

Dublin Village Center - Building 'A' - West Facade Alteration

6751 Dublin Center Dr.
Dublin, OH 43017

For
STAVROFF Site and Land Development, Inc.

6689 Dublin Center Dr.
Dublin, OH 43017
Phone: 614.348.7473

A.R.T. REVIEW : FEBRUARY 02, 2021

Issued For	Date	Issued For	Date
Preliminary Bid:	March 13, 2020	Permit Issue:	
Bid Issue:	April 22, 2020		
Preliminary Review:	July 2, 2020		
A.R.T. Review:	Feb. 02, 2021		

Project Directory:

Architect:

FORD & ASSOCIATES

ARCHITECTS

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Structural Engineer:

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Code Review Information:

BUILDING CODE	2017 OHIO BUILDING CODE (OBC) w/ 2018 AMENDMENTS (BASED ON 2015 INTERNATIONAL BUILDING CODE)
MECHANICAL CODE	2017 OHIO MECHANICAL CODE (OMC) (BASED ON 2015 INTERNATIONAL MECHANICAL CODE)
PLUMBING CODE	2017 OHIO PLUMBING CODE (OPC) (BASED ON 2015 INTERNATIONAL PLUMBING CODE)
ELECTRICAL CODE	2017 NATIONAL ELECTRIC CODE (NEC) - NFPA 70
FIRE PROTECTION CODE	OHIO FIRE CODE (OFC) - 2011 (NFPA 13, 2010)
ENERGY CODE	INTERNATIONAL ENERGY CONSERVATION CODE (IECC) - 2012 ASHRAE 90.1-2010, ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL
ACCESSIBILITY CODE	ICC / ANSI A117-1-2009 ACCESSIBLE & USABLE BUILDINGS AND FACILITIES

Existing Building Code Summary:

EXISTING USE GROUPS	M MERCANTILE B BUSINESS A-3 ASSEMBLY	OBC SECTION 309 OBC SECTION 304 OBC SECTION 303.4
EXISTING ALLOWABLE HEIGHT & BUILDING AREA:		
ALLOWABLE HEIGHT:	3-STORY - 75'-0"	
EXISTING HEIGHT:	1-STORY - 38'-4"	OBC TABLE 504.3
AREA OF WORK:		
BUILDING 'A' - WEST FACADE:	197'-+- LINEAR FEET	

Project Description:

THE PROJECT SCOPE OF WORK INCLUDED IN THESE DOCUMENTS IS LIMITED TO THE EXTERIOR ALTERATION OF THE DUBLIN VILLAGE BUILDING 'A' WEST (REAR) FACADE. THE SELECTED WORK WILL INCLUDE REMOVAL OF EXISTING EXTERIOR MASONRY WALL CONSTRUCTION AS REQUIRED FOR NEW STOREFRONT SYSTEM INFILL; PARTIAL REMOVAL OF EXISTING EXTERIOR STUCCO VENEER AS REQUIRED FOR NEW VENEER INSTALLATION; AND REMOVAL / RELOCATION OF BUILDING UTILITY SERVICES (GAS / ELECTRICAL) AS REQUIRED FOR NEW CONSTRUCTION.

GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES WITH OWNER'S CONSTRUCTION REPRESENTATIVE.

General Construction Notes:

- THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, REUSE OR REPRODUCTION OF THE DOCUMENTS, (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. FORD & ASSOCIATES ARCHITECTS, INC. RETAINS ALL RIGHTS OF OWNERSHIP.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION.
- THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN THE PROJECT MANUAL AND GENERAL CONDITIONS A201.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS EITHER IN CONTRACT OR NOT IN CONTRACT HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE GENERAL CONTRACTOR TO HAVE JOB PHONE ON PREMISES DURING ENTIRE CONSTRUCTION PERIOD.
- THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR IS TO HAVE A FULL TIME QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED.
- THE GENERAL CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS. IN PARTICULAR, OVERALL WALL DIMENSIONS, SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY THE ARCHITECT. FLOOR PLAN BY ARCHITECT SUPERSEDES ALL OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., SLATWALL, ETC.
- ALL DIMENSIONS SHOWN ARE TO FACE OF MASONRY (BLOCK OR BRICK) OR FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL ELEMENTS ARE TO CENTERLINE OF STEEL COLUMNS AND STEEL BEAMS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- EGRESS DOORS SHALL BE PROVIDED PER OBC SECTIONS 1014 THROUGH 1024.
- ALL DOOR HANDLES SHALL BE OF THE LEVER TYPE, HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
- ALL ACCESS PANELS SHALL BE 24"x30" UNLESS OTHERWISE NOTED.
- ALL GLASS UNITS LOCATED IN HAZARDOUS LOCATIONS AS INDICATED IN OBC 2406.3 SHALL COMPLY WITH TEST REQUIREMENTS OF CONSUMER PRODUCT SAFETY COMMISSION 16, CFR PART 1201 FOR HUMAN IMPACT LOADS.
- ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR PRIOR TO CUTTING/CORING.
- ALL WOOD IS TO BE FIRE-RETARDANT TREATED PER AWPA C20 AND C27 AND SHALL NOT HAVE A FLAME SPREAD OF GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH ASTM E-84. PER OBC SECTION 2303.2.
- ALL EXTERIOR WOOD BLOCKING IS TO BE PRESSURE TREATED PER AWPA U1 AND M4.
- ALL FASTENERS, CONNECTORS, OR OTHER HARDWARE IN DIRECT CONTACT WITH PRESERVATIVE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL TYPE 304 OR TYPE 316, OR HOT-DIPPED GALVANIZED STEEL ASTM A653, CLASS G-185 WITH 1.85 OUNCES OF ZINC PER SQUARE FOOT TO REDUCE THE CORROSION PROCESS.
- FIREBLOCKING SHALL BE INSTALLED IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED OR STUCCOED-OFF SPACES OF MASONRY OR CONCRETE WALLS, AND AT THE CEILING AND FLOOR OR ROOF LEVELS. PER OBC SECTION 717.2.2.
- FIREBLOCKING SHALL BE INSTALLED AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS OVER CABINETS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS. PER OBC SECTION 717.2.3.
- REQUIRED FLAME SPREAD RATINGS: INTERIOR FINISH OF WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THAT DESIGNATED BY THE CLASS PRESCRIBED FOR THE VARIOUS GROUPS LISTED IN OBC TABLE 803.5, WHEN TESTED IN ACCORDANCE WITH OBC SECTION 803.2.

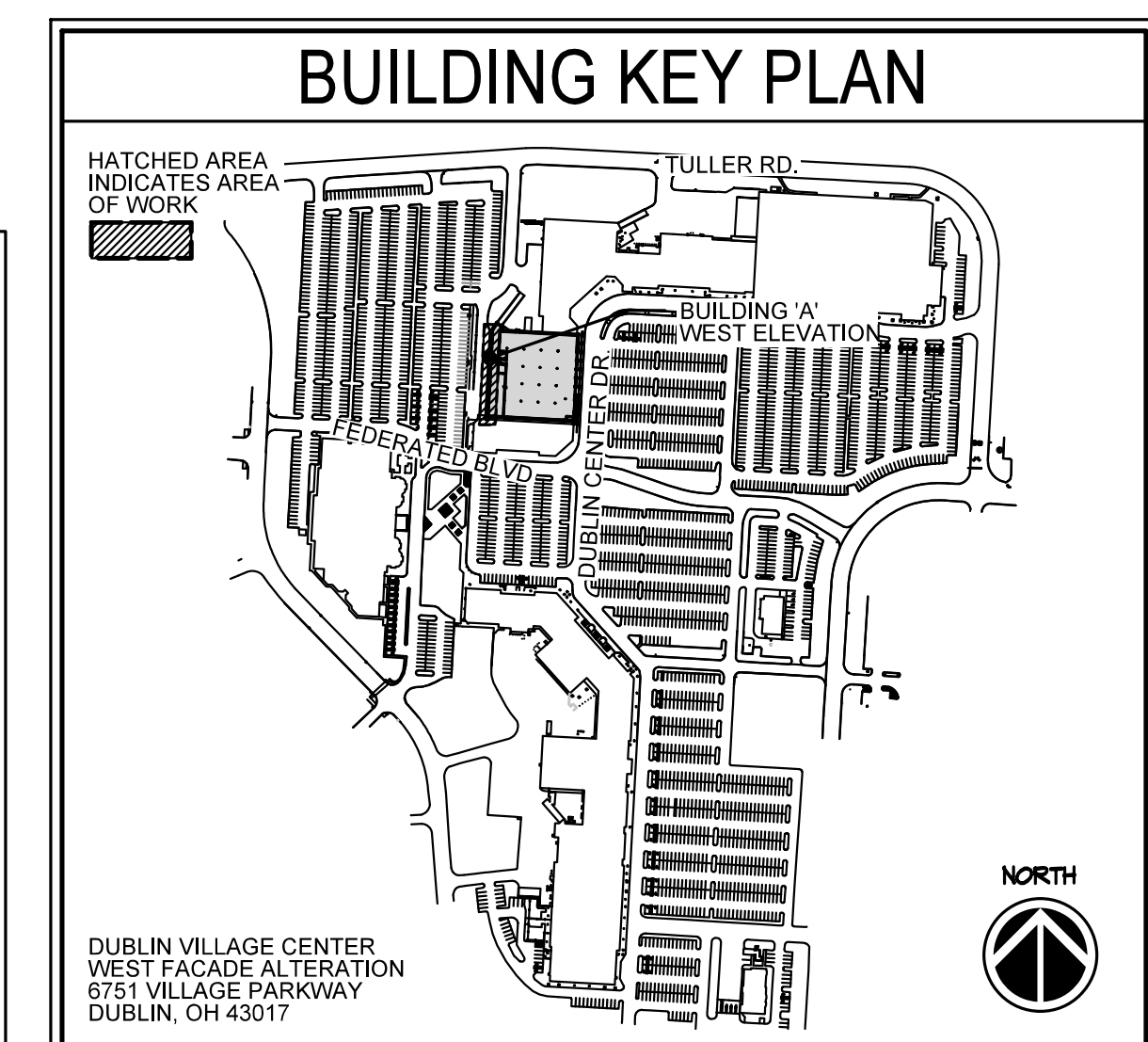
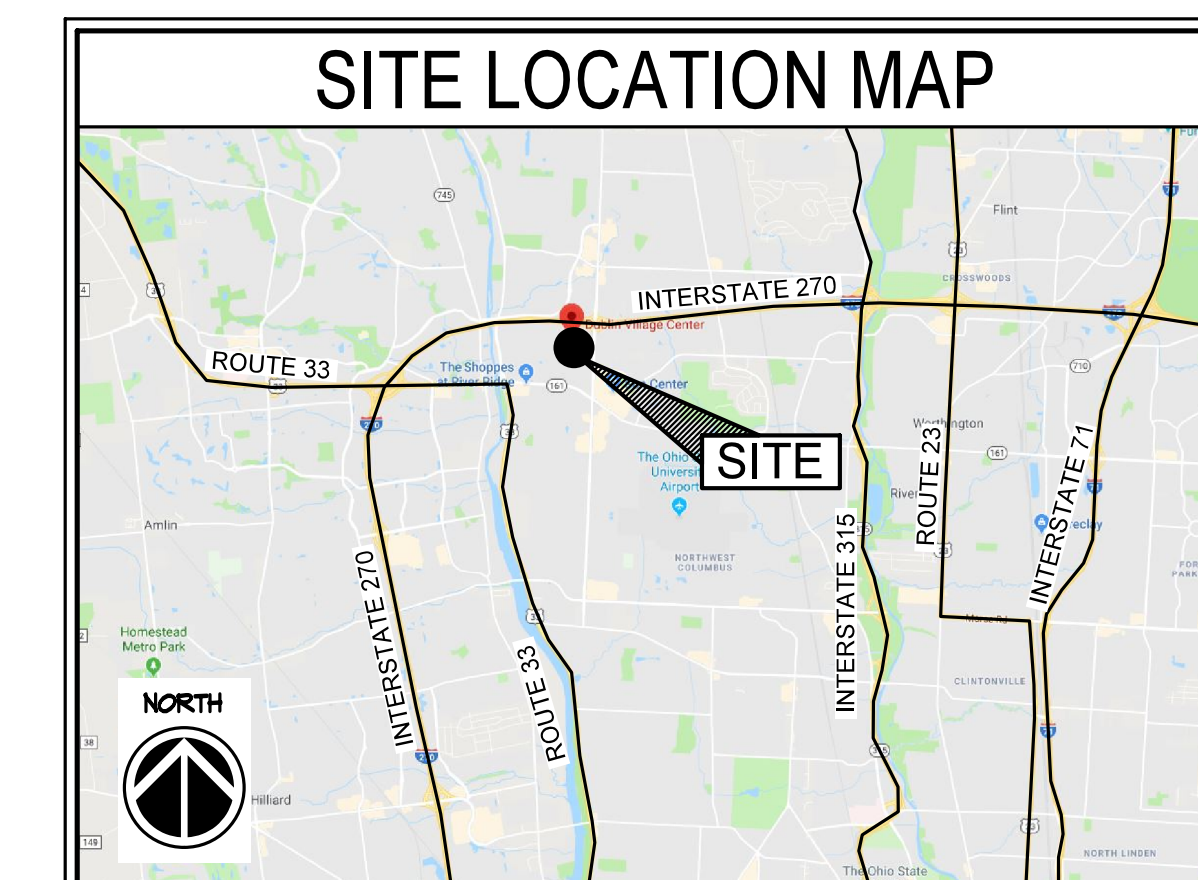
Accessibility Information:

- ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES.
- THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX. CROSS SLOPE 2 %.
- WALKING SURFACES SLOPING GREATER THAN 2 % SHALL BE SLIP RESISTANT.
- PROVIDE A 60" X 60" MIN. LANDING ON STRIKE SIDE OF DOOR WITH 44" MIN. WIDTH IN DIRECTION OF TRAVEL.
- WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3'-0" WIDE X 6'-8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT SHALL BE 32" MIN.
- THRESHOLD TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR INTERIOR DOORS AND 15 LBS. FOR EXTERIOR DOORS.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC SLIDERS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- THE BUILDING SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), INCLUDING, BUT NOT NECESSARILY LIMITED TO, ICC / ANSI STANDARD A117-1-09 AND OBC CHAPTER 11.
- CONTROLS AND OPERATING MECHANISMS SHALL BE ACCESSIBLE AND HAVE MOUNTING HEIGHTS COMPLYING WITH ICC/ANSI A117-1-09, SECTIONS 305 & 309.
- ALL ROOM, DIRECTIONAL, AND INFORMATION SIGNS SHALL BE ACCESSIBLE DESIGN COMPLYING WITH ICC/ANSI A117-1-09, SECTIONS 216 & 703.

List of Drawings:

GENERAL	REVISION	DATE
COVER SHEET		FEB. 02, 2021
SD-1.0 EXISTING PARTIAL SITE PLAN (FOR REFERENCE)		FEB. 02, 2021
ARCHITECTURAL DRAWINGS	REVISION	DATE
D-1.1 BUILDING 'A' - PARTIAL WEST DEMOLITION PLAN & ELEVATION		FEB. 02, 2021
A-1.1 BUILDING 'A' - PARTIAL WEST FLOOR PLAN & ELEVATION		FEB. 02, 2021
A-4.1 DOOR / HARDWARE SCHEDULES, STOREFRONT ELEVATIONS & DETAILS		FEB. 02, 2021
A-6.1 PARTIAL WEST ELEVATION & WALL SECTIONS		FEB. 02, 2021
A-6.2 PARTIAL WEST ELEVATION & WALL SECTIONS		FEB. 02, 2021
A-6.3 PARTIAL WEST ELEVATION & WALL SECTIONS		FEB. 02, 2021
A-6.4 WALL SECTIONS		FEB. 02, 2021
A-6.5 ALTERNATE PARTIAL WEST ELEVATION & WALL SECTIONS		FEB. 02, 2021
STRUCTURAL DRAWINGS	REVISION	DATE
S0.01 GENERAL STRUCTURAL NOTES		JAN. 26, 2021
S1.01 FOUNDATION PLAN & DETAILS		JAN. 26, 2021

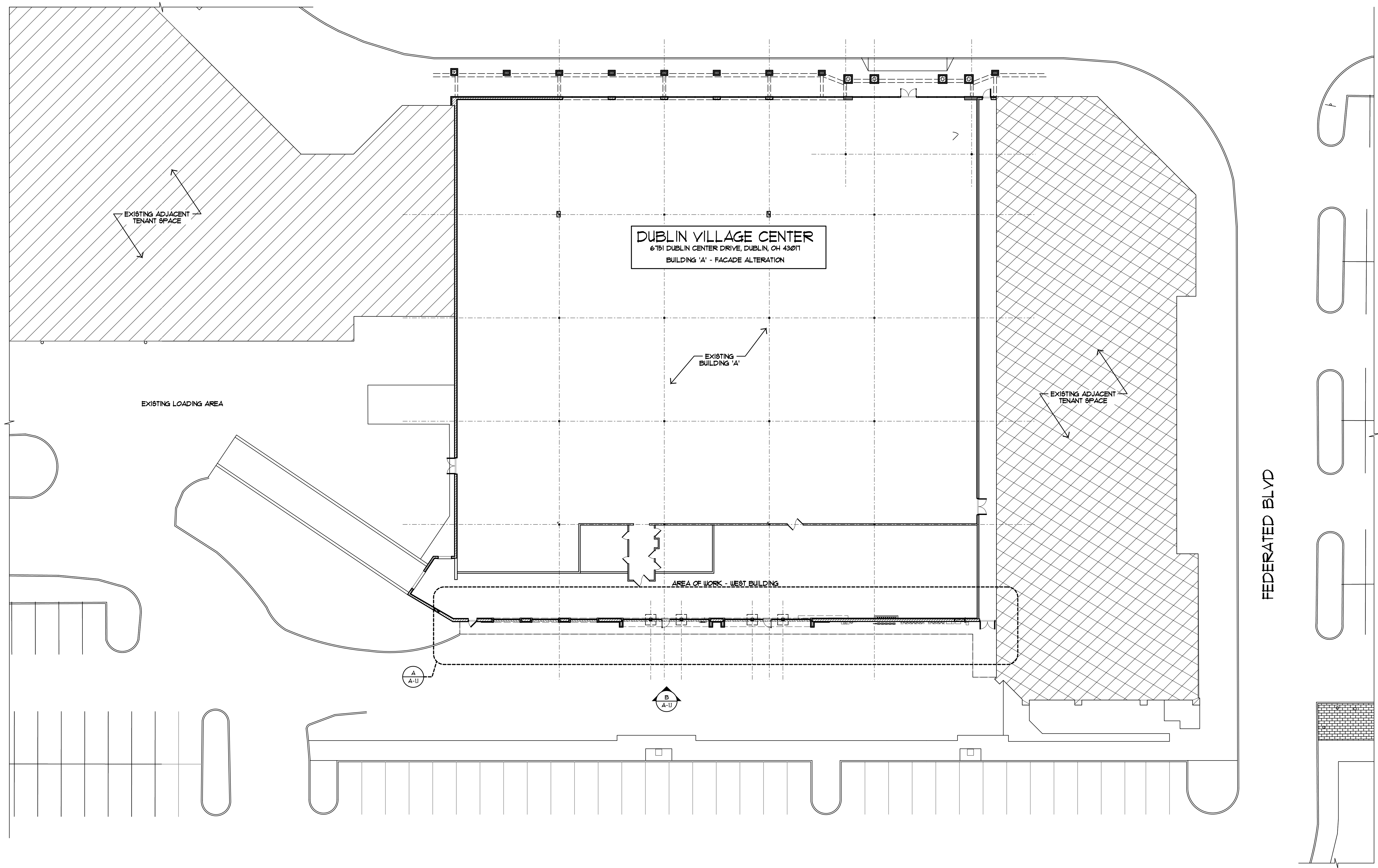
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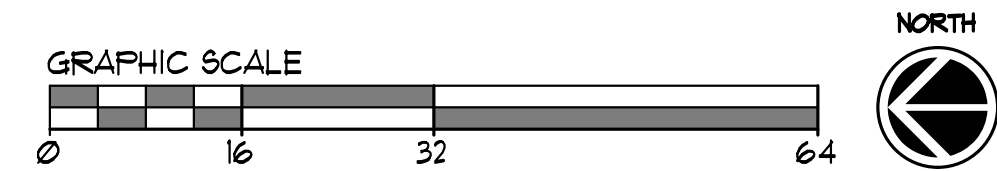
Dublin Village Center
Building 'A' - West Facade Alteration
6751 Dublin Center Dr.
Dublin, OH 43017

FAA# 19033.01

DUBLIN CENTER DRIVE



A EXISTING PARTIAL SITE PLAN (FOR REFERENCE)
SCALE 1/16" = 1'-0"



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Stavroff

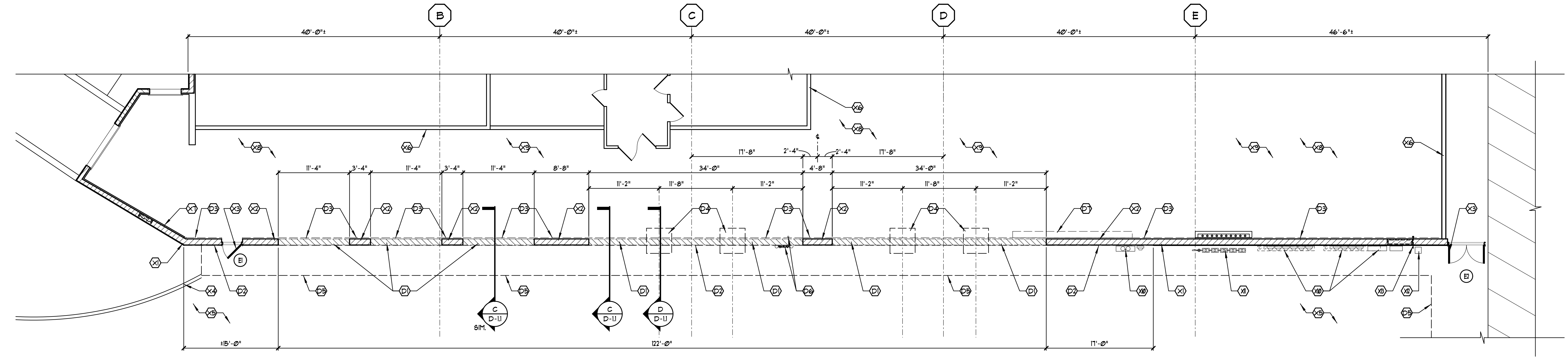
DUBLIN VILLAGE CENTER
BUILDING 'A' - WEST FACADE ALTERATION
6751 VILLAGE PARKWAY
DUBLIN, OHIO 43017
FOR STAVROFF LAND AND DEVELOPMENT, INC.
6689 DUBLIN CENTER DR. DUBLIN, OH 43017

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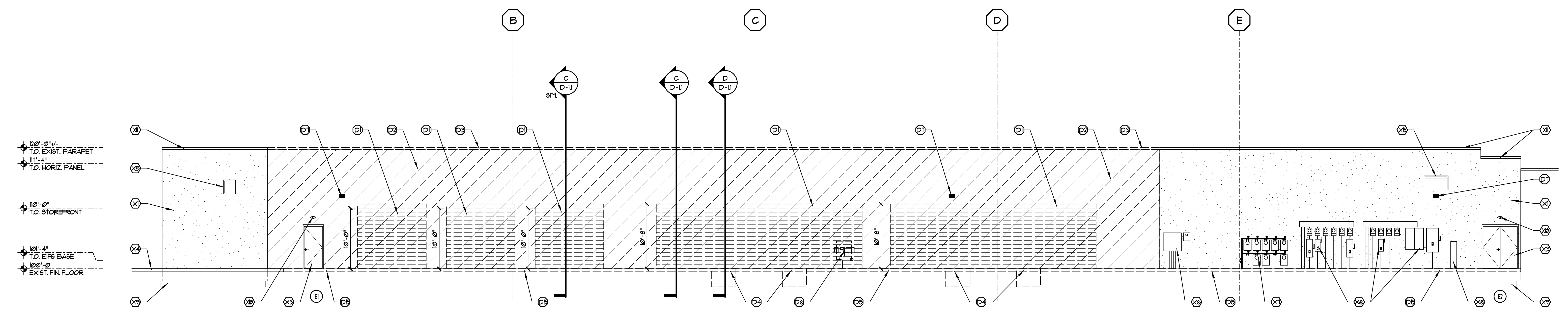
ISSUE	REVISION	DATE
PRELIMINARY EBD		MAR. 13. 2020
EBD ISSUE		APRIL 22. 2020
PRELIM. REVIEW		JULY 2. 2020
A.R.T. REVIEW		DEC. 15. 2020
A.R.T. REVIEW		FEB. 02. 2021

EXISTING PARTIAL SITE PLAN (FOR REFERENCE)

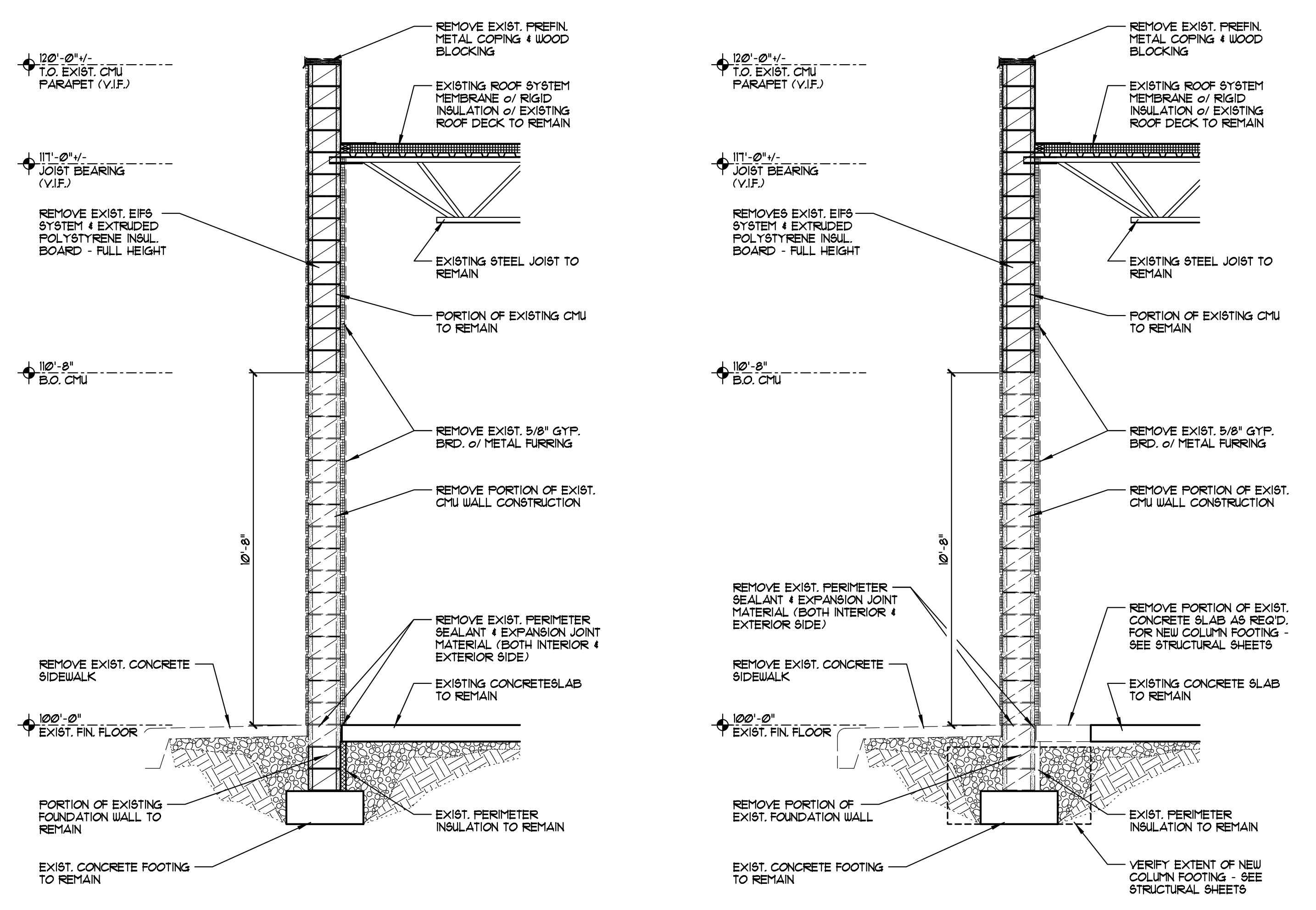
FAX #1950371
BUILDING 'A'
SD-1.0
DUBLIN VILLAGE CENTER



A BUILDING 'A' - PARTIAL WEST DEMOLITION FLOOR PLAN
 SCALE 1/8" = 1'-0"



B BUILDING 'A' - PARTIAL WEST DEMOLITION ELEVATION
 SCALE 1/8" = 1'-0"



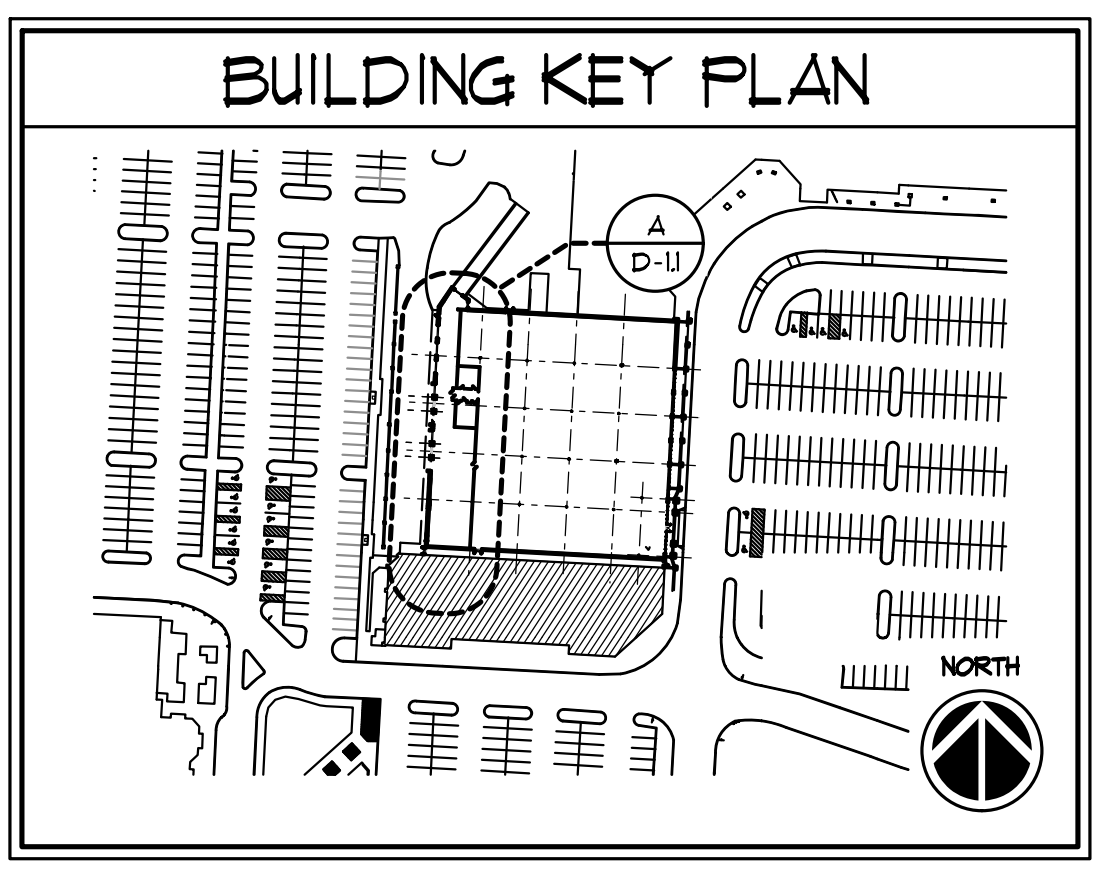
C DEMOLITION WALL SECTION
 SCALE 3/8" = 1'-0"

D DEMOLITION WALL SECTION
 SCALE 3/8" = 1'-0"

PLAN CODED NOTES	
EXISTING CONSTRUCTION CODED NOTES	DEMOLITION CODED NOTES
X1 EXISTING EIFS SYSTEM VENEER OVER EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQ'D. DURING NEW CONSTRUCTION. PAINT.	X27 REMOVE PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION AS REQUIRED FOR NEW STOREFRONT SYSTEM INSTALLATION. PROVIDE TEMPORARY SHORING & BRACING OF CONSTRUCTION TO REMAIN AS REQUIRED UNTIL NEW INFILL CONSTRUCTION IS INSTALLED.
X2 PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED FOR NEW CONSTRUCTION.	X28 REMOVE PORTIONS OF EXISTING EIFS SYSTEM VENEER (FINISH & INSULATION BOARD) FROM SURFACE OF EXISTING CMU WALL CONSTRUCTION. PATCH / REPAIR ADJACENT CONSTRUCTION TO REMAIN AS REQUIRED.
X3 EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME & HARDWARE TO REMAIN. PAINT.	X29 REMOVE EXISTING INTERIOR GYPSUM BOARD, INSULATION BOARD, AND METAL FURRING FROM SURFACE OF EXISTING CMU WALL CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION.
X4 PORTION OF EXISTING CONCRETE CURBS TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X30 REMOVE PORTION OF EXISTING FLOOR SLAB CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION.
X5 EXISTING ASPHALT PAVING TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X31 REMOVE EXISTING CONCRETE SIDEWALK CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION.
X6 EXISTING INTERIOR GYPSUM BOARD OVER METAL STUD PARTITION CONSTRUCTION TO REMAIN.	X32 REMOVE / RELOCATE EXISTING BUILDING / TENANT GAS METER SERVICE AS REQUIRED FOR NEW CONSTRUCTION.
X7 EXISTING INTERIOR GYPSUM BOARD OVER INSULATION BOARD AND METAL FURRING CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X33 REMOVE / RELOCATE EXISTING BUILDING / TENANT ELECTRICAL SERVICE (PANELS, WIRING, DISCONNECTS, ETC.) AS REQUIRED FOR NEW CONSTRUCTION.
X8 EXISTING ROOF / CEILING CONSTRUCTION ABOVE TO REMAIN.	X34 REMOVE EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIRING, ETC.) TO REMAIN. PAINT.
X9 EXISTING FLOOR SLAB CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X35 EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT.
X10 EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIRING, ETC.) TO REMAIN. PAINT.	X36 EXISTING BUILDING HOSE BIBB TO REMAIN.
X11 EXISTING BUILDING / TENANT GAS SERVICE (METER SETS, PIPING, ETC.) TO REMAIN. PAINT.	
X12 EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT.	
X13 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X14 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X15 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X16 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X17 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X18 EXISTING BUILDING HOSE BIBB TO REMAIN.	
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X21 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X22 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X23 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X24 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X25 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X26 EXISTING BUILDING HOSE BIBB TO REMAIN.	

ELEVATION CODED NOTES	
EXISTING CONSTRUCTION CODED NOTES	DEMOLITION CODED NOTES
X1 EXISTING EIFS SYSTEM VENEER OVER EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQ'D. DURING NEW CONSTRUCTION. PAINT.	X27 REMOVE PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION AS REQUIRED FOR NEW STOREFRONT SYSTEM INSTALLATION. PROVIDE TEMPORARY SHORING & BRACING OF CONSTRUCTION TO REMAIN AS REQUIRED UNTIL NEW INFILL CONSTRUCTION IS INSTALLED.
X2 PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED FOR NEW CONSTRUCTION.	X28 REMOVE PORTIONS OF EXISTING EIFS SYSTEM VENEER (FINISH & INSULATION BOARD) FROM SURFACE OF EXISTING CMU WALL CONSTRUCTION. PATCH / REPAIR ADJACENT CONSTRUCTION TO REMAIN AS REQUIRED.
X3 EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME & HARDWARE TO REMAIN. PAINT.	X29 REMOVE EXISTING INTERIOR METAL COPING FLASHING AS REQUIRED FOR NEW CONSTRUCTION.
X4 PORTION OF EXISTING CONCRETE CURBS TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X30 REMOVE PORTION OF EXISTING FLOOR SLAB CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION.
X5 EXISTING ASPHALT PAVING TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X31 REMOVE EXISTING CONCRETE SIDEWALK CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION.
X6 EXISTING INTERIOR GYPSUM BOARD OVER INSULATION BOARD AND METAL FURRING CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X32 REMOVE EXISTING BUILDING / TENANT GAS METER SERVICE AS REQUIRED FOR NEW CONSTRUCTION.
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X8 EXISTING FLOOR SLAB CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	X34 REMOVE EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIRING, ETC.) TO REMAIN. PAINT.
X9 EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIRING, ETC.) TO REMAIN. PAINT.	X35 EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT.
X10 EXISTING BUILDING / TENANT GAS SERVICE (METER SETS, PIPING, ETC.) TO REMAIN. PAINT.	X36 EXISTING BUILDING HOSE BIBB TO REMAIN.
X11 EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT.	
X12 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X13 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X14 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X15 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X16 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X17 EXISTING BUILDING HOSE BIBB TO REMAIN.	
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X19 EXISTING BUILDING HOSE BIBB TO REMAIN.	
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X22 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X23 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X24 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X25 EXISTING BUILDING HOSE BIBB TO REMAIN.	
X26 EXISTING BUILDING HOSE BIBB TO REMAIN.	

GENERAL DEMOLITION NOTES	
1. EACH CONTRACTOR SHALL VISIT PROJECT SITE TO REVIEW EXISTING CONDITIONS PRIOR TO START OF DEMOLITION.	14. PROVIDE TEMPORARY LIGHTING THROUGHOUT AREA OF WORK AS REQUIRED. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT DURING DEMOLITION / CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES ARE REQUIRED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE WITH GOVERNING AUTHORITY.
2. FIELD VERIFY ALL DIMENSIONS.	15. REMOVE AND DISCONNECT ALL EQUIPMENT SYSTEM COMPONENTS AS NEEDED INCLUDING BUT NOT LIMITED TO BRACKETS, STRAPS AND SUPPORTS.
3. FIELD VERIFY ALL EXISTING CONDITIONS.	16. ADJACENT TENANTS TO REMAIN OPEN DURING BUSINESS HOURS. UTILITY SERVICES TO REMAIN. PROVIDE UNINTERRUPTED SERVICES TO TENANTS OPEN DURING NORMAL BUSINESS HOURS.
4. SEE STRUCTURAL DRAWINGS FOR ALL WORK RELATED TO NEW AND EXISTING STRUCTURE. GENERAL CONTRACTOR TO NOTIFY STRUCTURAL ENGINEER OF ALL UNKNOWN CONDITIONS.	17. COORDINATE ANY ITEMS TO BE REMOVED FOR CLEANING, TEMPORARY STORED & REINSTALLATION w/ GENERAL CONTRACTOR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. OWNER RESERVES THE RIGHT OF FIRST REFUSAL ON ALL MATERIAL, EQUIPMENT AND FIXTURES TO BE REMOVED. CONTRACTOR TO COORDINATE REMOVAL/STORAGE OF ITEMS WITH OWNER'S REPRESENTATIVE.	18. PATCH AND REPAIR ANY EXISTING REMAINING CONSTRUCTION DAMAGED BY DEMOLITION OPERATIONS. PROVIDE SMOOTH EVEN FINISH TO MATCH EXISTING SURFACES.
6. ALL CONTRACTORS ARE TO CONSULT WITH G.C. AND PROVIDE REPORT IN WRITING ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS.	19. COORDINATE DEMOLITION AND CONSTRUCTION PHASES AND SEQUENCING WITH OWNER REPRESENTATIVE.
7. CONSULT OWNER'S REPRESENTATIVE OF ANY HAZARDOUS MATERIAL (ASBESTOS, FIBER, ETC.) REQUIRED TO BE REMOVED PRIOR TO BUILDING DEMOLITION.	20. G.C. TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF SEPARATION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY AND/OR AS REQUIRED BY GOVERNING AUTHORITIES.
8. G.C. TO PROVIDE UTILITY BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS DURING CONSTRUCTION.	21. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITHIN AREAS OF EXISTING BUILDING AND SITE OPERATIONS.
9. REMOVE ABANDONED ELECTRIC BACK TO SOURCE AND CAP OR TERMINATE AS REQUIRED TO MAINTAIN SERVICE.	22. PROVIDE REQUIRED PROTECTION NEEDED TO PROTECT INTERIOR FROM WEATHER.
10. COORDINATE UTILITY SERVICE ITEMS TO BE CUT BACK, CAPPED, OR TURNED OFF WITH GENERAL CONTRACTOR AS REQUIRED FOR NEW CONSTRUCTION AND INSTALLATION.	23. PROVIDE PROTECTED ENTRY ACCESS AS NECESSARY TO ENSURE A SAFE PASSAGE AROUND AREA OF DEMOLITION FOR ALL ADJACENT TENANTS OPEN FOR BUSINESS.
11. LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND RELOCATE AS REQUIRED (SEE ELECTRICAL SHEETS).	
12. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT DURING DEMOLITION / CONSTRUCTION. PROVIDE TEMPORARY SERVICES IF INTERRUPTION OF SERVICES ARE NEEDED. PROVIDE TEMPORARY SERVICES IN COMPLIANCE w/ GOVERNING AUTHORITY.	



SYMBOL LEGEND	
(X)	PLAN CODED NOTE TAG (SEE THIS SHEET FOR SCHEDULE)
(E)	ELEVATION CODED NOTE TAG (SEE THIS SHEET FOR SCHEDULE)
(D)	EXISTING DOOR NUMBER TAG (SEE SHEET A-4) FOR DOOR SCHEDULE)
(N)	NEW DOOR NUMBER TAG (SEE SHEET A-4) FOR DOOR SCHEDULE)
(S)	STOREFRONT SYSTEM TAG (SEE SHEET A-4) FOR STOREFRONT ELEVATIONS)
(F)	ELEVATION MATERIAL / FINISH TAG (SEE THIS SHEET FOR FINISH SCHEDULE)
(W)	EXISTING WALL / PARTITION
(D)	STOREFRONT SYSTEM (SEE SHEET A-4) FOR STOREFRONT ELEVATIONS)

DUBLIN VILLAGE CENTER
 BUILDING 'A' - WEST FACADE ALTERATION
 6751 VILLAGE PARKWAY
 DUBLIN, OHIO 43007
 FOR STAVROFF LAND AND DEVELOPMENT, INC.
 6689 DUBLIN CENTER DR. DUBLIN, OH 43007

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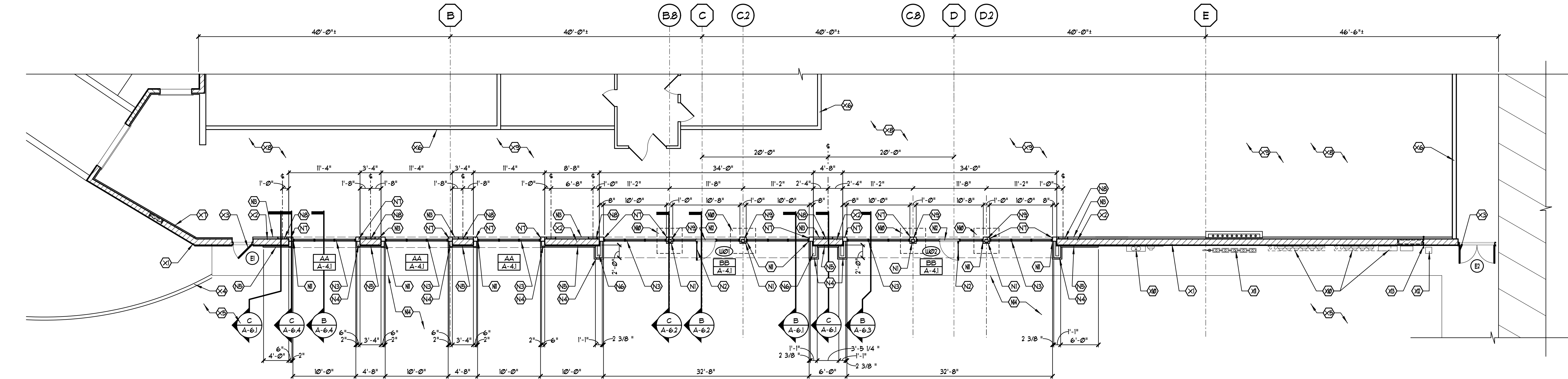
ISSUE	REVISION	DATE
PRELIMINARY BID		MAR. 13. 2020
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A.R.T. REVIEW		DEC. 16. 2020
A.R.T. REVIEW		FEB. 02. 2021

PARTIAL WEST DEMOLITION FLOOR PLAN & ELEVATION
 BUILDING 'A'
D-1.1
 DUBLIN VILLAGE CENTER

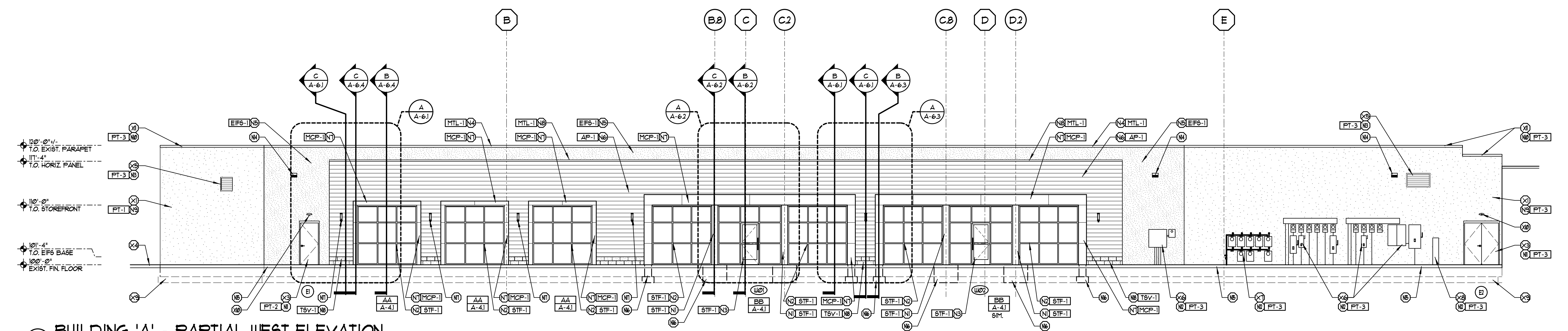
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PARTIAL WEST FLOOR PLAN & ELEVATION

BUILDING 'A'
 A-1.1
 DUBLIN VILLAGE CENTER



A BUILDING 'A' - PARTIAL WEST FLOOR PLAN
 SCALE 1/8" = 1'-0"

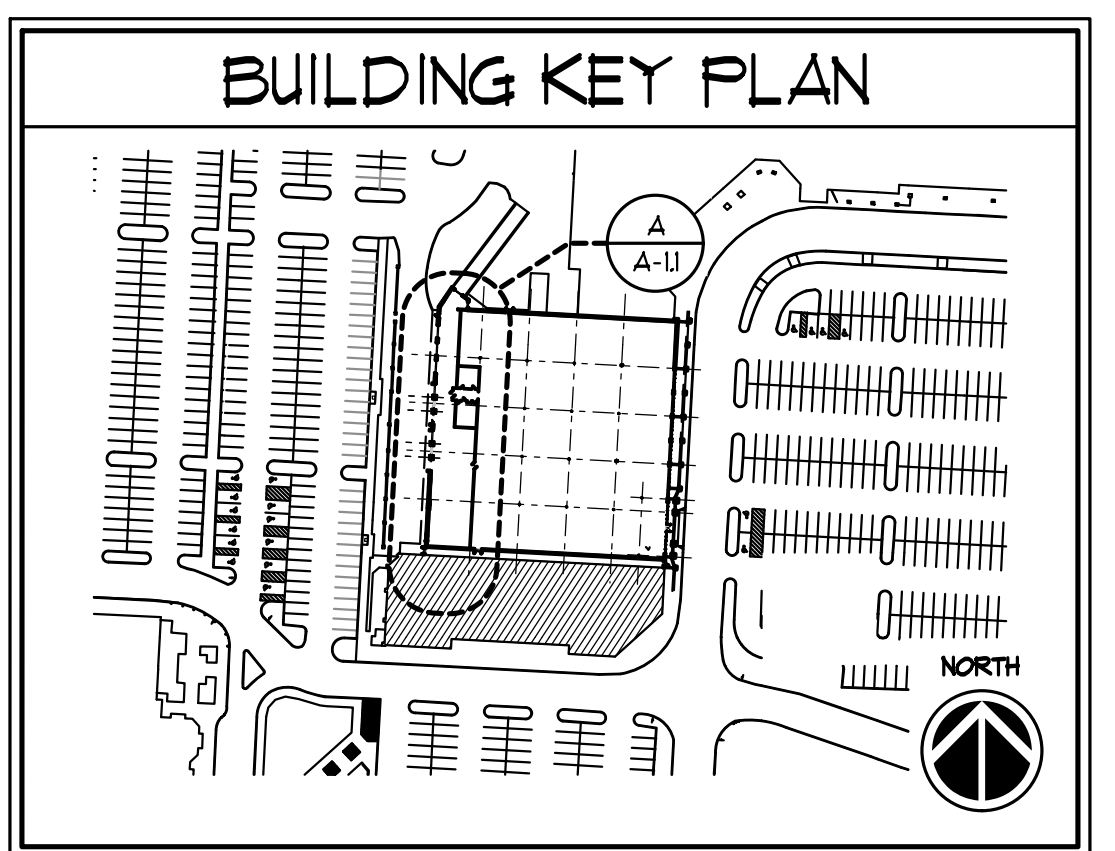


B BUILDING 'A' - PARTIAL WEST ELEVATION
 SCALE 1/8" = 1'-0"

PLAN CODED NOTES	
EXISTING CONSTRUCTION CODED NOTES	NEW CONSTRUCTION CODED NOTES
(X1) EXISTING EPS SYSTEM VENEER OVER EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQ'D. DURING NEW CONSTRUCTION. PAINT.	(N1) PREFINISHED ALUMINUM STOREFRONT SYSTEM BRAKE METAL COLUMN CLOSURE TRIM.
(X2) PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED FOR NEW CONSTRUCTION.	(N2) PREFINISHED ALUMINUM STOREFRONT MEDIUM STILE DOOR w/ CLEAR TEMPERED GLASS AND ANSI-COMPLIANT THRESHOLD SET IN FULL BED OF SEALANT.
(X3) EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME AND HARDWARE TO REMAIN. PAINT.	(N3) 2" x 4 1/2" PREFINISHED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING. (SEE DETAILS ON SHEET A-41)
(X4) PORTION OF EXISTING CONCRETE CURB TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	(N4) PREFINISHED ALUMINUM COMPOSITE PANEL SURROUND of METAL STUD FRAMING CONSTRUCTION.
(X5) EXISTING ASPHALT PAVING TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	(N5) EPS SYSTEM of EPS INSULATION BOARD BASE VENEER.
(X6) EXISTING INTERIOR GYPSUM BOARD OVER METAL STUD PARTITION CONSTRUCTION TO REMAIN.	(N6) PVC CANOPY DRAIN LEADER. TIE INTO BELOW GRADE STORM SYSTEM.
(X7) EXISTING INTERIOR GYPSUM BOARD OVER INSULATION BOARD AND METAL FURRING CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	(N7) INFILL METAL FRAMING AT MASONRY JAMB / COLUMN ENCLOSURE.
(X8) EXISTING ROOF / CEILING CONSTRUCTION ABOVE TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	(N8) STEEL CHANNEL STRUCTURAL FRAME AT NEW MASONRY OPENING. SEE STRUCTURAL SHEET.
(X9) EXISTING FLOOR SLAB CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	(N9) STEEL STRUCTURAL COLUMN AT NEW MASONRY OPENING. SEE STRUCTURAL SHEET.
(X10) EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIRING, ETC.) TO REMAIN. PAINT.	(N10) CONCRETE SLAB INFILL AT C/JF CONCRETE COLUMN FOOTING CONSTRUCTION. SEE STRUCTURAL SHEET.
(X11) EXISTING BUILDING / TENANT GAS SERVICE (METER SETS, PIPING, ETC.) TO REMAIN. PAINT.	(N11) SEALANT of BACKER ROD FULL PERIMETER OF STOREFRONT SYSTEM (INTERIOR & EXTERIOR SIDE) - TYP.
(X12) EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT.	(N12) ANSI COMPLIANT ALUMINUM THRESHOLD SET IN FULL BED OF SEALANT.
(X13) EXISTING BUILDING HOSE BIBBS TO REMAIN.	(N13) GYPSUM BOARD of METAL FURRING AT INTERIOR FACE OF MASONRY WALL CONSTRUCTION AS REQUIRED TO CONCEAL STEEL CHANNEL STRUCTURAL FRAME INSTALLATION. VERIFY IN FIELD.
	(N14) NEW CONCRETE SIDEWALK / PATIO. SEE HARDSCAPE SHEETS.

ELEVATION CODED NOTES	
EXISTING CONSTRUCTION CODED NOTES	NEW CONSTRUCTION CODED NOTES
(X1) EXISTING EPS SYSTEM VENEER OVER EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQ'D. DURING NEW CONSTRUCTION. PAINT.	(N1) PREFINISHED ALUMINUM STOREFRONT SYSTEM BRAKE METAL TRIM AT NEW COLUMN INSTALLATION.
(X2) PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED FOR NEW CONSTRUCTION.	(N2) 2" x 4 1/2" PREFINISHED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING.
(X3) EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME AND HARDWARE TO REMAIN. PAINT.	(N3) PREFINISHED ALUMINUM STOREFRONT MEDIUM STILE DOOR w/ 1" INSULATED GLAZING.
(X4) PORTION OF EXISTING CONCRETE CURB TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	(N4) PREFINISHED METAL (24 GA) COPING FLASHING.
(X5) EXISTING WALL LOUVER TO REMAIN. PAINT.	(N5) EPS w/ MOISTURE DRAINAGE SYSTEM.
(X6) EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIRING, ETC.) TO REMAIN. PAINT.	(N6) NOM. 6" HORIZ. PLANK ARCHITECTURAL PANEL.
(X7) EXISTING BUILDING / TENANT GAS SERVICE (METER SETS, PIPING, ETC.) TO REMAIN. PAINT.	(N7) PREFINISHED ALUMINUM COMPOSITE PANEL SURROUND.
(X8) EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT.	(N8) PREFINISHED METAL (24 GA) CAP FLASHING.
(X9) LINE OF EXIST. BUILDING FOUNDATION TO REMAIN. V.I.F.	(N9) PAINT EXISTING EPS FINISH.
(X10) EXISTING BUILDING EGRESS LIGHT FIXTURE TO REMAIN.	(N10) PAINT EXISTING METAL COPING.
(X11) EXISTING BUILDING METAL COPING FLASHING TO REMAIN. PAINT.	(N11) PAINT EXISTING METAL SERVICE DOOR / FRAME.
	(N12) PAINT EXISTING UTILITY SERVICE ITEM(S).
	(N13) PAINT EXISTING METAL LOUVER.
	(N14) WALL PACK LIGHT FIXTURE.
	(N15) NEW CONCRETE SIDEWALK / PATIO. SEE HARDSCAPE SHEETS.
	(N16) C/JF. FOOTING / CMU FOUNDATION AT NEW COLUMN INSTALLATION TO BE DETERMINED BY CIVILIAN.
	(N17) DECORATIVE WALL MOUNTED LIGHT FIXTURE. FINAL SELECTION TO BE DETERMINED BY CIVILIAN.
	(N18) THIN STONE VENEER BASE.

EXTERIOR MATERIAL FINISH KEY			
MARK	MANUFACTURER	DESCRIPTION	REMARKS
ARCHITECTURAL PANEL - FIBER CEMENT BOARD			
[AP-1]	NICHHA	VINTAGEWOOD WOOD SERIES BARK	HORIZONTAL ORIENTATION
PREFINISHED METAL			
[MTL-1]	DM1	COLOR - 'CHAMPAGNE'	COPING, CAP FLASHING, ETC.
ALUMINUM STOREFRONT / ENTRANCE SYSTEM			
[STF-1]	KAINEER	TRIFAB VG 491T SERIES, 2" x 4 1/2" w/ 1" INSULATED GLAZING - COLOR NIGHT HAWK GRAY	
PAINT			
[PT-1]	SHERWIN WILLIAMS	SW 1643 'PUSSYBLOW' OR SIMILAR SHERWIN WILLIAMS COLOR	EXISTING EPS WALL
[PT-2]	SHERWIN WILLIAMS	SW 1048 'URBANE BRONZE'	EXISTING METAL DOOR / FRAME
[PT-3]	SHERWIN WILLIAMS	SW 1643 'PUSSYBLOW' OR SIMILAR SHERWIN WILLIAMS COLOR	EXISTING METAL DOOR / FRAME, LOUVER, METAL COPING, UTILITIES
METAL COMPOSITE PANEL			
[MCP-1]	ALUCOBOND	'ANODIC SATIN MICA'	LET SEAL SYSTEM JOINTS MATCH PANEL COLOR
EPS			
[EPS-1]	DRYVIT	MATCH SHERWIN WILLIAMS SW 1048 'URBANE BRONZE'	FINE SAND/PEBBLE FINISH
THIN STONE VENEER			
[TSV-1]	ROCKCAST	THIN ARCHITECTURAL STONE 'BUFFSTONE' 1 1/4" D. x 1 3/8" H. x 5/8" L.	SPLIT FACE FINISH
NOTE - ALTERNATE APPROVED EQUAL OR SIMILAR MANUFACTURER MATERIAL OR COLORS ARE ACCEPTABLE			



SYMBOL LEGEND	
(X1)	PLAN CODED NOTE TAG (SEE THIS SHEET FOR SCHEDULE)
(X2)	ELEVATION CODED NOTE TAG (SEE THIS SHEET FOR SCHEDULE)
(X3)	EXISTING DOOR NUMBER TAG (SEE SHEET A-4) FOR DOOR SCHEDULE
(X4)	NEW DOOR NUMBER TAG (SEE SHEET A-4) FOR DOOR SCHEDULE
(X5)	STOREFRONT SYSTEM TAG (SEE SHEET A-4) FOR STOREFRONT ELEVATIONS
(X6)	ELEVATION MATERIAL / FINISH TAG (SEE THIS SHEET FOR FINISH SCHEDULE)
(X7)	EXISTING WALL / PARTITION
(X8)	STOREFRONT SYSTEM (SEE SHEET A-4) FOR STOREFRONT ELEVATIONS

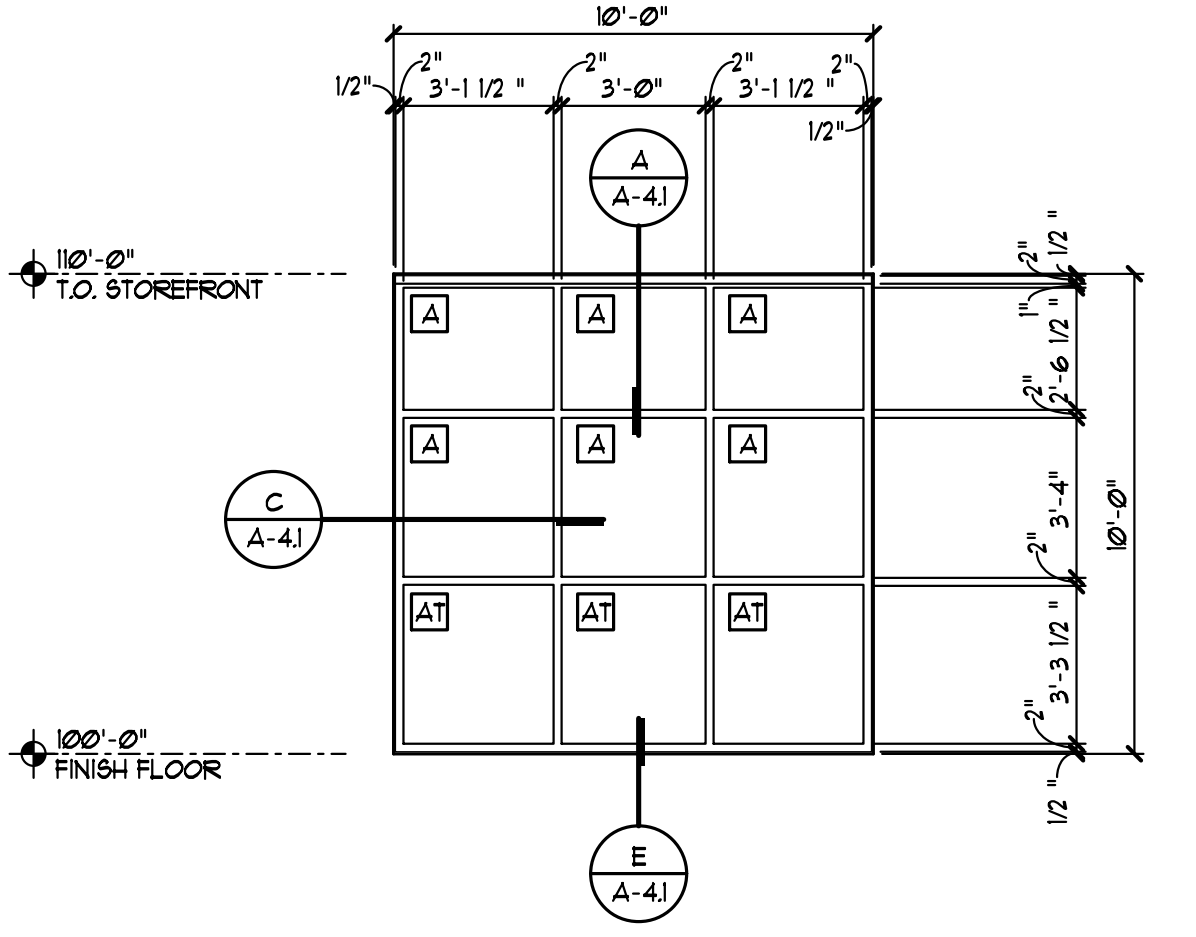
- ### STOREFRONT / WINDOW SYSTEM NOTES
- STOREFRONT SYSTEM TO BE KAUNEER TRIFAB VG 481T CG 2" x 4 1/2" (OR APPROVED EQUAL) w/ 1" INSULATED GLAZING AS SCHEDULED. SYSTEM FINISHES AS NOTED.
 - FIELD VERIFY ALL DIMENSIONS OF UNIT OPENINGS.
 - PROVIDE MANUFACTURER'S STANDARD HEAD RECEPTOR TRACK AT ALL HEAD CONDITIONS. HEIGHT REDUCTION FOR HEAD RECEPTOR TRACK SHOWN ON WINDOW ELEVATIONS / ADJUST PER STOREFRONT MANUFACTURER.
 - PROVIDE MANUFACTURER'S STANDARD SUB-SILL FLASHING TRACK SET IN FULL BED OF SEALANT. DO NOT SEAL OVER STOREFRONT SYSTEM WEEPS.
 - PROVIDE END DAM FLASHING AND SEALANT AT ALL SILL MEMBERS.
 - PROVIDE MANUFACTURER'S STANDARD STEEL BAR REINFORCING AT VERTICAL MEMBERS TO COMPLY WITH WIND LOAD CODE REQUIREMENTS.
 - PROVIDE 1/2" SHIM / SEAL JOINT FULL PERIMETER OF ALL ALUMINUM STOREFRONT FRAMING UNITS. DEDUCTION FOR SHIM / SEAL JOINT SHOWN ON WINDOW ELEVATIONS.
 - PERIMETER JOINTS TO BE SEALED w/ SILICONE SEALANT TO MATCH STOREFRONT FINISH. CLEAN ALUMINUM SURFACE w/ ALCOHOL PRIOR TO SEALANT INSTALLATION.
 - PREFIN ALUMINUM FLASHINGS AND STEEL COVERS TO BE 200" MIN. MATCH STOREFRONT FINISH.
 - PROVIDE EXPANDING FOAM INSULATION AT FULL PERIMETER SHIM JOINT OF ALL STOREFRONT SYSTEM OPENINGS. ALLOW FOR CONTINUOUS SEALANT w/ BACKER ROD EACH SIDE.

DOOR AND FRAME SCHEDULE

MARK	DESCRIPTION / LOCATION	SIZE	DOOR			FRAME			DETAILS			HARDWARE	FIRE RESIST. RATING	COMMENTS	
			TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL				
(E)	EXISTING	EXISTING	EXTG	INSULATED HOLLOW METAL	EXTG	EXTG	HOLLOW METAL	EXTG	EXTG	EXTG	EXTG	EXTG	---	1	
EAST BUILDING ELEVATION															
(102)	STOREFRONT ENTRY DOOR	3'-0" x 7'-0" x STD	D1	ALUMINUM / GLASS	NIGHT HAWK GRAY	---	ALUMINUM / GLASS	NIGHT HAWK GRAY	B / A-4.1	D / A-4.1	F / A-4.1	1	---	2	
(102)	STOREFRONT ENTRY DOOR	3'-0" x 7'-0" x STD	D1	ALUMINUM / GLASS	NIGHT HAWK GRAY	---	ALUMINUM / GLASS	NIGHT HAWK GRAY	B / A-4.1	D / A-4.1	F / A-4.1	1	---	2	

DOOR NOTES

- EXISTING DOOR, DOOR FRAME AND HARDWARE TO REMAIN. CONTRACTOR SHALL PROTECT AS REQUIRED AND REPAIR OR REPLACE AS NECESSARY WHERE DAMAGED DURING NEW CONSTRUCTION.
- ALL EXTERIOR ALUMINUM DOOR FRAMES TO BE PROVIDED AS PART OF THE STOREFRONT SYSTEM. PROVIDE DOOR MANUFACTURER'S STANDARD REINFORCING AT VERTICAL, HORIZONTAL MEMBERS TO MEET CODE REQUIRED WIND LOADS.



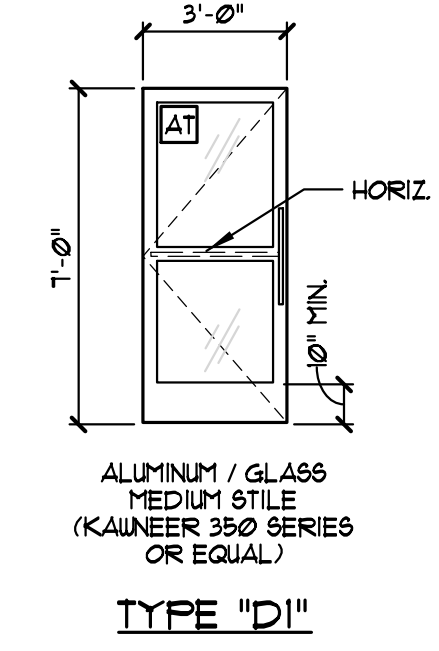
AA STOREFRONT ELEVATION
 SCALE 1/4" = 1'-0"
 STP-1

GLAZING SCHEDULE

MARK	DESCRIPTION
(A)	1" INSULATED GLASS, CLEAR
(AT)	1" INSULATED TEMPERED GLASS, CLEAR

STOREFRONT SCHEDULE

MARK	DESCRIPTION
(STP-1)	KAUNEER TRIFAB VG 481T SERIES, 2" x 4 1/2" WITH 1" INSULATED GLASS, COLOR - NIGHT HAWK GRAY

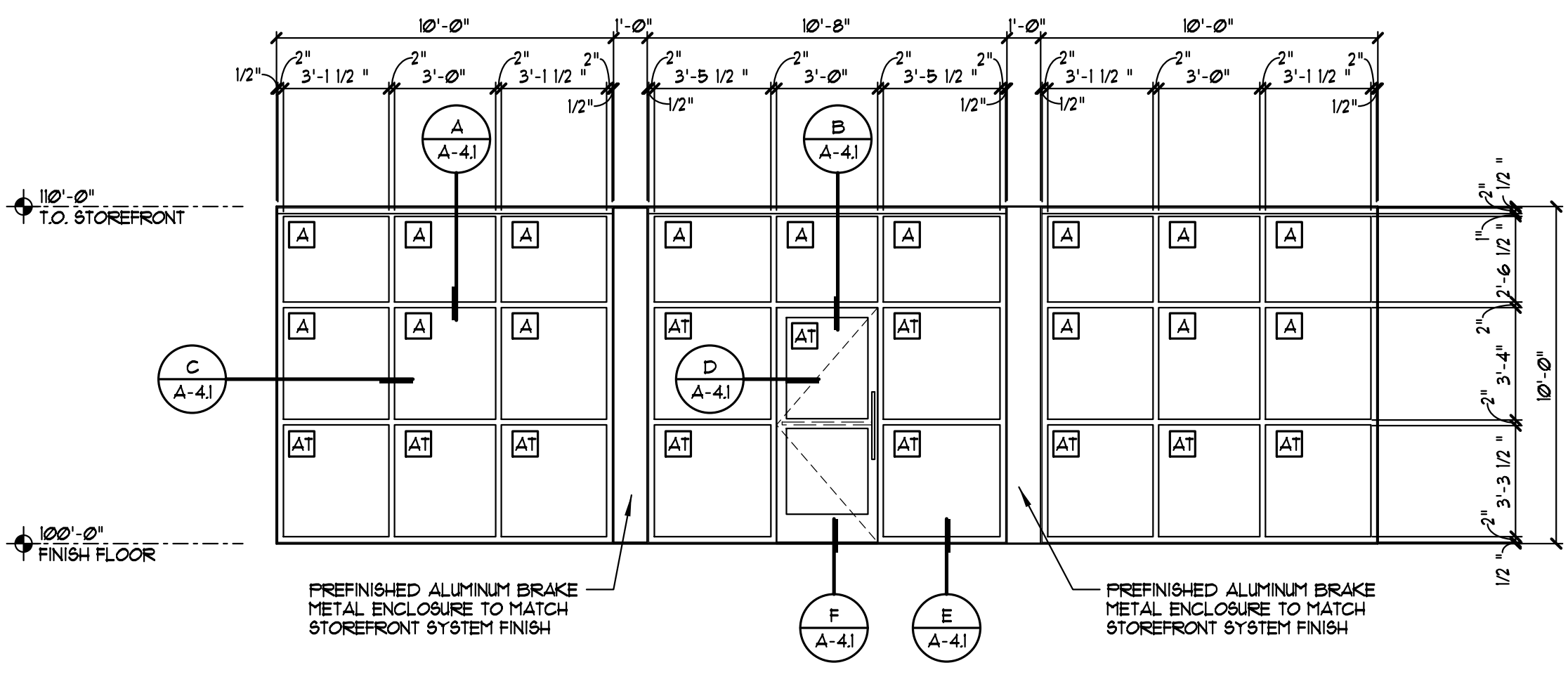


DOOR TYPES
 SCALE 1/4" = 1'-0"

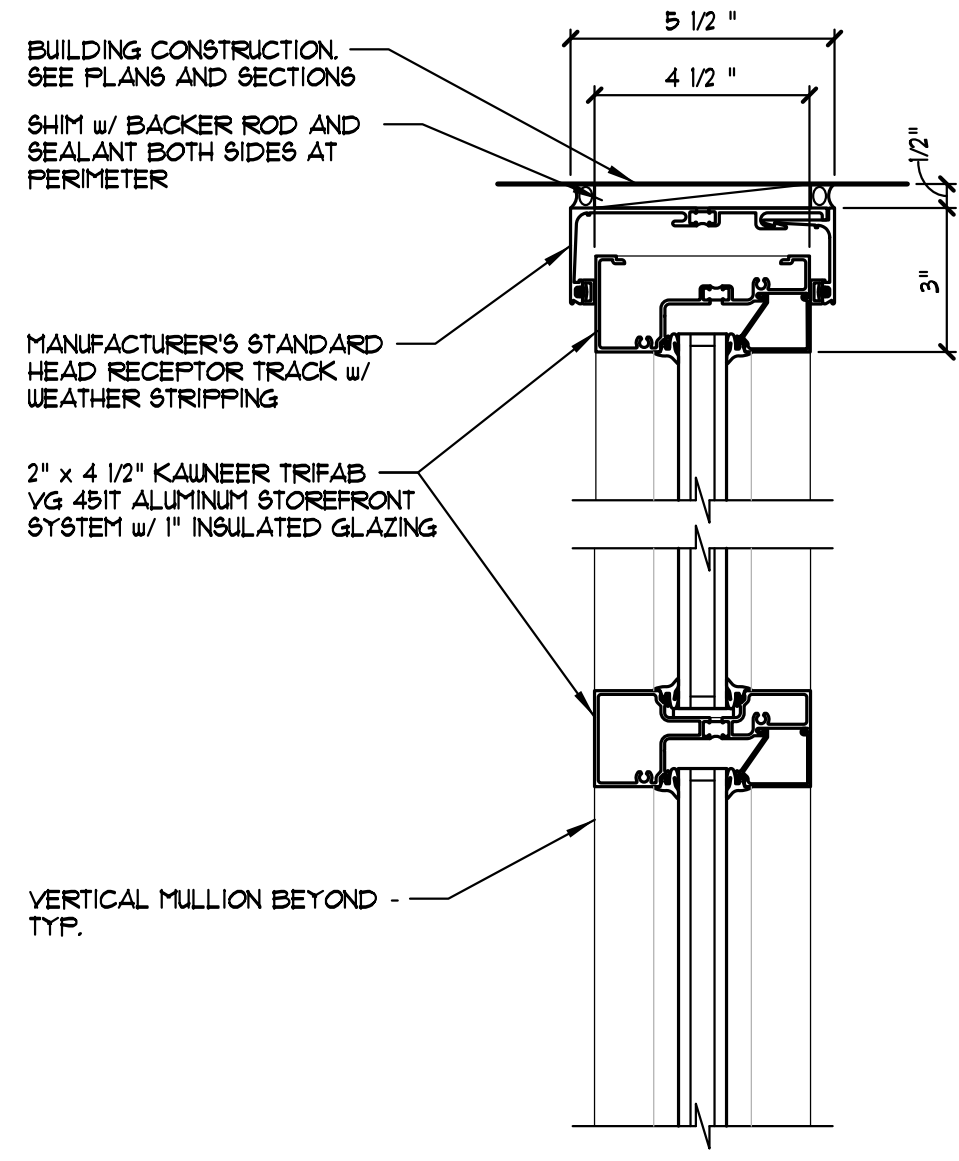
DOOR HARDWARE SCHEDULE

QTY.	DESCRIPTION	MANUF.	NUMBER	FINISH
3	FR BUTT HINGE	MANUF.	NON-FERROUS 4 1/2" x 4 1/2" NRP	US26D
1	PANIC HARDWARE	VON DUPRIN	99 SERIES RIM	US26D
1	FULLS	MANUF.	CP-II (VERTICAL)	US26D
1	CLOSERS	LNC	4040 SERIES	ALUM.
1	THRESHOLDS	MANUF.	BUTT HING	ALUM.
1	SWEEPS	REESE	323C x WIDTH	ALUM.
1	WEATHERSEAL	NAT'L GUARD	160	ALUM.

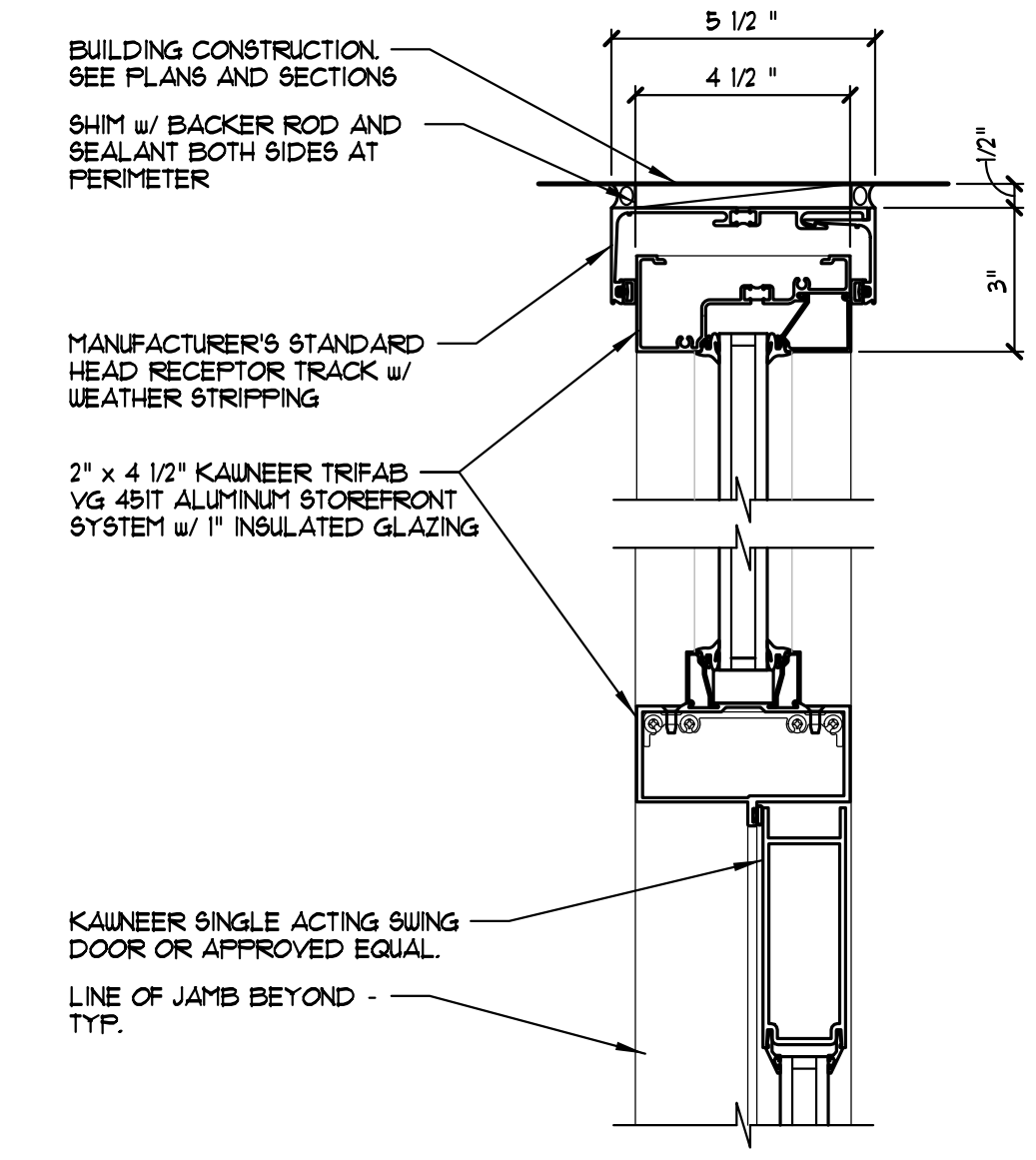
NOTE
 ALL LOCKABLE DOORS SHALL BE EQUIPPED WITH REMOVABLE CORE HARDWARE, MANUFACTURED BY "SARGENT" LOCK CO. HARDWARE TO BE SUPPLIED FROM THE MANUFACTURER WITH "SARGENT" REMOVABLE CORE CYLINDERS WITH CONSTRUCTION MASTER-KEYING.



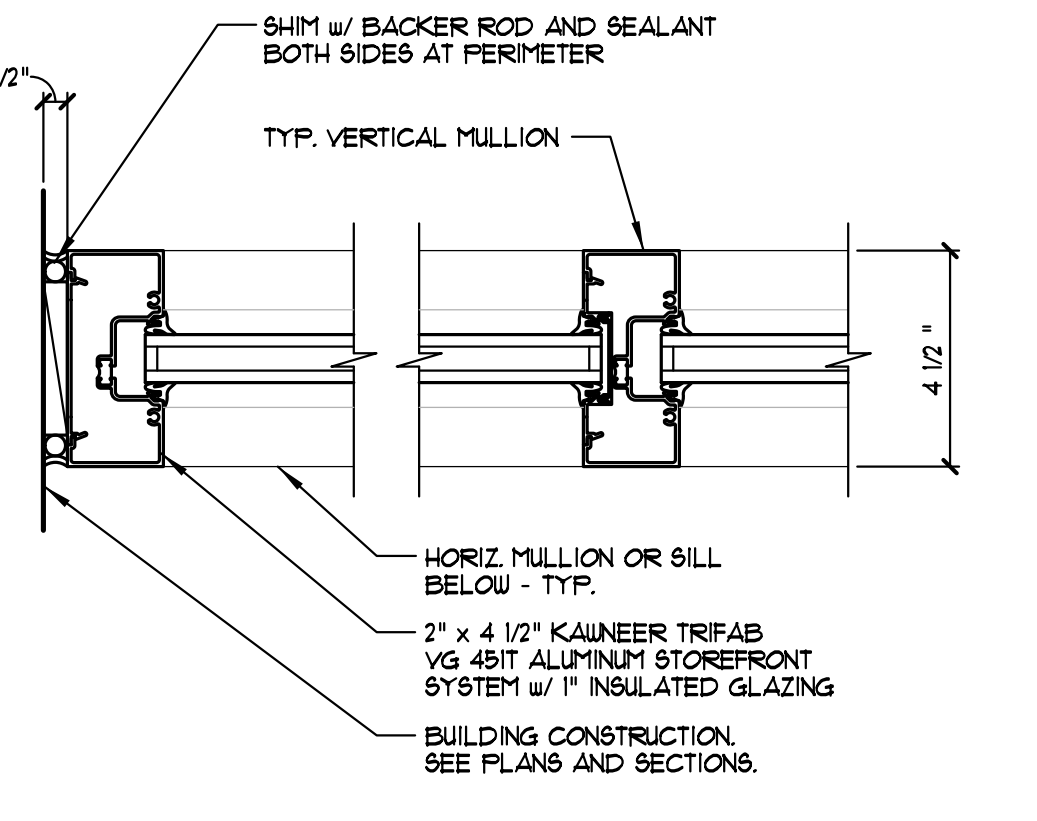
BB STOREFRONT ELEVATION
 SCALE 1/4" = 1'-0"
 STP-1



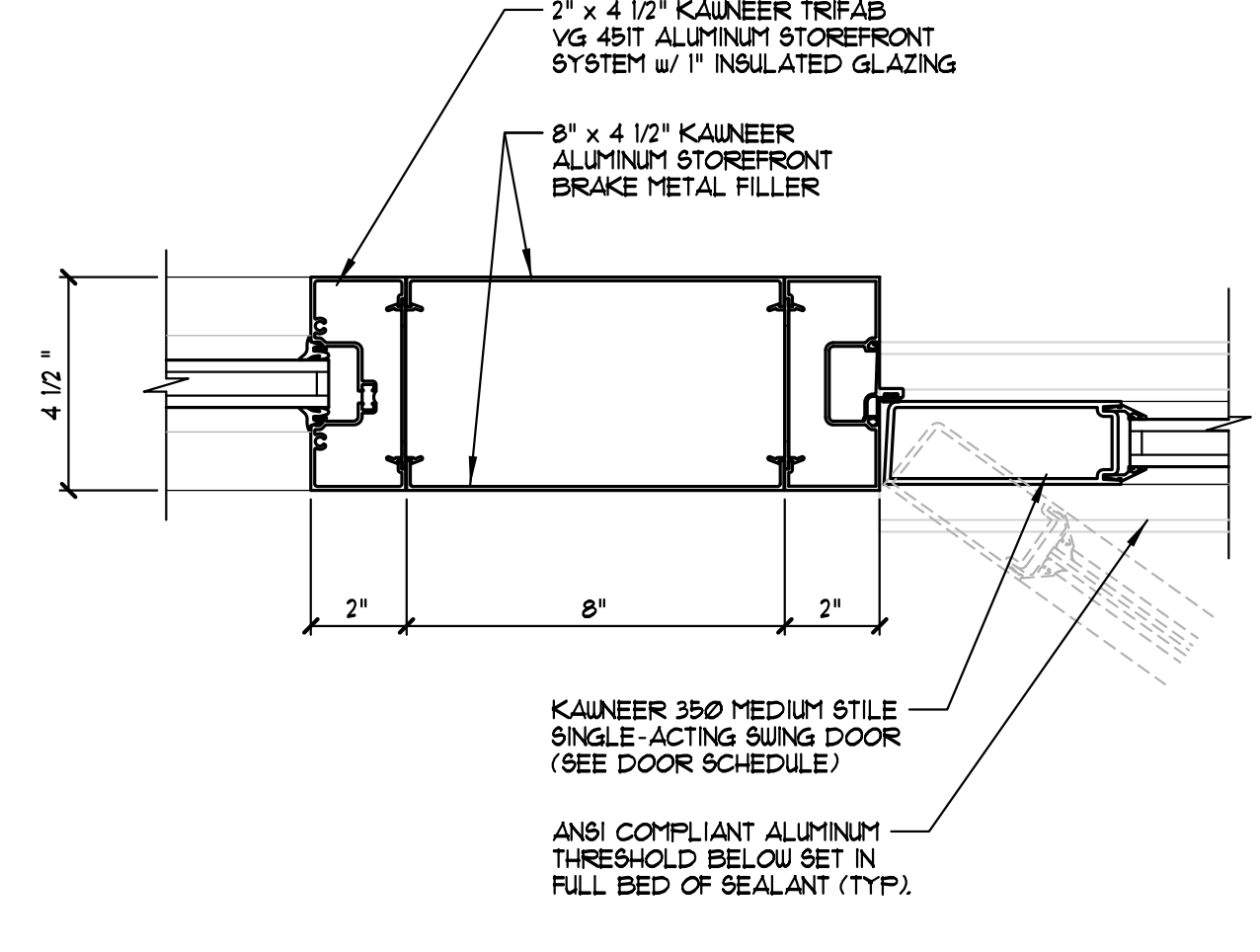
A HEAD DETAIL
 SCALE 3" = 1'-0"



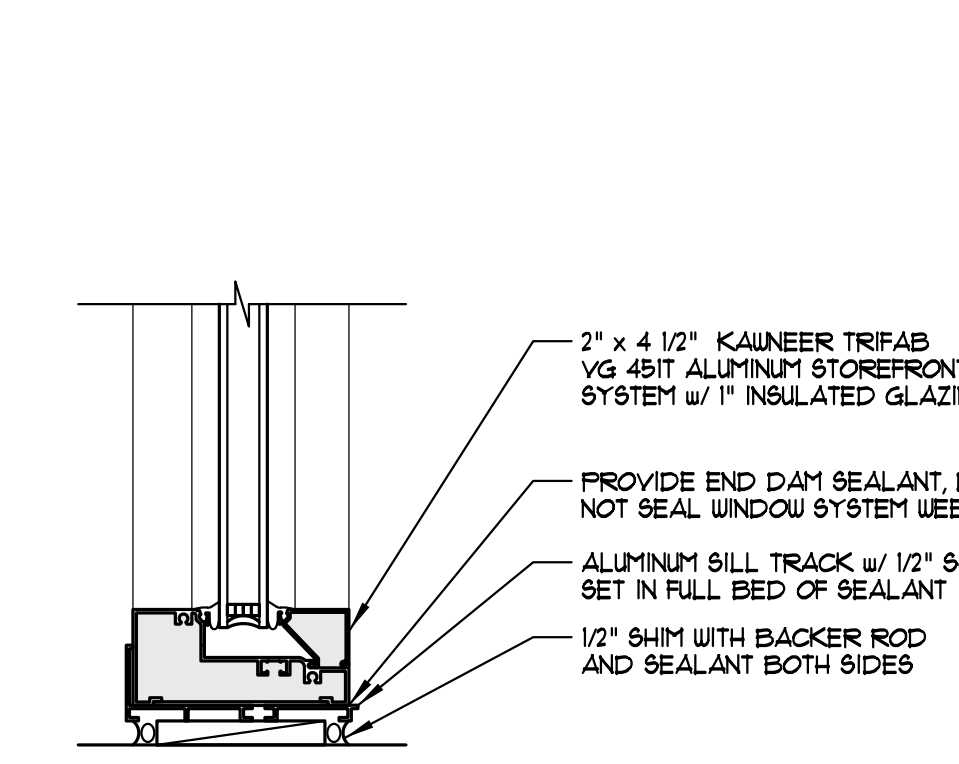
B HEAD DETAIL
 SCALE 3" = 1'-0"



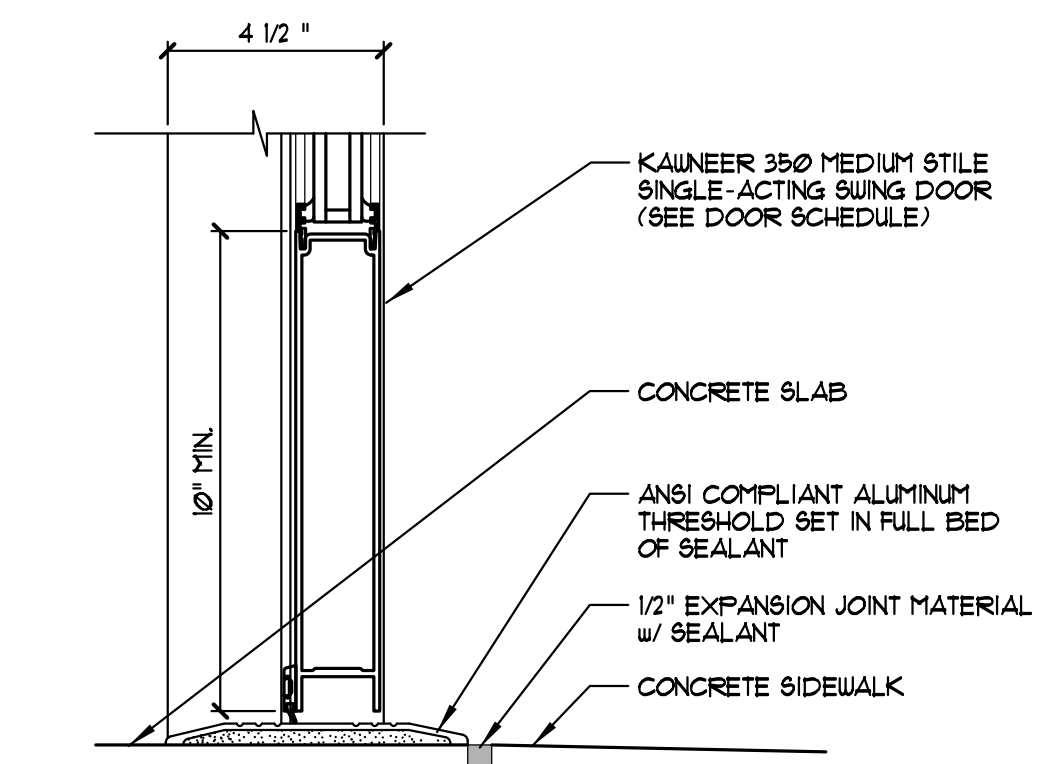
C JAMB DETAIL
 SCALE 3" = 1'-0"



D JAMB DETAIL
 SCALE 3" = 1'-0"



E SILL DETAIL
 SCALE 3" = 1'-0"



F SILL DETAIL
 SCALE 3" = 1'-0"

DUBLIN VILLAGE CENTER
 BUILDING 'A' - WEST FACADE ALTERATION
 6751 VILLAGE PARKWAY
 DUBLIN, OHIO 43071
 FOR STAVROFF LAND AND DEVELOPMENT, INC.
 6689 DUBLIN CENTER DR. DUBLIN, OH 43071

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DOOR / HARDWARE SCHEDULES, STOREFRONT ELEVATIONS & DETAILS
 BUILDING 'A'
A-4.1
 DUBLIN VILLAGE CENTER

ELEVATION CODED NOTES

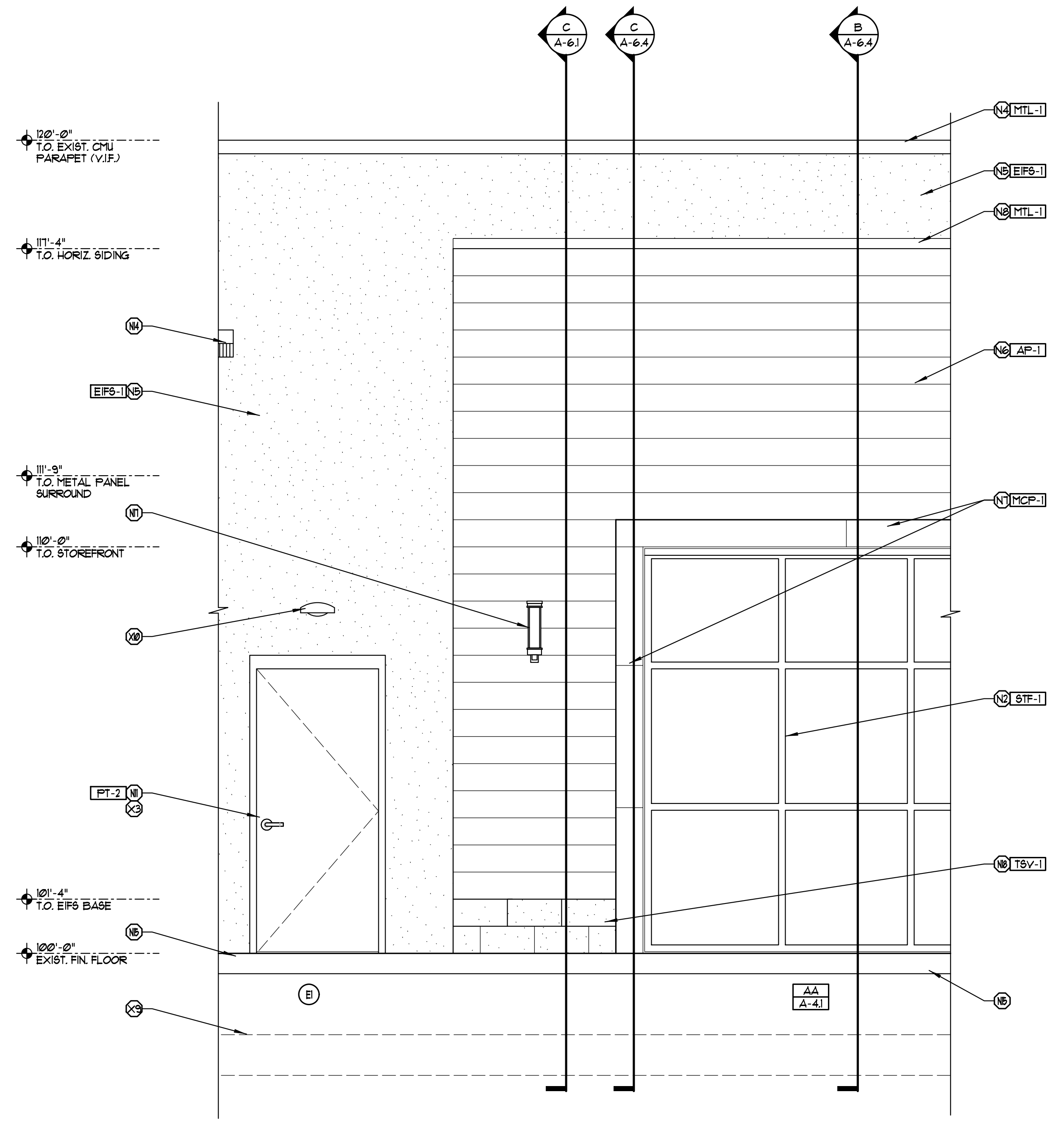
EXISTING CONSTRUCTION CODED NOTES	NEW CONSTRUCTION CODED NOTES
(X) EXISTING EIFS SYSTEM VENEER OVER EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQ'D. DURING NEW CONSTRUCTION. PAINT.	(N) PREFINISHED ALUMINUM STOREFRONT SYSTEM BRAKE METAL TRIM AT NEW COLUMN INSTALLATION.
(X) PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED FOR NEW CONSTRUCTION.	(N) 2" x 4 1/2" PREFINISHED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING.
(X) EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME AND HARDWARE TO REMAIN. PAINT.	(N) PREFINISHED ALUMINUM STOREFRONT MEDIUM STYLE DOOR w/ 1" INSULATED GLAZING.
(X) PORTION OF EXISTING CONCRETE CURB TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION.	(N) PREFINISHED METAL (24 GA) COPING FLASHING.
(X) EXISTING WALL LOUVER TO REMAIN. PAINT.	(N) EIFS w/ MOISTURE DRAINAGE SYSTEM.
(X) EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIREWAYS, ETC.) TO REMAIN. PAINT.	(N) NOM. 6" HORIZ. FLANK ARCHITECTURAL PANEL.
(X) EXISTING BUILDING / TENANT GAS SERVICE (METER SETS, PIPING, ETC.) TO REMAIN. PAINT.	(N) PREFINISHED METAL (24 GA) CAP FLASHING.
(X) EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT.	(N) PAINT EXISTING EIFS FINISH.
(X) LINE OF EXIST. BUILDING FOUNDATION TO REMAIN. V.I.F.	(N) PAINT EXISTING METAL COPING.
(X) EXISTING BUILDING EGRESS LIGHT FIXTURE TO REMAIN.	(N) PAINT EXISTING METAL SERVICE DOOR / FRAME.
(X) EXISTING BUILDING METAL COPING FLASHING TO REMAIN. PAINT.	(N) PAINT EXISTING UTILITY SERVICE ITEMS.
	(N) PAINT EXISTING METAL LOUVER.
	(N) WALL PACK LIGHT FIXTURE.
	(N) NEW CONCRETE SIDEWALK / PATIO. SEE HARDSCAPE SHEETS.
	(N) C.I.P. FOOTING / CMU FOUNDATION AT NEW COLUMN INSTALLATION OR SURROUND CONSTRUCTION.
	(N) DECORATIVE WALL MOUNTED LIGHT FIXTURE. FINAL SELECTION TO BE DETERMINED BY OWNER.
	(N) THIN STONE VENEER BASE.

GENERAL CONSTRUCTION NOTES

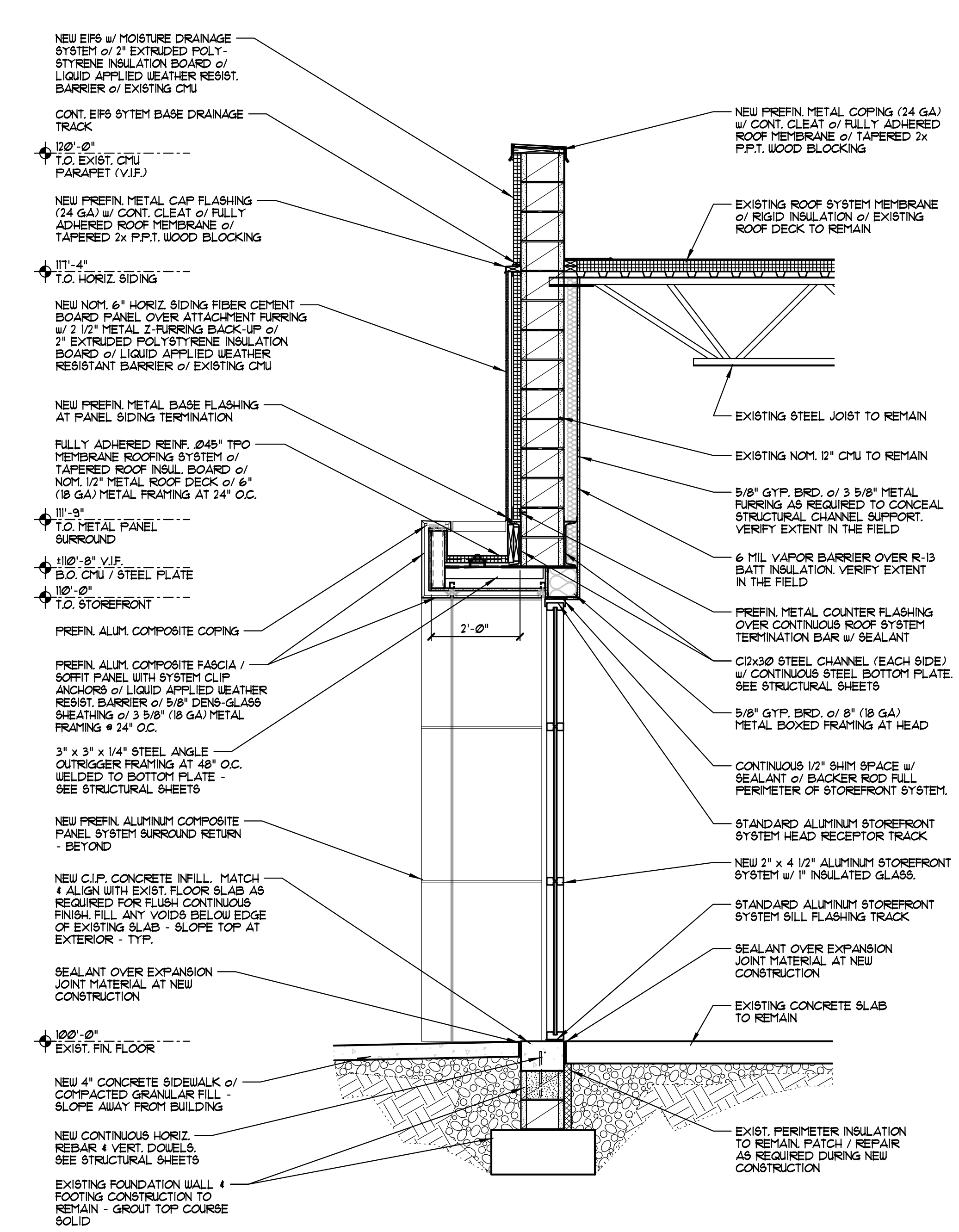
- ALL FASTENERS, CONNECTORS, OR OTHER HARDWARE IN DIRECT CONTACT WITH PRESERVATIVE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL, TYPE 304 OR TYPE 316, OR HOT-DIPPED GALVANIZED STEEL ASTM A653, CLASS G-185 WITH 100 COICES OF ZINC PER SQUARE FOOT TO REDUCE THE CORROSION PROCESS.
- SEE STRUCTURAL SHEETS FOR ALL METAL STUD FRAMING CONFIGURATIONS, SIZES, SPACING, AND GAUGES. COLD-FORMED STEEL MEMBER SIZES AND CONNECTIONS SHOWN ON THE DRAWINGS ARE PRELIMINARY. THE COLD-FORMED STEEL SUPPLIER SHALL DETERMINE FINAL MEMBER SIZES AND CONNECTIONS. THE COLD-FORM STEEL SUPPLIER'S BID SHALL REFLECT THE FINAL MEMBER SIZES AND CONNECTIONS.
- ALL WOOD NOTED TO BE FIRE-RETARDANT TREATED (F.R.T.) PER ALPA C20 4 C31 AND SHALL NOT HAVE A FLAME SPREAD OF GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH ASTM E-84. PER CBC SECTION 2303.2, EXTERIOR FIRE-RETARDANT TREATED (F.R.T.) WOOD EXPOSED TO WEATHER DAMP OR WET CONDITIONS SHALL BE IDENTIFIED AS EXTERIOR TO INDICATE NO INCREASE IN THE LISTED FLAME SPREAD INDEX PER CBC 2302.2 & 2302.3 WHEN SUBJECTED TO ASTM D 1998.
- ALL EXTERIOR WOOD BLOCKING TO BE MOISTURE RESISTANT PRESURE PRESERVATIVE TREATED (P.P.T.) PER ALPA M4 4 U1 (UNLESS NOTED AS F.R.T. OR E.F.R.T.) PER CBC SECTION 2303.1.8.
- ALL SHEATHING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO METAL FRAMING BY THE USE OF NON-REVERSING SCREWS. NO NAIL FASTENERS ARE PERMITTED.
- HOT-DIPPED GALVANIZED ADJUSTABLE WALL TIES # 1/2" O.C. (VERT.) & 1/2" O.C. (HORIZ) TO BE ANCHORED THROUGH TO METAL STUD FRAMING.
- REFER TO MANUFACTURER'S GUIDELINES FOR SPECIFIC MASONRY, MOISTURE / WEATHER BARRIER, THRU-WALL FLASHING AND U-SEEP CRITERIA AND INSTALLATION REQUIREMENTS. ALL REQUIREMENTS MUST BE MET. FAILURE TO FOLLOW SPECIFIC CRITERIA WILL RESULT IN REMOVAL OF ALL UNACCEPTABLE CONSTRUCTION.
- WEATHER RESISTANT BARRIER IS TO SELF SEAL AT ANCHOR PENETRATIONS. (NOTE - IF WEATHER RESISTANT BARRIER IS NOT SELF SEALING THEN TAPE / SEALANT IS REQUIRED TO BE INSTALLED AT SURFACE OF WEATHER RESISTANT BARRIER AT ALL ANCHOR PENETRATION LOCATIONS).
- ALL JOINTS OF FLASHINGS AND JOINTS OF DENS-GLASS GOLD SHEATHING IN COMPOSITE / METAL STUD WALL CONSTRUCTION CONDITIONS ARE TO BE SEALED PER WEATHER RESISTANT BARRIER & FLASHING MANUFACTURER SPECIFICATIONS WITH MANUFACTURER'S SPECIFIED TAPES & SEALANTS.
- LAP ALL WEATHER RESISTANT BARRIERS AND THRU-WALL FLASHINGS IN A WATER SHEDDING FASHION.
- PROVIDE CONTINUOUS ANCHORAGE FOR ALL THRU-WALL FLASHING.
- INSTALL THRU-WALL FLASHING AT THE BASE OF CAVITY WALLS, HEADS OF DOORS, WINDOWS AND OTHER OPENINGS, WINDOW SILLS, SHELF PLATES, SHELF ANGLES, WALL RECESES AND PROJECTIONS, COPINGS AND AT SIMILAR LOCATIONS.
 - PLACE FLASHING (2) COINGS ABOVE GRADE. STEP FLASHING WHERE GRADE SLOPES.
 - PROVIDE CONTINUOUS STAINLESS STEEL DRIP EDGE FLASHING AT EXTERIOR SURFACE OF THRU-WALL FLASHING JOINT ABOVE GRADE SURFACE. EXTEND THRU-WALL FLASHING TO WITHIN 1/4" OF EXTERIOR MASONRY SURFACE (LAP OVER STAINLESS STEEL DRIP EDGE FLASHING).
 - EXTEND ALL THRU-WALL FLASHINGS TO 1/4" PAST THE EXTERIOR FACE OF MASONRY AT LOCATIONS WHERE STAINLESS STEEL DRIP EDGE FLASHING IS NOT PROVIDED. CUT BACK FLASHING FLUSH TO FACE AFTER INSTALLATION PRIOR TO CLEANING MASONRY SURFACE.
 - LAY FLASHING IN A SLURRY OF FRESH MORTAR AND TOP WITH A FULL BED OF FRESH MORTAR. IF SHOWN ON DRAWINGS, PROVIDE A RIGID INSULATION GANT.
 - EXTEND FLASHING VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
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PROJECT CONSTRUCTION NOTES

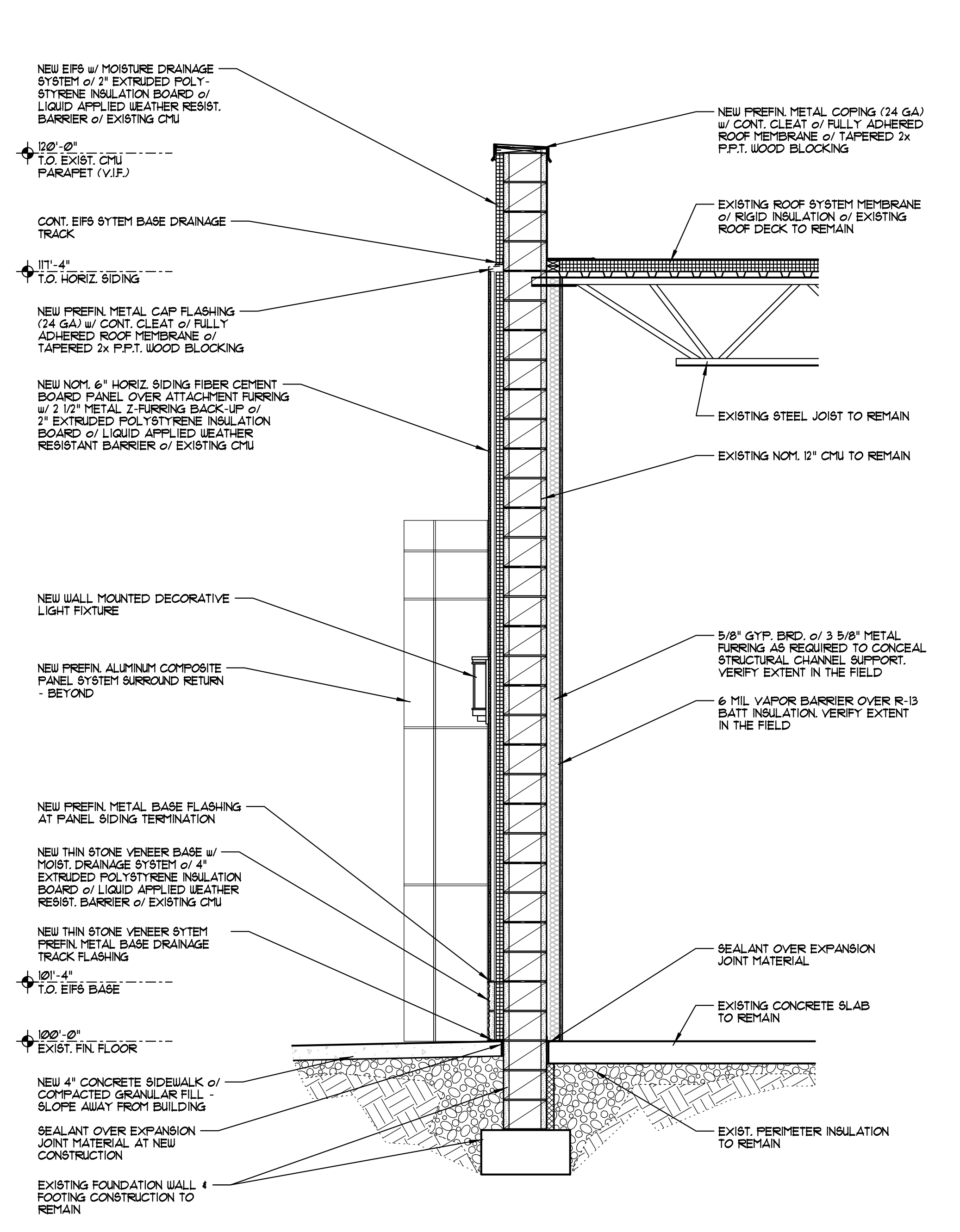
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- FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING BUILDING CONSTRUCTION CONDITIONS OR EXISTING STRUCTURAL ELEMENT LOCATIONS (PLACEMENT, ELEVATION, ETC.).
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SCALE 1/2" = 1'-0"



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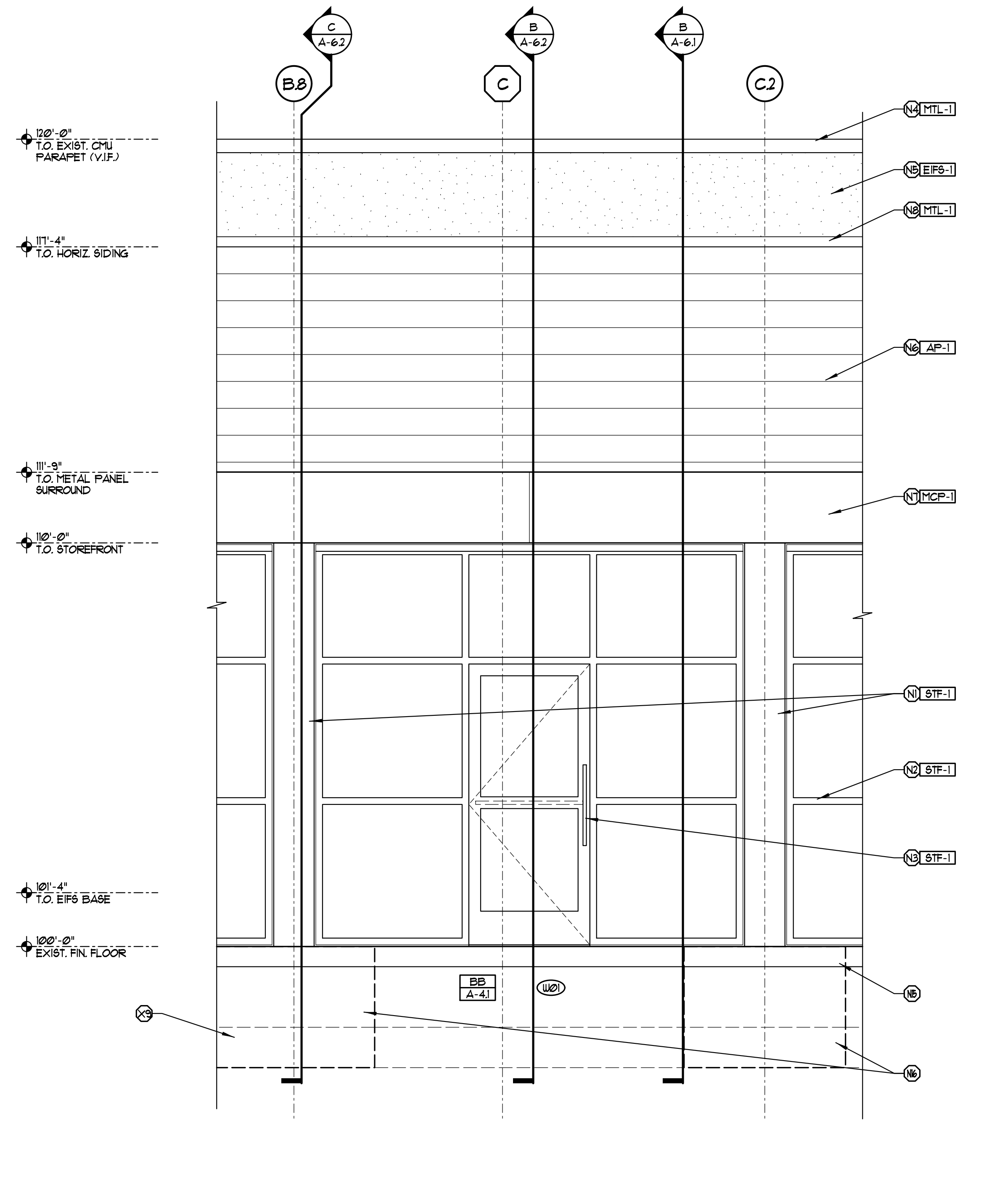
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(X) EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME AND HARDWARE TO REMAIN. PAINT.	(N) PREFINISHED ALUMINUM STOREFRONT MEDIUM STYLE DOOR w/ INSULATED GLAZING.
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GENERAL CONSTRUCTION NOTES

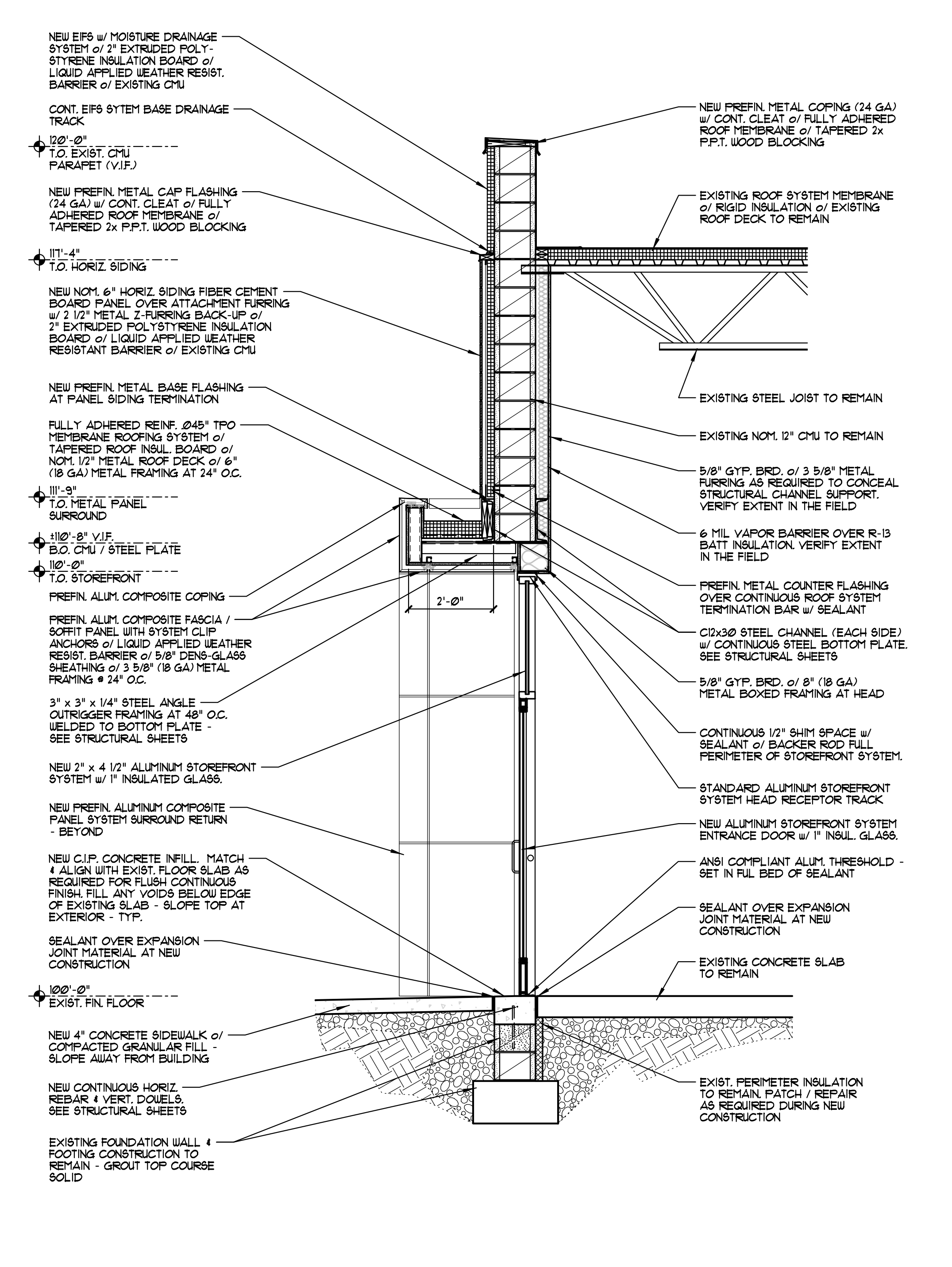
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- SEE STRUCTURAL SHEETS FOR ALL METAL STUD FRAMING CONFIGURATIONS, SIZES, SPACING, AND GAUGES. COLD-FORMED STEEL MEMBER SIZES AND CONNECTIONS SHOWN ON THE DRAWINGS ARE PRELIMINARY. THE COLD-FORMED STEEL SUPPLIER SHALL DETERMINE FINAL MEMBER SIZES AND CONNECTIONS. THE COLD-FORM STEEL SUPPLIER'S BID SHALL REFLECT THE FINAL MEMBER SIZES AND CONNECTIONS.
- ALL WOOD NOTED TO BE FIRE-RETARDANT TREATED (F.R.T.) PER ALFA C30 4 C31 AND SHALL NOT HAVE A FLAME SPREAD OF GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH ASTM E-84 PER CBC SECTION 2303.2. EXTERIOR FIRE-RETARDANT TREATED (F.R.T.) WOOD EXPOSED TO WEATHER DAMP OR UET CONDITIONS SHALL BE IDENTIFIED AS EXTERIOR TO INDICATE NO INCREASE IN THE LISTED FLAME SPREAD INDEX PER CBC 2302.2 & 2302.3 WHEN SUBJECTED TO ASTM D 2898.
- ALL EXTERIOR WOOD BLOCKING TO BE MOISTURE RESISTANT PRESERVATIVE TREATED (P.P.T.) PER ALFA M4 4 U1 (UNLESS NOTED AS F.R.T. OR F.R.T.) PER CBC SECTION 2303.1.8.
- ALL SHEATHING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO METAL FRAMING BY THE USE OF NON-REVERSING SCREWS. NO NAIL FASTENERS ARE PERMITTED.
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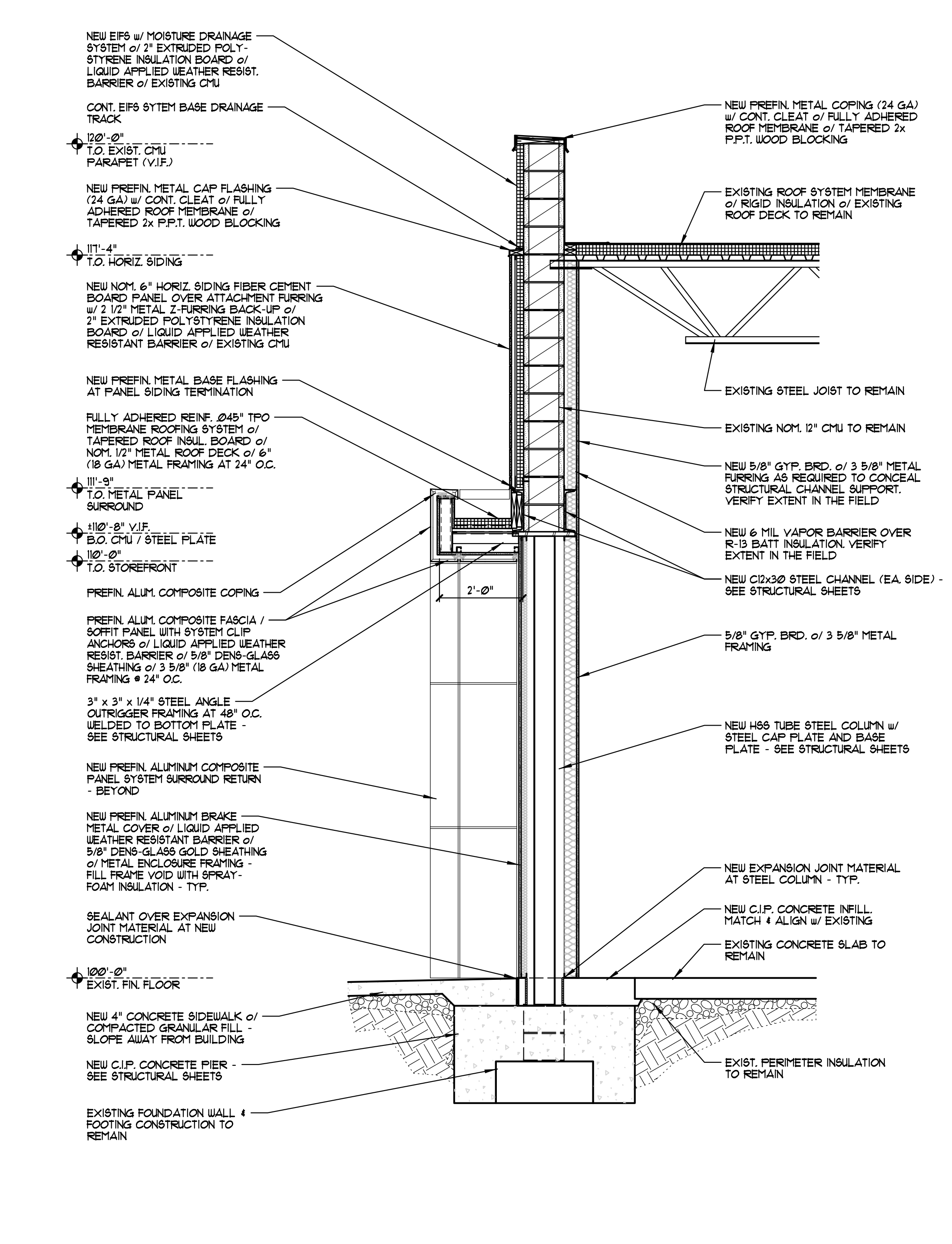
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(B) BUILDING 'A' - WALL SECTION
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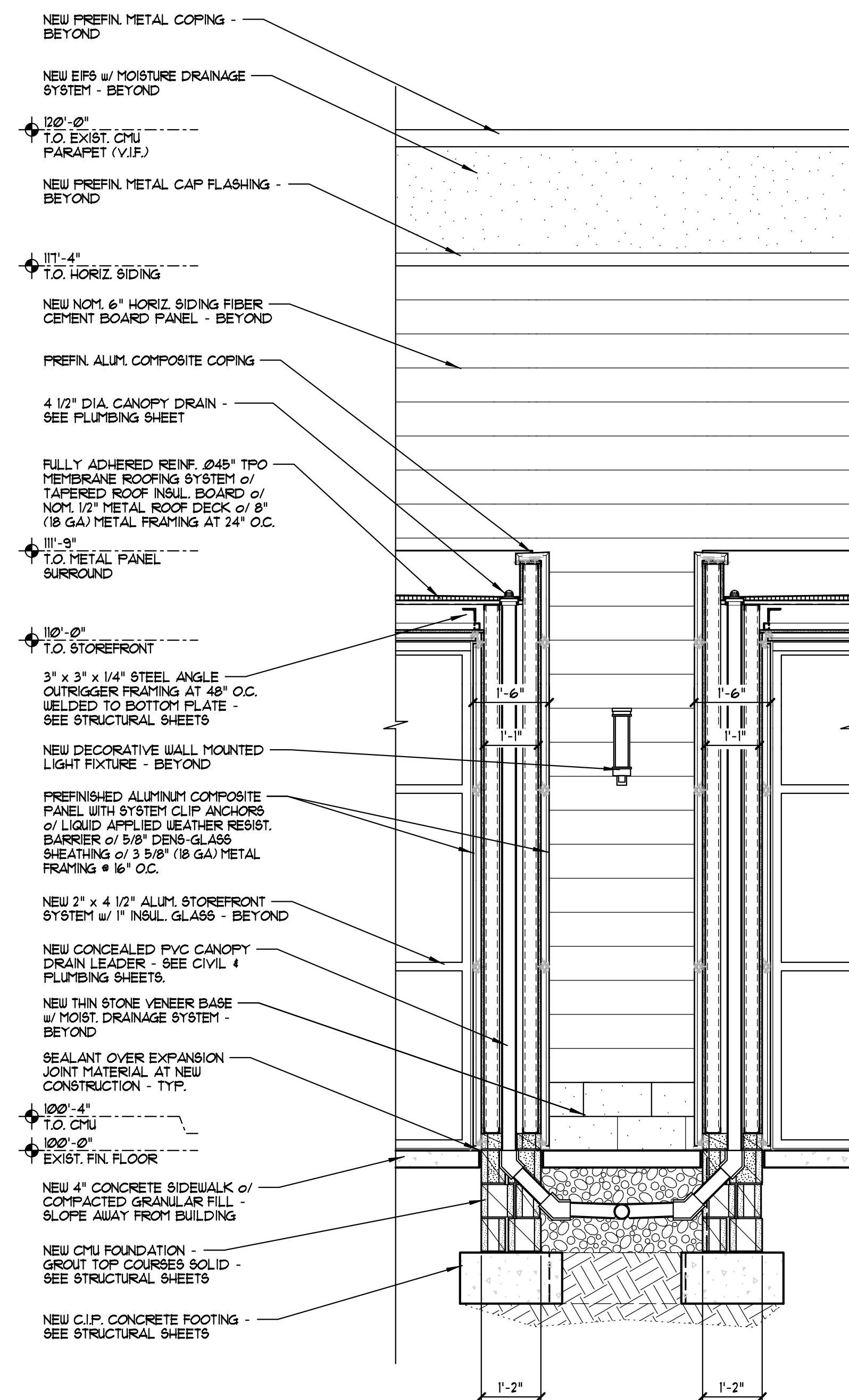
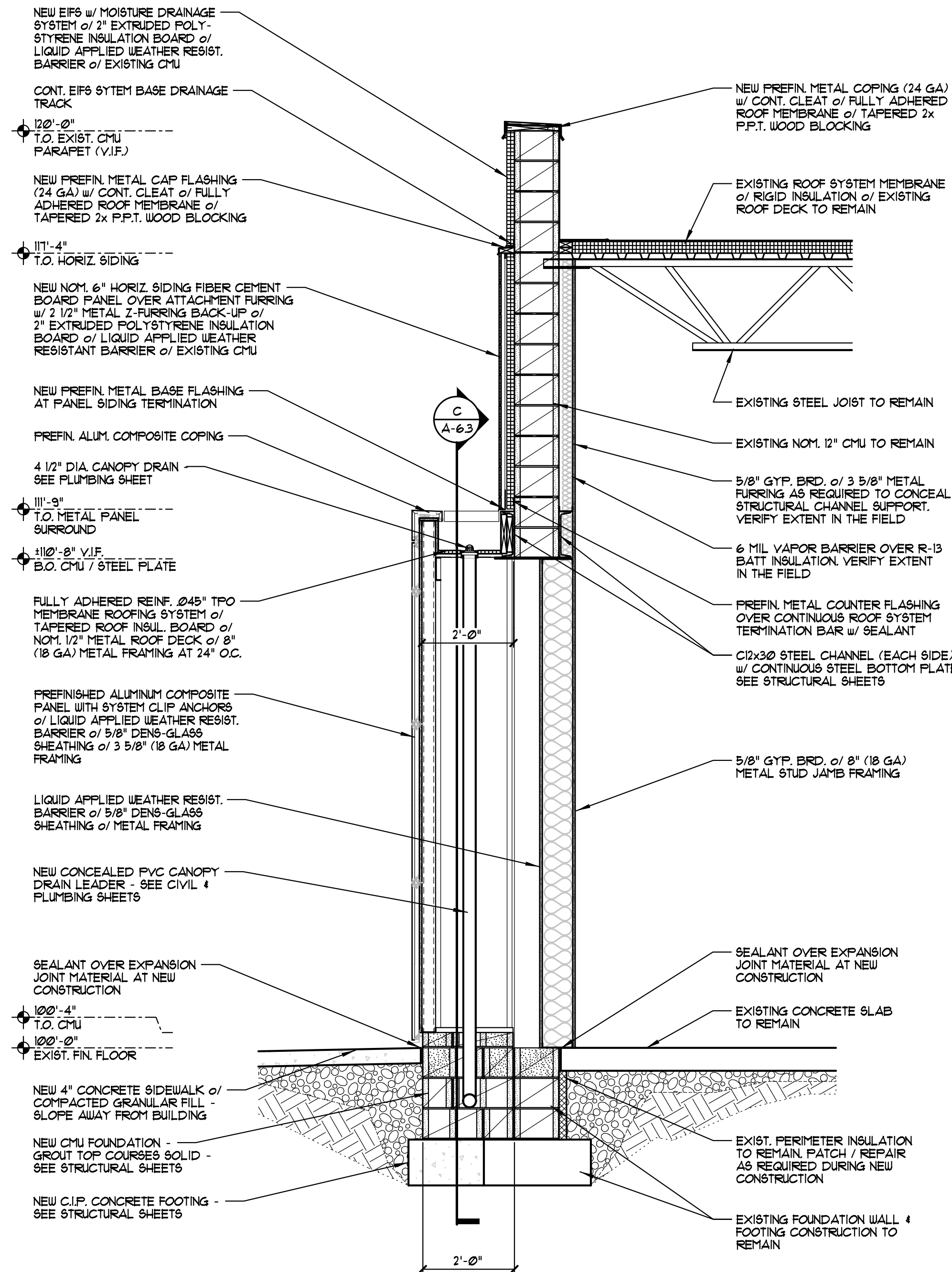
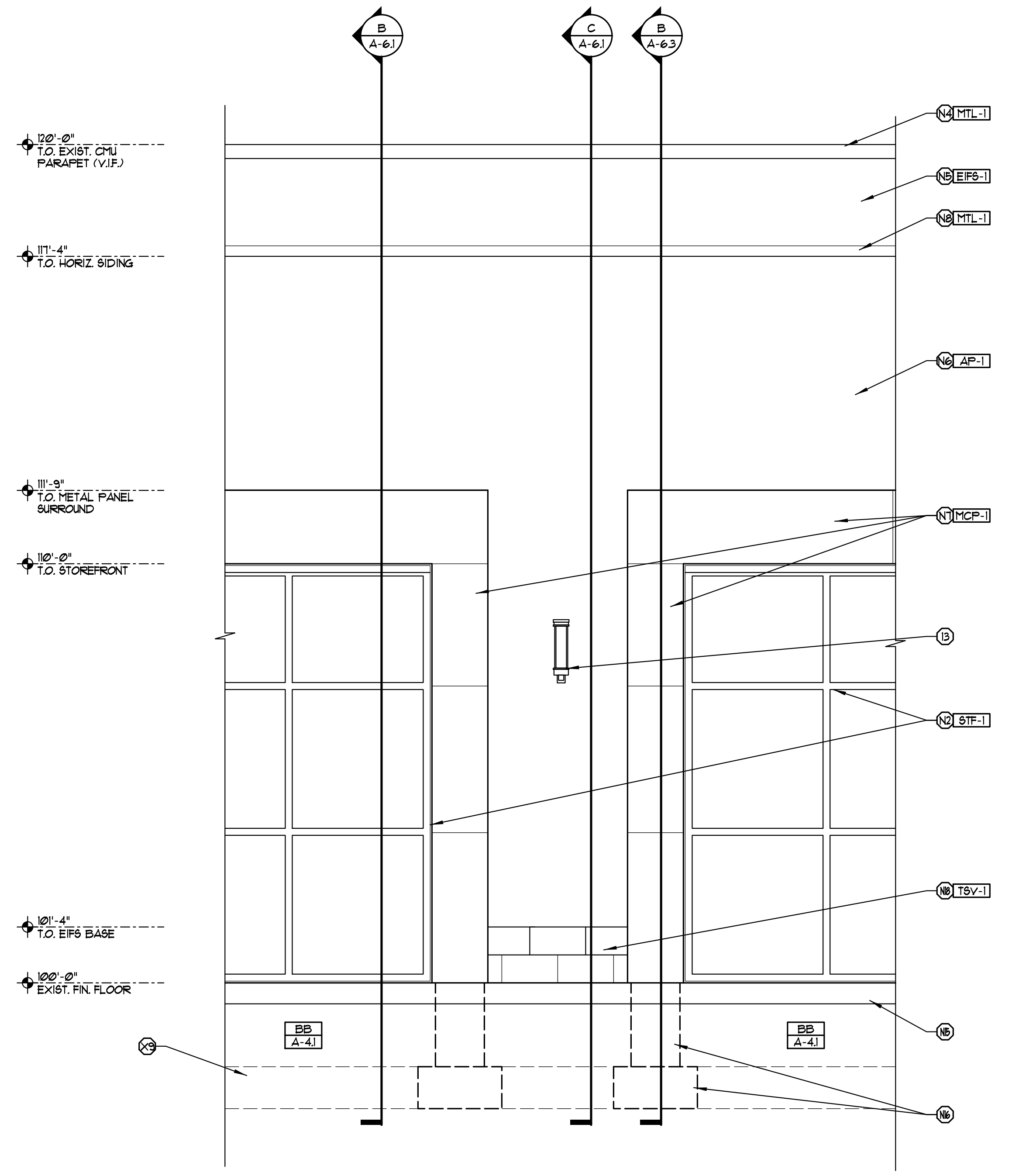
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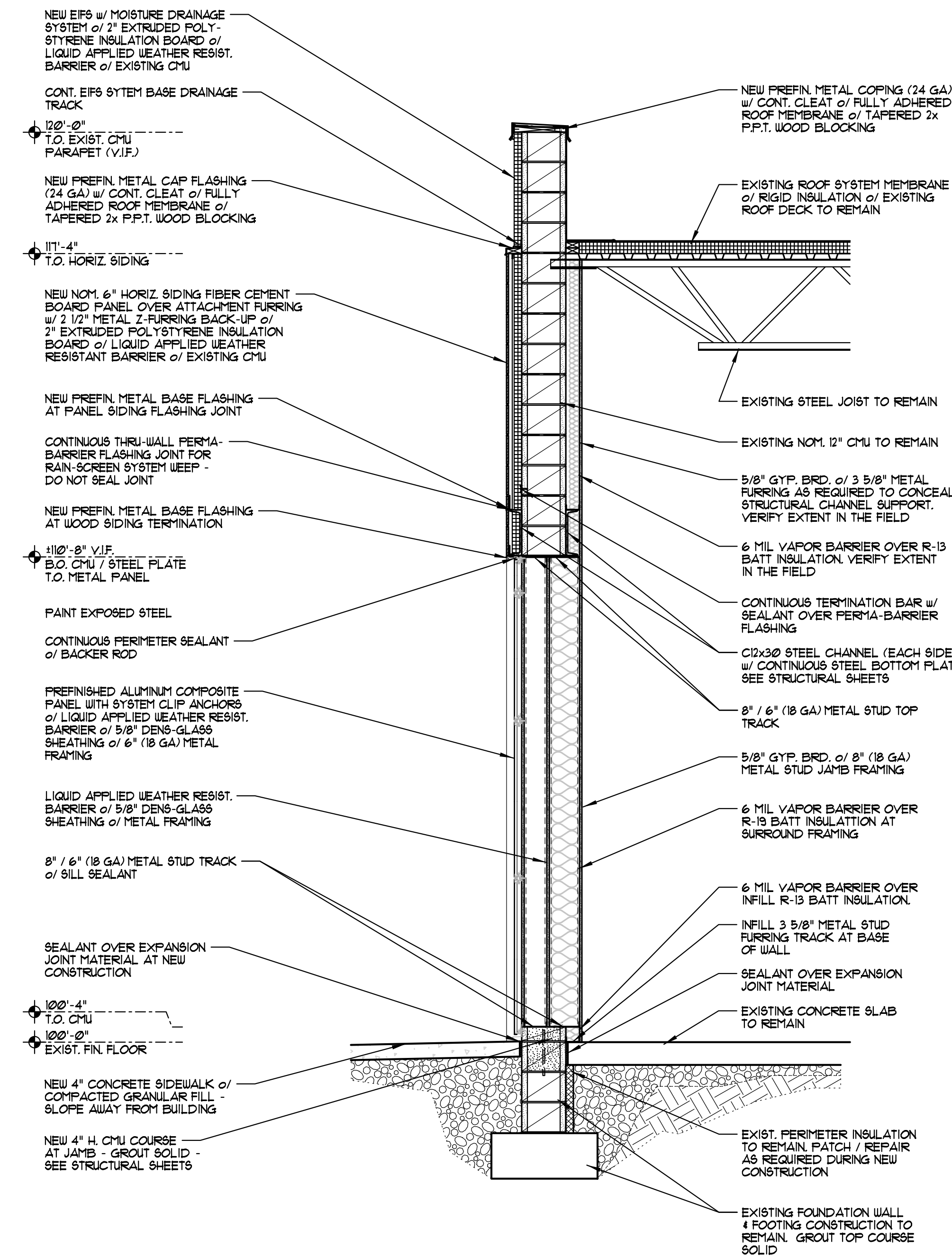
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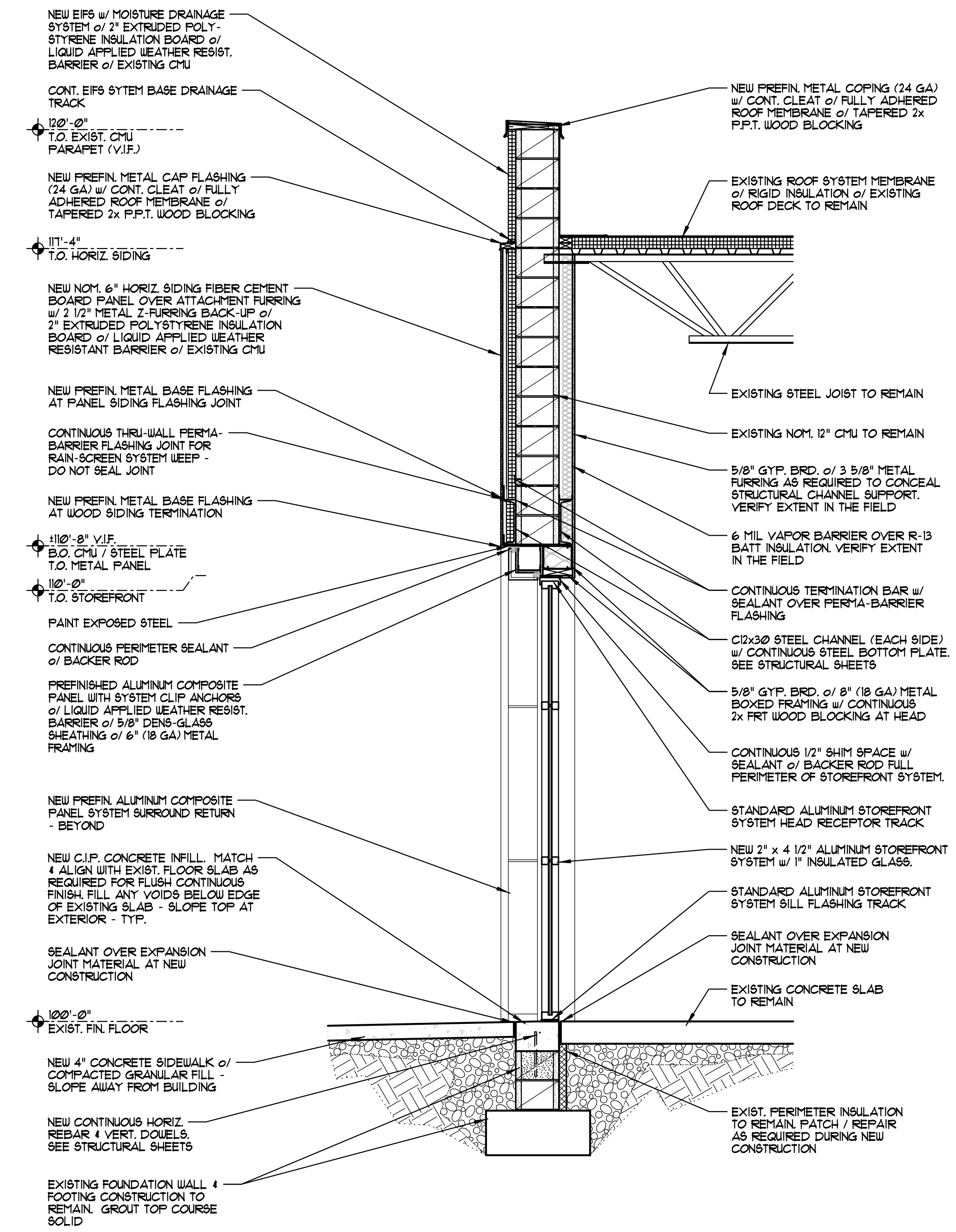
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- HOT-DIPPED GALVANIZED ADJUSTABLE WALL TIES # 1/2" O.C. (VERT.) & 16" O.C. (HORIZ) TO BE ANCHORED THROUGH TO METAL STUD FRAMING.
- REFER TO MANUFACTURER'S GUIDELINES FOR SPECIFIC MASONRY, MOISTURE / WEATHER BARRIER, THRU-WALL FLASHING AND UEEP CRITERIA AND INSTALLATION REQUIREMENTS. ALL REQUIREMENTS MUST BE MET. FAILURE TO FOLLOW SPECIFIC CRITERIA WILL RESULT IN REMOVAL OF ALL UNACCEPTABLE CONSTRUCTION.
- WEATHER RESISTANT BARRIER IS TO SELF SEAL AT ANCHOR PENETRATIONS. (NOTE - IF WEATHER RESISTANT BARRIER IS NOT SELF SEALING THEN TAPE / SEALANT IS REQUIRED TO BE INSTALLED AT SURFACE OF WEATHER RESISTANT BARRIER AT ALL ANCHOR PENETRATION LOCATIONS).
- ALL JOINTS OF FLASHINGS AND JOINTS OF DENS-GLASS GOLD SHEATHING IN COMPOSITE / METAL STUD WALL CONSTRUCTION CONDITIONS ARE TO BE SEALED PER WEATHER RESISTANT BARRIER & FLASHING MANUFACTURER SPECIFICATIONS WITH MANUFACTURER'S SPECIFIED TAPE & SEALANTS.
- LAP ALL WEATHER RESISTANT BARRIERS AND THRU-WALL FLASHINGS IN A WATER SHEDDING FASHION.
- PROVIDE CONTINUOUS ANCHORAGE FOR ALL THRU-WALL FLASHING.
- INSTALL THRU-WALL FLASHING AT THE BASE OF CAVITY WALLS, HEADS OF DOORS, WINDOWS AND OTHER OPENINGS, WINDOW SILLS, SHELF FLATES, SHELF ANGLES, WALL RECESSES AND PROJECTIONS, CORNICES AND AT SIMILAR LOCATIONS.
 - PLACE FLASHING (2) COURSES ABOVE GRADE. STEP FLASHING WHERE GRADE SLOPES.
 - PROVIDE CONTINUOUS STAINLESS STEEL DRIP EDGE FLASHING AT EXTERIOR SURFACE OF THRU-WALL FLASHING JOINT ABOVE GRADE SURFACE. EXTEND THRU-WALL FLASHING TO WITHIN 1/4" OF EXTERIOR MASONRY SURFACE (LAP OVER STAINLESS STEEL DRIP EDGE FLASHING).
 - EXTEND ALL THRU-WALL FLASHINGS TO 1/4" PAST THE EXTERIOR FACE OF MASONRY AT LOCATIONS WHERE STAINLESS STEEL DRIP EDGE FLASHING IS NOT PROVIDED. CUT BACK FLASHING FLUSH TO FACE AFTER INSTALLATION PRIOR TO CLEANING MASONRY SURFACE.
 - LAY FLASHING IN A SLURRY OF FRESH MORTAR AND TOP WITH A FULL BED OF FRESH MORTAR. IF SHOWN ON DRAWINGS, PROVIDE A RIGID INSULATION GANT.
 - EXTEND FLASHING VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
- FLASHING THAT IS NOT CONTINUOUS SUCH AS THAT IN HEAD AND SILL LOCATIONS OF OPENINGS IN EXTERIOR WALLS SHALL EXTEND 8 INCHES BEYOND THE JAMB LINES ON EACH SIDE OF THE OPENING AND TURNED UP BRICK HEIGHT TO FORM A DAM. CORNERS AT THE DAMS SHALL BE FOLDED AND NOT CUT.
- ALL THRU WALL UTILITY PENETRATIONS (PIPE, CONDUIT, ETC.) AT WALL CONSTRUCTION ARE TO BE SEALED FULL PERIMETER WITH SEALANT OVER BACKER MATERIAL.

PROJECT CONSTRUCTION NOTES

- PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN FOLLOWING DEMOLITION WORK AS REQUIRED FOR FLUSH EVEN FINISH TO MATCH EXISTING SURFACE AND FINISH CONDITIONS.
- G.C. TO INSPECT EXISTING CONSTRUCTION (SIDEWALK, MASONRY, ETC.) EXTERIOR JOINT SEALS. REMOVE DAMAGED, MISSING, AND EXPOSED JOINT SEAL MATERIALS. PROVIDE NEW SEALANT OVER BACKER ROD MATERIAL FOR COMPLETE EXTERIOR JOINT SEAL AT EXISTING & NEW CONSTRUCTION (SIDEWALK, MASONRY, EFS, ETC.). ARCHITECT TO APPROVE SELECTED SEALANT COLOR(S).
- FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING BUILDING CONSTRUCTION CONDITIONS OR EXISTING STRUCTURAL ELEMENT LOCATIONS (PLACEMENT, ELEVATION, ETC.).
- PROVIDE TEMPORARY OR PERMANENT BRACING AS REQUIRED TO SUPPORT PORTIONS OF EXISTING FRAMING TO REMAIN DURING DEMOLITION OF EXISTING MATERIALS THAT ARE TO BE REMOVED.
- G.C. TO CONTACT ARCHITECT PRIOR TO THE START OF DEMOLITION AND NEW CONSTRUCTION SEQUENCING. ARCHITECT TO VERIFY THE PROPOSED LOCATIONS OF BRACING REQUIRED TO SUPPORT EXISTING FRAMING AND MATERIALS TO REMAIN. G.C. TO CONFIRM SEQUENCING OF NEW CONSTRUCTION FRAMING WITH EXISTING FRAMING AND MATERIALS TO BE REMOVED.



B BUILDING 'A' - WALL SECTION
SCALE 1/2" = 1'-0"



C BUILDING 'A' - WALL SECTION
SCALE 1/2" = 1'-0"

ISSUE	REVISION	DATE
PRELIMINARY BID		MAR. 13, 2020
BID ISSUE		APRIL 22, 2020
FRESH REVIEW		JULY 2, 2020
A.R.T. REVIEW		DEC. 15, 2020
A.R.T. REVIEW		FEB. 02, 2021