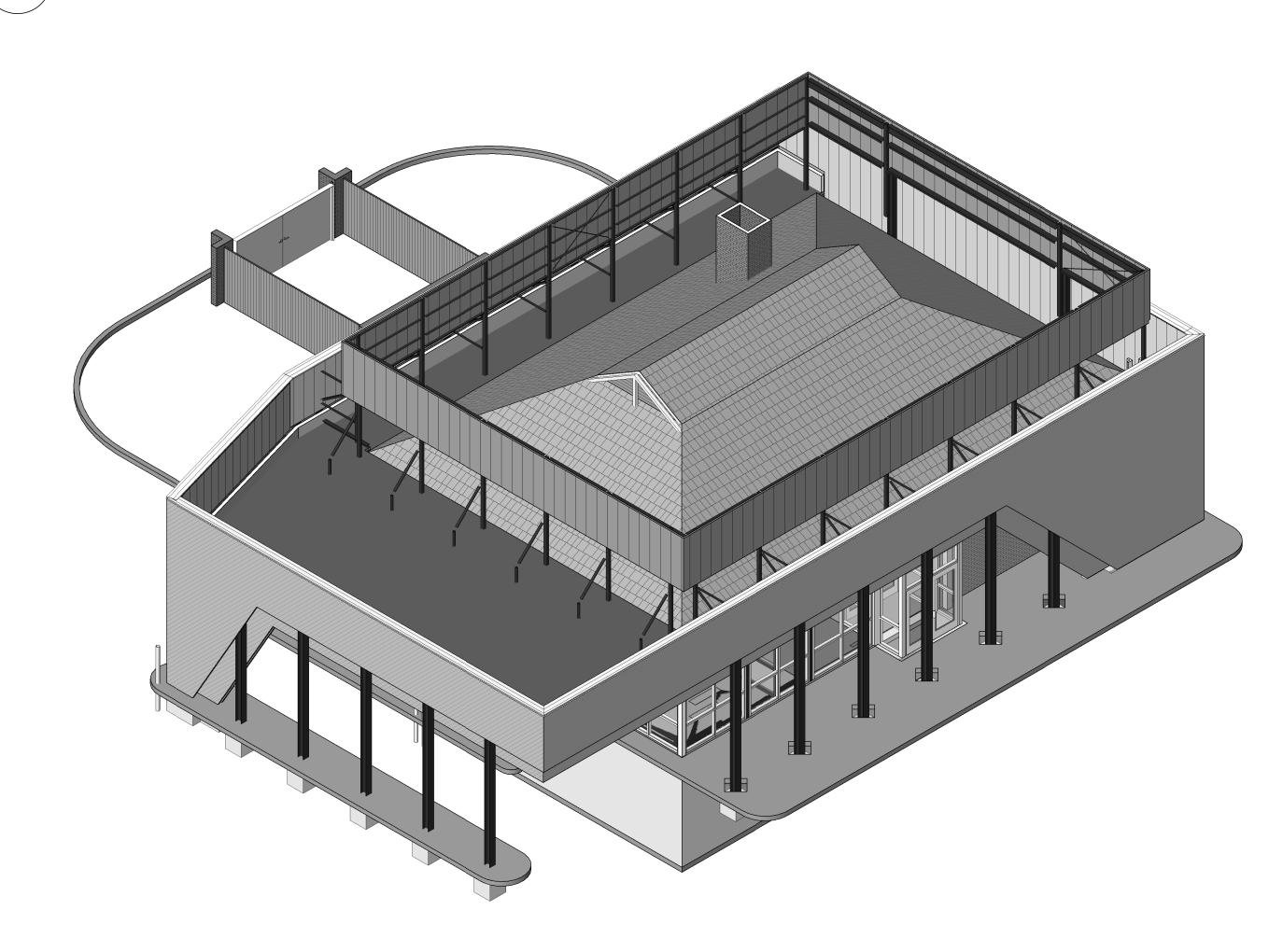
RCP - OVERALL

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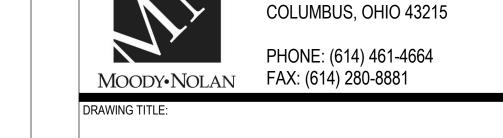
1 3D AXON - SE



2 3D AXON - NW

CHANGE DESCRIPTION RENOVATION OF HEARTLAND
BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HFAC



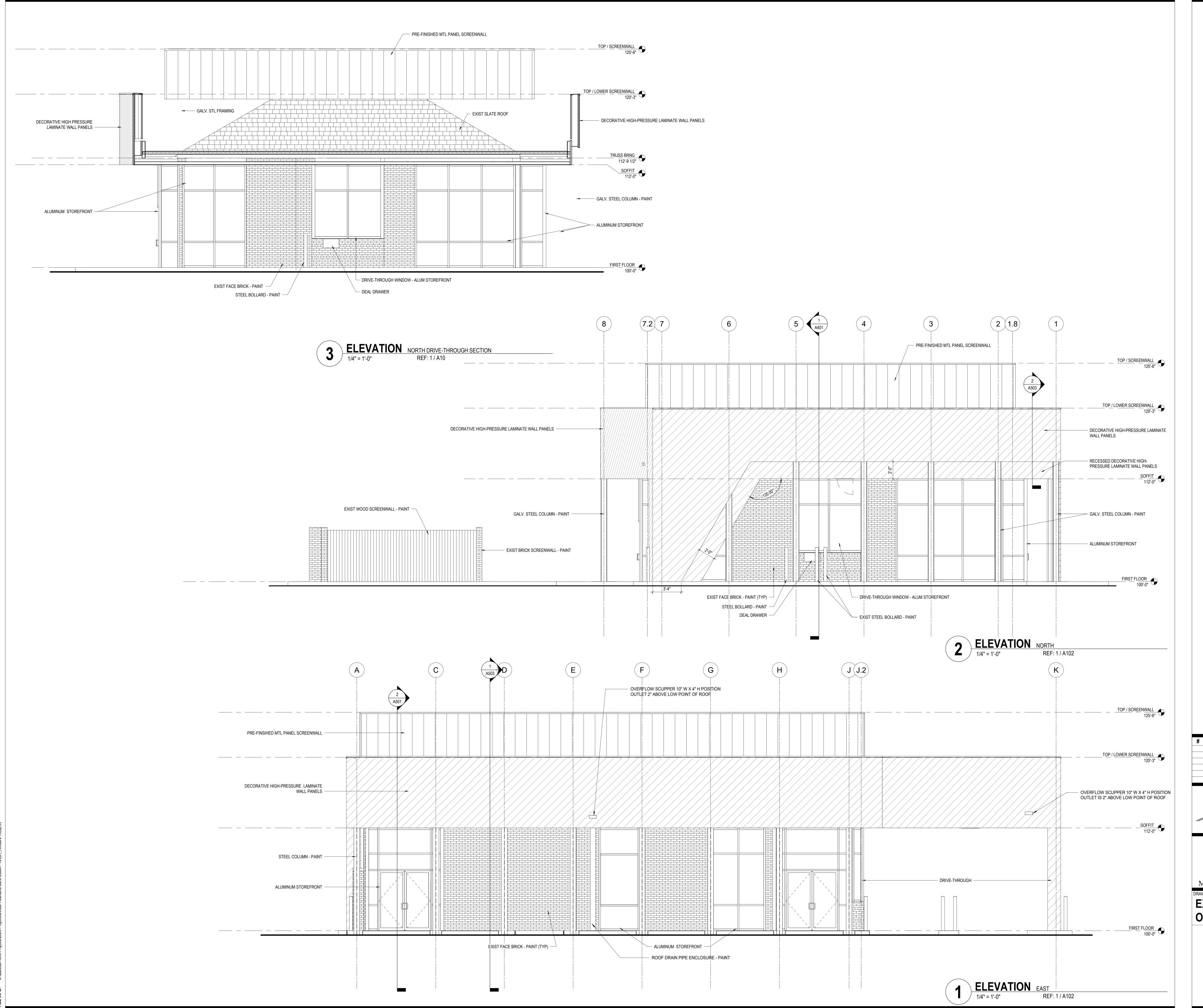


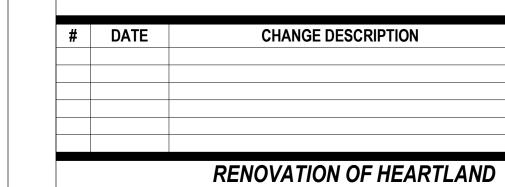
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

**AXONOMETRIC VIEWS** 

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6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 

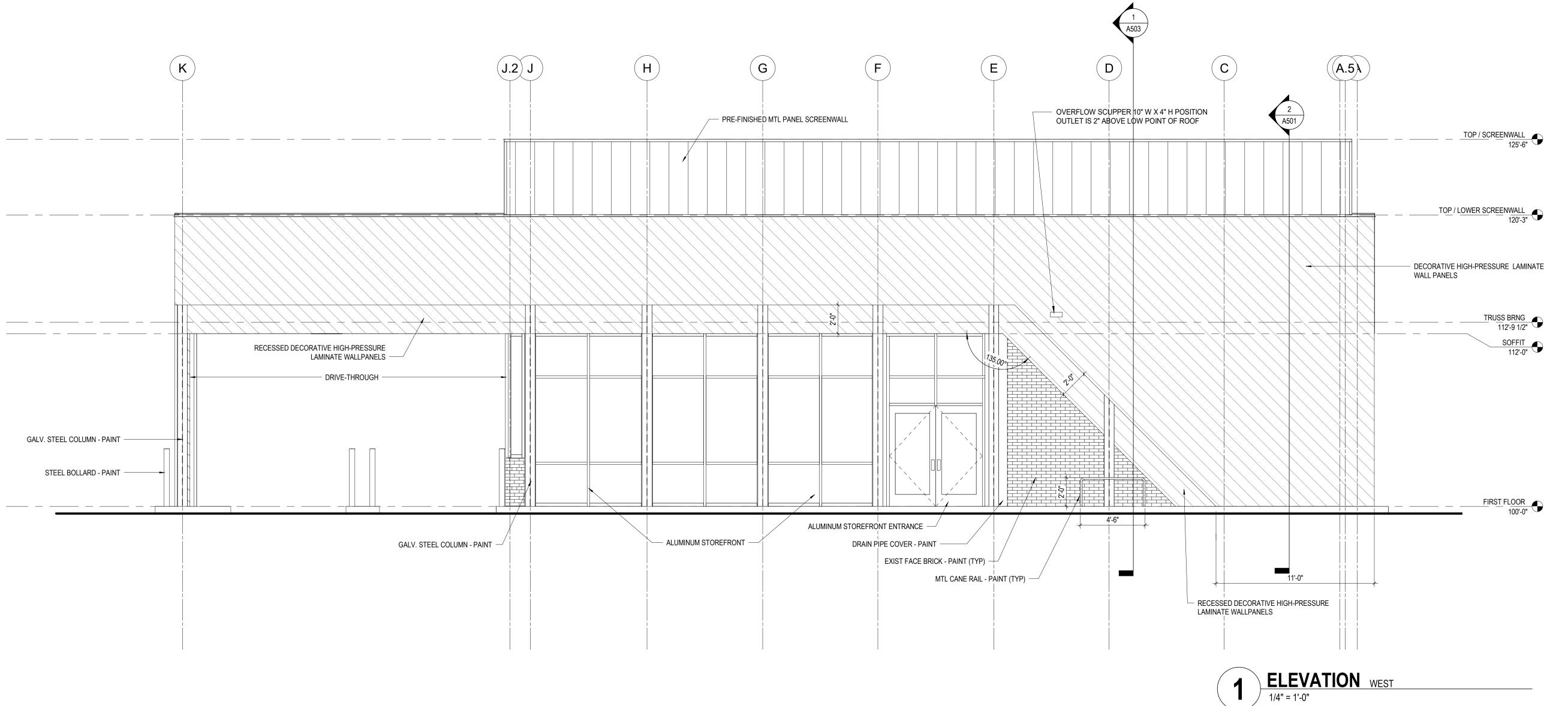


300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

**EXTERIOR ELEVATIONS -**OVERALL

> PROGRESS DRAWING NOT FOR CONSTRUCTION

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CHANGE DESCRIPTION RENOVATION OF HEARTLAND 6500 FRANTZ ROAD DUBLIN, OH 43017 FOR



**HEARTLAND BANK** 300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

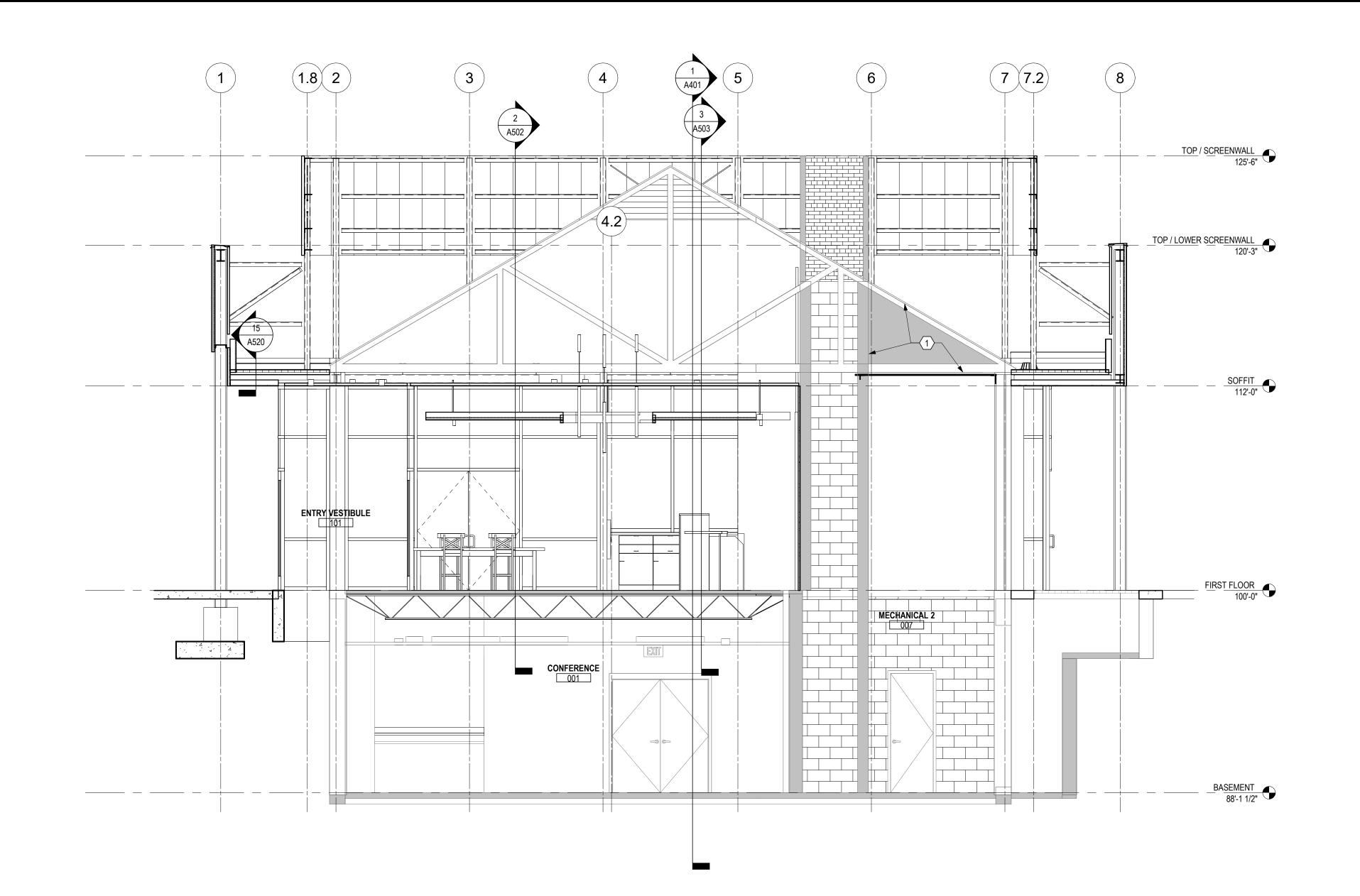
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MOODY•NOLAN FAX: (614) 280-8881

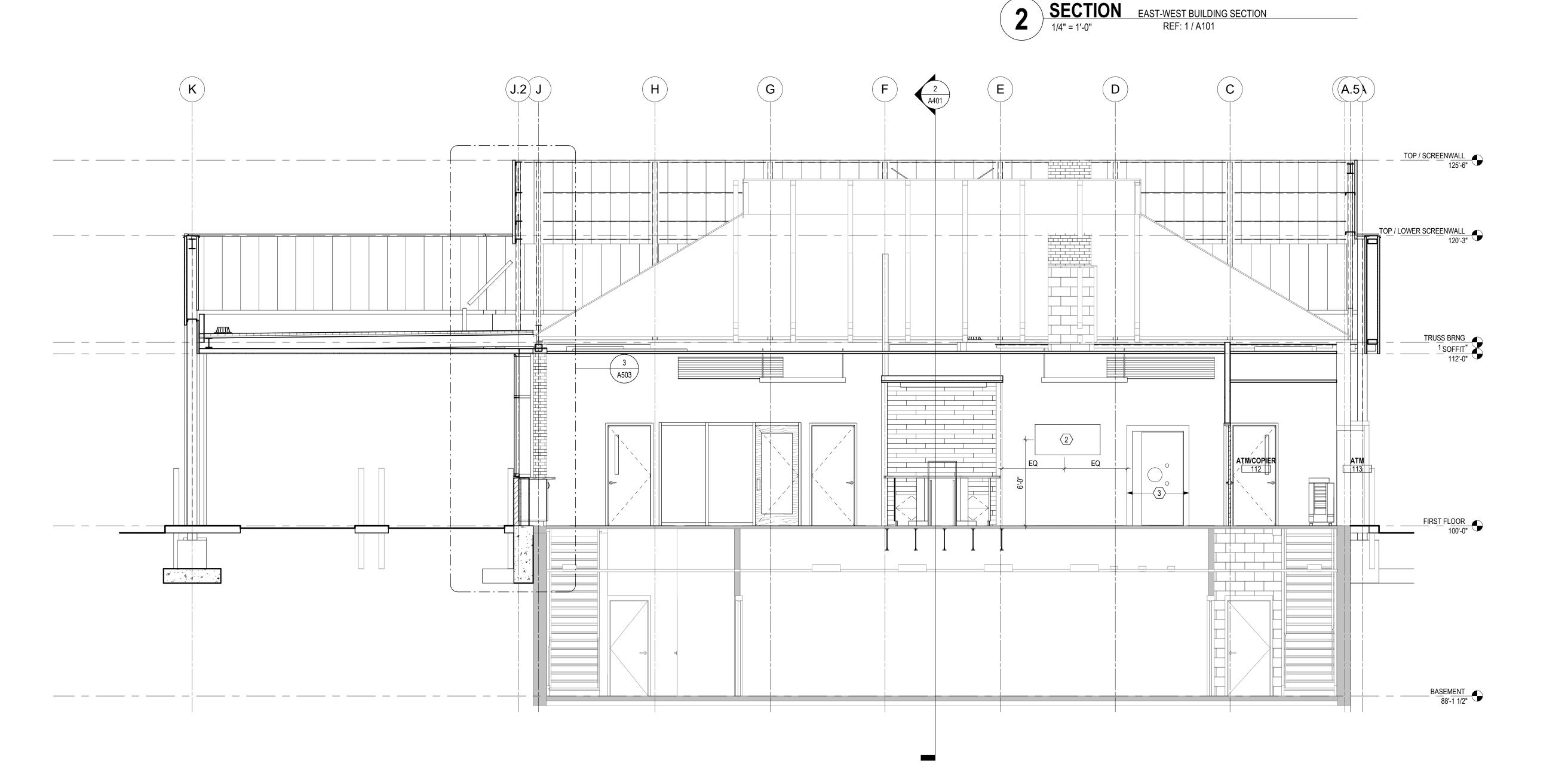
DRAWING TITLE:

**EXTERIOR ELEVATIONS -**OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: XXX CHECKED BY: XXX 20022 A302



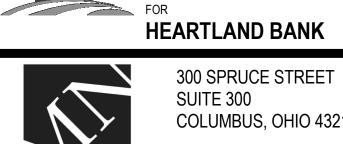




### **KEYNOTE LEGEND**

- EXTEND EXISTING 1 HR FIRE RATED PARTITION TO ROOF DECK ON BOTH SIDES OF THE SHAFT OPENING IN THE ATTIC. EXTEND FROM MASONRY SHAFT TO ROOF EAVES. FIRE CAULK ALL PENETRATIONS AND PROVIDE FIRE DAMPERS FOR DUCTWORK. SEE MECHANICAL SHEETS FOR DETAILS.
- (2) MONITOR BY OWNER. SEE ELECTRICAL FOR POWER AND DATA REQUIREMENTS.
- NEW VAULT DOOR PROVIDED BY OWNER, CONTRACTOR INSTALLED

CHANGE DESCRIPTION RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTL'



**HEARTLAND BANK** 



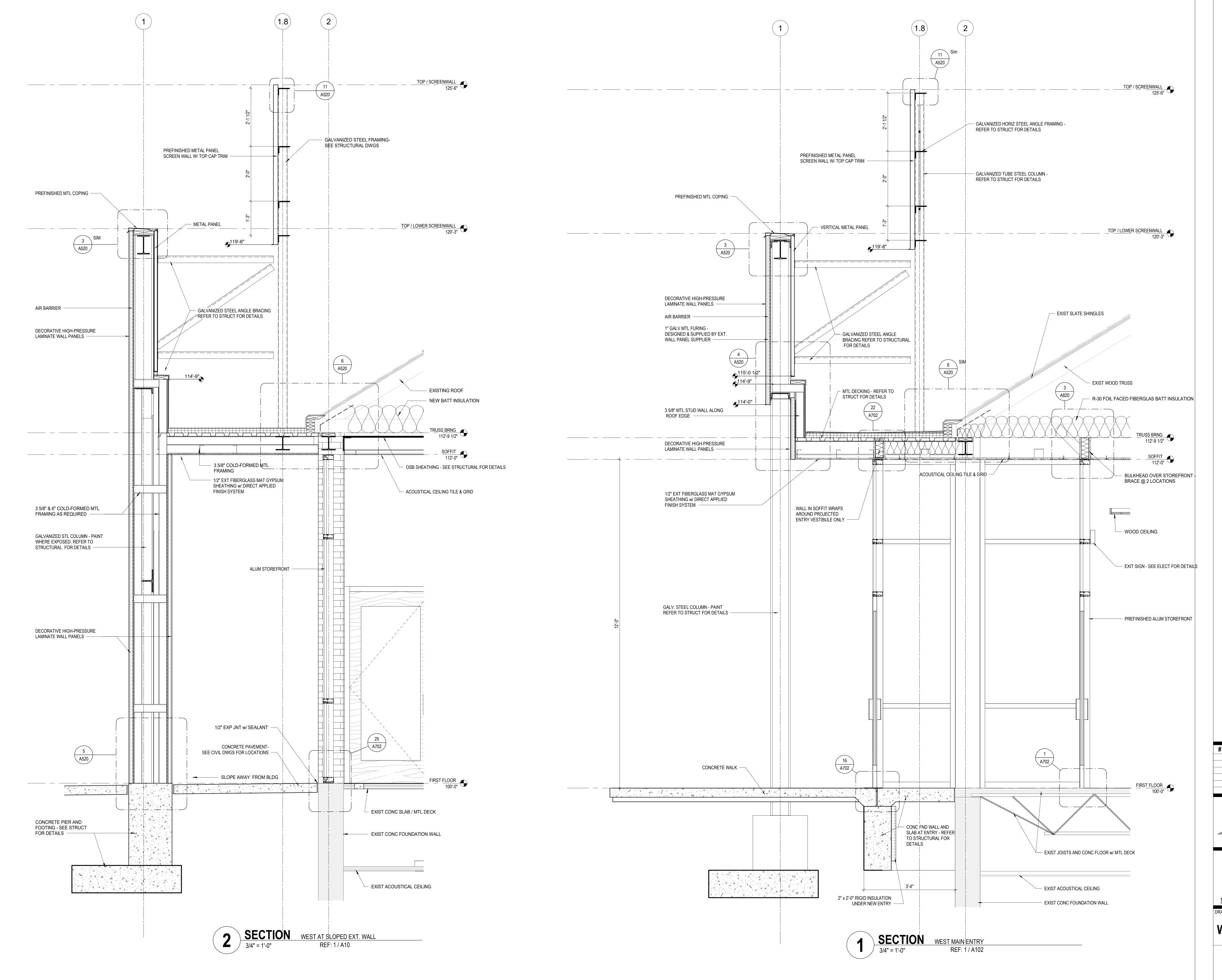
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# **BUILDING SECTIONS**

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A401



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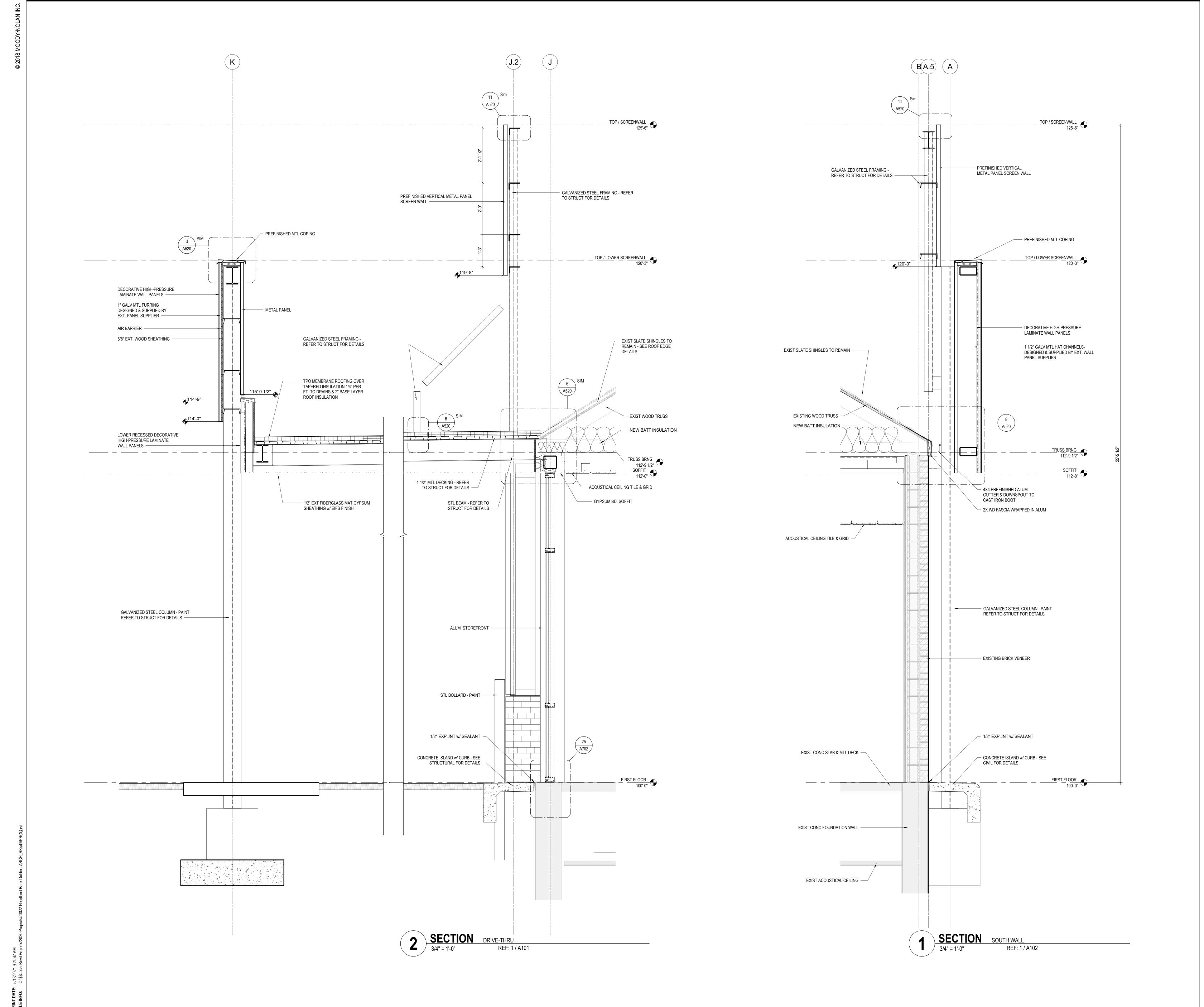
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WALL SECTIONS

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300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

**HEARTLAND BANK** 

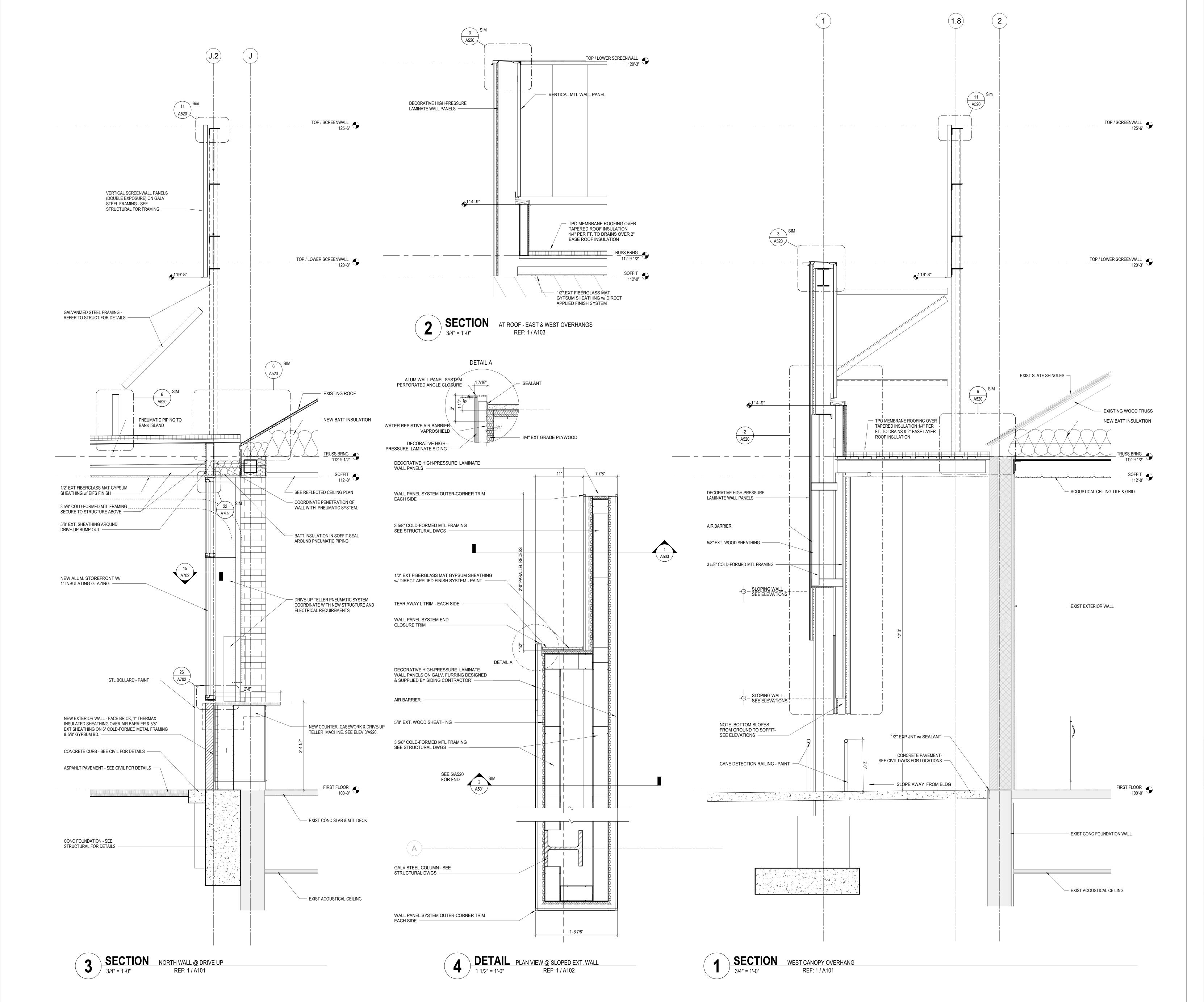
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DRAWING TITLE:

WALL SECTIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION

05/12/2021 DRAWN BY: XXX CHECKED BY: XXX 20022 A502



**CHANGE DESCRIPTION** 



RENOVATION OF HEARTLAND **BANK DUBLIN** 6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

WALL SECTIONS

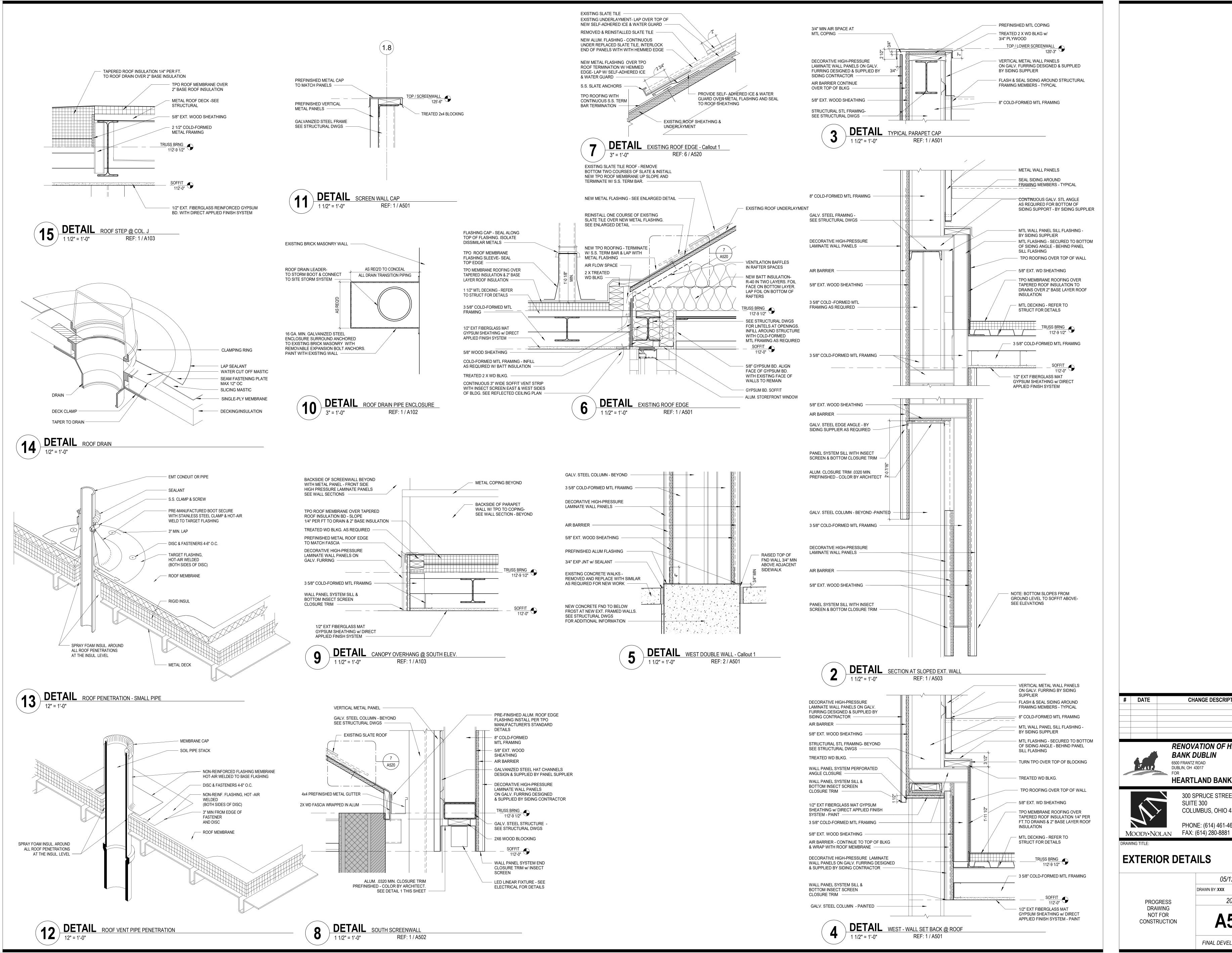
PROGRESS DRAWING NOT FOR CONSTRUCTION

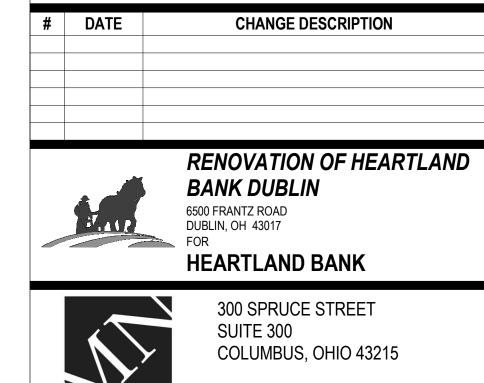
20022 A503

FINAL DEVELOPMENT PLAN

05/12/2021

DRAWN BY: Author CHECKED BY: Checker





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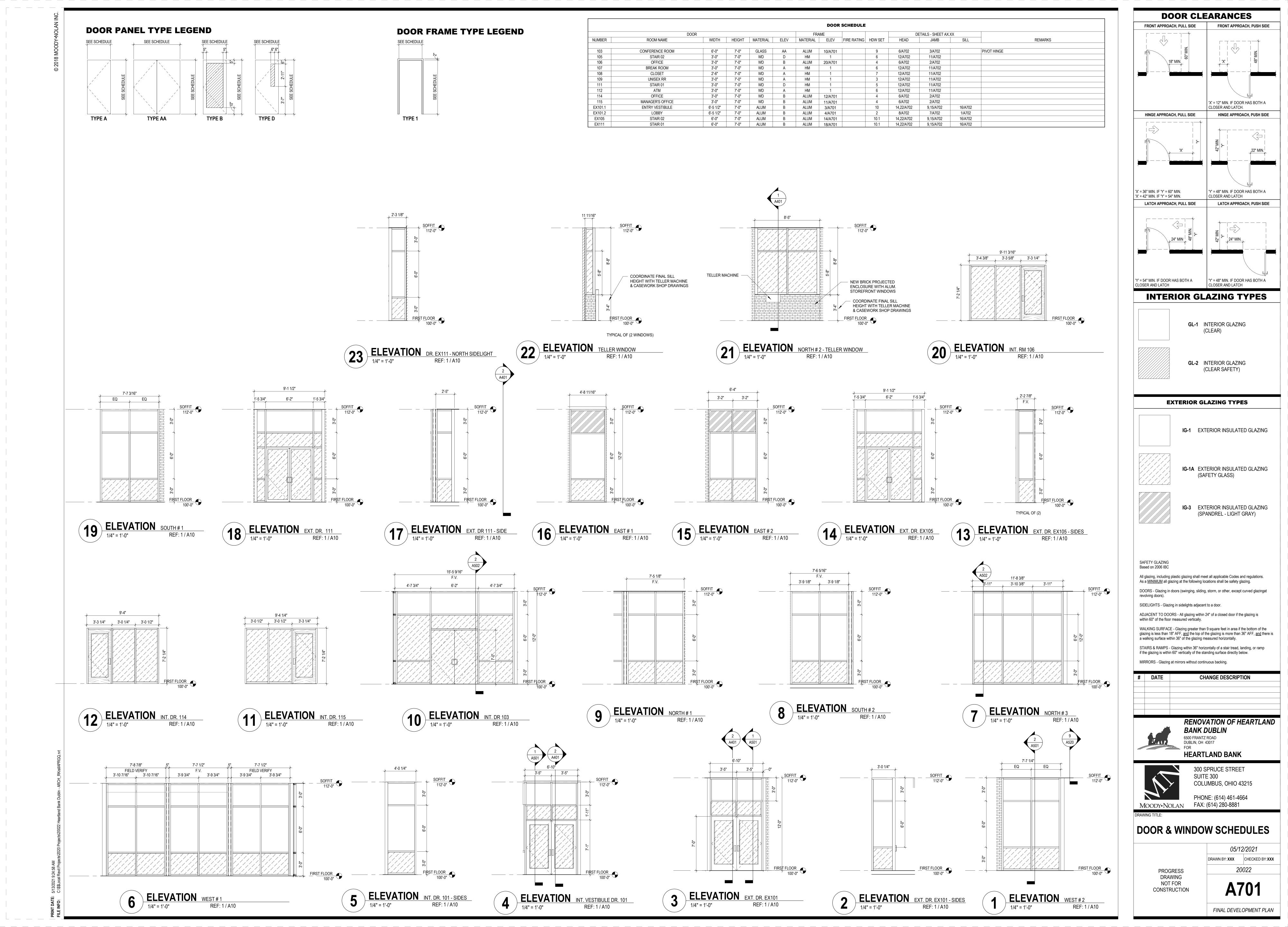
### **EXTERIOR DETAILS**

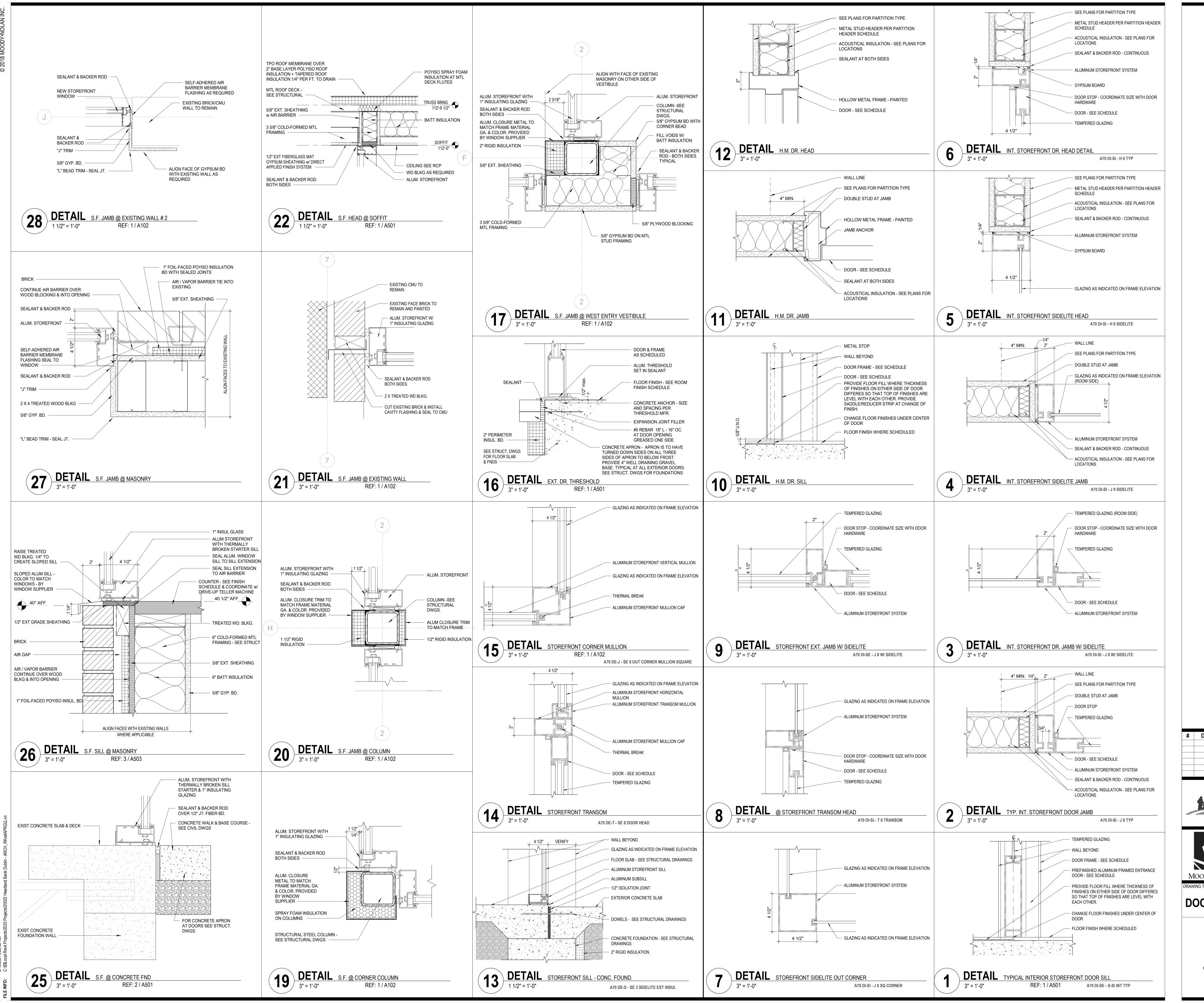
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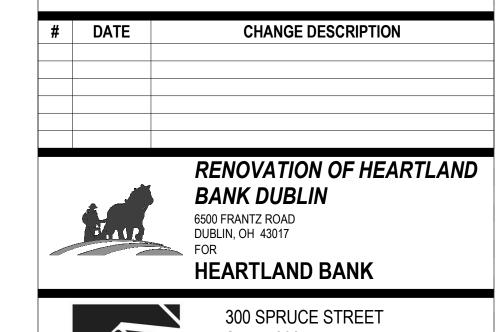
20022 **A520** 

05/12/2021

DRAWN BY: XXX CHECKED BY: XXX







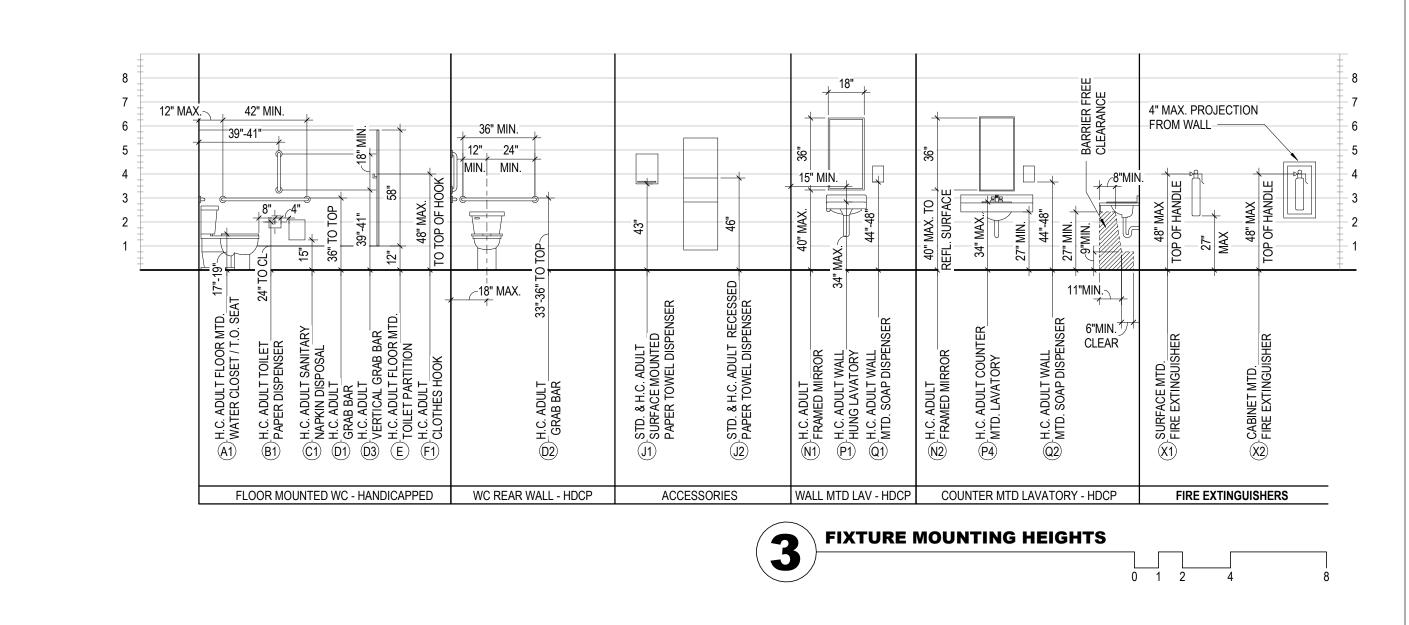


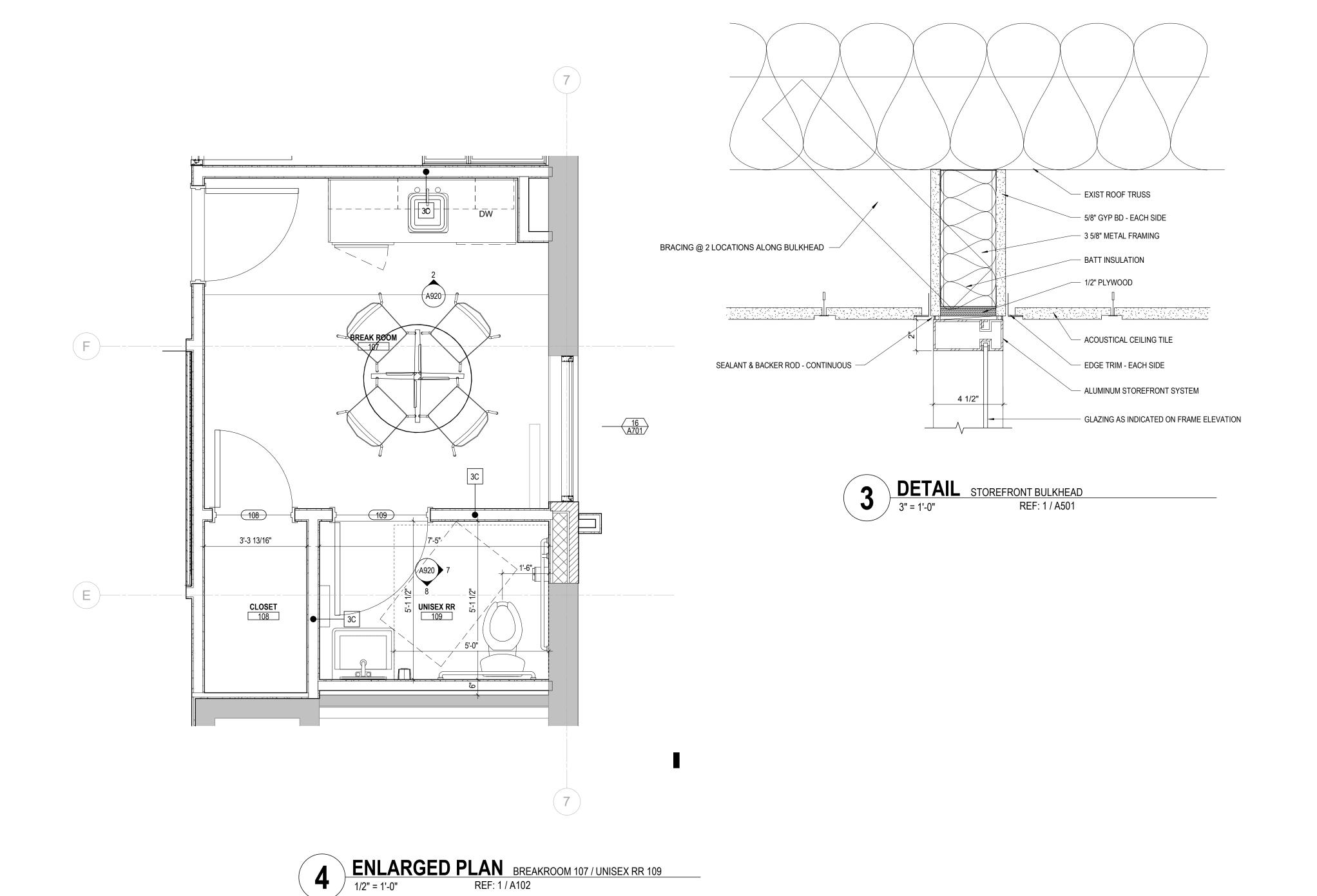
SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 461-4664 FAX: (614) 280-8881

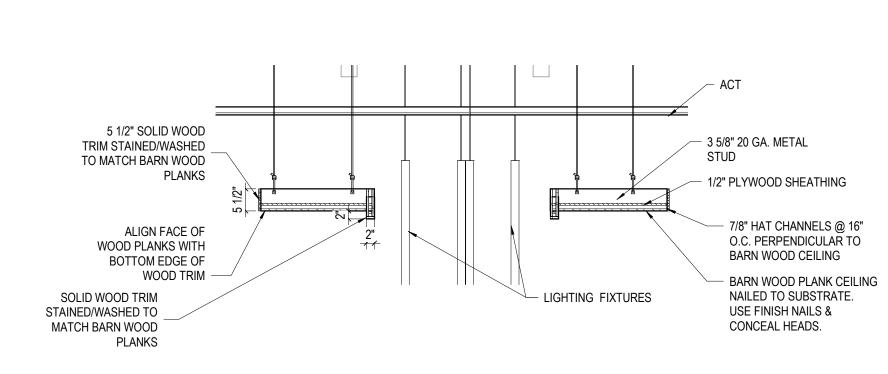
**DOOR & WINDOW DETAILS** 

**PROGRESS** DRAWING NOT FOR CONSTRUCTION

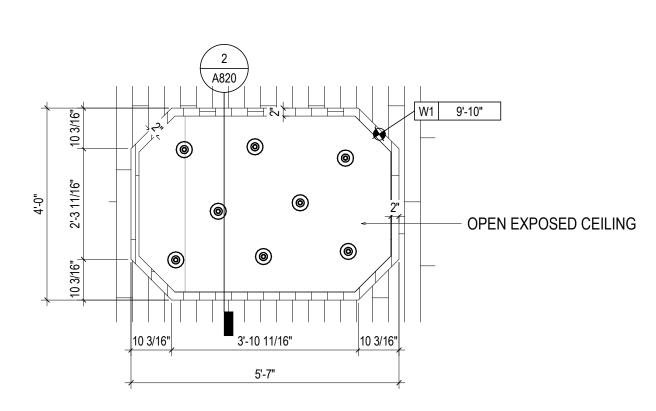
05/12/2021 DRAWN BY: **DCB** CHECKED BY:**PFP** 20022 A702

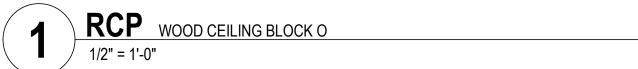












**GENERAL NOTES - MOUNTING HEIGHTS** 

1. H.C. INDICATES HANDICAPPED ACCESSIBLE FIXTURE STD. INDICATES STANDARD FIXTURE
PK-K INDICATES FIXTURE INTENDED FOR PRE-KINDERGARTEN THROUGH

KINDERGARTEN STUDENTS **ELEM.** INDICATES FIXTURE INTENDED FOR ELEMENTARY SCHOOL STUDENTS MIDDLE INDICATES FIXTURE INTENDED FOR MIDDLE SCHOOL STUDENTS ADULT INDICATES FIXTURE INTENDED FOR HIGH SCHOOL STUDENTS AND/OR

GENERAL CONTRACTOR SHALL COORDINATE TOILET FIXTURE LOCATIONS WITH PLUMBING CONTRACTOR WITH RESPECT TO FLUSH VALVE

HEIGHT AND HORIZONTAL LOCATION VS. GRAB BAR LOCATIONS.

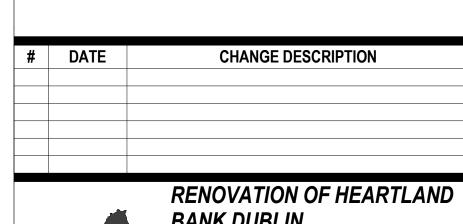
NOTE: GRAB BAR HEIGHT IS BASED ON ADAAG AND CANNOT BE CHANGED TOP OF SEAT HEIGHT IS BASED ADAAG AND CANNOT BE CHANGED

3. ALL MOUNTING HEIGHTS ARE ABOVE FINISH FLOOR (CRITICAL FOR ADA COMPLIANCE)

4. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL (CRITICAL FOR ADA COMPLIANCE)

PLUMBING DRAWINGS FOR EXACT FIXTURE

5. ALL DIMENSIONS TO CONTROLS ARE TO TOP OF BUTTON, LEVER OR KNOB 6. WHERE TOILET IS INDICATED TO BE "WALL HUNG OR FLOOR MTD" REFER TO





BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR **HEARTLAND BANK** 



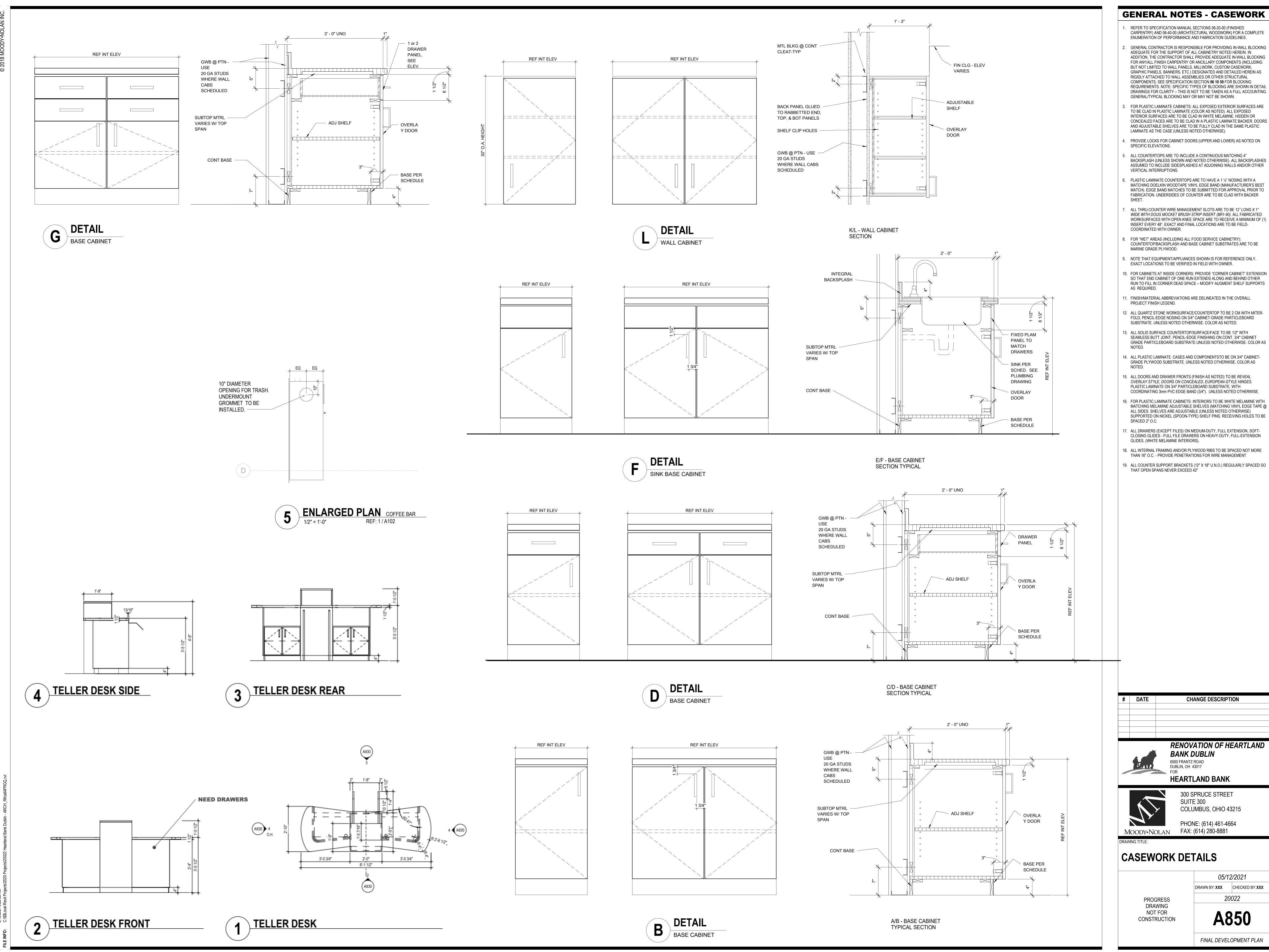
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

**INTERIOR DETAILS & MOUNTING HEIGHTS** 

PROGRESS DRAWING NOT FOR CONSTRUCTION

DRAWN BY: XXX CHECKED BY: XXX 20022 A820

05/12/2021



**GENERAL NOTES - CASEWORK** 

REFER TO SPECIFICATION MANUAL SECTIONS 06-20-00 (FINISHED CARPENTRY) AND 06-40-00 (ARCHITECTURAL WOODWORK) FOR A COMPLETE ENUMERATION OF PERFORMANCE AND FABRICATION GUIDELINES.

2. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING ADEQUATE FOR THE SUPPORT OF ALL CABINETRY NOTED HEREIN. IN ADDITION. THE CONTRACTOR SHALL PROVIDE ADEQUATE IN-WALL BLOCKING FOR ANY/ALL FINISH CARPENTRY OR ANCILLARY COMPONENTS (INCLUDING BUT NOT LIMITED TO WALL PANELS, MILLWORK, CUSTOM CASEWORK, GRAPHIC PANELS, BANNERS, ETC.) DESIGNATED AND DETAILED HEREIN AS RIGIDLY ATTACHED TO WALL ASSEMBLIES OR OTHER STRUCTURAL COMPONENTS. SEE SPECIFICATION SECTION 06 10 50 FOR BLOCKING REQUIREMENTS. NOTE: SPECIFIC TYPES OF BLOCKING ARE SHOWN IN DETAIL DRAWINGS FOR CLARITY - THIS IS NOT TO BE TAKEN AS A FULL ACCOUNTING.

. FOR PLASTIC LAMINATE CABINETS: ALL EXPOSED EXTERIOR SURFACES ARE TO BE CLAD IN PLASTIC LAMINATE (COLOR AS NOTED). ALL EXPOSED INTERIOR SURFACES ARE TO BE CLAD IN WHITE MELAMINE. HIDDEN OR CONCEALED FACES ARE TO BE CLAD IN A PLASTIC LAMINATE BACKER. DOORS AND ADJUSTABLE SHELVES ARE TO BE FULLY CLAD IN THE SAME PLASTIC LAMINATE AS THE CASE (UNLESS NOTED OTHERWISE).

4. PROVIDE LOCKS FOR CABINET DOORS (UPPER AND LOWER) AS NOTED ON SPECIFIC ELEVATIONS.

5. ALL COUNTERTOPS ARE TO INCLUDE A CONTINUOUS MATCHING 4" BACKSPLASH (UNLESS SHOWN AND NOTED OTHERWISE). ALL BACKSPLASHES ASSUMED TO INCLUDE SIDESPLASHES AT ADJOINING WALLS AND/OR OTHER VERTICAL INTERRUPTIONS.

6. PLASTIC LAMINATE COUNTERTOPS ARE TO HAVE A 1 ½" NOSING WITH A MATCHING DOELKIN WOODTAPE VINYL EDGE BAND (MANUFACTURER'S BEST MATCH). EDGE BAND MATCHES TO BE SUBMITTED FOR APPROVAL PRIOR TO

FABRICATION. UNDERSIDES OF COUNTER ARE TO BE CLAD WITH BACKER

WORKSURFACES WITH OPEN KNEE SPACE ARE TO RECEIVE A MINIMUM OF (1) INSERT EVERY 48". EXACT AND FINAL LOCATIONS ARE TO BE FIELD-COORDINATED WITH OWNER. 8. FOR "WET" AREAS (INCLUDING ALL FOOD SERVICE CABINETRY):

COUNTERTOP/BACKSPLASH AND BASE CABINET SUBSTRATES ARE TO BE MARINE GRADE PLYWOOD. 9. NOTE THAT EQUIPMENT/APPLIANCES SHOWN IS FOR REFERENCE ONLY.

10. FOR CABINETS AT INSIDE CORNERS: PROVIDE "CORNER CABINET" EXTENSION SO THAT END CABINET OF ONE RUN EXTENDS ALONG AND BEHIND OTHER

RUN TO FILL IN CORNER DEAD SPACE - MODIFY AUGMENT SHELF SUPPORTS AS REQUIRED. 11. FINISH/MATERIAL ABBREVIATIONS ARE DELINEATED IN THE OVERALL

PROJECT FINISH LEGEND.

FOLD, PENCIL-EDGE NOSING ON 3/4" CABINET-GRADE PARTICLEBOARD SUBSTRATE. UNLESS NOTED OTHERWISE. COLOR AS NOTED. 13. ALL SOLID SURFACE COUNTERTOP/SURFACE/FACE TO BE 1/2" WITH

14. ALL PLASTIC LAMINATE CASES AND COMPONENTSTO BE ON 3/4" CABINET-GRADE PLYWOOD SUBSTRATE. UNLESS NOTED OTHERWISE. COLOR AS

15. ALL DOORS AND DRAWER FRONTS (FINISH AS NOTED) TO BE REVEAL OVERLAY STYLE, DOORS ON CONCEALED, EUROPEAN-STYLE HINGES.

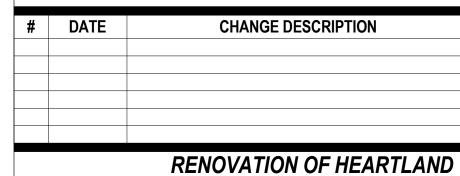
COORDINATING 3mm PVC EDGE BAND (3/4"). UNLESS NOTED OTHERWISE. MATCHING MELAMINE ADJUSTABLE SHELVES (MATCHING VINYL EDGE TAPE @ ALL SIDES. SHELVES ARE ADJUSTABLE (UNLESS NOTED OTHERWISE) SUPPORTED ON NICKEL (SPOON-TYPE) SHELF PINS. RECEIVING HOLES TO BE

SPACED 2" O.C. 17. ALL DRAWERS (EXCEPT FILES) ON MEDIUM-DUTY, FULL EXTENSION, SOFT-CLOSING GLIDES - FULL FILE DRAWERS ON HEAVY-DUTY, FULL-EXTENSION

GLIDES. (WHITE MELAMINE INTERIORS). 18. ALL INTERNAL FRAMING AND/OR PLYWOOD RIBS TO BE SPACED NOT MORE

THAN 16" O.C. - PROVIDE PENETRATIONS FOR WIRE MANAGEMENT

19. ALL COUNTER SUPPORT BRACKETS (12" X 18" U.N.O.) REGULARLY SPACED SO THAT OPEN SPANS NEVER EXCEED 42"





**BANK DUBLIN** 6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



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### **CASEWORK DETAILS**

**PROGRESS** DRAWING NOT FOR CONSTRUCTION

DRAWN BY: XXX CHECKED BY: XXX 20022 A850

05/12/2021

PLAN BASEMENT - FINISH PLAN

1/4" = 1'-0"

FINISH LEGEND

**FLOORS** 

SC-1 SEALED CONCRETE 1 - SEE SPECS

<u>Luxury Vinyl Tile</u> LVT-1 INTERFACE - BRUSHED LINES, SANDALWOOD 25CMX1M

Porcelain Tile Floor (PTF)

PTF-1: CAESAR ONE CEMENT 30X30 MATTE RECTIFIED USE GT-1

PTF-2: CAESAR ONE CEMENT 12X24 MATTE RECTIFIED USE GT-1

Carpet (CR) \*INSTALL 1/3 OFFSET ASHLAR

Carpet (CR) \*INSTALL 1/3 OFFSET ASHLAR

CR-1: INTERFACE - HUMAN NATURE COLLECTION - HN850 NICKEL

CR-2: EQUAL MIX OF CR-1 AND: INTERFACE - HUMAN NATURE

COLLECTION - HN 810 NICKEL

CR-3: INTERFACE - HUMAN NATURE COLLECTION - CLEMENTINE

CR-4: INTERFACE - HUMAN NATURE COLLECTION - COBALT

CR-5: INTERFACE ABOVE BOARD COLOR: BIRCH

WALKOFF CARPET (WO)

WO-1: SHAW CONTRACT GROUP - STEPPIN OUT - BONJOUR II - COLOR:

RUBBER STAIRS (RF)
TARKETT - BAMBOO - 71 STORM CLOUD - BLACK GRIT TAPE - INTEGRATED TREADS AND RISERS

Rubber Base (RB) \*RB-1 ON ALL ROOMS U.N.O.

RB-1 TARKETT - 3" MILLWORK OBLIQUE PROFILE BASE - STRAIGHT:
COLOR: MOONROCK

Porcelain Tile Base (PTB)
PTB-1 TO MATCH PTF-1

WALLS

Reclaimed Wood Wall and Ceiling - (WD)

WD-1: OLDE WOOD - DISTRESSED COLLECTION - ANTIQUE BARN SIDING - CREME

Ceramic Wall Tile (CT)

CT-1 COLOR BY NUMBER - 3X8 WHITE - GT-2
CT-2: DALTILE RETRO ROUNDS MOSAIC: COBALT BLUE USE GT-2

\*ALL TILE WALLS TO BE FULL HEIGHT FLOOR TO CEILING. U.N.O.

Paint (PT)

PT.1: PAINT ALL WALLS PT-1 U.N.O.

REN IAMIN MODE: SUPER WHITE B

PT-1: BENJAMIN MORE: SUPER WHITE PM-1
PT-2: SHERWIN WILLIAMS: LAZY GRAY SW6254
PT-3: BENJAMIN MORE: CHELSEA GRAY

Vinyl Wallcovering (WC)

WC-1: DL COUCH: STACY GARCIA HIGHLIGHTS COLOR: COBALT
WC-2: MAHARAM - HITCH; COLOR: MIMOSA

MISCELLANEOUS

Plastic Laminate (PL) \*INSTALL PATETRN VERTICAL U.N.O.

PL-1: WILSONART: ASIAN NIGHT
PL-2: WILSONART SHADOW ZEPHYR MATTE FINISH

Solid Surface (SS)

SS-1: CORIAN: GLACIER WHITE

Grout (GT) \*USE GT-1 U.N.O.)
GT-1: BOSTIK - COLOR: BUFF H188

SS-2: SILESTONE COLOR: WHITE STORM

GT-2: BOSTICK BRIGHT WHITE H177

Floor Transition Strip
Schluter®-SCHIENE - METAL TRANSITION STRIP BETWEEN PORCELAIN TILE
AND CARPET.

Corner Guards (CG)
USE STAINLESS STEEL CORNER GUARDS. 8' HIGH PLACED ABOVE WALL

USE FRY REGLET WALL COVERING CORNER GUARD TRIM @ WALLCOVERING EXTERNAL CORNERS. FULL HEIGHT OF WALL.

Floor: CR-5/RF-1 Base: RB1 Walls: PT1 **REMARKS:PAINT** Floor: CR1 **HANDRAILS PT-2** (H)Base: RB1 REMARKS:TELLER Floor: CR1,4 STATION: SS-1 C-TOP, PL-1 CABS Base: RB1 Walls: PT2 office
106
Floor: CR1
Base: RB1
Walls: PT2 Floor: LVT1 /Base: RB1/ Walls: PT2 REMARKS:PL-2 C-TOPS, PL-1 CABS A920 5 ENTRY VESTIBULE PTF-1 ALIGN WOOD WALL W VESTIBULE AND CEILING CLOUD lase: PTB1 OPENING FOR Floor: PTF1 TRASH. Base: PTB1 GROMMET **REMARKS:BAR-SS-2 INSTALLED ON** C-TOPS, PL-1 CABS TOP OF COUNTER TOP. Base: RB1 Walls: PT1 REMARKS:PAINT **CEILING PT1** office
114
Floor: CR2
Base: RB1 Floor: CR2 Base: RB1 Walls: PT2/ Floor: CR5 Walls: PT2 Floor: CR-5/RF-1 Base: RB1 =Base: RB1= Walls: PT1 Walls: PT1 REMARKS:PAINT

**ATM**113

1 PLAN FIRST FLOOR - FINISH PLAN
1/4" = 1'-0"

GENERAL NOTES - FINISH PLANS

- STANDARDS AND PROCEDURES FOR THE PREPARATION AND APPLICATION OF INTERIOR FINISHES ARE DEFINED IN THE PROJECT MANUAL. FINISH (SUB) CONTRACTORS ARE REQUIRED TO READ, UNDERSTAND AND FOLLOW ALL RELEVANT SECTIONS OF THE PROJECT MANUAL.
- 2. FINISH MATERIALS ARE LISTED IN THE LEGEND COMPONENT OF THE FINISH SCHEDULE. SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE TWO SHOULD BE BROUGHT
- 3. NO FINISH MATERIAL SUBSTITUTIONS WILL BE ACCEPTED EXCEPT IN THE SPECIFIC CIRCUMSTANCES ENUMERATED IN THE PROJECT MANUAL.

TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

- 4. PAINTED HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE. MATERIAL, FINISH AND COLOR INFORMATION FOR ALL OTHER DOORS AND FRAMES IS CONTAINED IN THE DOOR SCHEDULE AND ITS ASSOCIATED LEGENDS. IF WALLS ON OPPOSITE SIDES OF DOOR FRAME ARE DIFFERENT COLORS THE PAINT COLORS SHOULD BE SPLIT AT THE JAMB OF THE FRAME.
- . ALL VERTICAL TRANSITIONS BETWEEN DIFFERING WALL FINISHES ARE TO BE MADE AT INSIDE CORNERS (UNLESS NOTED OTHERWISE).
- 6. FLOORING MATERIAL DESIGNATED FOR STAIRS IS TO INCLUDE STAIR AND ALL ASSOCIATED TREADS, RISERS, LANDINGS, ETC. (UNLESS NOTED OTHERWISE).
- 7. PAINT DESIGNATED FOR METAL STAIR COMPONENTS IS TO INCLUDE ALL EXPOSED METAL COMPONENTS ASSOCIATED WITH THE STAIR SYSTEM ITSELF, ALL EXPOSED STRUCTURAL STEEL COMPONENTS SUPPORTING THE STAIR SYSTEM (UNLESS NOTED OTHERWISE), AND ALL EXPOSED METAL COMPONENTS OF THE HANDRAIL AND GUARDRAIL SYSTEMS (UNLESS NOTED OTHERWISE). UNDERSIDES OF STAIR RUNS AND LANDINGS ARE CONSIDERED "EXPOSED" IN ALL SITUATIONS.
- 8. FOR CLARITY, SOME FINISH INFORMATION HAS BEEN PRESENTED GRAPHICALLY IN THE FORM OF FINISH AND FLOORING PLANS. SHOULD THERE BE A DISCREPANCY BETWEEN THE FINISH SCHEDULE AND THESE PLANS, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. FOR THE PURPOSE OF BIDDING, INFORMATION DETAILED ON THE FINISH FLOOR PLANS AND FLOORING PLANS IS TO TAKE PRECEDENCE OVER THE FINISH SCHEDULE UNTIL FURTHER CLARIFICATION CAN BE GIVEN. FOR AREAS NOT SPECIFICALLY DETAILED ON THESE PLANS, THE FINISH SCHEDULE PERTAINS.
- 9. PAINT DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE AFOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
- 10. WHERE RESILIENT BASE IS SPECIFIED (VINYL OR RUBBER) PROVIDE COVE PROFILE BASE AT ALL RESILIENT FLOORS AND STRAIGHT BASE FOR ALL CARPET AREAS (UNLESS OTHERWISE NOTED). HEIGHT AND COLOR TO BE AS INDICATED ON FINISH LEGEND.
- REFER TO REFLECTED CEILING PLANS AND SPECIFICATION MANUAL FOR ALL CEILING MATERIAL AND FINISH INFORMATION.
   ALL DRYWALL SOFFITS TO BE PAINTED FLAT CEILING WHITE UNLESS NOTED
- OTHERWISE ON CEILING PLANS.

  13. CERAMIC WALL TILE TO EXTEND FULL WIDTH AND FULL HEIGHT FOR ANY AND
- 14. FOR EPOXY OR INTUMESCENT PAINT COLOR REFER TO PAINT SCHEDULE

ALL SCHEDULED TILED WALLS (UNLESS NOTED OTHERWISE).

DETAILS AND NOTES FOR SPECIFIC INFORMATION.

- 15. WITHIN FINISH SCHEDULE CELLS: SLASH MARKS INDICATE DIFFERENCES IN FINISH MATERIAL WHILE COMMAS INDICATE DIFFERENCES IN PATTERN OR
- COLOR WITHIN A SPECIFIC MATERIAL.

  16. APPROPRIATE METAL OR VINYL TRANSITION STRIPS MUST BE PROVIDED AT ALL FINISH MATERIAL FLOORING CHANGES. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FLOORING TRANSITIONS AND AREAS IN WHICH FLOORING PATTERNS ARE SHOWN. SEE FLOOR FINISH PLANS,
- 7. WALL PAINT INDICATED FOR CURTAIN WALL LOCATIONS APPLIES TO ALL ASSOCIATED DRYWALL COMPONENTS (CURBS, HEADERS, BULKHEADS, ETC.) AND SHOULD NOT BE INTERPRETED AS APPLYING TO CURTAIN WALL COMPONENTS OR GLASS.
- 18. FLOORING CONTRACTOR(S) IS RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS WITH ALL/ANY FLOOR MOUNTED COMPONENTS (RECEPTACLES, ACCESS PANELS, ETC.) SO THAT COMPONENTS ARE INTEGRATED AND FLUSH.

DATE CHANGE DESCRIPTION



HEARTLAND BANK

300 SPRUCE STREET

Moody-Nolan

SUITE 300 COLUMBUS, OHIO 43215

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FINISH PLANS AND LEGEND

PROGRESS DRAWING NOT FOR CONSTRUCTION 05/12/2021
DRAWN BY: XXX CHECKED BY: XXX
20022

A901

4 ELEVATION OFFICES 114, 115
3/8" = 1'-0" REF: 1 / A10

### GENERAL NOTES - CASEWORK

- 1. REFER TO SPECIFICATION MANUAL SECTIONS 06-20-00 (FINISHED CARPENTRY) AND 06-40-00 (ARCHITECTURAL WOODWORK) FOR A COMPLETE ENUMERATION OF PERFORMANCE AND FABRICATION GUIDELINES.
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING ADEQUATE FOR THE SUPPORT OF ALL CABINETRY NOTED HEREIN. IN ADDITION, THE CONTRACTOR SHALL PROVIDE ADEQUATE IN-WALL BLOCKING FOR ANY/ALL FINISH CARPENTRY OR ANCILLARY COMPONENTS (INCLUDING BUT NOT LIMITED TO WALL PANELS, MILLWORK, CUSTOM CASEWORK, GRAPHIC PANELS, BANNERS, ETC.) DESIGNATED AND DETAILED HEREIN AS RIGIDLY ATTACHED TO WALL ASSEMBLIES OR OTHER STRUCTURAL COMPONENTS. SEE SPECIFICATION SECTION **06 10 50** FOR BLOCKING REQUIREMENTS. NOTE: SPECIFIC TYPES OF BLOCKING ARE SHOWN IN DETAIL DRAWINGS FOR CLARITY – THIS IS NOT TO BE TAKEN AS A FULL ACCOUNTING.
- GENERAL/TYPICAL BLOCKING MAY OR MAY NOT BE SHOWN. 3. FOR PLASTIC LAMINATE CABINETS: ALL EXPOSED EXTERIOR SURFACES ARE TO BE CLAD IN PLASTIC LAMINATE (COLOR AS NOTED). ALL EXPOSED INTERIOR SURFACES ARE TO BE CLAD IN WHITE MELAMINE. HIDDEN OR CONCEALED FACES ARE TO BE CLAD IN A PLASTIC LAMINATE BACKER. DOORS AND ADJUSTABLE SHELVES ARE TO FULLY CLAD IN THE SAME PLASTIC LAMINATE AS THE CASE (UNLESS NOTED OTHERWISE).
- 4. PROVIDE LOCKS FOR CABINET DOORS (UPPER AND LOWER) AS NOTED ON SPECIFIC ELEVATIONS. 5. ALL COUNTERTOPS ARE TO INCLUDE A CONTINUOUS MATCHING 4"
- BACKSPLASH (UNLESS SHOWN OTHERWISE). ALL BACKSPLASHES ASSUMED TO INCLUDE SIDESPLASHES AT ADJOINING WALLS AND/OR OTHER VERTICAL INTERRUPTIONS.
- 6. PLASTIC LAMINATE COUNTERTOPS ARE TO HAVE A 1 ½" NOSING WITH A MATCHING DOELKIN WOODTAPE VINYL EDGE BAND (MANUFACTURER'S BEST MATCH). EDGE BAND MATCHES TO BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION. UNDERSIDES OF COUNTER ARE TO BE CLAD WITH BACKER
- 7. ALL THRU-COUNTER WIRE MANAGEMENT SLOTS ARE TO BE 12" LONG X 1" WIDE WITH DOUG MOCKET BRUSH STRIP INSERT (BR1-90). ALL FABRICATED WORKSURFACES WITH OPEN KNEE SPACE ARE TO RECEIVE A MINIMUM OF (1)
- INSERT EVERY 48". EXACT AND FINAL LOCATIONS ARE TO BE FIELD-COORDINATED WITH OWNER. 8. FOR "WET" AREAS: COUNTERTOP/BACKSPLASH SUBSTRATE TO BE MARINE
- GRADE MDF. 9. ALL SHELVES ARE ADJUSTABLE (UNLESS NOTED OTHERWISE) SUPPORTED ON NICKEL (SPOON-TYPE) SHELF PINS. RECEIVING HOLES TO BE SPACED 2" O.C. 10. NOTE THAT EQUIPMENT/APPLIANCES SHOWN WITH DOTTED IN LINES IS FOR
- REFERENCE ONLY, EXACT LOCATIONS TO BE VERIFIED IN FIELD WITH OWNER. 11. FOR CABINETS AT INSIDE CORNERS: PROVIDE "CORNER CABINET" EXTENSION SO THAT END CABINET OF ONE RUN EXTENDS ALONG AND BEHIND OTHER RUN TO FILL IN CORNER DEAD SPACE - MODIFY AUGMENT SHELF SUPPORTS
- AS REQUIRED. 12. FINISH/MATERIAL ABBREVIATIONS ARE DELINEATED IN THE OVERALL PROJECT FINISH LEGEND.

PULL A: RESTORATION HARDWARE - ASBURY PULL - SATIN NICKLE 4"

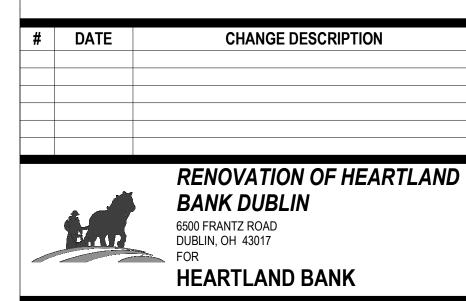
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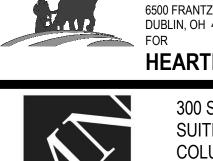
B36

- WIDTH (U.N.O.) REFER TO SHEETS A850

**CODED NOTES - ELEVATIONS** 

- . UNDERCOUNTER FRIDGE / DISHWASHER PROVIDED AND INSTALLED BY CONTRACTOR. COORDINATE DIMENSIONS WITH SPECIFIED PRODUCT AND
- ADJUST CABINETS ACCORDINGLY. APPLIANCES TO MEET ADA COUNTER
- 2. DASHED LINE REPRESENTS TRASH RECEPTACLE INSIDE CABINET. PROVIDED BY OWNER.





300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

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6'-2 1/8"

2 ELEVATION BREAKROOM
3/8" = 1'-0" REF: 1 / A10

INTERIOR ELEVATIONS

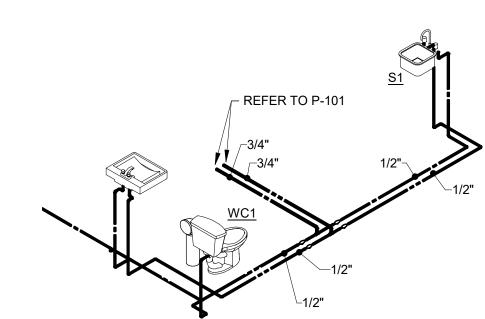
**PROGRESS** DRAWING

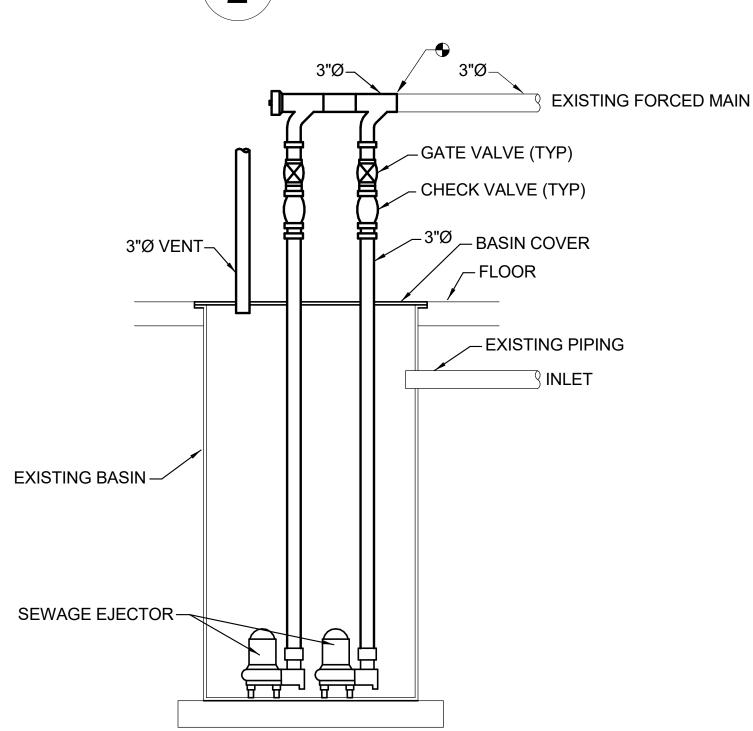
NOT FOR

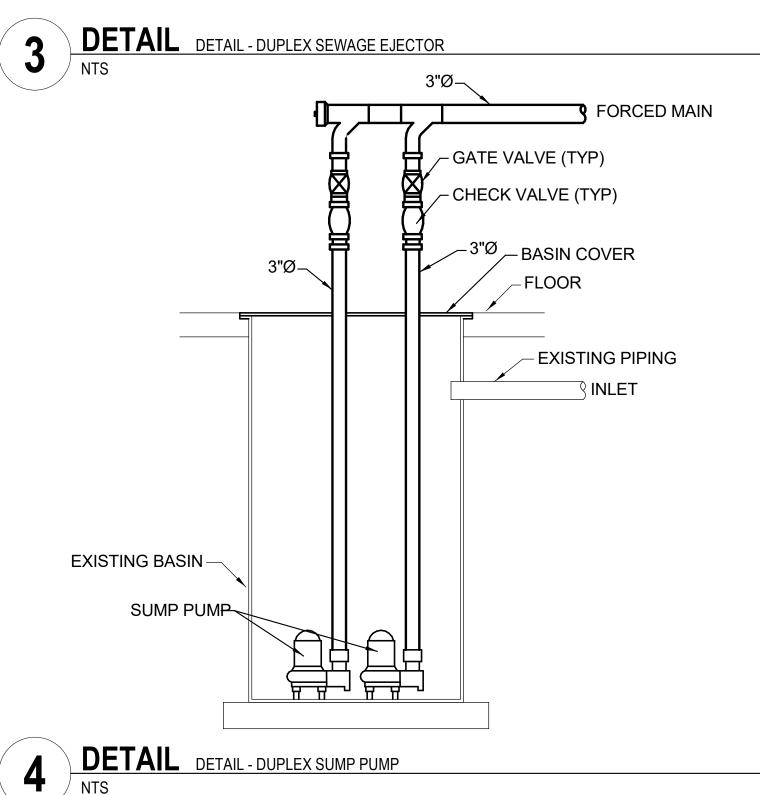
CONSTRUCTION

05/12/2021 DRAWN BY: XXX CHECKED BY: XXX 20022 A920









**ABBREVIATIONS ABBREVIATIONS** NOTE: NOT ALL ABBREVIATIONS MAY BE USED. NOTE: NOT ALL ABBREVIATIONS MAY BE USED. (A) EXISTING TO BE ABANDONED IN INCHES (D) EXISTING TO BE DEMOLISHED INV EL INVERT ELEVATION (E) EXISTING TO REMAIN IW INDIRECT WASTE (F) FUTURE KW KILOWATT (R) EXISTING TO BE RELOCATED L LAVATORY A COMPRESSED AIR (SHOP AIR) LB POUNDS ABV ABOVE LF LINEAR FEET LG LENGTH AE ANESTHESIA EVACUATION AFF ABOVE FINISHED FLOOR LN LIQUID NITROGEN LOX LIQUID OXYGEN AMP AMPERE APPROX APPROXIMATE MA COMPRESSED AIR (MEDICAL GAS) AR ARGON MAX MAXIMUM MECH MECHANICAL ARCH ARCHITECT AUTO AUTOMATIC MFG MANUFACTURER MIN MINIMUM AV ACID VENT AVG AVERAGE MS MOP SINK MV VACUUM (MEDICAL GAS) AW ACID WASTE BF BELOW FLOOR N20 NITROUS OXIDE BFV BUTTERFLY VALVE N NITROGEN BLDG BUILDING N/A NOT APPLICABLE NC NORMALLY CLOSED BOP BOTTOM OF PIPE BT BATHTUB NIC NOT IN CONTRACT CAP CAPACITY NO NORMALLY OPEN CFH CUBIC FEET PER HOUR NO. NUMBER CFM CUBIC FEET PER MINUTE NPW NON-POTABLE WATER CONN CONNECTION OR CONNECT NTS NOT TO SCALE CONT CONTINUATION CS CLINIC SINK OFCI OWNER FURNISHED CONTRACTOR INSTALLED OS&Y OUTSIDE STEM AND YOKE VALVE CU FT | CUBIC FEET CU IN CUBIC INCH PD PUMPED DISCHARGE PLBG PLUMBING D DRAIN DEPT DEPARTMENT PPM PARTS PER MILLION PR FUEL POLISH RETURN DIA DIAMETER DI DEIONIZED WATER PRESS PRESSURE DN DOWN PRV PRESSURE REDUCING VALVE DW DISTILLED WATER PS FUEL POLISH SUPPLY PSI POUNDS PER SQUARE INCH DWG DRAWING E EMERGENCY FIXTURE PSIG PSI GAUGE EL ELEVATION RCP RECIRCULATING PUMP EQUIP EQUIPMENT RD ROOF DRAIN EWC ELECTRIC WATER COOLER RPBP REDUCED PRESSURE BACKFLOW PREVENTER EXH EXHAUST RPM REVOLUTIONS PER MINUTE RO REVERSE OSMOSIS WATER EXP EXPANSION EXIST EXISTING S SINK SEC SECOND °F DEGREES FAHRENHEIT SH SHOWER FD FLOOR DRAIN FIN FL EL FINISHED FLOOR ELEVATION SHT SHEET FOD FUEL OIL DISCHARGE SPEC | SPECIFICATION FOF FUEL OIL FILL SRD SECONDARY ROOF DRAIN FOG FUEL OIL GAUGE LINE STSTL STAINLESS STEEL FOO FUEL OIL OVER FLOW LINE STD STANDARD FOR FUEL OIL RETURN STR STRAINER FOS FUEL OIL SUPPLY SW SOFT POTABLE WATER FOV FUEL OIL TANK VENT TE TOP ELEVATION FT FOOT OR FEET TEMP TEMPERATURE GA GAUGE TMV THERMOSTATIC MIXING VALVE GAL GALLONS TOP OF PIPE GPD GALLONS PER DAY TWS TEMPERED WATER SUPPLY TYP TYPICAL GPH GALLONS PER HOUR GPM GALLONS PER MINUTE UNO UNLESS NOTED OTHERWISE UR URINAL H HYDROGEN HD HEAD V VOLT/VENT HE HELIUM VB VACUUM BREAKER HGT HEIGHT VTR VENT THRU ROOF

W WATER

WC WATER CLOSET WF WASH FOUNTAIN

HP HORSEPOWER

HZ HERTZ

HVAC HEATING, VENTILATING, AND AIR CONDITIONING

PIPING	
————(E)	
(D)	
CW	

DESCRIPTION	2D SYMBOL		/MBOL
DROP		PLAN VIEW	SECTION VIE
RISE	<del></del> 0		
TEE			
CAP			
GLOBE VALVE	×		I.
PLUG VALVE	M		H
SOLENOID VALVE	N N	Ð	
GAS PRESSURE REGULATOR	Ø		
PRESSURE REDUCING VALVE	阕		
OUTSIDE STEM & YOKE VALVE	M		
BUTTERYFLY VALVE	M	Ŧ.	
BALL VALVE	101	r <del>ot</del>	<b>₽</b>
CHECK VALVE	Ź		型
BALANCE VALVE	M	ஷ்	
STRAINER	À		
UNION	ιþi	Ф	Ф
TEMPERATURE & PRESSURE RELIEF VALVE	7-	<b>©</b>	
METER			H
AQUASTAT	<b>\$</b>	<u> </u>	₩
THERMOMETER	Q		
PRESSURE GAUGE WITH STOPCOCK	<b>⊘-)≖</b> ( <b>-</b>		O-I
REDUCED PRESSURE BACKFLOW PREVENT	ER —	pma	
PUMP			
WALL HYDRANT		<b>=</b>	<b>=</b>
HOSE BIBB	Ţ	<b>10</b> -	<b>₽</b>
CLEANOUT	Ilco	þсо	þcο
CLEANOUT AT FLOOR OR AT GRADE	© CO	© CO	₽°°
FLOOR OR AREA DRAIN			=
ROOF DRAIN			
DOWNSPOUT NOZZLE	<del></del>	<del></del>	<u></u>

**GENERAL NOTES:** 

1. PROVIDE NEW DOMESTIC WATER, SANITARY WASTE, STORM DRAINAGE, NATURAL GAS FOR THIS BUILDING. PROVIDE ALL NECESSARY COMPONENTS FOR FULLY OPERATIONAL SYSTEM. INSTALL SYSTEMS IN ACCORDANCE WITH STATE REQUIREMENTS AND LOCAL AUTHORITY HAVING JURISDICTION.COORDINATE THE LOCATION OF ALL UTILITY CONNECTION POINTS, FLOOR DRAINS AND HUB DRAINS FOR EQUIPMENT WITH OTHER TRADES.

2. ALL FLOOR PENETRATIONS TO BE SEALED WATER TIGHT AND COMPLETELY PACKED WITH FIRE STOP MATERIAL BY TRADE CONTRACTORS.

3. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO SHOW THE EXACT LOCATIONS OF COMPONENTS, NOR SHOW ALL SYSTEM COMPONENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL OFFSETS OR FITTINGS REQUIRED FOR PROPER INSTALLATION, COORDINATION WITH OTHER TRADES, AND/OR TO MAINTAIN PROPER CLEARANCES.

4. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE CONCERNING EXISTING AND NEW WORK BEFORE PROCEEDING WITH EITHER FABRICATION OR INSTALLATION IN MECHANICAL AREAS WITH NUMEROUS OBSTRUCTIONS INCLUDING DUCTWORK, EQUIPMENT AND PIPING. THIS WILL REQUIRE ON SITE

CUTTING AND VERIFICATION. 5. ANY INFORMATION CONFLICTS BETWEEN THE SPECIFICATIONS AND DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS'S ATTENTION. THE CONTRACTOR(S) SHALL NOT PROCEED WITH ANY WORK, EXCEPT AT THEIR OWN RISK, UNTIL CLARIFICATIONS OF THE CONFLICTS ARE ISSUED TO THE CONTRACTOR(S) BY THE

6. ALL MATERIAL AND LABOR SHALL BE UNDER WARRANTY FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. ANY NEW DEVICES OR

EQUIPMENT FOUND FAULTY SHALL BE REPLACED AS PART OF THE WARRANTY. 7. A SET OF APPROVED DRAWINGS SHALL BE MAINTAINED ON SITE AND ALL FIELD CHANGES SHALL BE RED LINED ON THE DRAWINGS. CONTRACTOR SHALL PREPARE "AS-BUILT" DRAWINGS IN ELECTRONIC (AUTOCAD) FORMAT,

REFLECTING ACCURATE FIELD CONDITIONS. 8. ALL PENETRATIONS THROUGH FIRE RESISTANCE RATED CONSTRUCTION SHALL BE PROVIDED A UL LISTED THROUGH PENETRATION FIRESTOP ASSEMBLY. THE RATINGS OF ALL FIRESTOP ASSEMBLIES SHALL BE GREATER THAN OR EQUAL TO THE RATING OF THE PENETRATED BARRIER.

9. CORE DRILL PENETRATIONS IN CONCRETE FLOORS OR WALLS 1-2 INCHES LARGER THAN THE PIPE DIAMETER OF THE PENETRATING PIPE. 10. DUCTWORK, PIPING, MECHANICAL EQUIPMENT AND CEILINGS SHALL NOT BE USED

AS LADDERS, SCAFFOLDING OR WORK PLATFORMS. 11. NO STRUCTURAL MEMBERS SHALL BE CUT, DRILLED, OR BURNED WITHOUT THE KNOWLEDGE AND WRITTEN APPROVAL OF THE OWNER.

12. EQUIPMENT, MATERIALS, INSTALLATION WORKMANSHIP, EXAMINATION AND TESTING SHALL BE IN ACCORDANCE WITH CURRENT PLUMBING CODE. INSTALL PIPING STRAIGHT AND TRUE TO BEAR EVENLY ON HANGARS AND SUPPORTS. PIPE SHALL NOT INTERFERE WITH OTHER EQUIPMENT AND CONSTRUCTION. 13. CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL CONFLICTS WITH LIGHTING FIXTURES, DIFFUSERS, GRILLES, DUCTS, STRUCTURAL MEMBERS,

MECHANICAL EQUIPMENT AND PIPES. 14. NO FABRICATION OR INSTALLATION IS ALLOWED WITHOUT APPROVED SHOP

15. CONTRACTOR SHALL SUBMIT SYSTEM CATALOG PRODUCT DATA SHEETS OF ALL COMPONENTS PROPOSED FOR USE PRIOR TO INSTALLATION FOR APPROVAL. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.

16. ALL MATERIALS AND EQUIPMENT SHALL BE NEW. 17. PIPING SHALL NOT SHARE SUPPORTS WITH OTHER BUILDING SYSTEMS. IN MECHANICAL AREAS, PIPING SHALL NOT BE ATTACHED TO THE DUCT WORK. STANCHIONS SHALL BE USED WHERE PIPING IS UNABLE TO BE HUNG FROM

18. PIPING IN AREAS WITH FINISHED CEILINGS SHALL BE INSTALLED ABOVE FINISHED

19. CONTRACTOR SHALL PROVIDE LABELS (WITH FLOW ARROWS) FOR ALL PIPING. 20. PIPING SHALL NOT BE INSTALLED PASSING THROUGH ELECTRICAL ROOMS OR OVER ELECTRICAL PANELS / EQUIPMENT WHICH SERVES OTHER AREAS. COORDINATE THE LOCATION OF ALL PIPING WITH ELECTRICAL EQUIPMENT AND

OTHER TRADES AND ADJUST AS NECESSARY. 21. MAKE REASONABLE AND NECESSARY MODIFICATIONS IN LAYOUTS AND COMPONENTS NEEDED TO PREVENT CONFLICTS WITH WORK OF OTHER TRADES

AND TO COORDINATE IN ACCORDANCE WITH SPECIFICATIONS. 22. MAINTAIN MAXIMUM HEADROOM AT ALL LOCATIONS. ALL PIPING TO BE AS TIGHT TO THE UNDERSIDE OF DECK AS POSSIBLE. AL EXPOSED PIPING SHALL BE APPROVED BY ARCHITECT AND SHALL MAINTAIN REQUIRED CLEARANCES.

### WATER HAMMER ARRESTOR SCHEDULE

TAG	INLET PIPE SIZE	FIXTURE UNIT RATING	REMARKS
Α	3/4"	1 - 11	PDI CERTIFIED
В	1"	12 - 32	PDI CERTIFIED
С	1"	33 - 60	PDI CERTIFIED
D	1"	61 - 113	PDI CERTIFIED
Е	1"	114 - 154	PDI CERTIFIED
F	1"	155 - 330	PDI CERTIFIED

1. INSTALL ARRESTOR IN UPRIGHT POSITION BEFORE LAST FLUSH VALVED FIXTURE AND ON MAIN COLD WATER PIPE HEADER 2. INSTALL SHUT-OFF VALVE BEFORE ARRESTOR

	PLUMBING FIXTURE SCHEDULE		
TAG	FIXTURE DESCRIPTION	MANUFACTURER	MODEL#
WC1	WATER CLOSET: VITREOUS CHINA, CLOSE-COUPLED TANK, PRESSURE ASSISTED, ELONGATED BOWL, LOW-CONSUMPTION 1.6 GPF, JET FLUSH ACTION, FULLY-GLAZED 2-1/8" TRAPWAY, 10"x12" WATER, SURFACE AREA, MEETS ASME FLUSH REQUIREMENTS AT 1.6 GPF.	AMERICAN STANDARD	2462.016
WCI	SEAT: HEAVY WEIGHT AND INJECTION-MOLDED OF SOLID PLASTIC, OPEN FRONT LESS COVER FOR ELONGATED BOWL AND FEATURE EXCLUSIVE, FOUR LARGE MOLDED-IN BUMPERS, CONCEALED CHECK HINGES WITH STAINLESS STEEL POSTS.	CHURCH	295CT
	LAVATORY: 20-1/2" X 18-1/4", VITREOUS CHINA, WALL HUNG, FRONT OVERFLOW, SELF-DRAINING DECK AREA WITH CONTOURED BACK AND SIDE SPLASH SHIELDS, FAUCET LEDGE, FAUCET HOLES ON 4" CENTERS, CONCEALED ARMS SUPPORT.	AMERICAN STANDARD	0355.012
	FAUCET: DECK MOUNTED FAUCET WITH 8" INTEGRAL SPOUT, POLISHED CHROME PLATED FINISH, SOLID BRASS BODY CONSTRUCTION, 0.5 GPM PRESSURE COMPENSATING AERATOR OUTLET, LEVER HANDLES, SECURED COLOR CODED INDEX BUTTONS, 4" CENTERS.	CHICAGO	802-XKABCP
L1	TRIM: SUPPLY PIPE WITH LOOSE KEY STOPS. CAST BRASS P-TRAP WITH CLEAN-OUT. DRAIN WITH CHROME PLATED CAST BRASS SOLID TOP, OPEN GRID, P.O. PLUG. CHROME PLATED BRASS 17 GAUGE TAILPIECE.	MCGUIRE	165LK, 8902, 149
	THEMOSTATIC MIXING VALVE: LEAD-FREE DESIGN, WAX-FILLED THERMOSTAT, ADJUSTABLE SET POINT WITHIN TEMPERATURE RANGE, UNIVERSAL MOUNTING CAPABILITY, INTEGRAL CHECK VALVES AND STRAINER, ASSE 1070 COMPLIANT. SET TO 110°F.	BRADLEY	S59-4000
	CARRIER: LAVATORY SUPPORT WITH CONCEALED ARMS, RECTANGULAR STEEL UPRIGHTS WITH WELDED FEET, CAST IRON ADJUSTABLE HEADERS, CONCEALED ARMS, STEEL SLEEVE, ALIGNMENT TRUSS AND MOUNTING FASTENERS.	ZURN	SERIES Z1200
	SINK: SINGLE BOWL, #18 GAUGE, TYPE 304 NICKEL BEARING STAINLESS STEEL. UNDERCOUNTER MOUNTED. 1-3/4" VERTICAL AND HORIZONTAL RADIUS. BOWL. FULLY UNDERCOATED TO DAMPEN SOUND AND PREVENT CONDENSATION. 3-1/2" DRAIN OPENING.	ELKAY	ELUH1316
S1	FAUCET: DECK MOUNTED 4" WIDESPREAD FAUCET, POLISHED CHROME PLATED FINISH, SOLID BRASS BODY CONSTRUCTION, 8" SWING SPOUT, 0.5 GPM PRESSURE COMPENSATING AERATOR OUTLET, LEVER HANDLES AND SECURED COLOR CODED INDEX BUTTONS.	CHICAGO	895-L8ABCP
	DRAIN WITH NICKEL PLATED BRASS BODY WITH GRID STRAINER, POLISHED FINISH.	ELKAY	LK18
	TRIM: SUPPLY PIPE WITH LOOSE KEY STOPS. CAST BRASS P-TRAP WITH CLEAN-OUT. P.O. PLUG. CHROME PLATED BRASS 17 GAUGE TAILPIECE.	MCGUIRE	165LK, 8912
RD1	LARGE, GENERAL PURPOSE ROOF DRAIN WITH CAST IRON BODY, CAST IRON DOME, BOTTOM OUTLET, ADJUSTABLE EXTENSION SLEEVE, REVERSED COLLAR, FLASHING CLAMP WITH GRAVEL STOP, SUMP RECEIVER, AND UNDERDECK CLAMP. PROVIDE EXPANSION JOINT ON ALL BOTTOM OUTLET ROOF DRAINS. SIZE OF PIPING ON PLAN INDICATES OUTLET SIZE OF ROOF DRAINS.	J.R. SMITH	1015-YC

	PUMP SCHEDULE												
TAG		ELECTRIC		GPM	FEET OF MANUFACTURER		MODEL#	NOTES					
IAG	VOLT	PHASE	HP	GPIVI	HEAD	WANDFACTURER	IVIODEL#	NOTES					
SE1	120	1	1	20	40	ZOELLER	N270	DUPLEX SYSTEM					
SP1	120	1	1	20	40	ZOELLER	N270	DUPLEX SYSTEM					

PLUMBING FIXTURE ROUGH-IN SCHEDULE											
FIXTURE	WASTE	TRAP	VENT	COLD	НОТ						
WC1	4"	INTEGRAL	2"	1/2"	NA						
L1	1-1/2"	1-1/4"x1-1/2"	1-1/2"	1/2"	1/2"						
S1	1-1/2"	1-1/2"x1-1/2"	1-1/2"	1/2"	1/2"						

RAINF	ALL PIF	PE SIZE	- FOR	INFORI	MATION	ONLY						
PIPE SIZING BASED ON LOCAL RAINFALL RATE OF 3 IN/HR (100 YEAR STORM)												
DIDE SIZE (INCHES)	VERTICA	AL DRAIN	1/8 IN/F	T SLOPE	1/-	4 IN/FTSLOPE						
PIPE SIZE (INCHES)	SQFT	GPM	SQFT	GPM	SQFT	GPM						
3	2,788	87	1,763	55	2,532	79						
4	5,769	180	3,686	115	5,224	163						
6	17,244	538	11,026	344	15,609	487						
8	35,801	1,117	22,885	714	32,372	1,010						
10	65,705	2,050	42,019	1,311	59,455	1,855						
12	104,872	3,272	67,083	2,093	94,872	2,960						
15	177,660	5,543	113,654	3,546	160,769	5,016						

Mechanical | Electrical | Plumbing | Fire Protection 1405 Dublin RoadTel: (614) 486-4778 Columbus, Ohio 43215Fax: (614) 486-4082

CHANGE DESCRIPTION RENOVATION OF HEARTLAND **BANK DUBLIN** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 461-4664

DUBLIN, OH 43017

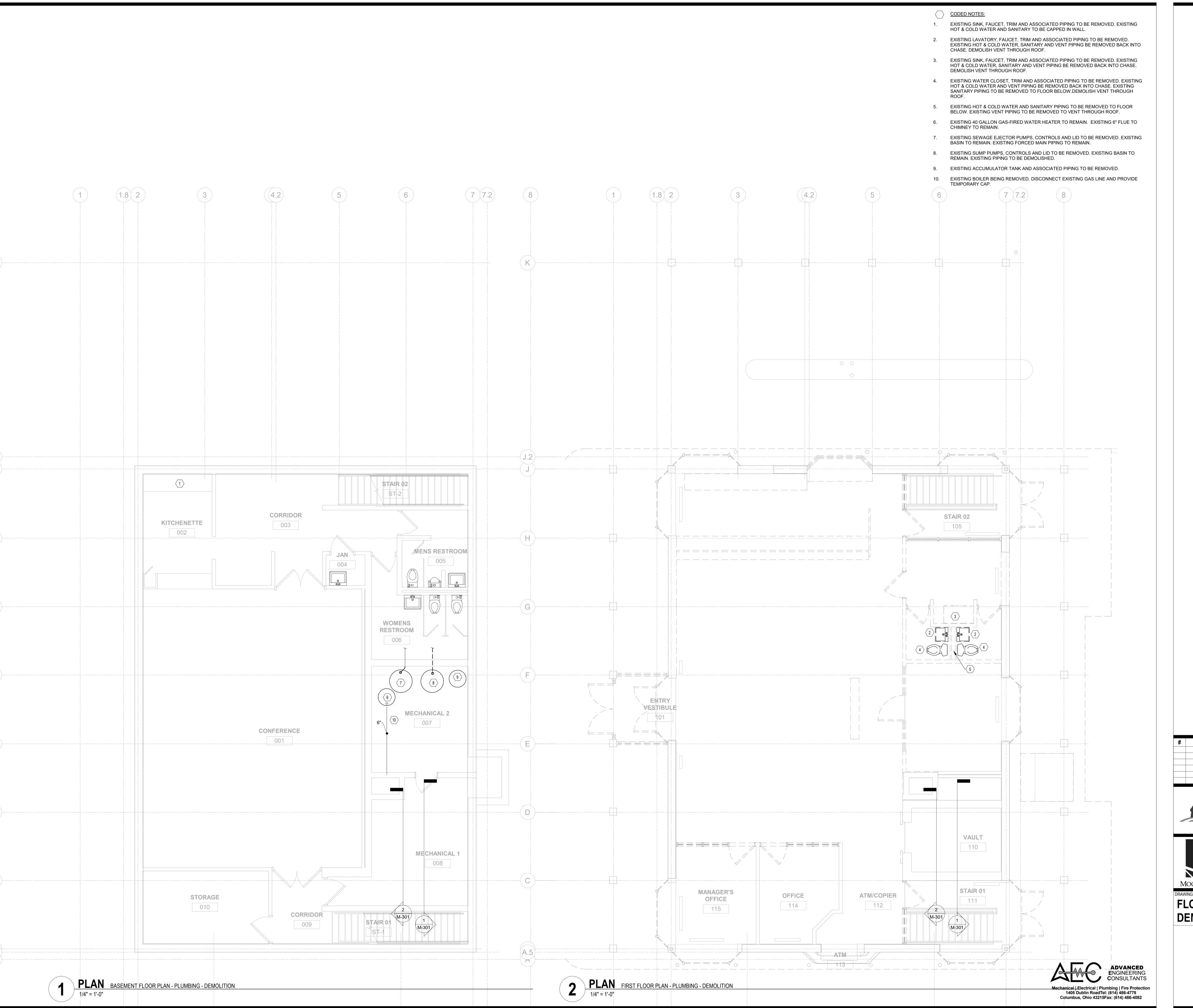
FAX: (614) 280-8881 MOODY•NOLAN **GENERAL INFORMATION -**

**PLUMBING** 05/12/2021

DRAWN BY: Author | CHECKED BY: Checker 20022

FINAL DEVELOPMENT PLAN

P-001



DATE CHANGE DESCRIPTION



RENOVATION OF HEARTLAND
BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

PHONE: (614) 461-4664 MOODY•NOLAN FAX: (614) 280-8881

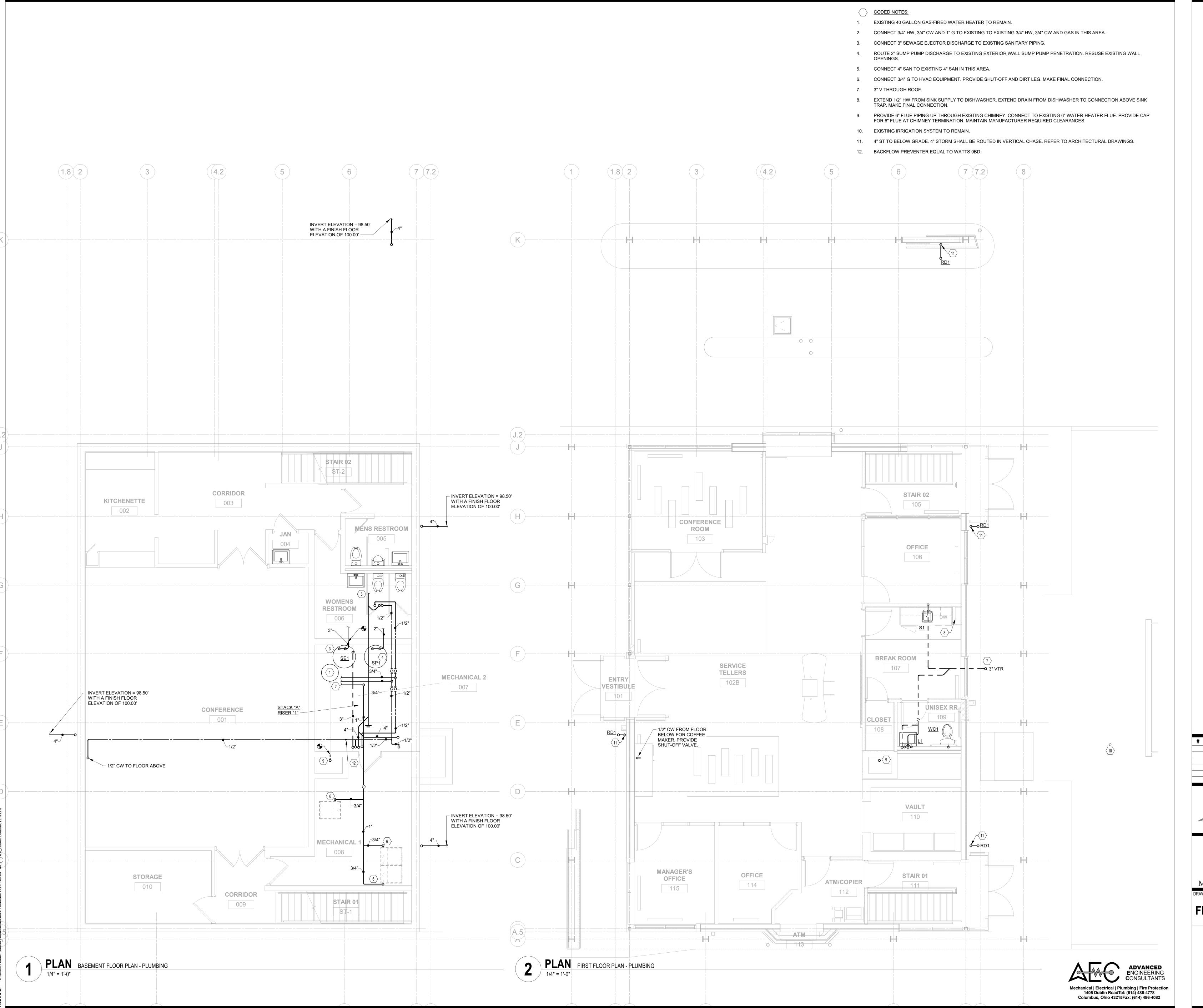
FLOOR PLANS - PLUMBING - DEMOLITION

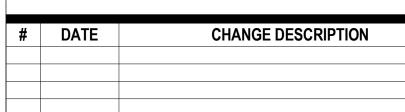
05/12/2021

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20022

PD101







**HEARTLAND BANK** 300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

MOODY•NOLAN

PHONE: (614) 461-4664 FAX: (614) 280-8881

FLOOR PLANS - PLUMBING

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

P-101

	SYMBO	LS LIST	
NOTE: NOT ALL SYMBOLS MAY BE USED.	<u> </u>	LO LIO I	
LINE STYLES		DUC	TWORK
NEW WORK (VISIBLE)		SUPPLY/O.A. DUCT RISE	M 0
NEW WORK (HIDDEN)		(SINGLE LINE)	
EXISTING WORK (VISIBLE)		SUPPLY/O.A. DUCT RISE	M OR TA
EXISTING WORK (HIDDEN)		(DOUBLE LINE)	
EXISTING TO BE DEMOLISHED		SUPPLY/O.A. DUCT DROP	— ] OR —
FUTURE — — —		(SINGLE LINE)	_
PIPING HEATING WATER SUPPLY		SUPPLY/O.A. DUCT DROP (DOUBLE LINE)	
HEATING WATER RETURN	——————————————————————————————————————	RETURN/EXHAUST/RELIEF DUCT	
CHILLED WATER SUPPLY	cws	RISE (SINGLE LINE)	
CHILLED WATER RETURN	CWR	RETURN/EXHAUST/RELIEF DUCT RISE	
CONDENSER WATER SUPPLY		(DOUBLE LINE)	
CONDENSER WATER RETURN	——— CR ———	RETURN/EXHAUST/RELIEF DUCT	— ¬ OR — ¬
COOLING COIL CONDENSATE	c	DROP (SINGLE LINE)	J OK O
REFRIGERANT SUCTION		RETURN/EXHAUST/RELIEF DUCT DROP	OR (2)
REFRIGERANT LIQUID	RL ————————————————————————————————————	(DOUBLE LINE)	
HIGH PRESSURE STEAM HIGH PRESSURE STEAM CONDENSATE	——————————————————————————————————————	FLAT OVAL (DROP OR RISE)	OR OR
LOW PRESSURE STEAM	LPS(#)	DOUBLE LINE FLEX DUCT	
LOW PRESSURE STEAM CONDENSATE	LPC	DOUBLE LINE FLEX DUCT	
PUMPED STEAM CONDENSATE	——— PSC ———	SINGLE LINE FLEX DUCT	
PIPING (FITTINGS, VALVES, AND MISC	CELLANEOUS)	ACCESS DOOR	OR V
DROP	<del></del> ə		
RISE	o	90 DEGREE FITTING (WITH TURNING VANES)	1/
TEE CAP	<del></del>		
REDUCER	<b>─</b>	DIFFUSER	OR
FLOW ARROW			WITHOUT FLEX WITH FLEX
РИМР —	OR OR		WITHOUT FLEX WITH FLEX
<b>\</b>		SIDEWALL GRILLE/REGISTER/DIFFUSER	
2-WAY CONTROL VALVE 3-WAY CONTROL VALVE			III
BUTTERFLY VALVE	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		WITHOUT FLEX WITH FLEX
BALL VALVE	—— o ——		
CHECK VALVE	—— <del> </del> ——	GRILLE/REGISTER	
COMBINATION BALANCE/SHUT-OFF VALVE	<b>──</b>		
TRIPLE DUTY VALVE	—— O ——	VOLUME DAMPER	<del></del>
GATE VALVE	——₩—— ——Ծ——	FIDE DAMPED WITH A COPCO DOOD	(FD)
PLUG VALVE GLOBE VALVE	——↓↓ ——↓↓	FIRE DAMPER WITH ACCESS DOOR	<del></del>
	举	CMOVE DAMPED WITH ACCESS DOOD	(SD)
PRESSURE RELIEF VALVE PRESSURE REDUCING VALVE		SMOKE DAMPER WITH ACCESS DOOR	<del></del>
STRAINER	<del></del>	COMB. FIRE/SMOKE DAMPER WITH	(CD)
DRAIN VALVE WITH HOSE END	<u> </u>	ACCESS DOOR	<del></del>
ADAPTER UNION	О <sub>Т</sub>	BACKDRAFT DAMPER	BD
AUTOMATIC AIR VENT		BACKDRAFT DAIWIPER	— <del> </del>
MANUAL AIR VENT	<u> </u>	MOTORIZED DAMPER WITH ACCESS DOOR	<u> </u>
THERMOMETER	<u> </u>	AIR FLOW ARROW	<b>-√→</b>
PRESSURE GAUGE (WITH STOPCOCK)	<u> </u>	THERMOSTAT (MOUNT 48" AFF TO CENTER UNO)	<b>①</b>
PRESSURE/TEMPERATURE TEST PLUG	<u> </u>	HUMIDISTAT	
FLOW SENSOR	<u> </u>	(MOUNT 48" AFF TO CENTER UNO)	Θ
PRESSURE SENSOR	<u> </u>	MISCELLANEOUS SENSOR	<b>S</b>
TEMPERATURE SENSOR		CO SENSOR	<b>©</b>
STEAM TRAP METER	————— ———————————————————————————————	CO SENSOD	_
FLEXIBLE CONNECTION		CO SENSOR	©
HEAT TRACED PIPE	<del></del>	CONNECT TO EXISTING	•
PIPE ANCHOR	<del></del>		
PIPE GUIDE	<del></del>	TERMINAL BOX	OR
EXPANSION JOINT	<del></del>		WITHOUT REHEAT WITH REHEAT
		•	

### GENERAL NOTES:

- A. THESE NOTES APPLY TO ALL DIVISION 23 DRAWINGS.
- B. ALL HVAC WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL CODES.
- C. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, FEES, AND PERMITS FOR A COMPLETE INSTALLATION. CONTRACTOR SHALL COMPLY WITH ALL GENERAL CONDITIONS LISTED ON THE ARCHITECTURAL DRAWINGS.
- D. IN CASE OF DIFFERENCE BETWEEN BUILDING CODES, SPECIFICATIONS, INDUSTRY STANDARDS, UTILITY COMPANY REGULATIONS, FIRE INSURANCE CARRIER'S REQUIREMENTS, AND CONTRACT DOCUMENTS, THE MOST STRINGENT SHALL GOVERN. PROMPTLY NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DIFFERENCE.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FUNCTIONALITY OF THE HVAC SYSTEM INCLUDING ELECTRICAL AND CONTROL ITEMS ASSOCIATED WITH THE MECHANICAL EQUIPMENT.
- F. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION OF MECHANICAL, PLUMBING, AND EQUIPMENT. DRAWINGS ARE BASED ON "AS-BUILT" DRAWINGS AND LIMITED FIELD OBSERVATIONS. FOR PURPOSES OF CLEARNESS AND LEGIBILITY, SIZE AND LOCATION OF EQUIPMENT ARE SHOWN TO SCALE WHEREVER POSSIBLE.
- G. IN THE EVENT OF A CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS THE CONTRACTOR SHALL ADVISE ENGINEER IN WRITING PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH RESTOCKING, RELOCATING OF EQUIPMENT, SYSTEMS, PIPING, ETC. FROM FAILURE TO PROPERLY COORDINATE INSTALLATION AND NOT ADVISING IN WRITING OF CONFLICT PRIOR TO PURCHASE AND/OR INSTALLATION.
- H. NOT ALL EXISTING SYSTEMS ARE SHOWN TO AID DRAWING INTERPRETATION AND CLARITY.
- I. CONTRACTOR IS TO MAINTAIN RECORDED "AS-BUILT" INFORMATION ON ALL EXISTING SERVICES UNCOVERED DURING CONSTRUCTION AND ALL NEW SERVICES BEING INSTALLED. "AS-BUILT" DRAWINGS SHALL BE MAINTAINED IN THE FIELD. THE "AS-BUILTS" SHALL CAPTURE INFORMATION ON A CLEARLY MARKED IN COLOR PRINTED COPY OF CONTRACT DRAWING. RECORDED INFORMATION SHALL INCLUDE ROUTING AND INVERT ELEVATIONS. AT THE COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL PROVIDE ELECTRONIC (PDF FORMAT) OF RECORDED "AS BUILT" INFORMATION TO THE ENGINEER.
- J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR START-UP OF ALL EQUIPMENT AND SYSTEMS INSTALLED, MODIFIED, OR REVISED BY THIS WORK PER MANUFACTURER'S REQUIREMENTS AND/OR CONTRACT DOCUMENTS.
- K. AT THE END OF CONSTRUCTION, CONTRACTOR SHALL PERFORM A COMPLETE AIR BALANCE FOR ALL EQUIPMENT AND SYSTEMS SHOWN, SCHEDULED OR OTHERWISE IDENTIFIED. CONTRACTOR SHALL INCLUDE TIME IN CONSTRUCTION SCHEDULE TO FULLY TEST AND BALANCE SYSTEMS PRIOR TO OWNER OCCUPANCY TO ASSURE ADJUSTMENTS CAN BE MADE TO MITIGATE COMFORT ISSUES FOR OCCUPANTS POST CONSTRUCTION.
- L. UPON COMPLETION OF HVAC SYSTEMS, THE MECHANICAL CONTRACTOR SHALL INSTRUCT THE OWNER IN THE COMPLETE OPERATION OF THE SYSTEMS.
- M. PRIOR TO AND DURING CONSTRUCTION, CONTRACTOR SHALL FULLY PROTECT THE AIR HANDLING AND DUCTWORK SYSTEMS. CONTRACTOR SHALL PROTECT EACH RETURN AIR GRILLE OPENING AND RETURN AIR DUCT WITH MINIMUM MERV 8 FILTER MEDIA. AIR HANDLING EQUIPMENT AND DUCTS COVERED WITH DRYWALL/CONSTRUCTION DUST SHALL BE CLEANED AT CONTRACTOR EXPENSE.
- N. THE CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT, DUCTWORK, PIPING, VALVES, AND ACCESS LOCATIONS HAVE CLEARANCES IN ACCORDANCE TO THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS FOR FULL ACCESSIBILITY AND OPERATION OF MECHANICAL SYSTEMS.
- O. THE CONTRACTOR SHALL PROVIDE ACCESS PANELS, IN WALLS OR CEILING, OR ACCESS DOORS, IN DUCTWORK, AS INDICATED OR REQUIRED FOR ACCESS TO CONCEALED MECHANICAL EQUIPMENT OR DEVICES.
- P. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SHALL REPAIR ADJACENT EXISTING AND/OR NEW SURFACES, AREAS, AND PROPERTY THAT MAY BE DAMAGED AS A RESULT OF DEMOLITION AND/OR NEW WORK.
- Q. UNLESS OTHERWISE INDICATED, ALL EQUIPMENT SHALL BE PROVIDED WITH A MINIMUM 4 INCH CONCRETE HOUSEKEEPING PAD SIZED TO SUIT EQUIPMENT.
- R. COORDINATE THE LOCATION OF ALL UTILITY CONNECTION POINTS FOR EQUIPMENT WITH OTHER TRADES. COORDINATION INCLUDES ALLOWING PROPER CLEARANCE FOR ELECTRICAL DEVICES FURNISHED WITH EQUIPMENT INCLUDING CONTROLS, DISCONNECTS, VAV
- S. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF CEILING DEVICES, INCLUDING CEILING MOUNTED FANS.
- T. COORDINATE CLOSELY WITH OTHER TRADES IN LOCATING AND INSTALLING ALL SYSTEMS ABOVE SUSPENDED CEILINGS. SPECIFICALLY, COORDINATE LAYOUT WITH ELECTRICAL AND PLUMBING CONTRACTORS TO ALLOW SUFFICIENT ROOM FOR RECESSED LIGHT FIXTURES, FIRE SPRINKLER, AND PLUMBING VENTS WHERE APPLICABLE.
- U. ANNULAR SPACE OF PIPE, CONDUIT, DUCT, AND OTHER SIMILAR PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE FIRESTOPPED. IN ADDITION, PENETRATIONS THRU 0-HOUR RATED FLOORS SHALL ALSO BE FIRESTOPPED TO RETARD PASSAGE OF FIRE AND SMOKE. REFER TO FIRESTOPPING SPECIFICATION. REFER TO ARCHITECTURAL DRAWINGS FOR CONSTRUCTION, LAYOUT, AND FIRE RATINGS OF FLOORS, WALLS, PARTITIONS, AND OTHER BUILDING ELEMENTS.
- V. ALL EXPOSED WIRING SHALL BE RUN IN CONDUIT, EXCEPT WHEN RUNNING THOUGH FINISHED SPACES THAT HAVE CEILING "CLOUDS".
- W. THE CONTRACTOR SHALL PROVIDE ALL CUTTING, PATCHING, FINISHING, AND PENETRATIONS REQUIRED BY THE INSTALLATIONS. ALL FLOOR PENETRATIONS SHALL BE PATCHED AND SEALED TO BE WATERTIGHT. CUTTING OF BUILDING CONSTRUCTION MATERIALS SHALL CONFORM TO THE CHARACTERISTICS OF THE PARTICULAR MATERIAL INVOLVED AND SHALL NOT CREATE ANY STRUCTURAL WEAKNESS OR UNSIGHTLY APPEARANCE. REFINISH ANY SURFACE DISTURBED UNDER THIS WORK TO MATCH EXISTING, EXCEPT WHERE REFINISHING OF THAT SURFACE IS INCLUDED UNDER THE GENERAL TRADES CONTRACT.
- X. PROVIDE ROOM TEMPERATURE THERMOSTATS FOR ALL UNITS. PREFERRED LOCATIONS ARE SHOWN ON THE PLANS. COORDINATE LOCATION OF THERMOSTATS AND OTHER WALL MOUNTED DEVICES WITH FURNITURE, WALL FRAMING, ELECTRICAL OUTLETS AND DEVICES, AND TECHNOLOGY OUTLETS AND DEVICES PRIOR TO ROUGH-IN. PROVIDE THERMOSTATS WITH ROOM TEMPERATURE INDICATOR AND WITH SET POINT ADJUSTMENT.
- Y. ALL ROOF AND DECK PENETRATIONS SHALL BE COMPLETED DONE BY THE GENERAL TRADES CONTRACTOR. COORDINATE EXACT SIZE AND LOCATION WITH ARCHITECT AND STRUCTURAL ENGINEER.
- Z. COORDINATE EXACT LOCATION OF DIFFUSERS, GRILLES AND REGISTERS WITH AREA SMOKE DETECTORS, LIGHTS, AND ELECTRICAL DEVICES. AIR DEVICES SHALL NOT BE CLOSER THAN 3 FEET FROM AN AREA SMOKE DETECTOR.
- AA. BRANCH DUCT TO DIFFUSERS SHALL BE SAME SIZE AS DIFFUSER NECK UNLESS NOTED OTHERWISE. FLEXIBLE DUCT CONNECTION TO THE DIFFUSER SHALL BE NO MORE THAN 5 FEET IN LENGTH FLEXIBLE DUCT SHALL NOT BE USED FOR ELBOW TO DIFFUSER WITH A FLEXFLOW SUPPORT ELBOW.
- AB. PROVIDE VOLUME DAMPERS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY THE SPECIFICATIONS, AND SHOWN IN TYPICAL DETAILS. LOCATE VOLUME DAMPERS IN ACCESSIBLE LOCATIONS. A VOLUME DAMPER SHALL BE PROVIDED FOR EACH DIFFUSER AND GRILLE IN ORDER TO BALANCE EACH AIR DEVICE INDEPENDENTLY PER SPECIFIED CFM STATED ON DRAWINGS.
- AC. DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE INSIDE CLEAR, UNLESS NOTED OTHERWISE.
- AD. PROVIDE STRAIGHT INLET AND OUTLET DUCTS PER THE LENGTH THE EQUIPMENT MANUFACTURER RECOMMENDS. FAN INLETS SHALL BE MINIMUM 3 DUCT DIAMETERS OF STRAIGHT DUCT. INSTALL AND SUPPORT MECHANICAL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE FLEXIBLE CONNECTIONS AND VIBRATION ISOLATION FOR VIBRATING EQUIPMENT UNLESS NOTED OTHERWISE.
- RECOMMENDATIONS. PROVIDE FLEXIBLE CONNECTIONS AND VIBRATION ISOLATION FOR VIBRATING EQUIPMENT UNLESS IN

IN THE SPECIFICATIONS FOR THE CONSTRUCTION AND SUPPORT OF DUCTWORK, UNLESS OTHERWISE NOTED

- AE. INSTALL AIRFOIL TURNING VANES IN ALL 90 DEGREE ELBOWS EXCEPT TRANSFER DUCTS AND OPEN RETURN AIR BOOTS.

  AF. CONTRACTOR SHALL COMPLY WITH SMACNA "HVAC DUCT CONSTRUCTION AND STANDARDS" AND OTHER APPLICABLE STANDARDS INCLUDED
- AG. ALL DUCTS AND PIPES SHALL BE RUN ABOVE CEILING. WHERE NO CEILINGS ARE INSTALLED, INSTALL AS HIGH AS POSSIBLE TO STRUCTURE UNLESS NOTED OTHERWISE. IN GENERAL, KEEP DUCT AND PIPING MAINS NEXT TO UNDERSIDE OF STRUCTURE.
- AH. CHANGES IN HVAC DUCT AND PIPE ELEVATIONS SHALL BE PROVIDED AND BE COORDINATED WITH OTHER SYSTEMS INCLUDING, BUT NOT LIMITED, TO PLUMBING, FIRE PROTECTION, ELECTRICAL, AND BUILDING ELEMENTS SYSTEMS. OFFSET DUCTS INTO JOIST SPACE FOR WHERE SPACE ABOVE CEILING IS NOT SUFFICIENT FOR DUCTS TO CROSS OTHER DUCTS OR WORK OF OTHER CONTRACTORS.
- AI. DUCTWORK AND PIPING ON DRAWINGS DOES NOT INDICATE ALL REQUIRED OFFSETS AND FITTINGS. INCLUDE THESE OFFSETS AND FITTINGS TO COORDINATE WITH OTHER CONTRACTORS.
- AJ. SECURELY FASTEN ALL PIPING AND DUCTWORK WITHIN STRUCTURES TO THE BUILDING CONSTRUCTION BY MEANS OF HANGERS, SUPPORTS, GUIDES, ANCHORS, AND SWAY BRACES TO MAINTAIN PIPE AND DUCTWORK ALIGNMENT, TO PREVENT SAGGING, AND TO PREVENT NOISE AND EXCESSIVE STRAIN ON PIPING AND DUCTWORK DUE TO MOVEMENT UNDER OPERATING CONDITIONS. SUPPORTS FOR ALL PIPING AND DUCTWORK SHALL BE IN ACCORDANCE WITH LATEST ANSI AND SMACNA STANDARDS.

- AK. CONTRACTOR SHALL PROTECT THE PIPING AND DUCTWORK TO PREVENT ENTRY OF DIRT AND ANY OTHER FOREIGN MATERIAL DURING THE
- AL. COLOR CODE AND LABEL PIPING AND DUCTWORK IN ACCORDANCE WITH SPECIFICATIONS.
- AM. PROVIDE FLEXIBLE CONNECTIONS FOR ALL VIBRATING EQUIPMENT.

ACCESS SPACE AT EQUIPMENT.

- AN. INSTALL ALL PIPING IN LOCATIONS AND ELEVATIONS SUCH THAT COILS, TUBES, AND FILTERS CAN BE REMOVED AND REPLACED WITHOUT MAJOR PIPING REMOVAL. LOCATE VALVES IN APPROPRIATE PLACES TO ACCOMMODATE MAINTENANCE. MAINTAIN REQUIRED SERVICE
- AO. ARRANGE ALL PIPING WITHIN STRUCTURES NEATLY ALONG WALLS AND/OR IN NEAT, HORIZONTAL GROUPS AND MAINTAIN REQUIRED SLOPES.
- AP. PROVIDE A HANGER NOT MORE THAN 12 INCHES FROM THE POINT OF CHANGE OF DIRECTION OF A PIPE RUN IN BOTH HORIZONTAL AND
- AQ. ALL WORK, EQUIPMENT AND MATERIALS SHALL BE PROTECTED AT ALL TIMES. ALL DUCT AND PIPE OPENING SHALL BE PROPERLY CAPPED OR PLUGGED DURING INSTALLATION.
- AR. DEMOLITION OF ANY ITEM SHALL INCLUDE ALL ASSOCIATED ITEMS THIS INCLUDES, BUT IS NOT LIMITED TO: SUPPORTS, HANGERS, PADS, FASTENERS, INSERTS, SLEEVES, STRAPS, ATTACHMENTS, LEVELERS, AND ALL OTHER ITEMS FOR A COMPLETE DEMOLITION OF THE ITEM.
- AC ALL FOLLIDMENT TO DE DEMOVED CHALL DE DISPOSED OF DV THE CONTRACTOR IN ACCORDANCE WITH FEDERAL STATE AND LOCAL LA
- AS. ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
- AT. ALL EQUIPMENT TO BE REUSED OR RETURNED TO THE OWNER SHALL BE REMOVED SO AS TO NOT DAMAGE THE EQUIPMENT, MATERIAL OR AFFECT ITS REUSE. IF ANY EQUIPMENT OR MATERIAL IS DAMAGED BY THE CONTRACTOR, IT SHALL BE REPLACED BY THE CONTRACTOR, WITH

ADVANCED ENGINEERING CONSULTANTS

Mechanical | Electrical | Plumbing | Fire Protection 1405 Dublin RoadTel: (614) 486-4778 Columbus, Ohio 43215Fax: (614) 486-4082 DATE CHANGE DESCRIPTION

RENOVATION OF HEARTLAND

6500 FRANTZ ROAD DUBLIN, OH 43017



HEARTLAND BANK

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
MOODY•NOLAN
FAX: (614) 280-8881

GENERAL INFORMATION MECHANICAL

05/12/2021

DRAWN BY: Author CHECKED BY: Checker

20022

M-001

FINAL DEVELOPMENT PLAN



CODED NOTES:

AND ALL APPURTENANCES COMPLETE.

EXISTING AIR DEVICE TO REMAIN.

5. DEMOLISH EXISTING RESTROOM CABINET EXHAUST FAN.

DEMOLISH EXISTING BOILER, ASSOCIATED PIPING, IN-LINE PUMP, EXPANSION TANK

2. DEMOLISH 6' H X 3' W OUTSIDE AIR LOUVER, DAMPER, AND ASSOCIATED DUCTWORK.

DEMOLISH EXISTING FAN COIL UNITS, SUPPORTS, AND ALL APPURTENANCES

EXISTING TWINNED-FURNACES AND ASSOCIATED EVAPORATOR COILS TO BE REMOVED AND SALVAGED. RETURN TO OWNER.

# DATE CHANGE DESCRIPTION



BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK

RENOVATION OF HEARTLAND



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DRAWING TITLE:

FLOOR PLANS - MECHANICAL - DEMOLITION

05/12/2021

DRAWN BY: Author CHECKED BY: Checker

20022

MD101

FINAL DEVELOPMENT PLAN

**CODED NOTES:** 

- DEMOLISH ABOVE AND BELOW GRADE REFRIGERANT PIPING, SUPPORTS, AND ALL APPURTENANCES COMPLETE.
- REMOVE EXISTING CONDENSING UNIT AND SALVAGE. RETURN TO OWNER. DEMOLISH EXISTING ASSOCIATED CONCRETE PAD.
- 3. DEMOLISH EXISTING CONCRETE PAD COMPLETE.
- 4. REFER TO SHEET MD101 FOR CONTINUATION.

CHANGE DESCRIPTION



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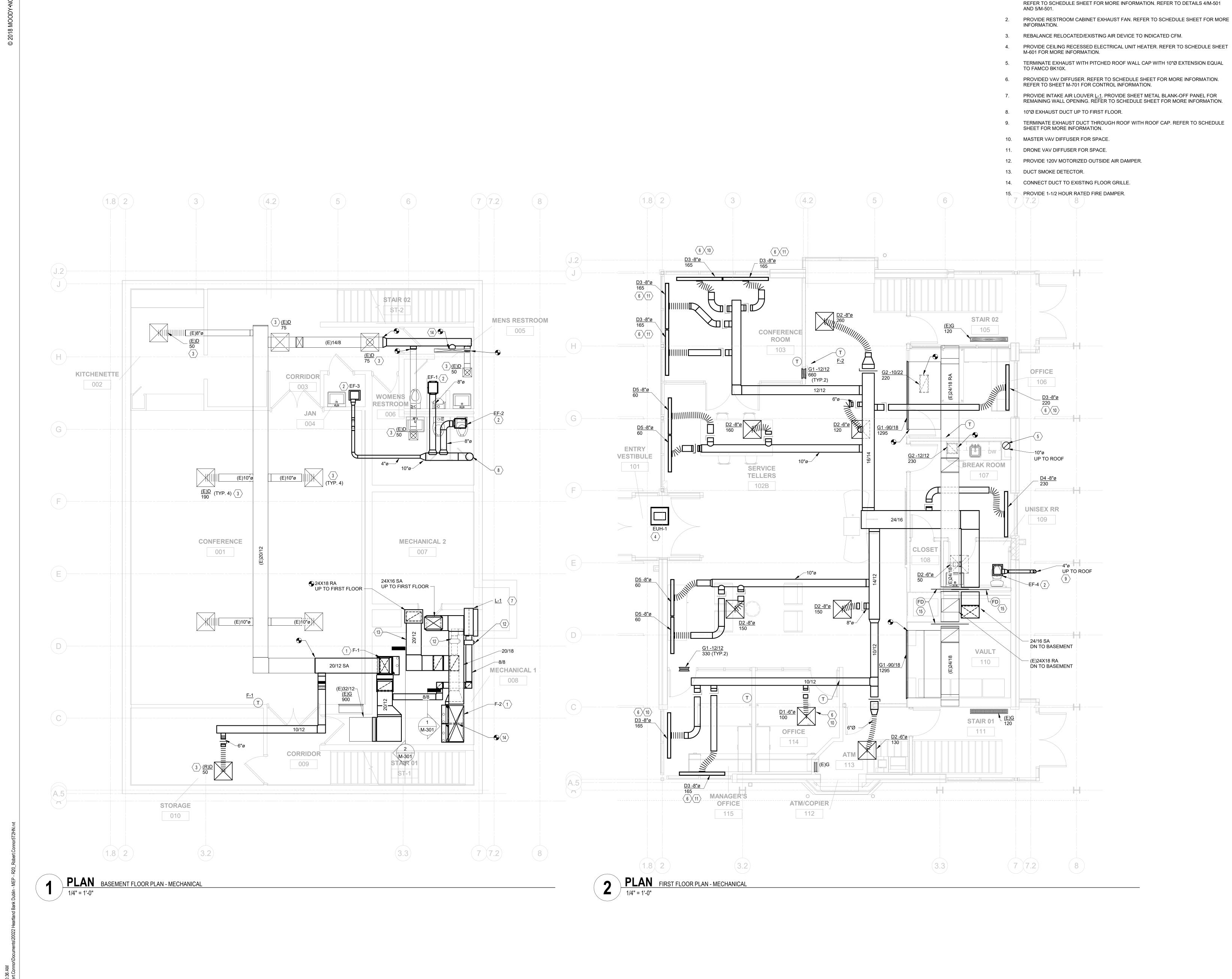
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DRAWING TITLE:

**ENLARGED PLANS -MECHANICAL - DEMOLITION** 

> 05/12/2021 DRAWN BY: Author CHECKED BY: Checker

20022 **MD401** 



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CODED NOTES:

PROVIDE GAS-FIRED FURNACE AND EVAPORATOR COIL. PROVIDE EQUIPMENT PAD.

CHANGE DESCRIPTION



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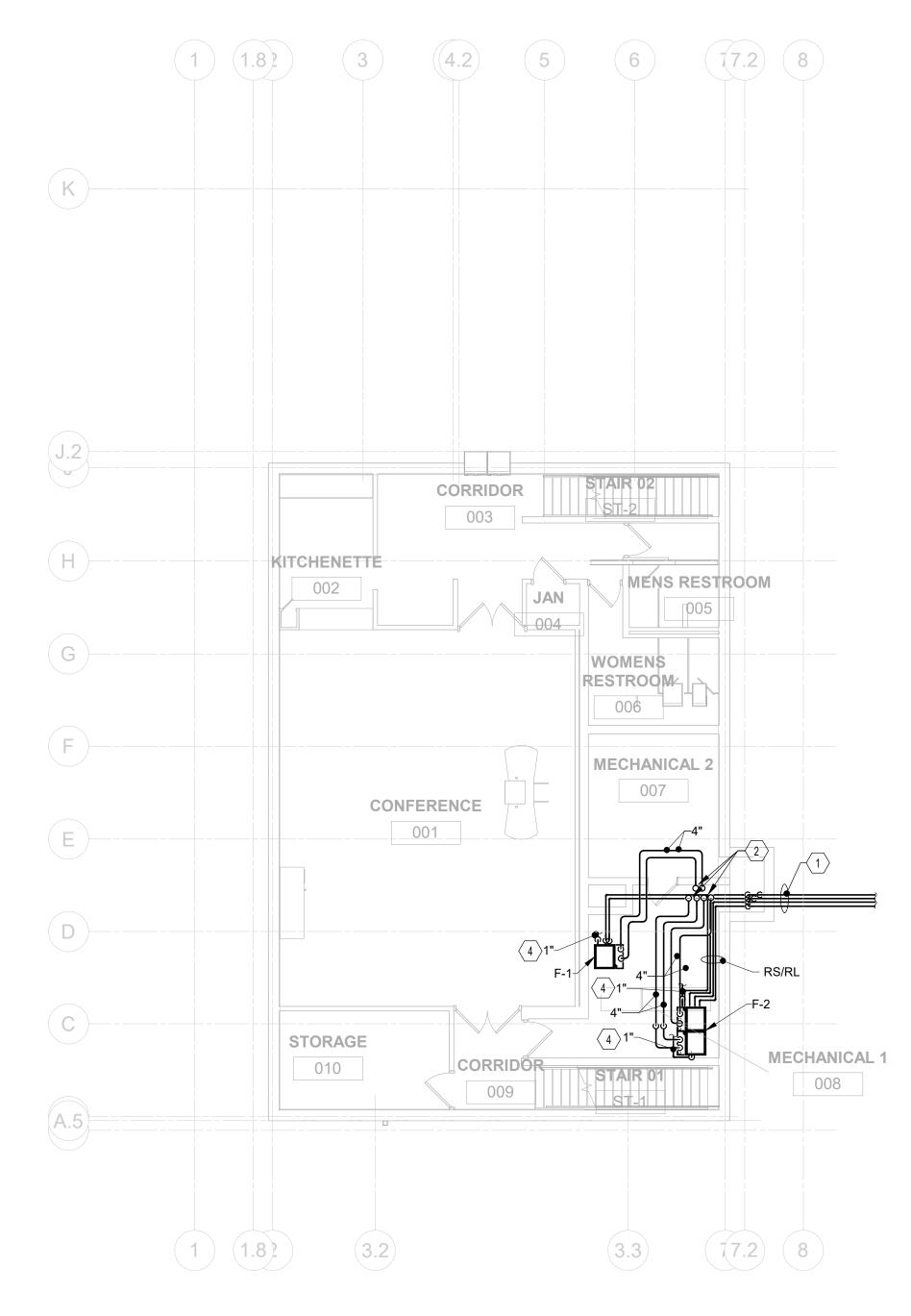
RENOVATION OF HEARTLAND

FLOOR PLANS - HVAC

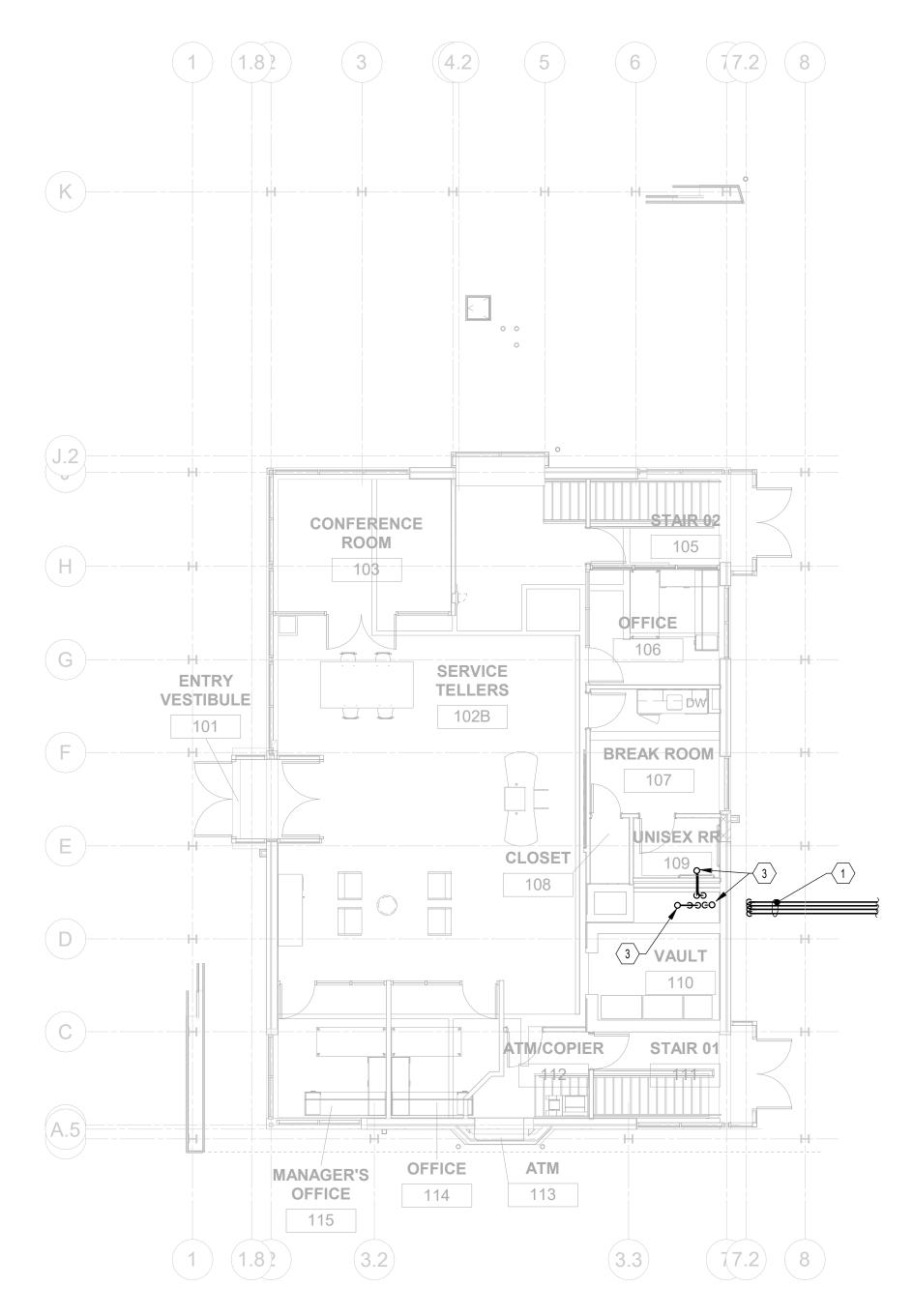
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M-101

- ROUTE COMBUSTION AIR INTAKE/VENT PIPING UP THROUGH EXISTING CHASE.
- TERMINATE COMBUSTION AIR INTAKE/VENT PIPING THROUGH ROOF WITH 4" CONCENTRIC VENT KIT. INSTALL PER MANUFACTURERS RECOMMENDATIONS. REFER TO DETAILS 2/M-502 AND 7/M-502.
- 4. ROUTE 1" CONDENSATE PIPE TO NEAREST FLOOR DRAIN.

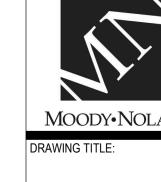


PLAN BASEMENT FLOOR PLAN - HVAC PIPING
1/8" = 1'-0"



PLAN FIRST FLOOR PLAN - HVAC PIPING

1/8" = 1'-0"



CHANGE DESCRIPTION

RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR

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HEARTLAND BANK

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FLOOR PLANS - HVAC PIPING

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M-201

FINAL DEVELOPMENT PLAN

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BASEMENT 88'-1 1/2"

1 SECTION F-2
1/2" = 1'-0"

**SECTION** F-1 1/2" = 1'-0"

CODED NOTES:

- ROUTE REFRIGERANT PIPING FROM INDOOR EVAPORATOR COILS TO AIR-COOLED CONDENSING UNIT. REFER TO SHEET M-201 FOR CONTINUATION.
- ROUTE COMBUSTION AIR INTAKE/VENT PIPING TO EXISTING CHASE. REFER TO M-201 FOR CONTINUATION.
- 3. ROUTE 1" CONDENSATE PIPE TO NEAREST FLOOR DRAIN.
- 4. PROVIDE 120V MOTORIZED OUTSIDE AIR DAMPER.
- 5. REFER TO DETAIL 5/M-501 FOR TWINNED FURNACE CONFIGURATION.
- 6. REFER TO DETAIL 4/M-501 FOR FURNACE CONFIGURATION.

CHANGE DESCRIPTION RENOVATION OF HEARTLAND



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**SECTIONS - MECHANICAL** 

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

M-301

FINAL DEVELOPMENT PLAN

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CODED NOTES:

- PROVIDE AIR-COOLED CONDENSING UNIT IN MECHANICAL YARD. PROVIDE EXTERIOR EQUIPMENT PAD. REFER TO SCHEDULE SHEET FOR MORE INFORMATION. REFER TO DETAIL 6/M-502.
- ROUTE REFRIGERANT PIPING FROM AIR-COOLED CONDENSING UNIT TO INDOOR EVAPORATOR COILS. BURIED PIPE TO BE ROUTED IN SCH. 40 PVC CARRIER PIPE. SEAL CARRIER PIPE ENDS WATER TIGHT. PITCH PIPING TOWARDS AREA WELL. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE TRENCHING AND EXCAVATION FOR INSTALLATION.
- 3. TWO SETS OF REFRIGERANT PIPING STACKED.

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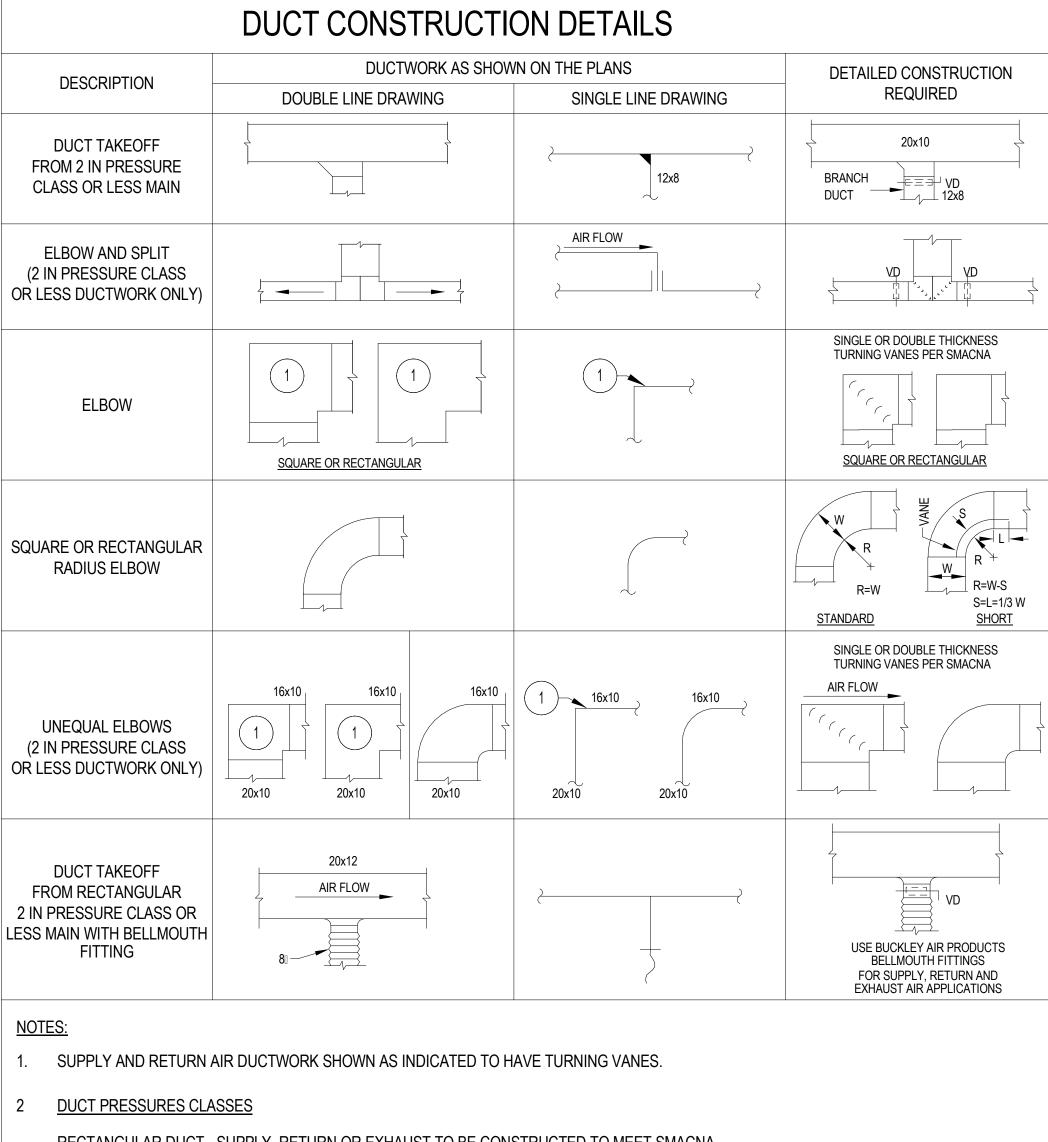
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DRAWING TITLE: **ENLARGED PLANS -**MECHANICAL

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M-401 FINAL DEVELOPMENT PLAN

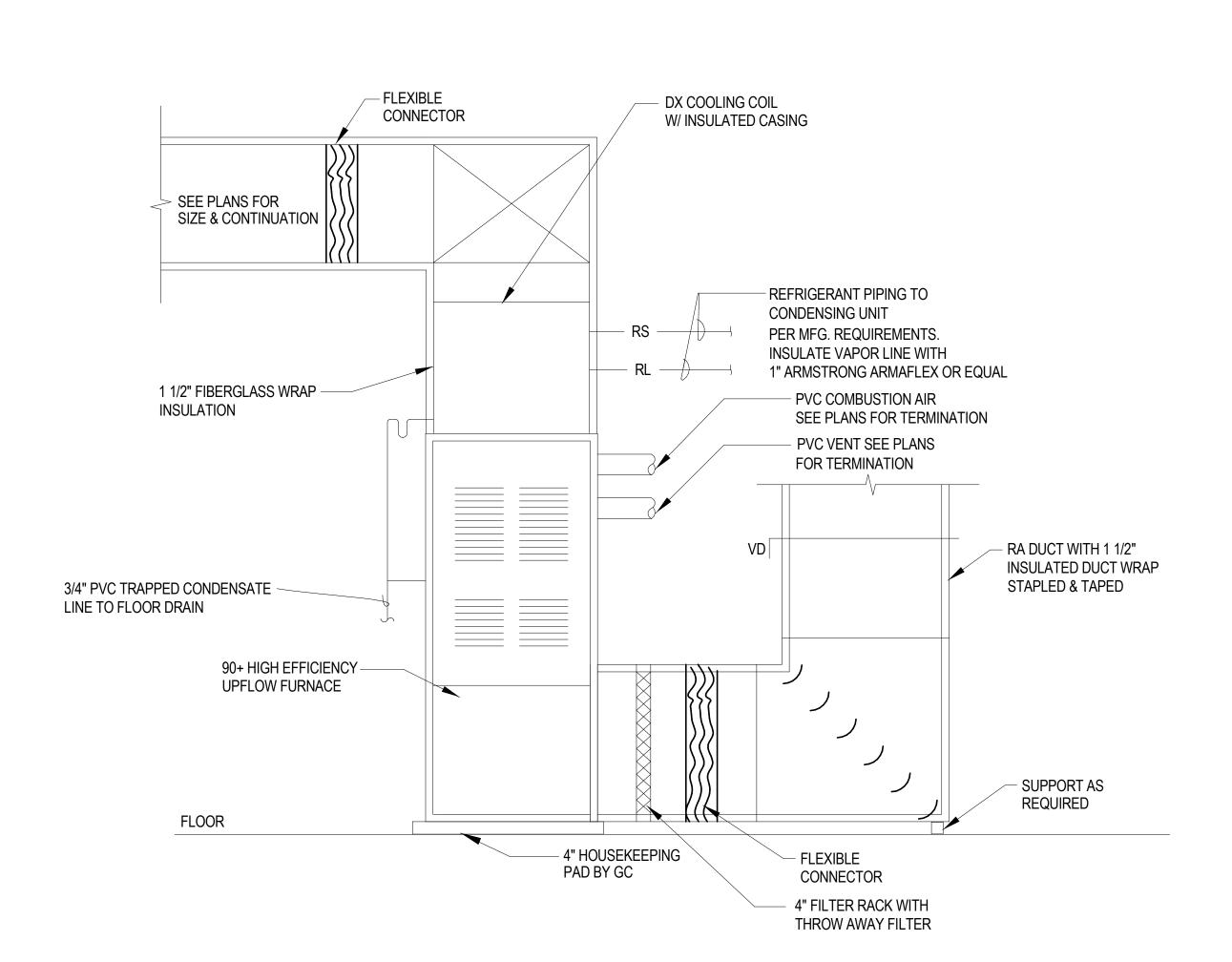
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RECTANGULAR DUCT - SUPPLY, RETURN OR EXHAUST TO BE CONSTRUCTED TO MEET SMACNA STANDARDS FOR 2" WG PRESSURE.

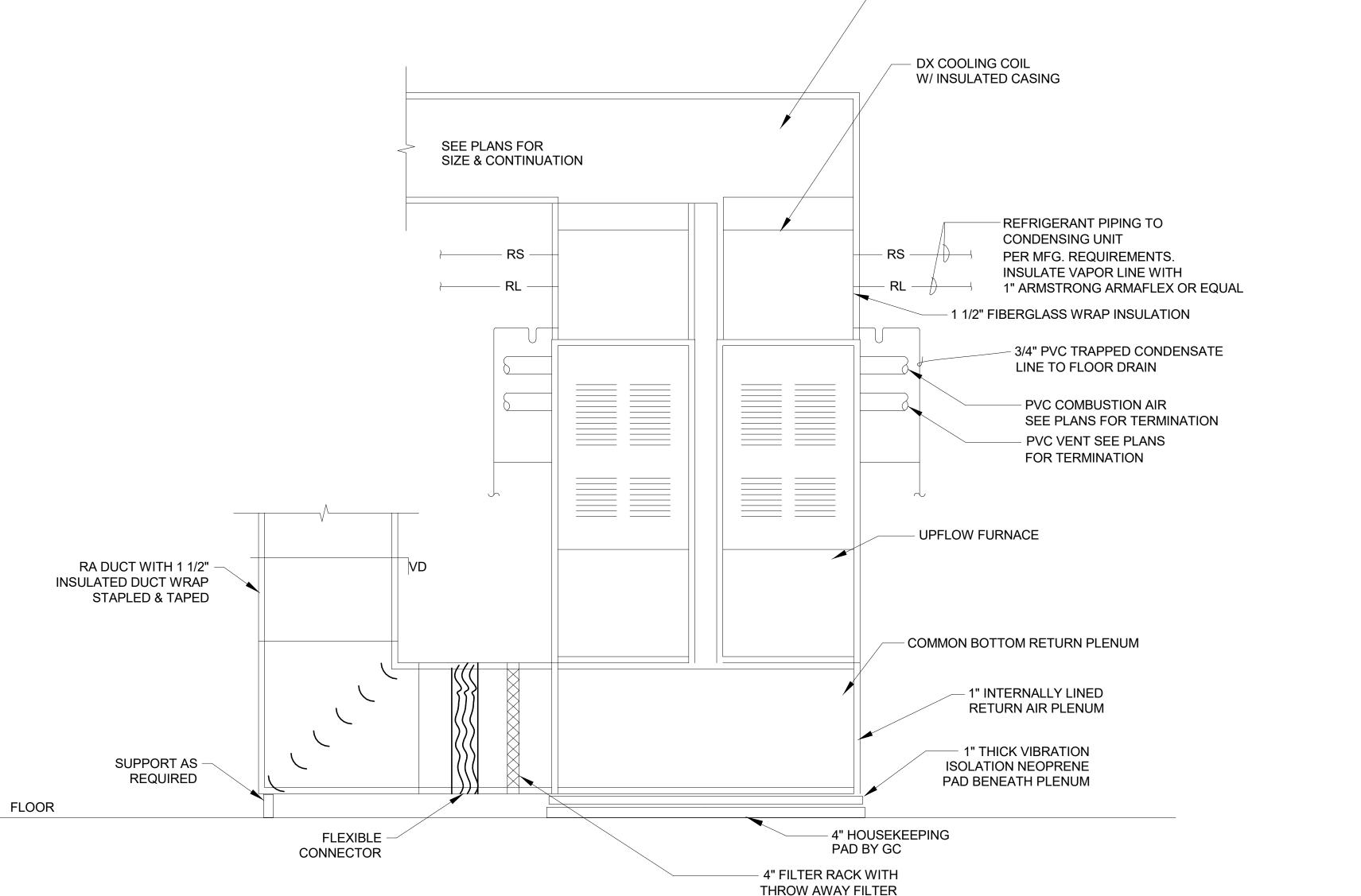
3. FROM 0 - 35° USE 2 GORE FITTINGS, 35 - 71° USE 3 GORE FITTINGS, 72 - 90° USE 5 GORE FITTINGS. FOR ELBOWS WHICH EXCEED 90°, ADD ONE GORE FOR EACH ADDITIONAL 18° FOR FITTING CONSTRUCTION. NOTE: 90° ELBOW DEPICTED REQUIRES 5 GORE FITTING CONSTRUCTION.

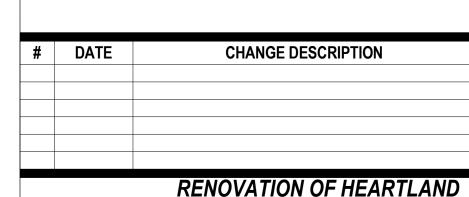
1 DETAIL DUCT CONSTRUCTION



5 DETAIL TWINNED FURNACES (F-2)
NTS

VOLUME DAMPER LOCATION WHERE DAMPER WOULD BE INACCESSIBLE AT TAKE-OFF, PROVIDE W/ 3" EXTENDED SHAFT, HANDLE AND COLLAR SHT METAL ELBOW REQUIRED - TO SA MAIN SECURELY TAPE VINYL FLEX DUCT TO SHT METAL W/ MIN OF INSULATED (2) CONTINUOUS WRAPS OF DUCT ROUND DUCT TAPE. STRAP CLAMP OVER FLEX **DUCT INSULATION & VINYL TO SHT** METAL TAPE INSULATION TO DUCT TO FORM A GOOD SEAL ORANGE MARKER TAPE ATTACHED TO DAMPER TO IDENTIFY LOCATION > 8" LONG SHT. MTL. SECTION SECURED TO DIFFUSER COLLAR W/ MIN (3) SHT METAL SCREWS, DUCT TAPE AND MASTIC AS REQ'D BY EQUIPMENT INSULATED FLEXIBLE TRANSITION FROM DUCT SIZE TO CONNECTION ⊾#4@18" EW (MIN 2 EW) DIFFUSER NECK SIZE AS NECESSARY AS REQUIRED BY 8" MAX EQUIPMENT MFR, 4" SPACING - STEEL MOUNTING FRAME REQUIRED FOR DRYWALL CEILING INSTALLATION. ROUGHEN SURFACE TO 1/4" FULL AMPLITUDE SUPPLY AIR DIFFUSER \*ALTERNATE: PROVIDE 1/2" ADHESIVE ANCHOR WITH 2" (LAY-IN FRAME) COVER TO TOP OF PAD @ 18" OC. 2 DETAIL DIFFUSER MOUNTING NTS - COMMON SUPPLY PLENUM





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ING TITLE:

**DETAILS - MECHANICAL** 

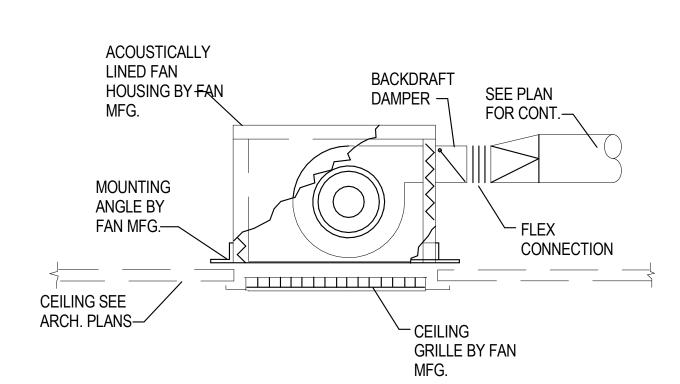
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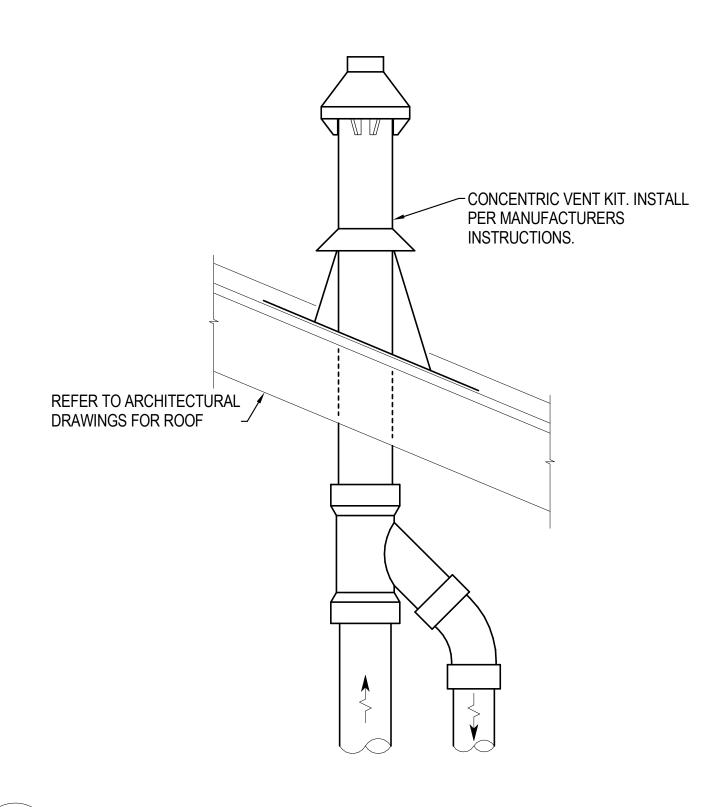
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M-501

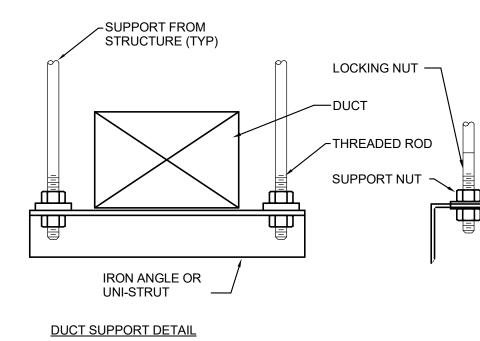
FINAL DEVELOPMENT PLAN



1 DETAIL DETAIL - CEILING MOUNTED EXHAUST FAN

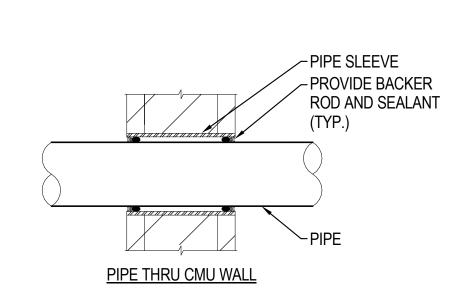


2 DETAIL DETAIL - FURNACE VENTING NTS

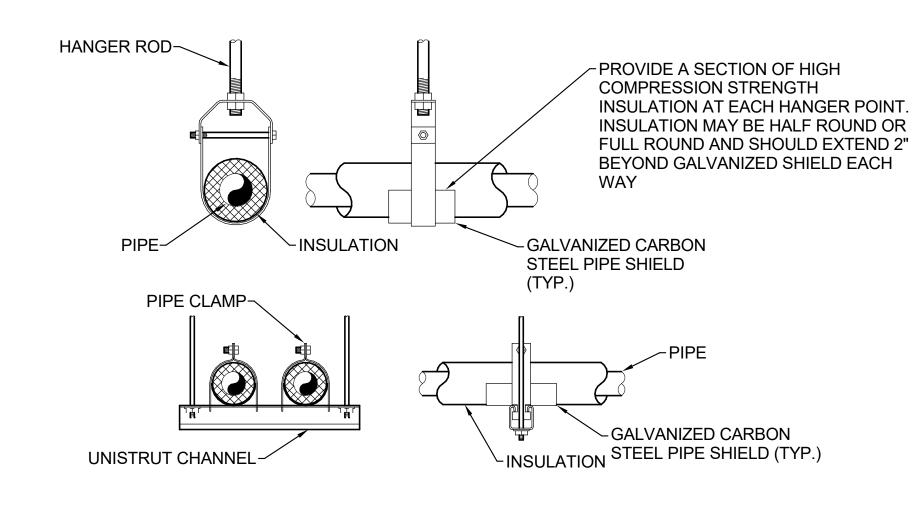


3 DETAIL DETAIL - TYPICAL DUCT SUPPORT

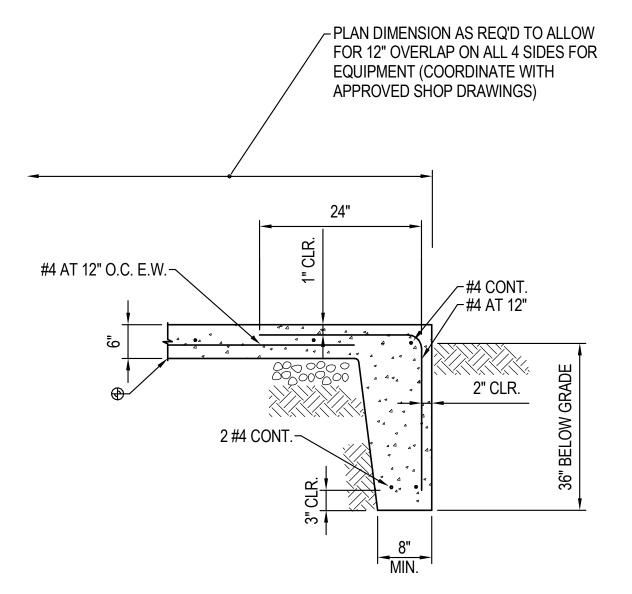
NTS



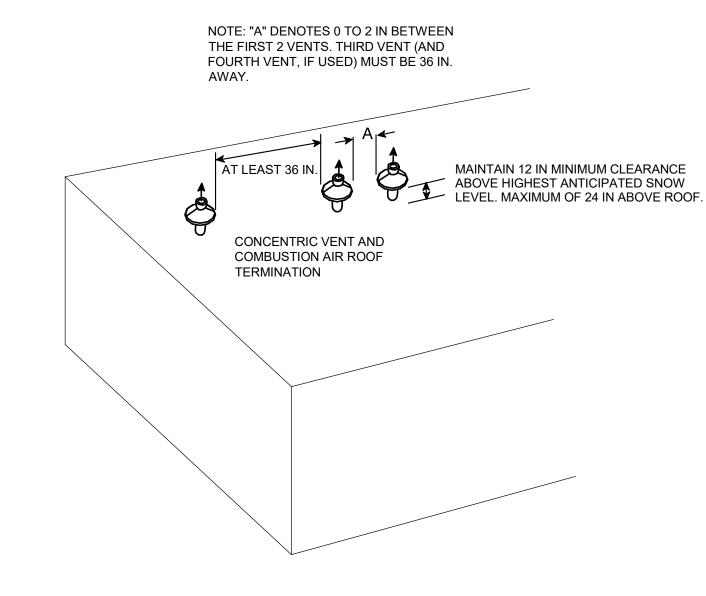
4 DETAIL DETAIL - TYPICAL WALL PENETRATION NTS



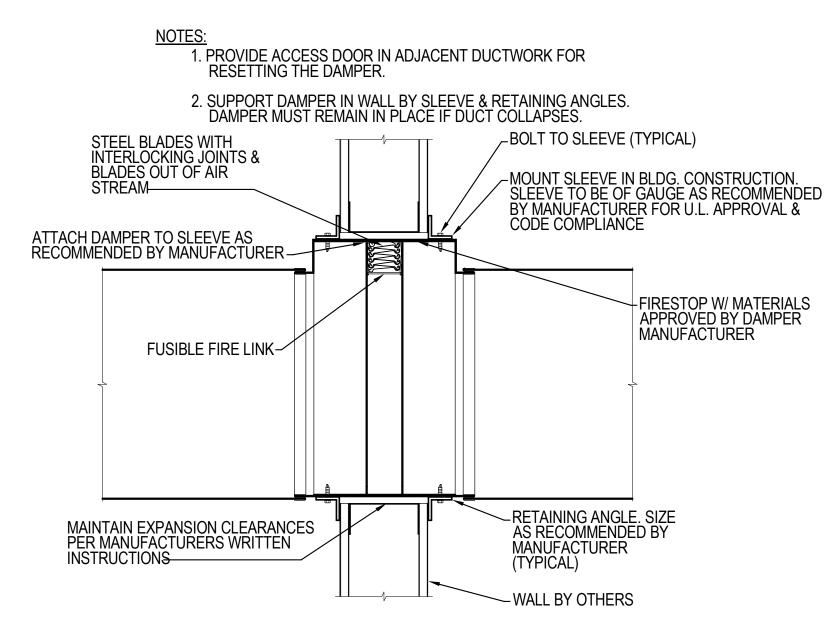
5 DETAIL DETAIL - TYPICAL PIPE HANGE



6 DETAIL DETAIL - EXTERIOR CONCRETE PAD NTS

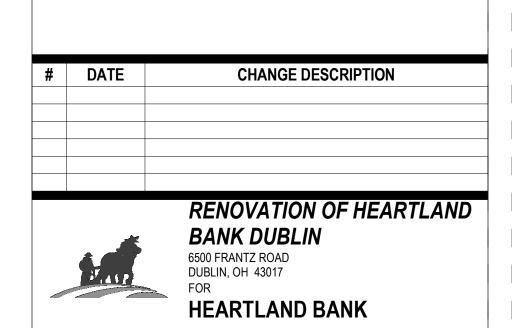


7 DETAIL DETAIL - CONCENTRIC VENT CLEARANCES
NTS









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**DETAILS - MECHANICAL** 

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M-502

FINAL DEVELOPMENT PLAN

#### SEQUENCE OF OPERATIONS

SPLIT SYSTEM SEQUENCE

THERE ARE 2 SPLIT SYSTEM SERVING THE BUILDING. EACH SPLIT SYSTEM CONSISTS OF AN INDOOR FURNACE UNIT WITH EVAPORATOR COIL (F-1 THRU F-2) AND AN OUTDOOR CONDENSING UNIT (CU-1, CU-2A, CU-2B).

THE INDOOR FURNACE FAN SPEED SHALL BE CONTROLLED BY THE SPLIT- SYSTEM CONTROLLER'S BUILT-IN CONTROL SYSTEM. AT ANY TIME THE BUILDING IS IN OCCUPIED MODE, THE OUTDOOR AIR DAMPER SHALL OPEN AND THE FAN SHALL OPERATE CONTINUOUSLY.

EACH SPLIT-SYSTEM SHALL CYCLE ITS REFRIGERANT CIRCUIT IN HEATING OR COOLING MODE DEPENDENT UPON SPACE DEMAND FROM THE ZONE SPACE THERMOSTAT TO MAINTAIN SETPOINT (HEATING: 70 DEGREES, ADJUSTABLE; COOLING: 75 DEGREES, ADJUSTABLE).

IF A ZONE FURNACE IS OPERATING IN THE HEATING MODE, THE GAS FURNACE SHALL BE ENABLED AND THE OUTDOOR CONDENSING UNIT SHALL SHUT DOWN. THE GAS FURNACE SHALL MODULATE ITS BURNER DEPENDENT UPON SPACE DEMAND FROM THE ZONE SPACE THERMOSTAT TO MAINTAIN SETPOINT (70 DEGREES, ADJUSTABLE).

THE SPLIT-SYSTEM FACTORY CONTROLLER SHALL OPERATE ON ITS OWN CONTROLS AND SAFETIES. UPON ACTIVATION OF A DUCT MOUNTED SMOKE DETECTOR, THE UNIT SHALL SHUT DOWN.

<u>ELECTRIC UNIT HEATER SEQUENCE</u>

RECESSED CEILING MOUNTED ELECTRIC UNIT HEATER (EUH-1) SERVES THE VESTIBULE.

ELECTRIC UNIT HEATER SHALL ACTIVATE UPON A SIGNAL FROM ITS INTEGRAL THERMOSTAT WHEN THE SPACE TEMPERATURE DROPS BELOW SETPOINT (70 DEGREES, ADJUSTABLE).

#### JANITOR CLOSET EXHAUST FAN SEQUENCE

EXHAUST FAN EF-3 SHALL RUN CONTINUOUSLY.

#### RESTROOM EXHAUST FAN SEQUENCE (EF-1,2,4)

EXHAUST FANS EF-1,2, AND 4 SHALL BE TIED INTO THE LIGHT SWITCH. UPON ACTIVATION OF THE LIGHT SWITCH, THE FAN SHALL RUN.

### VAV ZONE DIFFUSER SEQUENCE

THE VAV ZONE DIFFUSERS SHALL BE CONTROLLED BY A REMOTE THERMOSTAT. CONFERENCE ROOM 103 INCLUDES A MASTER VAV DIFFUSER AND DRONE VAV DIFFUSER. ALL OTHER SPACES WITH ZONE DIFFUSERS ONLY CONSIST OF A MASTER VAV ZONE DIFFUSER.

### SUMME

THE VAV ZONE DIFFUSER(S) SHALL BE CONTROLLED BY A DIFFUSER MOUNTED TEMPERATURE SENSOR IN COOLING MODE. A WALL MOUNTED ASSEMBLY WILL PROVIDE SET-POINT ADJUSTMENT.

THE VAV ZONE DIFFUSER(S) SHALL BE NORMALLY FULLY OPEN. UPON A DROP IN SPACE TEMPERATURE BELOW THE COOLING SETPOINT (75°F SUMMER (ADJ.)) THE DAMPER(S) SHALL MODULATE CLOSED UNTIL THE SPACE TEMPERATURE IS SATISFIED. UPON A RISE IN SPACE TEMPERATURE ABOVE THE COOLING SETPOINT (75°F SUMMER (ADJ.), THE DAMPER(S) SHALL MODULATE OPEN UNTIL THE SPACE TEMPERATURE IS SATISFIED.

### WINTER

THE VAV ZONE DIFFUSER(S) SHALL BE CONTROLLED BY A WALL MOUNTED ASSEMBLY

IN HEATING MODE AND SHALL PROVIDE SET-POINT ADJUSTMENT.

THE VAV ZONE DIFFUSER(S) SHALL BE NORMALLY FULLY OPEN. UPON A RISE IN SPACE TEMPERATURE ABOVE THE HEATING SETPOINT (70°F (ADJ.)) THE DAMPER(S) SHALL MODULATE CLOSED UNTIL THE SPACE TEMPERATURE IS SATISFIED. UPON A DROP IN SPACE TEMPERATURE BELOW THE HEATING SETPOINT (70°F (ADJ.), THE DAMPER(S) SHALL MODULATE OPEN UNTIL THE SPACE TEMPERATURE IS SATISFIED.

FC -FOF	C -FORWARD CURVE													
TA 0	LOCATION	OED)/IOE	FAN	WHEEL	0514	DDM	ESP	ı	MOTOR		MAX	MANUFACTURER	WEIGHT	DEMARKO
TAG	LOCATION	SERVICE	TYPE	TYPE	CFM	RPM	(IN WC)	WATTS	PH	VOLT	SONES	AND MODEL	WEIGHT (LBS)	REMARKS
EF-1,2	RESTROOMS	EXHAUST	CENTRIFUGAL	FC	100	784	0.5	24	1	115	3.5	GREENHECK SP-A390-VG	32	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE
EF-3	JAN CLST.	EXHAUST	CENTRIFUGAL	FC	50	935	0.549	6	1	115	2.0	GREENHECK SP-80-VG	12	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE
EF-4	RESTROOM	EXHAUST	CENTRIFUGAL	FC	70	935	0.487	6	1	115	2.0	GREENHECK SP-80-VG	19	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE, ROOF CURB CAP.

					DII	FFUSER	, REGISTEF	R, AND GR	ILLES			
TAG	SERVICE	NECK SIZE (IN)	TYPE	DAMPER	FACE SIZE	MATERIAL	FINISH	PATTERN	MANUFACTURER	MODEL NO.	CONTROL POWER (V)	REMARKS
D1	CEILING SUPPLY AIR	SEE PLANS	SQUARE LAY-IN	YES	24x24	STEEL	WHITE	4-WAY	ACUTHERM	ADV	120	ALL
D2	CEILING SUPPLY AIR	SEE PLANS	SQUARE LAY-IN	NO	24x24	STEEL	WHITE	4-WAY	TITUS	OMNI	-	-
D3	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	YES	-	ALUMINUM	WHITE	2-WAY	ACUTHERM	ADVL	120	ALL
D4	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	NO	-	ALUMINUM	WHITE	1-WAY	TITUS	ML-38	-	4
D5	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	NO	-	ALUMINUM	WHITE	1-WAY	TITUS	ML-38	-	5
G1	RETURN/ TRANSFER AIR	SEE PLANS	GRILLE SURFACE	NO	NECK SIZE + 1.75"	STEEL	WHITE	-	TITUS	350RL	-	-
G2	RETURN AIR	SEE PLANS	GRILLE LAY-IN	NO	NECK SIZE + 1.75"	STEEL	WHITE	-	TITUS	350RL	-	-

PROVIDE RECESSED ENCLOSURE.

OTES:

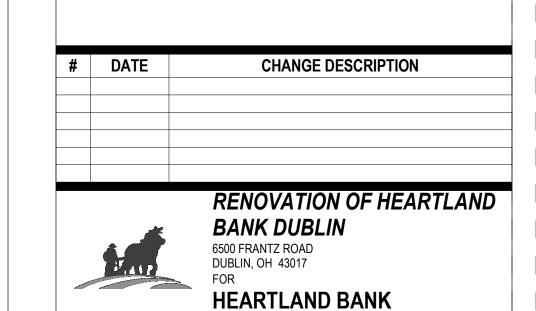
PROVIDE WITH WALL MOUNTED THERMOSTAT.
 PROVIDE WITH 115V TO 24V ONBOARD TRANSFORMER FOR MASTER.
 2-SLOT. 2-WAY AIRFLOW. 60" LENGTH. PROVIDE WITH INSULATED PLENUM.

2-SLOT, 60" LENGTH. PROVIDE WITH TITUS MPI-38 INSULATED PLENUM.
 2-SLOT, 48" LENGTH. PROVIDE WITH TITUS MPI-38 INSULATED PLENUM.

	LOUVER SCHEDULE  EQUIPMENT BASED ON GREENHECK UNLESS NOTED OTHERWISE												
TAG	MODEL	LOCATION	SERVICE	CFM	TYPE	MATERIAL	DIMENSION HxWxD (IN)	FREE FACE AREA (SF)	MAX SP DROP	FREE AREA VEL (FPM)	REMARKS		
L-1	FOR COS MEQUIPOCH INTERES AND STATIONARY ALLEY ALONG ALL COS AND ALL												
NOTES:	1. PROVIDE W	TITH BIRDSCREEN.											

	ELECTRIC UNIT HEATER SCHEDULE  EQUIPMENT BASED ON QMARK UNLESS NOTED OTHERWISE											
	UNIT DATA HEATING ELEMENTS											
TAG	SERVICE	MODEL	TYPE	CFM	AMPS	TOTAL KW	VOLTS	PHASE	REMARKS			
<u>EUH-1</u>	VESTIBULE 101	CDF-542	RECESSED	300	9.6	2	208	1	ALL			
_	OTES:  1. PROVIDE INTEGRAL THERMOSTAT.											







300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

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## SCHEDULES - MECHANICAL

05/12/2021

DRAWN BY: **Author** CHECKED BY: **Checker**20022

M-601

FINAL DEVELOPMENT PLAN

5/13/2021 8:51:03 AM C:\Users\Robert.Connor\Documents\20022 Heartland Bank Dublin - MEP - R

	SHTING SYMBOLS
: NOT AL	L SYMBOLS MAY BE USED.
0 0	GENERAL PURPOSE LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	GENERAL PURPOSE LUMINAIRE ON EMERGENCY POWER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	GENERAL PURPOSE DUAL BALLAST LUMINAIRE ONE BALLAST ON EMERGENCY POWER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
0	ROUND LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
<b>○</b>	WALL WASHER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
O	WALL MOUNTED LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL MOUNTED DECORATIVE LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
<b>⊘</b>	WALL MOUNTED FLOOD LIGHT: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
=	TRACK LIGHTING
$\uparrow$	TRACK LIGHTING HEAD
▽	REMOTE HEAD
	STEP LIGHT
<u> </u>	EMERGENCY LIGHT
•	EXIT SIGN
⊗↓	CEILING MOUNTED ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS
• <del> </del>	EMERGENCY DUAL FACE ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS
<b>\$</b>	EXIT SIGN WITH INTEGRAL HEADS
ΔV	SWITCH: X=BLANK-SINGLE POLE 20A, TOGGLE;
\$ <sup>x</sup>	X=3-THREE WAY; X=4-FOUR WAY; X=P-PILOT LIGHT; X=K-KEY; X=MS-MOMENTARY
6	PHOTOCELL
	WALL MOUNTED OCCUPANCY SENSOR: X=BLANK-DUAL TECHNOLOGY; X=IR-PASSIVE
os <sup>x</sup>	INFRARED; X=US-ULTRASONIC  CEILING MOUNTED OCCUPANCY SENSOR:
<b>⊚</b> <sup>x</sup>	X=BLANK-DUAL TECHNOLOGY; X=IR-PASSIVE INFRARED; X=US-ULTRASONIC
D	DIMMER
PP	POWER PACK
<u> </u>	JUNCTION BOX
<u> </u>	PANELBOARD
	LIGHTING CONTROL PANEL
$\overline{}$	I I
$\boxtimes$	LOW VOLTAGE TRANSFORMER

TEL	ECOMM SYMBOLS									
NOTE: NOT ALL SYMBOLS MAY BE USED.										
$\nabla$	4" JUNCTION BOX ROUGH-IN WALL MOUNTED DATA OUTLET (18" AFF):									
	WIRELESS ACCESS POINT									
₿	POKE THROUGH DEVICE: PROVIDE (1) DUPLEX OUTLET AND (2) CAT6 DATA JACKS, TERMINATE DATA ON PATCH PANEL IN NEAREST IT CLOSET; A=POWER / A/V / DATA, B=POWER / DATA									
==	SURFACE MOUNTED RACEWAY									
	CABLE TRAY									
	EQUIPMENT RACK									
<i></i>	TELEPHONE TERMINAL BOARD/PLYWOOD BACKBOARD: REFER TO PLANS FOR ACTUAL LENGTHS									
SE	CURITY SYMBOLS									
NOTE: NOT AL	L SYMBOLS MAY BE USED.									
	CAMERA: PTZ=PAN, TILT, AND ZOOM; F=FIXED DIRECTIONAL; D=DOME CAMERA									

SE	CURITY SYMBOLS
NOTE: NOT A	LL SYMBOLS MAY BE USED.
	CAMERA: PTZ=PAN, TILT, AND ZOOM; F=FIXED DIRECTIONAL; D=DOME CAMERA
АН	ALARM HORN
CR	CARD READER
DL	DOOR LATCH
IC	INTERCOM
KP	KEY PAD
LM	LATCH MONITOR
MS	MONITORING STATION
MD	MOTION DETECTOR
TS	TAMPER SWITCH
PS	POWER SUPPLY
RX	REQUEST EXIT
ES	ELECTRIC STRIKE
·	PUSH BUTTON
	CCTV EQUIPMENT RACK

LINE TYPE I	LEGEND
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
_	NEW WORK

# DATE CHANGE DESCRIPTION

RENOVATION OF HEARTLAND



BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

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DRAWING TITLE:

GENERAL INFORMATION - ELECTRICAL

05/12/2021

DRAWN BY: Author CHECKED BY: Checker

20022

E-001

FINAL DEVELOPMENT PLAN



STATE RT. #33

1 PLAN SITE PLAN - ELECTRICAL DEMOLITION
1" = 10'-0"



CODED NOTES:

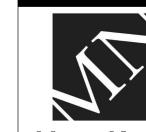
- EXISTING UTILITY TRANSFORMER AND SECONDARY FEEDER TO REMAIN.
- 2. POWER CONNECTION AND DISCONNECT TO EXISTING CONDENSING UNIT. CONDUCTORS SHALL BE COMPLETELY REMOVED BACK TO SOURCE. CONDUIT SHALL REMAIN FOR
- 3. DEMOLISH EXISTING POLE LIGHT AND BASE. PROVIDE 8" X 8" HANDHOLE TO INTERCEPT CIRCUIT REFER TO NEW WORK PLAN FOR ADDITIONAL REQUIREMENTS.
- 4. EXISTING JUNCTION BOX TO REMAIN. RE-SECURE TO EXISTING POLE BASE AND TIGHTEN COVER TO ENSURE WATER RESISTANCE.
- 5. DEMOLISH EXISTING SIGN. PROVIDE 8" X 8" HANDHOLE TO INTERCEPT CIRCUIT REFER TO NEW WORK PLAN FOR ADDITIONAL REQUIREMENTS.

# DATE CHANGE DESCRIPTION

RENOVATION OF HEARTLAND



BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR
HEARTLAND BANK



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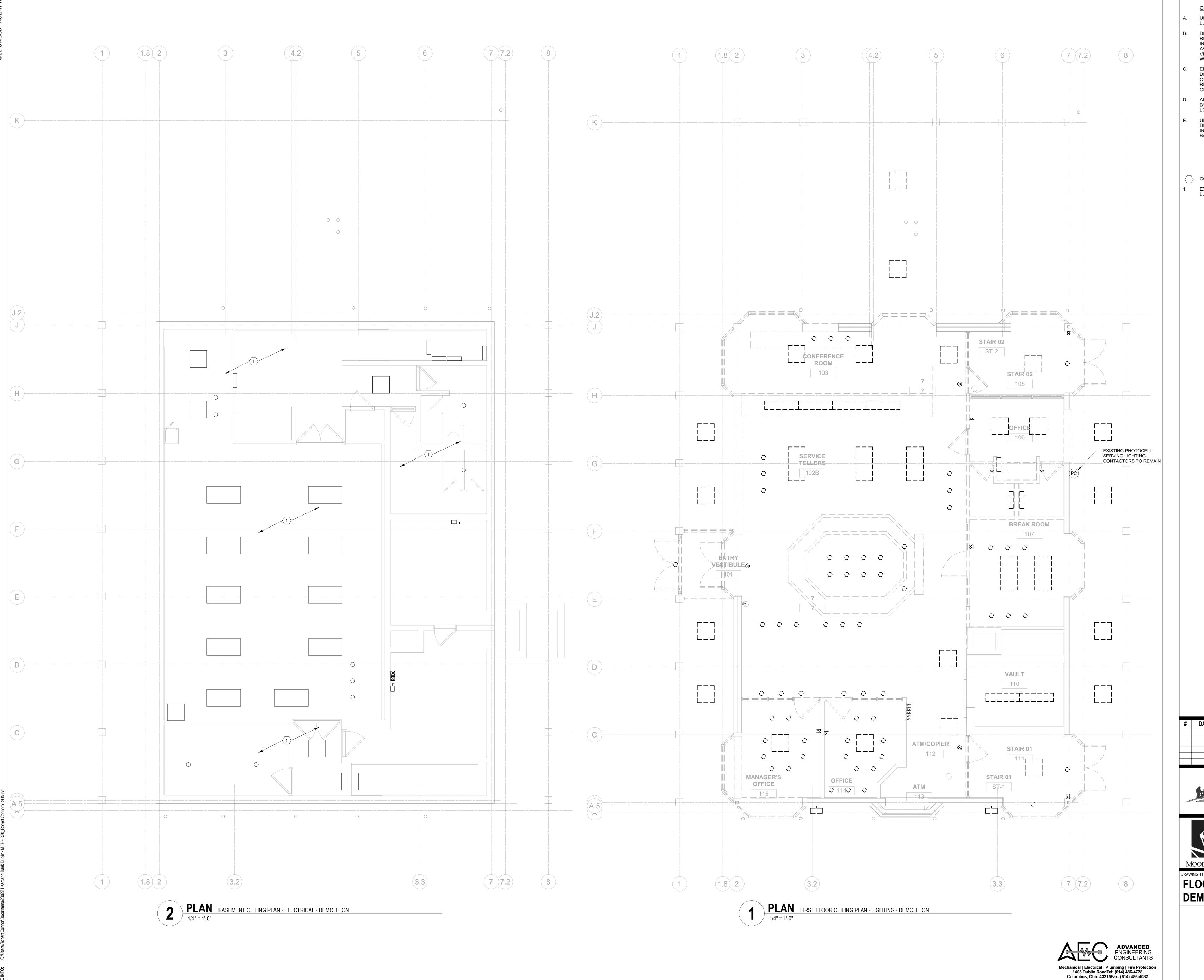
DRAWING TITLE:

SITE PLAN - ELECTRICAL - DEMOLITION

05/12/2021

DRAWN BY: Author CHECKED BY: Checker

ED100



**GENERAL NOTES:** 

- UNLESS NOTED OTHERWISE ALL 1ST FLOOR INTERIOR
- LUMINAIRES AND CONTROLS SHALL BE DEMOLISHED. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND REPRESENT AN APPROXIMATION OF INITIAL CONDITIONS. INFORMATION PROVIDED IS BASED ON THE BEST AVAILABLE DATA. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF THE NEW
- WORK PRIOR TO CONSTRUCTION. ENSURE THAT ALL LIGHTING FIXTURES AND WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPEATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH
  - CIRCUITING AS REQUIRED TO MAINTAIN SERVICE. ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH STATE, LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
- UNLESS NOTED OTHERWISE, ALL CONDUCTORS OF DEMOLISHED DEVICES AND EQUIPMENT THAT ARE NOT INDICATED FOR REUSE SHALL BE COMPLETLEY REMOVED BACK TO SOURCE.
- CODED NOTES:
- EXISTING LUMINAIRES TO REMAIN. TEMPORARILY SUSPEND LUMINAIRES DURING CONSTRUCTION AS REQUIRED

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR **HEARTLAND BANK** 



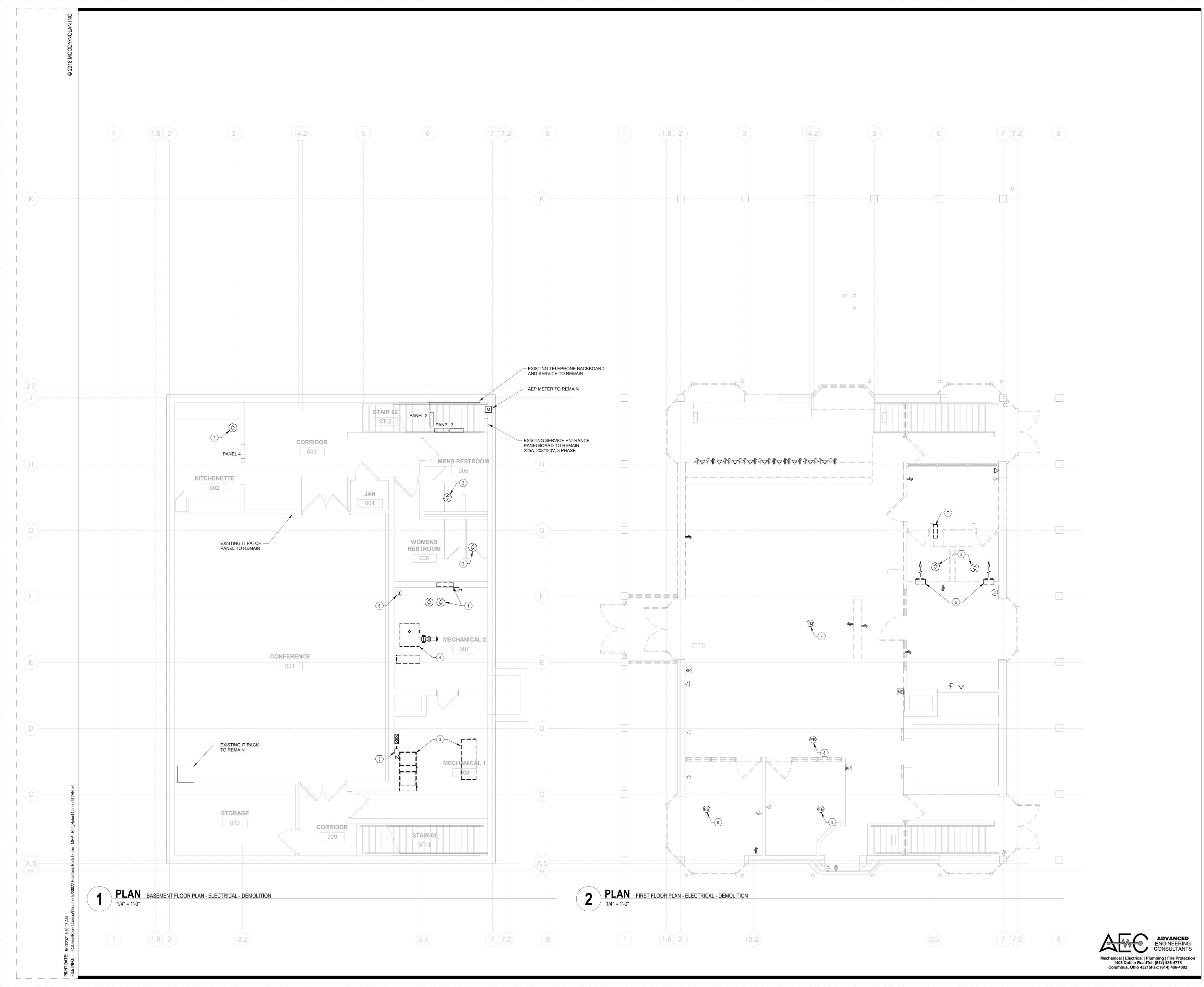
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

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FLOOR PLANS - LIGHTING -**DEMOLITION** 

> 05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

**ED101** 



**GENERAL NOTES:** 

MAINTAIN SERVICE.

- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND REPRESENT AN APPROXIMATION OF INITIAL CONDITIONS. INFORMATION PROVIDED IS BASED ON THE BEST AVAILABLE DATA. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF THE NEW WORK PRIOR TO CONSTRUCTION.
- ENSURE THAT ALL WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPERATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH CIRCUITING AS REQUIRED TO
- ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH STATE, LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
- UNLESS NOTED OTHERWISE, ALL CONDUCTORS OF DEMOLISHED DEVICES AND EQUIPMENT THAT ARE NOT INDICATED FOR REUSE SHALL BE COMPLETELY REMOVED BACK TO SOURCE.
- ALL REMAINING OPEN JUNCTION BOXES OR BACK BOXES AS A RESULT OF DEMOLITION WORK SHALL BE CLOSED WITH BLANK COVERPLATES AND KNOCKOUT ENCLOSURE MATCHING FINISHES.

**CODED NOTES:** 

- POWER CONNECTION TO SEWAGE EJECTOR PUMP AND SUMP PUMP TO BE DEMOLISHED. DEMOLISH EXISTING CONTROL PANEL AND ASSOCIATED HARDWARE. MAINTAIN AND PROTECT EXISTING CIRCUITS FOR USE WITH NEW
  - POWER CONNECTION TO EXHAUST FAN TO BE DEMOLISHED.
- POWER CONNECTION TO FURNACE AND ASSOCIATED HARDWARE TO BE DEMOLISHED.
- POWER CONNECTION TO BOILER AND ASSOCIATED HARDWARE TO BE DEMOLISHED.
- POWER CONNECTION TO UNIT HEATER TO BE DEMOLISHED.

- WATER HEATER TO REMAIN.
- DEMOLISH EXISTING LOAD CENTER. ENSURE THAT ALL WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPERATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH CIRCUITING AS REQUIRED TO MAINTAIN SERVICE.
- DEMOLISH EXISTING FLOOR BOX, INFILL BACKBOX AS REQUIRED.

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND **BANK DUBLIN** 6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



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FLOOR PLANS -POWER/SYSTEMS - DEMOLITION

> 05/12/2021 DRAWN BY: Author CHECKED BY: Checker

20022 **ED201** 

STATE RT. #33 JUNCTION BOX FOR SIGN LIGHTING

1 PLAN SITE PLAN - ELECTRICAL
1" = 10'-0"

Mechanical | Electrical | Plumbing | Fire Protection 1405 Dublin RoadTel: (614) 486-4778 Columbus, Ohio 43215Fax: (614) 486-4082

**GENERAL NOTES:** 

- UNLESS NOTED OTHERWISE, MINIMUM CONDUIT SIZE FOR ALL EXTERIOR INSTALLATIONS SHALL BE 1".
- UNDERGROUND CONDUIT ROUTING SHOWN IS DIAGRAMMATIC. CONTRACTOR SHALL CONDUCT UNDERGROUND UTILITY LOCATING AND DETERMINE EXACT
- ROUTING. CONTRACTOR SHALL ALSO CONTACT "OUPS" NO LESS THAN 7 CALENDAR DAYS PRIOR TO DIGGING. COORDINATE ALL SITE WORK WITH OTHER TRADES AND EXISTING UNDERGROUND UTILITIES.

### CODED NOTES:

- PROVIDE NEW LIGHT POLE AND LUMINAIRE, EXTEND EXISTING CIRCUIT (WITH #12 AWG CONDUCTORS) FROM HANDHOLE TO LUMINAIRE.
- CU-1, 208V, 1PH 23.5A: PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY. 2-#10, #10 G IN EXISTING CONDUIT.
- CU-2A, 208V, 1PH 23.5A: PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY. 2-#10, #10 G EXISTING CONDUIT.
- CU-2B, 208V, 1PH 23.5A: PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS
- NECESSARY. 2-#10, #10 G IN 3/4" CONDUIT. EXTEND EXISTING LIGHTING CIRCUIT FROM HANDHOLE TO
- SIGN LIGHTING. INTERCEPT CIRCUIT, MATCH WIRE SIZE, MAKE JUNCTIONS AND EXTEND TO NEW SIGN.
- EXISTING JUNCTION BOX TO REMAIN. RE-SECURE TO EXISTING POLE BASE AND TIGHTEN COVER TO ENSURE WATER RESISTANCE.
- EXTEND EXISTING SITE LIGHTING CIRCUIT FROM SITE LIGHTING HANDHOLE TO BOLLARD LIGHTING. COORDINATE BOLLARD LOCATIONS WITH LANDSCAPING PLANS PRIOR TO

CHANGE DESCRIPTION



RENOVATION OF HEARTLAND BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017
FOR **HEARTLAND BANK** 



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

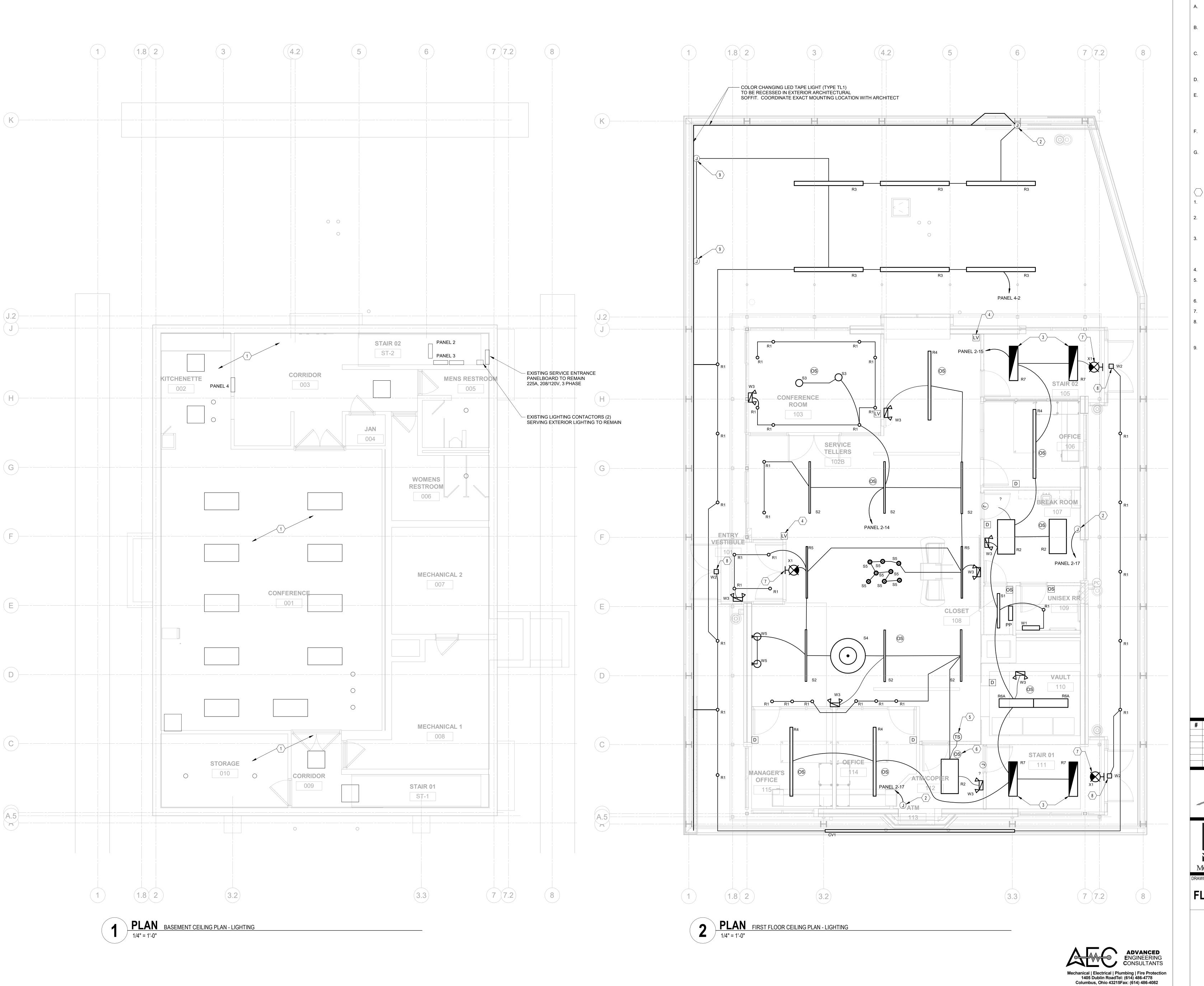
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DRAWING TITLE:

SITE PLAN - ELECTRICAL

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

**ES100** 



**GENERAL NOTES:** 

- COORDINATE EXACT LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING PLAN AND HVAC PLANS PRIOR TO ROUGH-IN TO AVOID CONFLICTS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING PANEL CIRCUITING FOR CIRCUIT MODIFICATIONS SHOWN. MAINTAIN CIRCUITRY CONTINUITY FOR DOWNSTREAM
- POWER PACKS AND SLAVE PACKS ARE NOT SHOWN FOR CLARITY. POWER PACKS AND SLAVE PACKS SHALL BE LOCATED WITHIN EACH ROOM ABOVE CEILING ADJACENT TO THE ENTRY DOOR.
- NO SHARED NEUTRALS EACH NEW CIRCUIT SHALL HAVE DEDICATED NEUTRAL CONDUCTOR.
- PROVIDE ALL MOUNTING HARDWARE PER MANUFACTURER'S WRITTEN INSTRUCTIONS TO SUPPORT LUMINAIRES. CONTRACTOR TO VERIFY MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN. LUMINAIRES SHALL NOT BE SUPPORTED BY
  - STRAIGHT LINES INDICATE LUMINAIRES CIRCUITED TO COMMON CONTROLS. ARCHED LINES INDICATE A COMMON BRANCH CIRCUIT BUT SEPARATE CONTROLS.
- EMERGENCY EGRESS LIGHTING, EXIT SIGNS AND NIGHT LIGHTS SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING OR CONTROLS WITH A MINIMUM OF #12 CONDUCTORS.

#### CODED NOTES:

- EXISTING LUMINAIRES TO REMAIN. TEMPORARILY SUSPEND LUMINAIRES DURING CONSTRUCTION AS REQUIRED.
- POWER CONNECTION TO EXTERIOR LIGHTED SIGN. COORDINATE EXACT REQUIREMENTS WITH SIGN MANUFACTURER PRIOR TO ROUGH-IN.
- LUMINAIRES MOUNTED IN STAIRS SHALL BE PROVIDED WITH INTEGRAL OCCUPANCY SENSOR. LIGHTING POWER IN STAIRS SHALL BE REDUCED AUTOMATICALLY BY AT LEAST 50% WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING THE
- SWITCH FOR AFTER HOURS OVERRIDE.
- TOUCH SCREEN CONTROLLER FOR LIGHTING SYSTEM. COORDINATE EXACT LOCATION WITH OWNERS REPRESENTATIVE PRIOR TO ROUGH-IN.
- OCCUPANCY SENSOR SET TO AUTO ON/OFF.
  - MULLION MOUNTED EXIT SIGN.
- MULLION MOUNTED EMERGENCY LIGHT. REMOTE POWER SUPPLY/EMERGENCY BATTERY TO BE MONTE IN ADJACENT ACCESSIBLE CEILING. LOCATE REMOTE TEST SWITCH IN ACCESSIBLE CEILING.
- JUNCTION BOX FOR POWER CONNECTION TO FUTURE DRIVE-THRU SIGNAL LIGHT.

CHANGE DESCRIPTION



BANK DUBLIN 6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



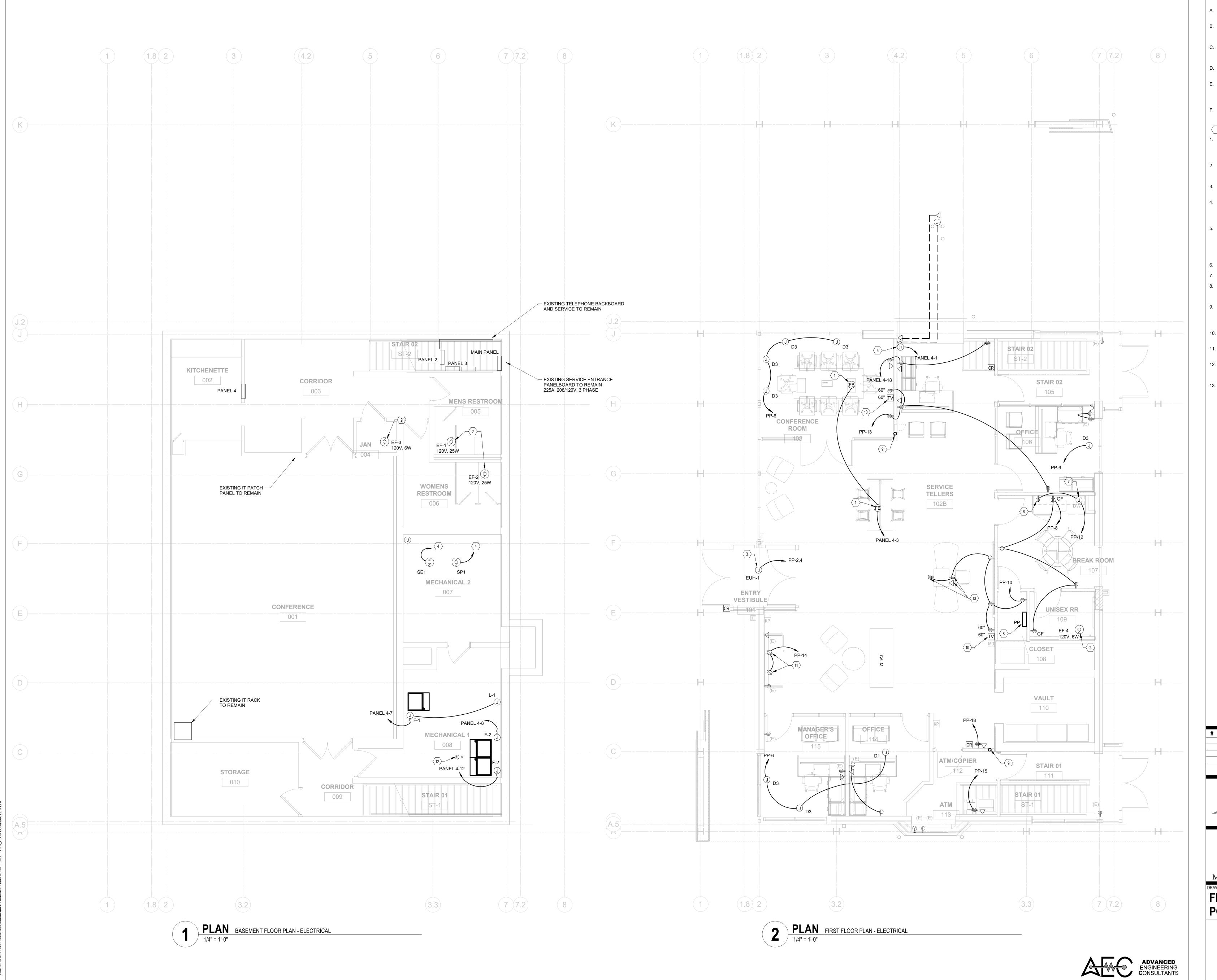
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

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**FLOOR PLANS - LIGHTING** 

05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

E-101



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**GENERAL NOTES:** 

SPECIFICATIONS.

- UNLESS NOTED OTHERWISE NO ELECTRICAL WORK ANTICIPATED IN BASEMENT.
- DRAWING REPRESENTS AN APPROXIMATION OF INITIAL CONDITIONS. ELECTRICAL CONTRACTOR SHALL FIELD
- VERIFY EXTENT OF DEMOLITION WORK PRIOR TO BID. COORDINATE ROUGH-IN REQUIREMENTS OF DEVICES WITH FURNITURE WITH ARCHITECTURAL DRAWINGS AND
  - ALL DATA CABLING/DEVICE MATERIALS AND INSTALLATION SHALL BE BY OWNER.
  - CONTRACTOR SHALL FIELD VERIFY EXISTING PANEL CIRCUITING FOR CIRCUIT MODIFICATIONS SHOWN. MAINTAIN CIRCUITRY CONTINUITY FOR DOWNSTREAM
- NO SHARED NEUTRALS EACH NEW CIRCUIT SHALL HAVE DEDICATED NEUTRAL CONDUCTOR.
  - CODED NOTES:

PROVIDE POKE THRU WITH RECEPTACLE AND TWO (2) DATA OUTLETS. HUBBELL SYSTEM ONE S1PTFIT-S1SPDU2IM (OR EQUAL). COVER PLATE TYPE AND COLOR TO BE SELECTED BY ARCHITECT.

- EXHAUST FAN 120V FRACTIONAL HP WITH INTEGRAL DISCONNECT. FAN SHALL BE CIRCUITED AND CONTROLLED WITH LIGHTS SERVING THE SPACE.
- ELECTRIC UNIT HEATER, 208V SINGLE PHASE 19.2A WITH
- INTEGRAL DISCONNECT.
- UTILIZE EXISTING CIRCUIT RETAINED FROM DEMOLITION PHASE TO SERVE NEW EQUIPMENT. INTERCEPT CIRCUIT, MATCH WIRE SIZE, MAKE JUNCTIONS AND EXTEND TO NEW EQUIPMENT AS NECESSARY.

EXACT LOCATION PRIOR TO ROUGH-IN.

- POWER CONNECTION TO TELLER/CUSTOMER INTERFACE. EXTEND TWO (2) 3/4" CONDUITS FOR POWER/DATA UNDERGROUND FROM TELLER TERMINAL ASSEMBLY TO CUSTOMER TERMINAL ASSEMBLY AND TO AUDIO MATRIX PER MANUFACTURERS RECOMMENDATIONS. COORDINATE
  - RECEPTACLE FOR UNDER COUNTER REFRIGERATOR.
- POWER CONNECTION TO UNDER COUNTER DISH WASHER. NEW SURFACE MOUNTED SUB PANEL PP. EXTEND 4-#1 AND 1-#8 GROUND IN 1.5" CONDUIT TO PANEL "MAIN" IN
- PROVIDE 2" CONDUIT RISER WITH PULL STRING FOR OWNERS FUTURE DATA CABLING INSTALLATION. STUB TO

ABOVE ACCESSIBLE CEILING WITH INSULATION RING AT

- ROUGH-IN FOR TV OUTLET. EXTEND CONDUIT AND PULL STRING TO ACCESSIBLE CEILING ABOVE.
- COORDINATE DEVISE LOCATION WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
- DUCT MOUNTED SMOKE DETECTOR AND REMOTE INDICATOR TO BE PROVIDED BY DIVISION 23 FOR

TOP OF CONDUIT.

- SHUTDOWN OF FURNACE F2.
- 13. PROVIDE 1" CONDUIT STUB FROM BASEMENT FOR EACH DEVICE AT THIS COUNTER.

CHANGE DESCRIPTION



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FLOOR PLANS -POWER/SYSTEMS

> 05/12/2021 DRAWN BY: Author CHECKED BY: Checker 20022

E-201

### ROOM CONTROL SCENARIOS

BASIS OF DESIGN RELAY CONTROL SYSTEM IS INLIGHT BY ACUITY BRANDS. UPPER CASE LETTER DENOTES SWITCH TYPE. LOWER CASE LETTERS INDICATE CONTROL GROUPS, REFER TO PLANS.

### COMMON SPACES (CORRIDORS, LOBBY)

TIME CLOCK TURNS INTERIOR LIGHTS 'ON' / 'OFF'.

- TOUCH SCREEN SHALL OVER-RIDE "ON/OFF" AND CONTROL PROGRAMMED SCENES
- LOCAL WALL SWITCH SHALL OVER-RIDE TIME CLOCK 'ON' / 'OFF', INTENDED FOR AFTER HOURS USE. PROVIDE QUANTITY OF SMALL BUTTONS TO MATCH QUANTITY OF SWITCH GROUPS SHOWN. PROVIDE ONE 'ALL OFF' BUTTON.
- OS LOCAL OCCUPANCY SENSOR (WHERE SHOWN) SHALL OPERATE ONLY AFTER HOURS, 'ON' / 'OFF'.
- DAYLIGHT SENSOR (WHERE SHOWN) SHALL DIM DESIGNATED FIXTURES TO MAINTAIN A CONSTANT FOOT-CANDLE LEVEL IN THE SPACE.

### PRIVATE OFFICES

OS OCCUPANCY SENSOR SHALL TURN LIGHTS 'ON' / 'OFF'. AUTO-ON SHALL PRODUCE 50% OUTPUT (DIMMING).

LOCAL WALL SWITCH SHALL ALLOW USER TO RAISE OR LOWER LIGHTING LEVELS WITH FULL RANGE 0-10V DIMMING, OR SELECT 'OFF'. PROVIDE THREE BUTTON SWITCH WITH 'HIGH', 'LOW', 'OFF' SELECTIONS.

### CONFERENCE ROOMS

- OS OCCUPANCY SENSOR SHALL TURN LIGHTS 'ON' / 'OFF'. AUTO-ON SHALL PRODUCE 50% OUTPUT (DIMMING).
- LOCAL WALL SWITCH SHALL ALLOW USER TO RAISE OR LOWER LIGHTING LEVELS WITH FULL RANGE 0-10V DIMMING, OR SELECT 'OFF'. PROVIDE THREE BUTTON SWITCH WITH 'HIGH', 'LOW', 'OFF' SELECTIONS.

### BREAK ROOM

- LOCAL WALL SWITCH(ES) SHALL PROVIDE MANUAL 'ON' / 'OFF' AND ALLOW USER TO RAISE OR LOWER LIGHTING LEVELS WITH 0-10V DIMMING MINIMUM TRIM SET TO 20%. PROVIDE THREE BUTTON SWITCH WITH 'HIGH', 'LOW', 'OFF' SELECTIONS.
- PROVIDE THREE BUTTON SWITCH WITH 'HIGH', 'LOW', 'O

  OCCUPANCY SENSOR SHALL TURN LIGHTS 'OFF' ONLY.

### RESTROOMS, JANITORS CLOSET

LOCAL OS WALL SWITCH SHALL PROVIDE AUTO 'ON' / 'OFF'. PROVIDE ONE MANUAL BUTTON FOR 'ON' / 'OFF' OVER-RIDE.

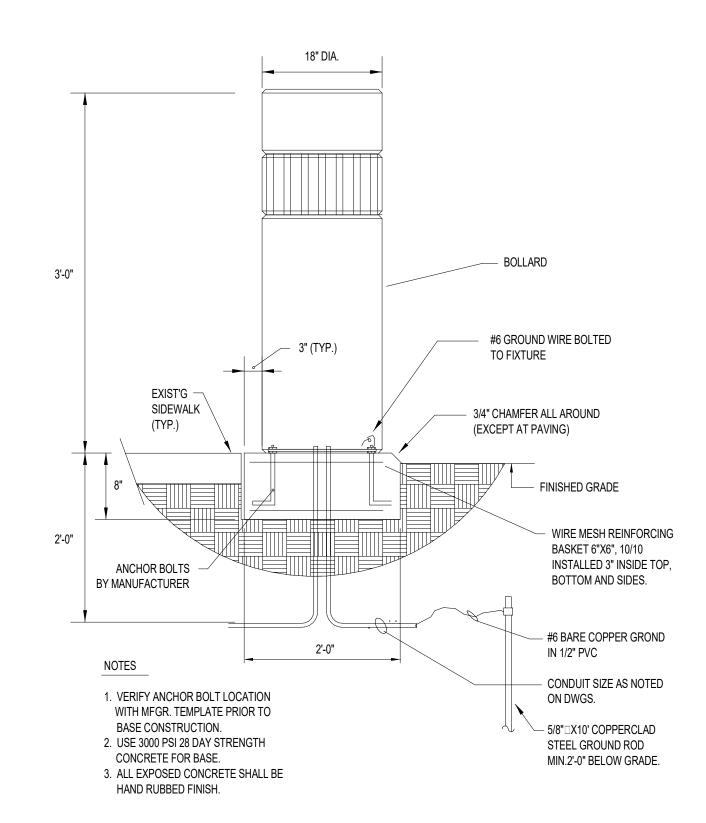
### EXTERIOR EMERGENCY LIGHTING

- OUTDOOR PHOTOCELL SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'.
- TIME CLOCK SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'. COORDINATE SCHEDULE WITH OWNER.

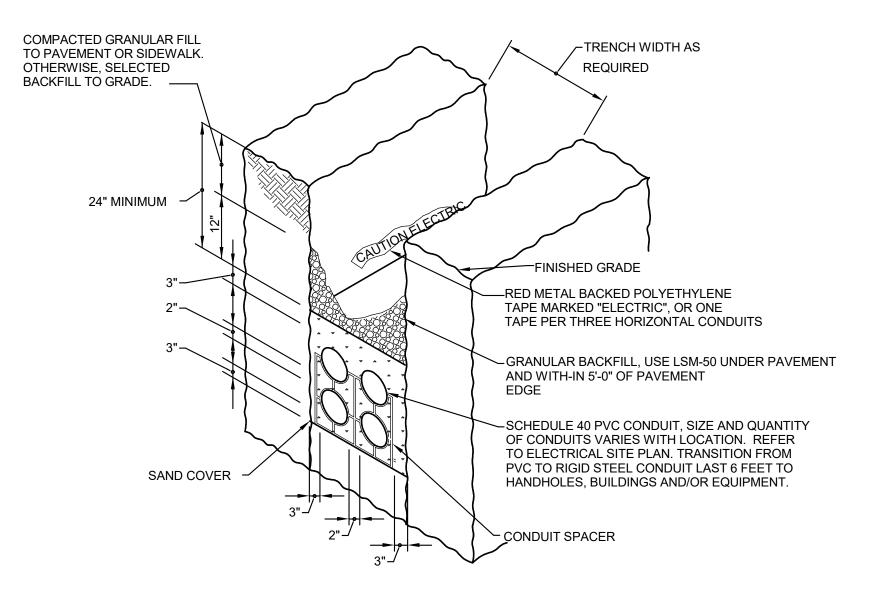
### EXTERIOR PERIMETER FACADE LIGHTING

- OUTDOOR PHOTOCELL SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'.
- TIME CLOCK SHALL AUTOMATICALLY CONTROL EXTERIOR LIGHTING 'ON'/'OFF'.
  COORDINATE SCHEDULE WITH OWNER. SCHEDULE SHALL COMPLY WITH ASHRAE 90.1

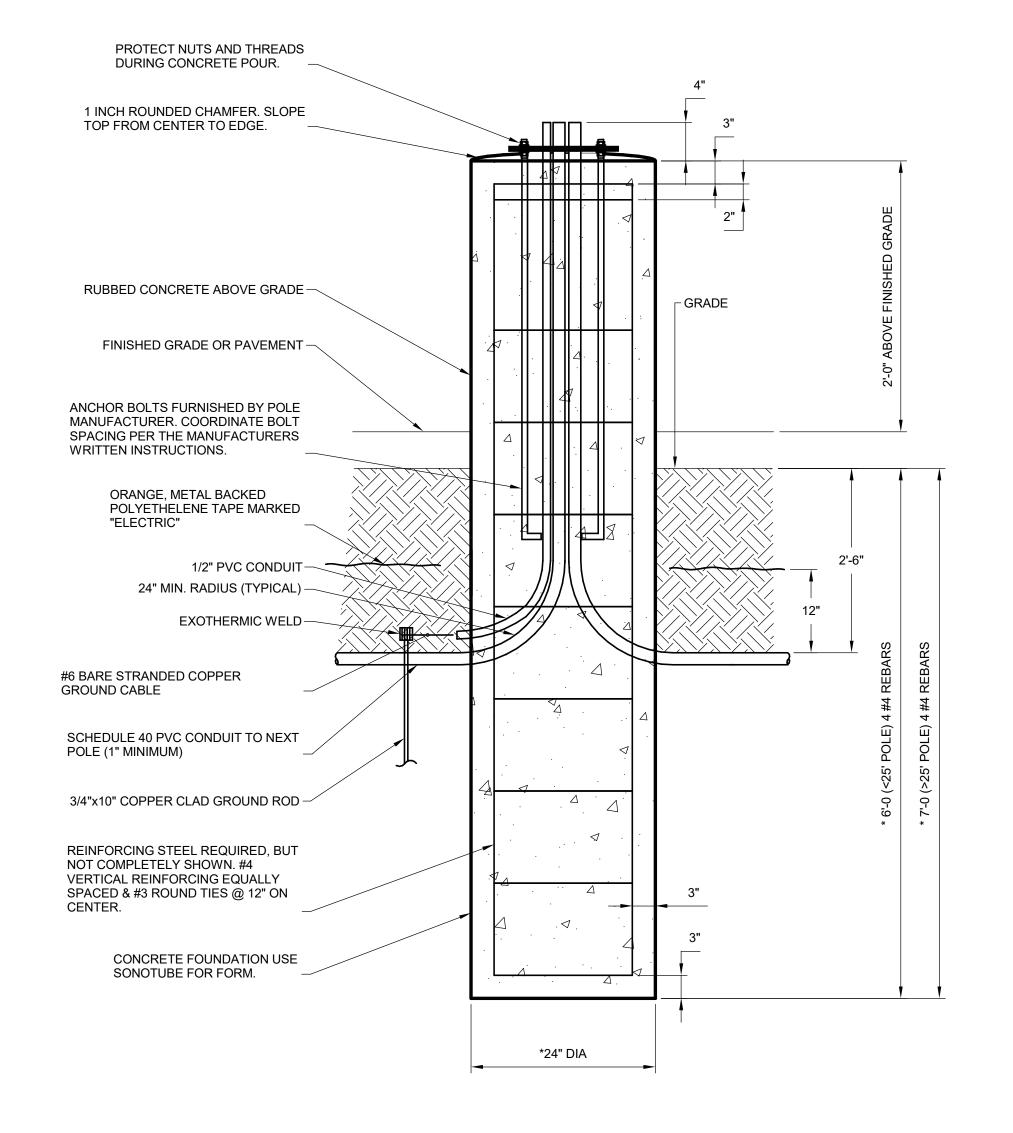
# 1 DETAIL - LIGHTING CONTROL RISER



4 DETAIL - LIGHTED BOLLARD BASE



2 DETAIL - DIRECT BURIED CONDUIT



3 DETAIL - CONCRETE POLE BASE



# DATE CHANGE DESCRIPTION

RENOVATION OF HEARTLAND
BANK DUBLIN
6500 FRANTZ ROAD
DUBLIN, OH 43017



300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215

**HEARTLAND BANK** 

PHONE: (614) 461-4664 AN FAX: (614) 280-8881

ETAILS ELECTDICAL

**DETAILS ELECTRICAL** 

05/12/2021

DRAWN BY: **Author** CHECKED BY: **Checker**20022

E-501

FINAL DEVELOPMENT PLAN

8 AM ConnonDocuments\20022 Heartland Bank Dublin - MEP - R20\_

	Donali D/	N N I E	-1 (	<u> </u>									
	Panel: PA	4IN C	<b>:L 4</b>	_									
	Location: STA	ST-2			Volts:	120/20	)8 Wy	е	A.I	.C. Ra	ting: 10KAIC		
	Supply From: MAIN	EL		F	Phases:	3			M	lains 1	Type: MLO		
	Mounting: Rece	essed				Wires:	4			Mai	ins Ra	ting: 100 A	
	Enclosure: Type	1								M	CB Ra	ting:	
CK T	Circuit Description	Trip	Pole s	ļ	4	E	3	(	<b>C</b>	Pole s	Trip	Circuit Description	CK T
1	(E) UPS	30 A	1	0.5	1.0						•		2
3	(E) WEST WALL #1	20 A	1			0.8	1.0			3	30 A	(E) SORTER	4
5	(E) SOUTH WALL #2	20 A	1					8.0	1.0				6
7	(E) WEST WALL #2	20 A	1	8.0	0.5					1	20 A	(E) EAST WALL #2	8
9	SPARE	20 A	1			0.0	8.0			1	20 A	(E) EAST WALL #3	10
11	(E) IRRIGATION TIMER	20 A	1					0.2	0.8	1	20 A	(E) EAST WALL #1	12
	(E) SOUTH WALL #1	20 A	1	8.0	1.2					1		LIGHTING-RM101,102B	
15	LIGHTING	20 A	1			0.5	0.0			1	20 A	SPARE	16
17	SIGN	20 A	1					1.0	0.0			SPACE	18
	SPACE			0.0	0.0							SPACE	20
21	SPACE					0.0	0.0					SPACE	22
23	SPACE							0.0	0.0			SPACE	24
		Total	Load:	4.8	kVA	3.1	kVA	3.8	kVA				
		T	otal	41	Α	26	iΑ	32	2 A				
			Conn	. Load	d:	Deman	d Load	l:	Demand				
				7 kVA		11.7	kVA		32	Α			

	Panel: PA	ANE	EL 3	3										
	Location: STAIR 02 ST-2					Volts:	120/20	08 Wye	Э	A.I	A.I.C. Rating: 10KAIC			
	Supply From:				Р	hases:	3			M	lains 1	Type: MLO		
	Mounting: Rec	essed				Wires:	4			Mai	ins Ra	ting: 60 A		
	Enclosure: Type	e 1								M	CB Ra	ting: .		
CK T	Circuit Description	Trip	Pole s	ļ	4	E	3	(	;	Pole s	Trip	Circuit Description	CK T	
1	(E) MAIN UPS	20.4	2	2.0	0.0					2	30 V	(E) GEN	2	
3		30 A	A 2	JA Z										
3	(E) IVIAIIN OF 3	30 A				2.0	0.0				0071	(2) 32.1	4	
5	SPACE					2.0	0.0	0.0	1.0	1	20 A	(E) SUMP PUMP	6	
	` '			0.0						1		,		
	SPACE			0.0	kVA	2.0		1.0		1		,	6	
	SPACE	  Total				2.0			kVA	1		,	6	
	SPACE	  Total	  Load: otal	2.0	Α	2.0	kVA A	1.0	kVA	1		,	6	

	Panel: P	ANE	EL 4	1									
	Location: KIT	CHENE	ETTE 002 <b>Volts</b> : 120/208 Wye						A.I	.C. Ra	ting: 10KAIC		
	Supply From: MAI	EL		F	Phases:	3			M	ains 1	Type: MLO		
	Mounting: Red	essed				Wires:	4			Mai	ns Ra	ting: 100 A	
	Enclosure: Typ	e 1								M	CB Ra	ting:	
CK T	Circuit Description	Pole s	A B			3	Pole			Trip	Circuit Description	CK T	
1	TELLER	Trip 20 A	1	0.5	0.5	5				1	20 A	•	2
3	RECEPTACLE FLOOR	20 A	1			0.7	0.8			1	20 A	(E) LTG MEETING RM	4
5	SPARE	20 A	1					0.0	0.4	1	20 A	(E) RECPT FRONT	6
7	F1 L1	20 A	1	1.5	1.0	)				1	20 A	F2	8
9	(E) LANE RTS (TWIN)	20 A	1			0.5	1.5			1	20 A	,	10
11	(E) LANE RTS	20 A	1					0.5	1.0	1	20 A		12
13	(E) LANE RTS	30 A	1	0.5	0.2	2				1	20 A	,	14
15	(E) LTG EXTERIOR	20 A	1			0.5	1.5			1	20 A	,	16
17	(E) LTG EXTERIOR	20 A	1					0.5	0.9	1	20 A	RECEPTACLE TELLER	18
19	SIGN	20 A	1	0.7									20
			Load: otal	4.9 43			kVA S A		kVA 7 A				
			Conn	ı. Load	d:	Deman	d Load	i:	Dema				
				7 kVA		13.7	kVA		38	A			

	Supply From: MAI		R 109										
	Enclosure: Type	Location: UNISEX RR 109 Supply From: MAIN PANEL Mounting: Surface Enclosure: Type 1						08 Wy	e	A.I.C. Rating: 10KAIC Mains Type: MCB Mains Rating: 100 A MCB Rating: 100 A			
CK T	Circuit Description	Trip	Pole s		<b>Δ</b>		В		C	Pole s	Trip	Circuit Description	CK T
1 3 CI	CU-1	30 A	2	2.4	8.0	3 2.4	0.8			2	20 A	EUH-1	2
5	CU-2A	30 A	2					2.4	0.0	1	20 A	DIFFUSER POWER	6
7	-U-2A	30 A		2.4	0.7	7				1	20 A	RECEPTACLE BREAK	8
9 CI	CU-2B	30 A	2			2.4	1.1			1	20 A	RECEPTACLE TELLER	10
11			_					2.4	0.7	1	20 A		12
	RECEPTACLE TELLER	20 A	1	0.9	0.4					1		RECEPTACLE	14
	RECEPTACLE COPIER	20 A	1			0.4	0.2			1		RECEPTACLE	16
	PARE	20 A	1					0.0	0.4	1		RECEPTACLE	18
	PARE	20 A	1	0.0	0.0					1		SPARE	20
	PARE	20 A	1			0.0	0.0			1		SPARE	22
23 SI	PARE	20 A	1					0.0	0.0	1	20 A	SPARE	24
		Total	Load:   otal		kVA I A		kVA I A		5.9 kVA 49 A				

				LUMINAIRE SCI	HEDULE	1>		
TYPE	DIMENSIONS	MOUNTING	CONSTRUCTION AND FINISH	DESCRIPTION AND OPTIONS	LAMPS	DRIVER(S)	VOLTAGE/I OAD	APPROVED MANUFACTURER(S)
B1	4" SQUARE 39" HIGH	SURFACE CONCRETE BASE	MARINE GRADE DIE CAST ALUMINUM HOUSING POWDER COAT FINISH	LIGHTED BOLLARD STAINLESS HARDWARE	INTEGRAL 4000K 350 LUMENS	ELECTRONIC DRIVER	120V 14W	LIGMAN ULH-10603-14W-W40-XX-120/277V ACUITY SIGNIFY
CV1	4" APERTURE 5" DEEP LENGTH AS SHOWN	RECESSED IN SOFFIT	EXTRUDED ALUMINUM SATIN LENS	LED LINEAR SLOT FLUSHED LENS, WET LOCATION	INTEGRAL 4000K 3500 LUMENS/4FT	ELECTRONIC 0-10V DRIVER	120/277V 43W/4FT	FOCAL POINT FSM4LWL
P1	22" x 13" 3"	18' SQUARE STEEL POLE (BRONZE)	DIE CAST ALUMINUM HOUSING	AREA LIGHT TYPE 3 DISTRIBUTION, INTEGRAL 10KV SURGE PACK	4000K 6500 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 52W	LITHONIA RSX1 LUMARK PRV
P2	22" x 13"	18' SQUARE STEEL POLE (BRONZE)	DIE CAST ALUMINUM HOUSING	AREA LIGHT TYPE 4 DISTRIBUTION, INTEGRAL 10KV SURGE PACK	4000K 6500 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 52W	LITHONIA RSX1 LUMARK PRV
R1	4" DIA x 6" DEEP	RECESSED GRID OR DRYWALL	COLD ROLLED FORMED STEEL, FLAT ACRYLIC LENS	RECESSED DOWN LIGHT MEDIUM DISTRIBUTION	INTEGRAL 4000K 2000 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 19.5W	GOTHAM EVO4 LIGHTOLIER CALCULITE LED 4" PORTFOLIO LD4B
R2	2'x4' MAX 5.25" DEEP	RECESSED CEILING GRID	STEEL FORMED STEEL, ACRYLIC DIFFUSER	RECESSED TROFFER	INTEGRAL 4000K 4300 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 39W	LITHONIA EPANL DAY-BRITE FLUX PANEL LED METALUX CGT LED
R3	6" X 8' MAX 5.25" DEEP	RECESSED	ONE PIECE EXTRUDED ALUMINUM HOUSING.	6" APERTURE RECESSED SLOT LED. FLUSH SATIN BATWING LENS, WET LISTED	INTEGRAL 4000K 625 LU/FT	ELECTRONIC 0-10V DRIVER	120/277V 31W	FOCAL POINT FSM6LWL PINNACLE MARK
R4	4" X 8'	RECESSED CEILING GRID	ONE PIECE EXTRUDED ALUMINUM HOUSING.	4" APERTURE RECESSED SLOT LED. FLUSH SATIN LENS.	INTEGRAL 4000K 4300 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 41W/4FT	FOCAL POINT FSM4L PINNACLE MARK
R5	1.4" X 8'	RECESSED CEILING GRID	ONE PIECE EXTRUDED ALUMINUM HOUSING. TRIMLESS	1.4" APERTURE RECESSED SLOT LED. FLUSH OPAL DIFFUSER.	INTEGRAL 4000K 4500 LUMENS/4DT	ELECTRONIC 0-10V DRIVER	120/277V 6.5W/FT	ZANEEN BROOKLYN LUMIUM LTG. IRIDIUM FOCAL POINT SEEM 1
R6A	1'x4' MAX 5.25" DEEP	RECESSED CEILING GRID	STEEL FORMED STEEL, ACRYLIC DIFFUSER	LED PANEL.	INTEGRAL 4000K 4300 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 40W	LITHONIA EPANL DAY-BRITE FLUX PANEL LED METALUX CGT LED
R7	1'x4' MAX 5.25" DEEP	RECESSED CEILING GRID	STEEL FORMED STEEL, ACRYLIC DIFFUSER	LED TROFFER PROVIDED WITH EMERGENCY BATTERY PACK AND INTEGRATED OCCUPANCY SENSOR.	INTEGRAL 4000K 4600 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 6W/FT	VISIONEERING LRTA-1X4-LED-8-40K-046L-UNV-B15-B39-P98-V68 LITHONIA METALUX
S1	6" X 4' 6" DEEP	SUSPENDED	COLD ROLLED FORMED STEEL, FLAT ACRYLIC LENS	LINEAR INDUSTRIAL	INTEGRAL 4000K 4000 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 40W	LITHONIA CLX DAY-BRITE FSS METALUX SNLED
S2	1 1/8"" X LENGTH AS SHOWN ON DRAWINGS	SUSPENDED	EXTRUDED ALUMINUM BODY WITH ACRYLIC LENS	LINEAR SUSPENDED DIRECT	INTEGRAL 4000K 375LU/FT	ELECTRONIC 0-10V DRIVER	120/277V 6W/FT	ZANEEN IDAHO 20 SUSPENSION ECOSENSE NITROGEN 1 FOCAL POINT SEEM 1
<b>S</b> 3	48"W X 13.5"H X 48"D	SUSPENDED	ALUMINUM, PLASTIC. BLACK FINISH	3-TIER CHANDELIER	INTEGRAL 3000K 2000 LUMENS	ELECTRONIC LOW VOLTAGE (ELV)	120V 144W	KONCEPT SUB LED CHANDELIER PINNACLE EDGE EVOLUTION KUZCO LIGHTING VEGA CH10345 CORONET RUSH
S4	34" DIAMETER	SUSPENDED	WELDED STEEL/ALUMINUM CONSTRUCTION.	DRUM SHALLOW 34" PENDANT LUMINAIRE. WHITE FINISH. ORANGE SHADE. WHITE ACRYLIC TOP AND BOTTOM LENS.	INTEGRAL 4000K	ELECTRONIC 0-10V DRIVER	120/277V 57W	LUMETTA P53408 SCOTT ARCH LTG. S2280 BARBICAN SLIMLINE PENDANT BROWNLEE 2612
S5	2" DIA. X 20.9"	SUSPENDED	SLEEK METAL AND ACRYLIC CYLINDER. SATIN NICKEL FINISH.	SUSPENDED PENDANT	LED INTEGRAL	ELECTRONIC DRIVER	120V 6W	STONE LTG. FROSTED JAZZ DOWNLIGHTER HEMERA CASSIS EUREKA CLASSIC 4156B-JDJA
TL1	0.5" X 0.5"; LENGTH AS SHOWN ON DRAWINGS MAX 5.25" DEEP	SURFACE	FLEXIBLE, SILICONE JACKETED, ALUMINUM MOUNTING CHANNEL AND CLIPS	TAPELIGHT, HIGH OUTPUT, RGB COLOR CHANGING WITH WIRELESS REMOTE, WET LISTED	LED COLOR CHANGING	REMOTE WET RATED DRIVER	120V 60W	CONTECH TLTO12V2RGB
W1	4.5" X 3'	SURFACE/WALL	STEEL FORMED STEEL, ACRYLIC DIFFUSER	VANITY LIGHT	INTEGRAL 4000K 1200 LUMENS	ELECTRONIC 0-10v DRIVER	120V 30W	ACCESS 62518 LEGION LTG. WV8736 BROWNLEE FLOW -RD
W2	10" X 2.5"	SURFACE/WALL	ALUMINUM	MULLION MOUNTED REMOTE HEAD WEATHERPROOF, REMOTE POWER SUPPLY	INTEGRAL 4000K	N/A	120/277V 10W	MULE EUE-BB-10-DB-W SURELITE SRPD
W3	12.6" X 9.1" X 1.9" DEEP	SURFACE/WALL	LOW PROFILE, THERMOPLASTIC HOUSING, INJECTION-MOLDED	EMERGENCY WALL PACK DUAL HEAD, 90 MINUTE BATTERY	LED INTEGRAL	N/A	120/277V 2W	LITHONIA ELM2L EXITRONIX LED52 EELP EM1-LED SURELITE SEL
W5	14" DIA 9" H	SURFACE/WALL	HEAVY GAUGE ALUMINUM SHADE.	DECORATIVE WALL SCONCE SIDE WALL MOUNT HARDWARE	INTEGRAL 4000K	ELECTRONIC 0-10V DRIVER	120V 30W	BASELITE WAREHOUSE SHADES BOCK LTG. SN514 TROY-RLM LTG. RS16
X1	16" X 9.5" 4" DEEP	SURFACE WALL	ALUMINUM	MULLION MOUNT EXIT INVERTED FACE NICAD BATTERY	LED	N/A	120/277V 1.5W	MULE ELXV2-B-LR-1-C-MM-IF EVENLITE EXITRONIX

ADVANCED ENGINEERING CONSULTANTS Mechanical | Electrical | Plumbing | Fire Protection 1405 Dublin RoadTel: (614) 486-4778 Columbus, Ohio 43215Fax: (614) 486-4082 **GENERAL NOTES:** 

- PANELBOARD INFORMATION SHOWN IS FROM EXISTING PANEL SCHEDULES AND AS-BUILT DRAWINGS. FIELD VERIFY ACTUAL CIRCUITS PRIOR TO ANY DEMOLITION OR NEW CIRCUIT INSTALLATION.
- 2. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- 3. PROVIDE UPDATED TYPEWRITTEN DIRECTORY IN PANELBOARDS. ALL DESCRIPTION LISTS SHALL MATCH INSTALLED CIRCUITS AND ROOM DESCRIPTIONS.
- 4. UNLESS NOTED OTHERWISE, PROVIDE CONDUCTORS AND PATHWAYS PER NEC TABLE 310.15(B)(16) AND NOT EXCEEDING 40% CONDUIT FILL. MINIMUM #12 AWG CONDUCTORS IN 3/4" CONDUIT.

**CODED NOTES:** 

1. ALL FINAL LUMINAIRES FINISHES, COLOR AND TRIM SELECTIONS SHALL BE BY THE ARCHITECT.

- 2. PROVIDE 100A/3P BREAKER FOR NEW LOAD. MATCH EXISTING TYPE, EATON PRL1A SERIES.
- 3. PROVIDE GROUND FAULT CIRCUIT INTERRUPTING BREAKER.

**CHANGE DESCRIPTION** 



RENOVATION OF HEARTLAND BANK DUBLIN 6500 FRANTZ ROAD DUBLIN, OH 43017 **HEARTLAND BANK** 



SUITE 300 COLUMBUS, OHIO 43215

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SCHEDULES - ELECTRICAL

05/12/2021 DRAWN BY: Author CHECKED BY: Checker

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