

ISSUE	REVISION	DATE
PRELIMINARY BID		MAR. 13. 2020
BID ISSUE		APRIL 22. 2020
PRELIM. REVIEW		JULY 2. 2020
A.R.T. REVIEW		DEC. 16. 2020
A.R.T. REVIEW		FEB. 02. 2021

ALTERNATE
PARTIAL WEST
ELEVATION &
WALL SECTIONS

FAA #190301

BUILDING 'A'
A-6.5
DUBLIN VILLAGE
CENTER

GENERAL CONSTRUCTION NOTES

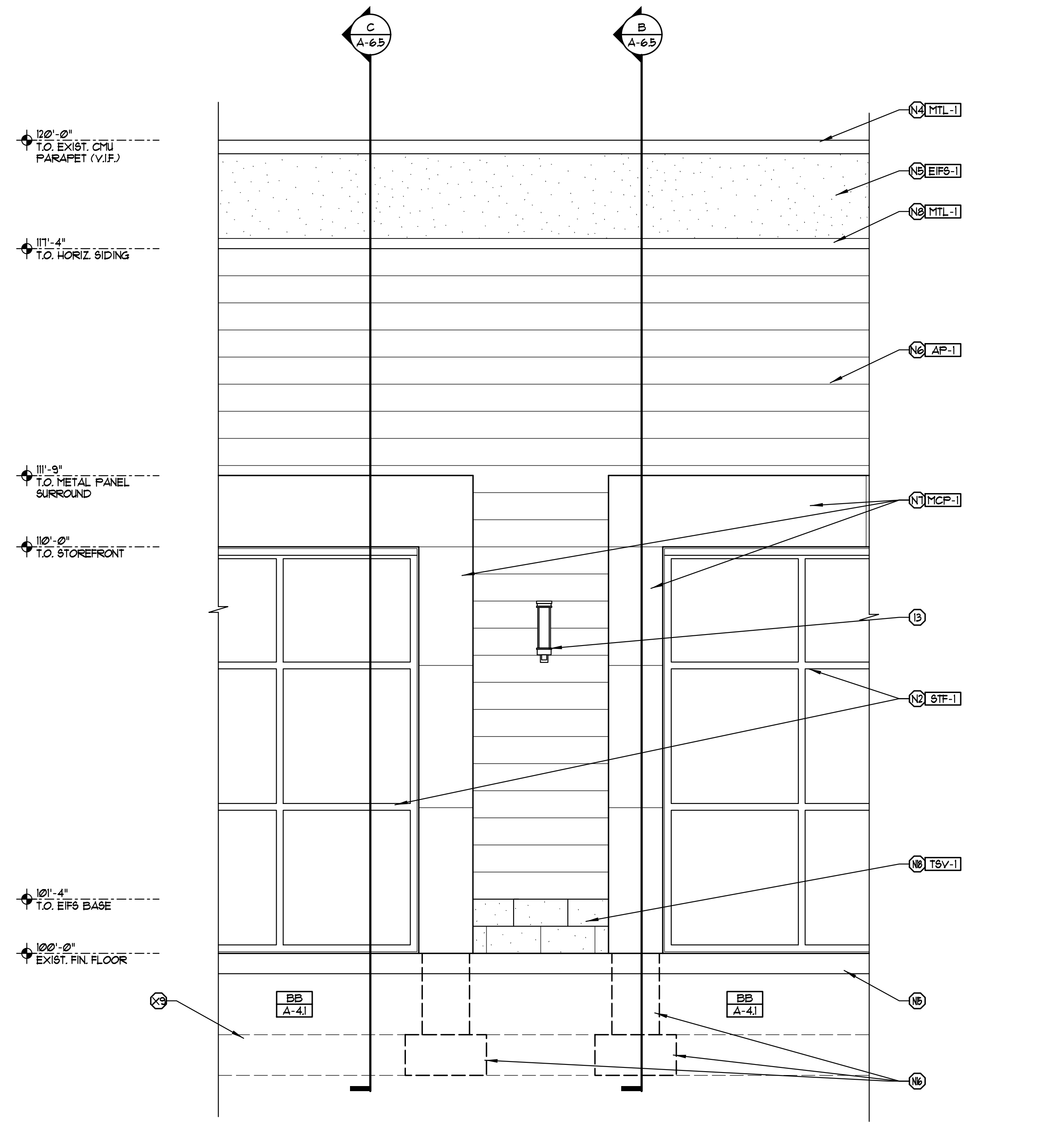
- ALL FASTENERS, CONNECTORS, OR OTHER HARDWARE IN DIRECT CONTACT WITH PRESERVATIVE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL, TYPE 304 OR TYPE 316, OR HOT-DIPPED GALVANIZED STEEL ASTM A653, CLASS G-185 WITH 150 OUNCES OF ZINC PER SQUARE FOOT TO REDUCE THE CORROSION PROCESS.
- SEE STRUCTURAL SHEETS FOR ALL METAL STUD FRAMING CONFIGURATIONS, SIZES, SPACING, AND GAUGES. COLD-FORMED STEEL MEMBER SIZES AND CONNECTIONS SHOWN ON THE DRAWINGS ARE PRELIMINARY. THE COLD-FORMED STEEL SUPPLIER SHALL DETERMINE FINAL MEMBER SIZES AND CONNECTIONS.
- ALL WOOD NOTED TO BE FIRE-RETARDANT TREATED (F.R.T.) PER ALPA C30 4 C31 AND SHALL NOT HAVE A FLAME SPREAD OF GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH ASTM E-84. PER CBC SECTION 2303.2, EXTERIOR FIRE-RETARDANT TREATED (E.F.R.T.) WOOD EXPOSED TO WEATHER DAMP OR WET CONDITIONS SHALL BE IDENTIFIED AS EXTERIOR TO INDICATE NO INCREASE IN THE LISTED FLAME SPREAD INDEX PER CBC 2302.2 & 2302.3 WHEN SUBJECTED TO ASTM D 1898.
- ALL EXTERIOR WOOD BLOCKING TO BE MOISTURE RESISTANT PRESERVATIVE TREATED (P.P.T.) PER ALPA M4 4 U (UNLESS NOTED AS F.R.T. OR E.F.R.T.) PER CBC SECTION 2303.1.8.
- ALL SHEATHING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO METAL FRAMING BY THE USE OF NON-REVERSING SCREWS. NO NAIL FASTENERS ARE PERMITTED.
- HOT-DIPPED GALVANIZED ADJUSTABLE WALL TIES @ 16" O.C. (VERT.) & 16" O.C. (HORIZ) TO BE ANCHORED THROUGH TO METAL STUD FRAMING.
- REFER TO MANUFACTURER'S GUIDELINES FOR SPECIFIC MASONRY, MOISTURE / WEATHER BARRIER, THRU-WALL FLASHING AND U-SEEP CRITERIA AND INSTALLATION REQUIREMENTS. ALL REQUIREMENTS MUST BE MET. FAILURE TO FOLLOW SPECIFIC CRITERIA WILL RESULT IN REMOVAL OF ALL UNACCEPTABLE CONSTRUCTION.
- WEATHER RESISTANT BARRIER IS TO SELF SEAL AT ANCHOR PENETRATIONS. (NOTE - IF WEATHER RESISTANT BARRIER IS NOT SELF SEALING THEN TAPE / SEALANT IS REQUIRED TO BE INSTALLED AT SURFACE OF WEATHER RESISTANT BARRIER AT ALL ANCHOR PENETRATION LOCATIONS.)
- ALL JOINTS OF FLASHINGS AND JOINTS OF DENS-GLASS GOLD SHEATHING IN COMPOSITE / METAL STUD WALL CONSTRUCTION CONDITIONS ARE TO BE SEALED PER LEATHER RESISTANT BARRIER & FLASHING MANUFACTURER SPECIFICATIONS WITH MANUFACTURER'S SPECIFIED TAPE & SEALANTS.
- LAP ALL WEATHER RESISTANT BARRIERS AND THRU-WALL FLASHINGS IN A WATER SHEDDING FASHION.
- PROVIDE CONTINUOUS ANCHORAGE FOR ALL THRU-WALL FLASHING.
- INSTALL THRU-WALL FLASHING AT THE BASE OF CAVITY WALLS, HEADS OF DOORS, WINDOWS AND OTHER OPENINGS, WINDOW SILLS, SHELF PLATES, SHELF ANGLES, WALL RECESSES AND PROJECTIONS, COPINGS AND AT SIMILAR LOCATIONS.
 - PLACE FLASHING (2) COURSES ABOVE GRADE. STEP FLASHING WHERE GRADE SLOPES.
 - PROVIDE CONTINUOUS STAINLESS STEEL DRIP EDGE FLASHING AT EXTERIOR SURFACE OF THRU-WALL FLASHING JOINT ABOVE GRADE SURFACE. EXTEND THRU-WALL FLASHING TO WITHIN 1/4" OF EXTERIOR MASONRY SURFACE (LAP OVER STAINLESS STEEL DRIP EDGE FLASHING).
 - EXTEND ALL THRU-WALL FLASHINGS TO 1/4" PAST THE EXTERIOR FACE OF MASONRY AT LOCATIONS WHERE STAINLESS STEEL DRIP EDGE FLASHING IS NOT PROVIDED. CUT BACK FLASHING FLUSH TO FACE AFTER INSTALLATION PRIOR TO CLEANING MASONRY SURFACE.
 - LAY FLASHING IN A SLURRY OF FRESH MORTAR AND TOP WITH A FULL BED OF FRESH MORTAR. IF SHOWN ON DRAWINGS, PROVIDE A RIGID INSULATION GANT.
 - EXTEND FLASHING VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
- FLASHINGS THAT IS NOT CONTINUOUS SUCH AS THAT IN HEAD AND SILL LOCATIONS OF OPENINGS IN EXTERIOR WALLS SHALL EXTEND 8 INCHES BEYOND THE JAMB LINES ON EACH SIDE OF THE OPENING AND TURNED UP BRICK HEIGHT TO FORM A DASH. CORNERS AT THE DASH SHALL BE FOLDED AND NOT CUT.
- ALL THRU WALL UTILITY PENETRATIONS (PIPE, CONDUIT, ETC.) AT WALL CONSTRUCTION ARE TO BE SEALED FULL PERIMETER WITH SEALANT OVER BACKER MATERIAL.

PROJECT CONSTRUCTION NOTES

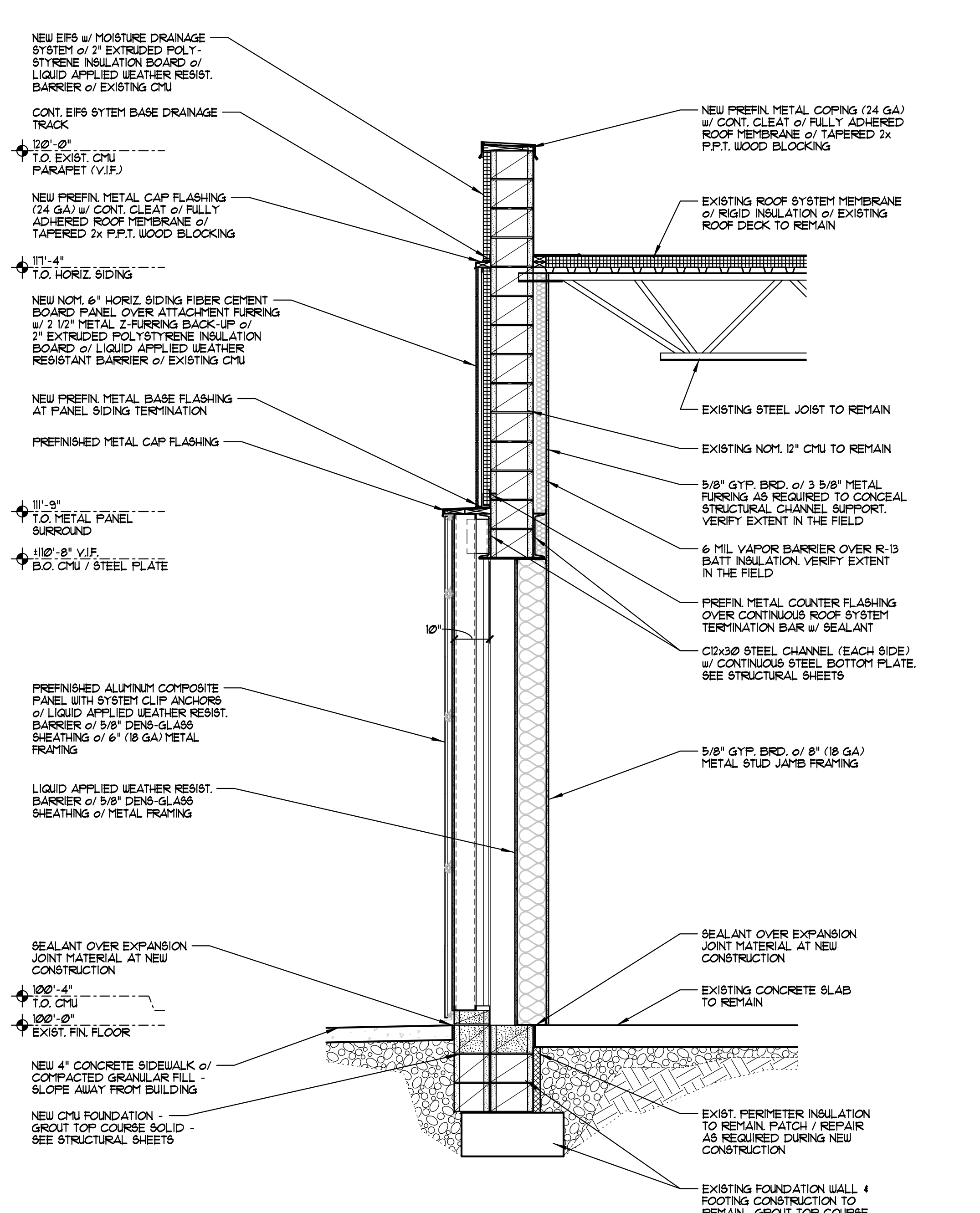
- PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN FOLLOWING DEMOLITION WORK AS REQUIRED FOR FLUSH EVEN FINISH TO MATCH EXISTING SURFACE AND FINISH CONDITIONS.
- G.C. TO INSPECT EXISTING CONSTRUCTION (SIDEWALK, MASONRY, ETC.) EXTERIOR JOINT SEALS. REMOVE DAMAGED, MISSING, AND EXPOSED JOINT SEAL MATERIALS. PROVIDE NEW SEALANT OVER BACKER ROOF MATERIAL FOR COMPLETE EXTERIOR JOINT SEAL AT EXISTING & NEW CONSTRUCTION (SIDEWALK, MASONRY, EFS, ETC.). ARCHITECT TO APPROVE SELECTED SEALANT COLOR(S).
- FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING BUILDING CONSTRUCTION CONDITIONS OR EXISTING STRUCTURAL ELEMENT LOCATIONS (PLACEMENT, ELEVATION, ETC.).
- PROVIDE TEMPORARY OR PERMANENT BRACING AS REQUIRED TO SUPPORT PORTIONS OF EXISTING FRAMING TO REMAIN DURING DEMOLITION OF EXISTING MATERIALS THAT ARE TO BE REMOVED.
- G.C. TO CONTACT ARCHITECT PRIOR TO THE START OF DEMOLITION AND NEW CONSTRUCTION SEQUENCING. ARCHITECT TO VERIFY THE PROPOSED LOCATION OF BRACING REQUIRED TO SUPPORT EXISTING FRAMING AND MATERIALS TO REMAIN. G.C. TO CONFIRM SEQUENCING OF NEW CONSTRUCTION FRAMING WITH EXISTING FRAMING AND MATERIALS TO BE REMOVED.

ELEVATION CODED NOTES

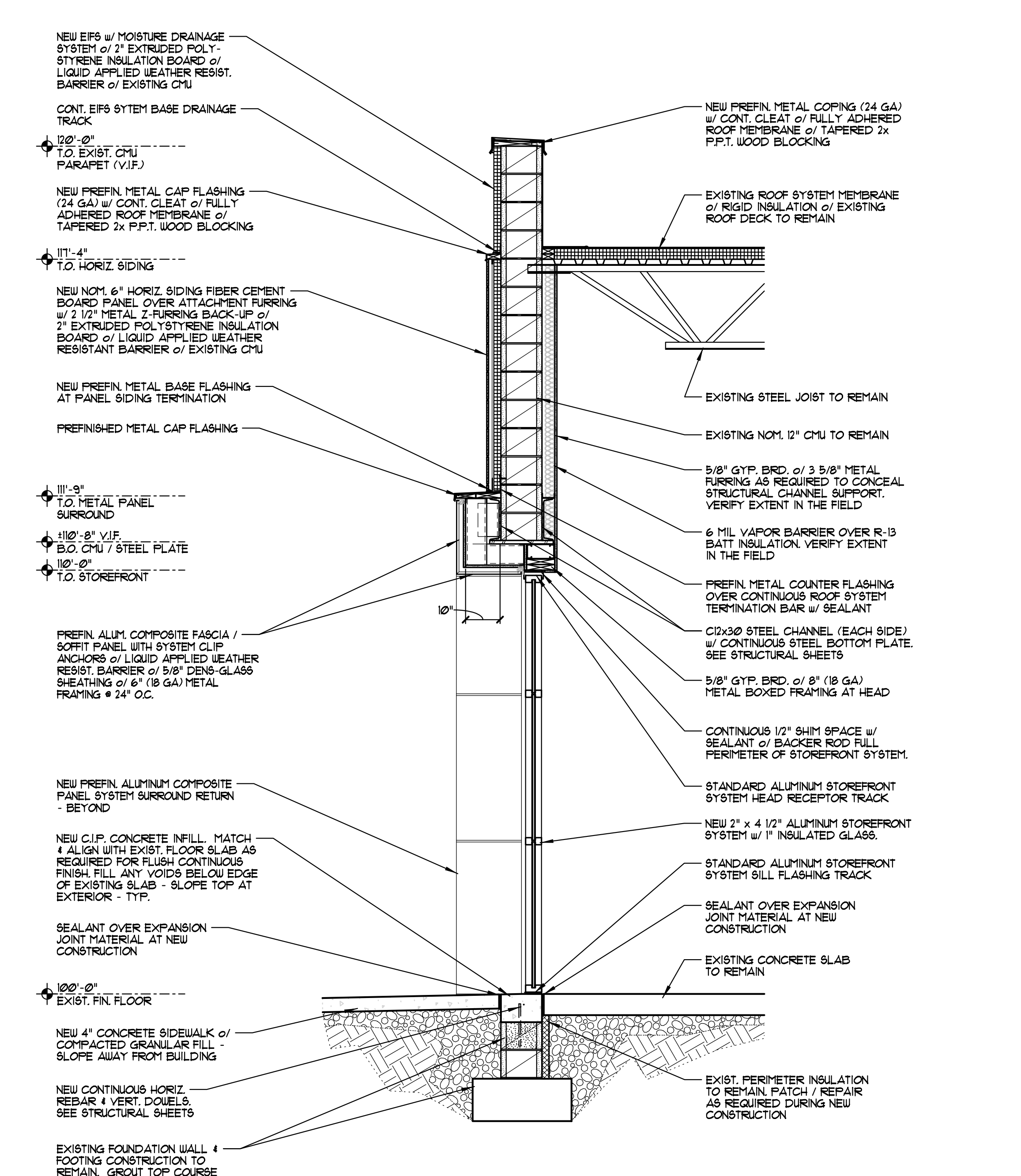
- | EXISTING CONSTRUCTION CODED NOTES | NEW CONSTRUCTION CODED NOTES |
|--|--|
| (X) EXISTING EIFS SYSTEM VENEER OVER EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQ'D. DURING NEW CONSTRUCTION. PAINT. | (N) PREFINISHED ALUMINUM STOREFRONT SYSTEM BRAKE METAL TRIM AT NEW COLUMN INSTALLATION. |
| (X) PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED FOR NEW CONSTRUCTION. | (N) 2" x 4 1/2" PREFINISHED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING. |
| (X) EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME AND HARDWARE TO REMAIN. PAINT. | (N) PREFINISHED ALUMINUM STOREFRONT MEDIUM STILE DOOR w/ 1" INSULATED GLAZING. |
| (X) PORTION OF EXISTING CONCRETE CURB TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION. | (N) PREFINISHED METAL (24 GA) COPING FLASHING. |
| (X) EXISTING WALL LOUVER TO REMAIN. PAINT. | (N) EIFS w/ MOISTURE DRAINAGE SYSTEM. |
| (X) EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIREWAYS, ETC.) TO REMAIN. PAINT. | (N) NOM. 6" HORIZ. FLANK ARCHITECTURAL PANEL. |
| (X) EXISTING BUILDING / TENANT GAS SERVICE (METER SETS, PIPING, ETC.) TO REMAIN. PAINT. | (N) PREFINISHED ALUMINUM COMPOSITE PANEL SURROUND. |
| (X) EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT. | (N) PREFINISHED METAL (24 GA) CAP FLASHING. |
| (X) LINE OF EXIST. BUILDING FOUNDATION TO REMAIN. V.I.F. | (N) PAINT EXISTING EIFS FINISH. |
| (X) EXISTING BUILDING EGRESS LIGHT FIXTURE TO REMAIN. | (N) PAINT EXISTING METAL COPING. |
| (X) EXISTING BUILDING METAL COPING FLASHING TO REMAIN. PAINT. | (N) PAINT EXISTING METAL SERVICE DOOR / FRAME. |
| | (N) PAINT EXISTING UTILITY SERVICE ITEM(S). |
| | (N) PAINT EXISTING METAL LOUVER. |
| | (N) NEW CONCRETE SIDEWALK / PATIO. SEE HARDSCAPE SHEETS. |
| | (N) C.I.P. FOOTING / CMU FOUNDATION AT NEW COLUMN INSTALLATION OR SURROUND CONSTRUCTION. |
| | (N) DECORATIVE WALL MOUNTED LIGHT FIXTURE. FINAL SELECTION TO BE DETERMINED BY OWNER. |
| | (N) THIN STONE VENEER BASE. |



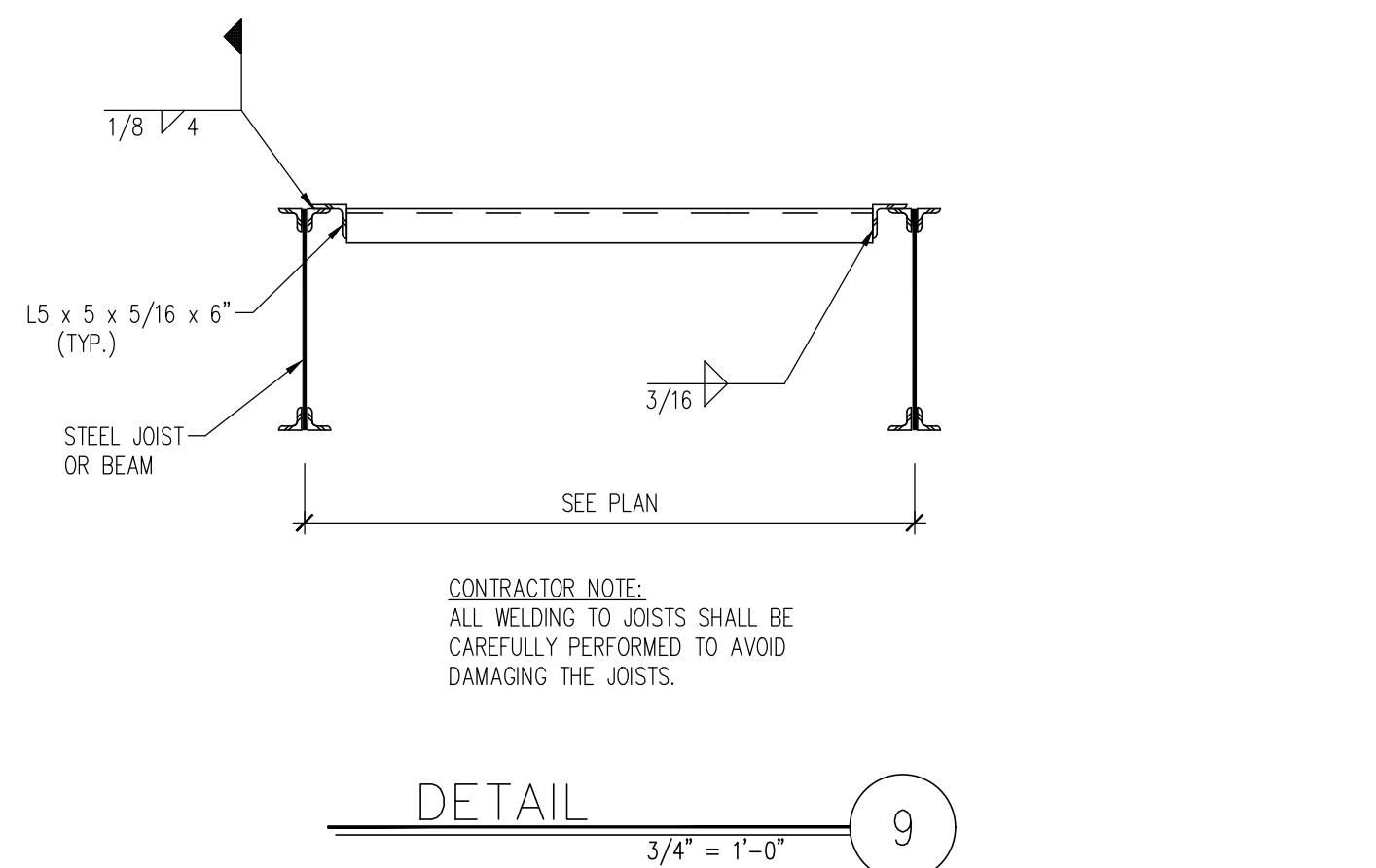
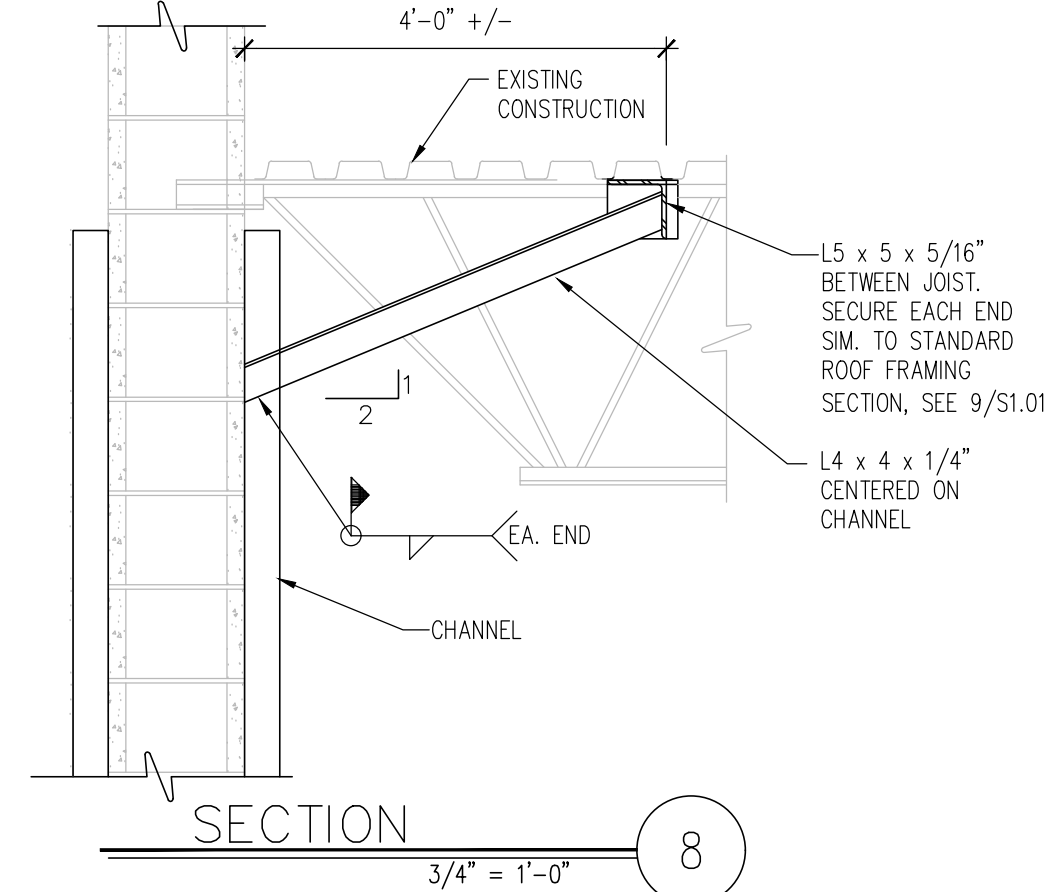
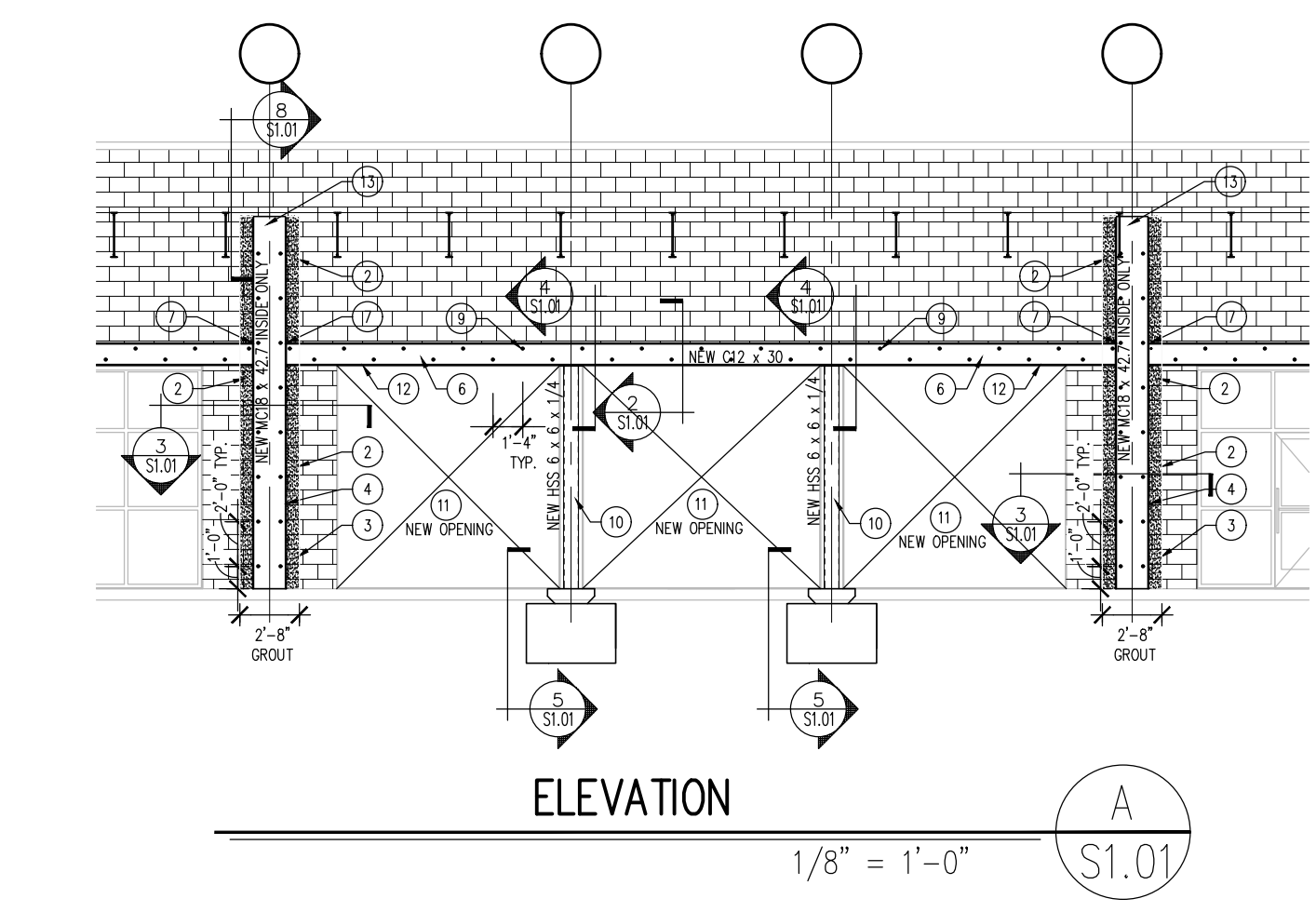
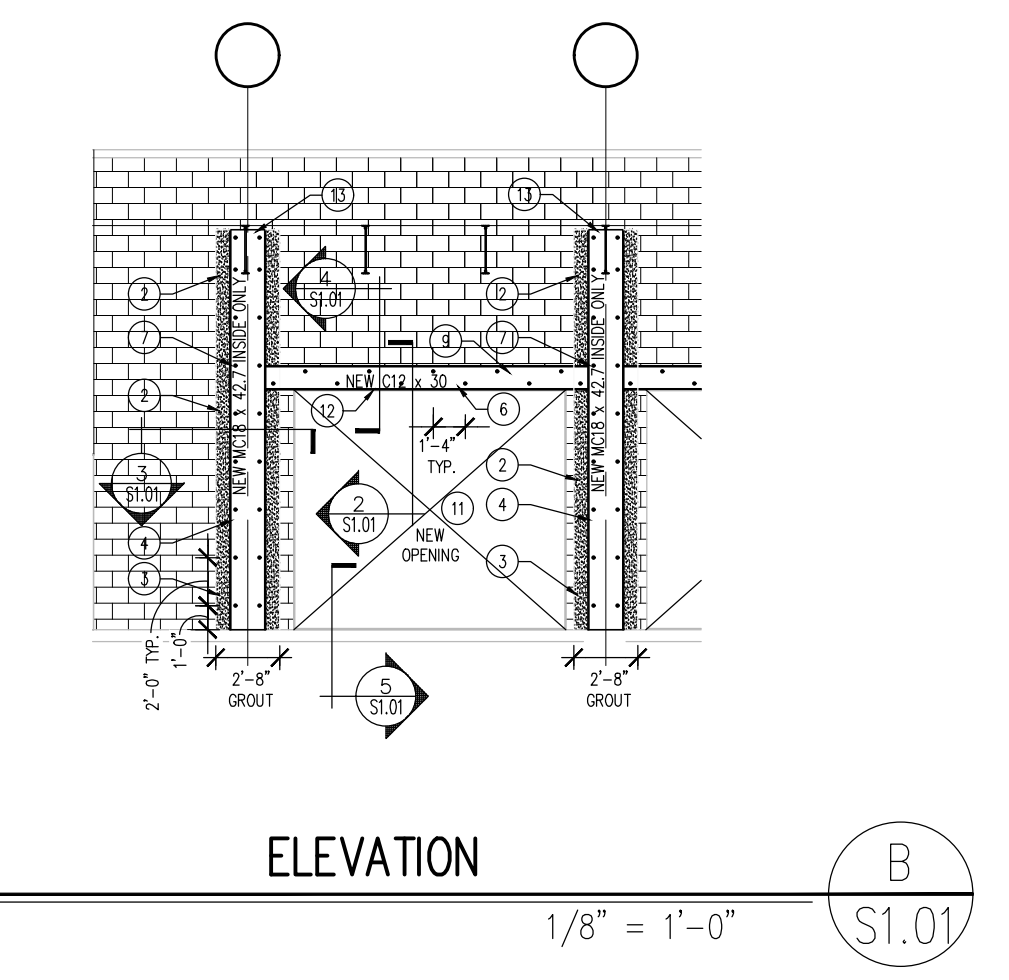
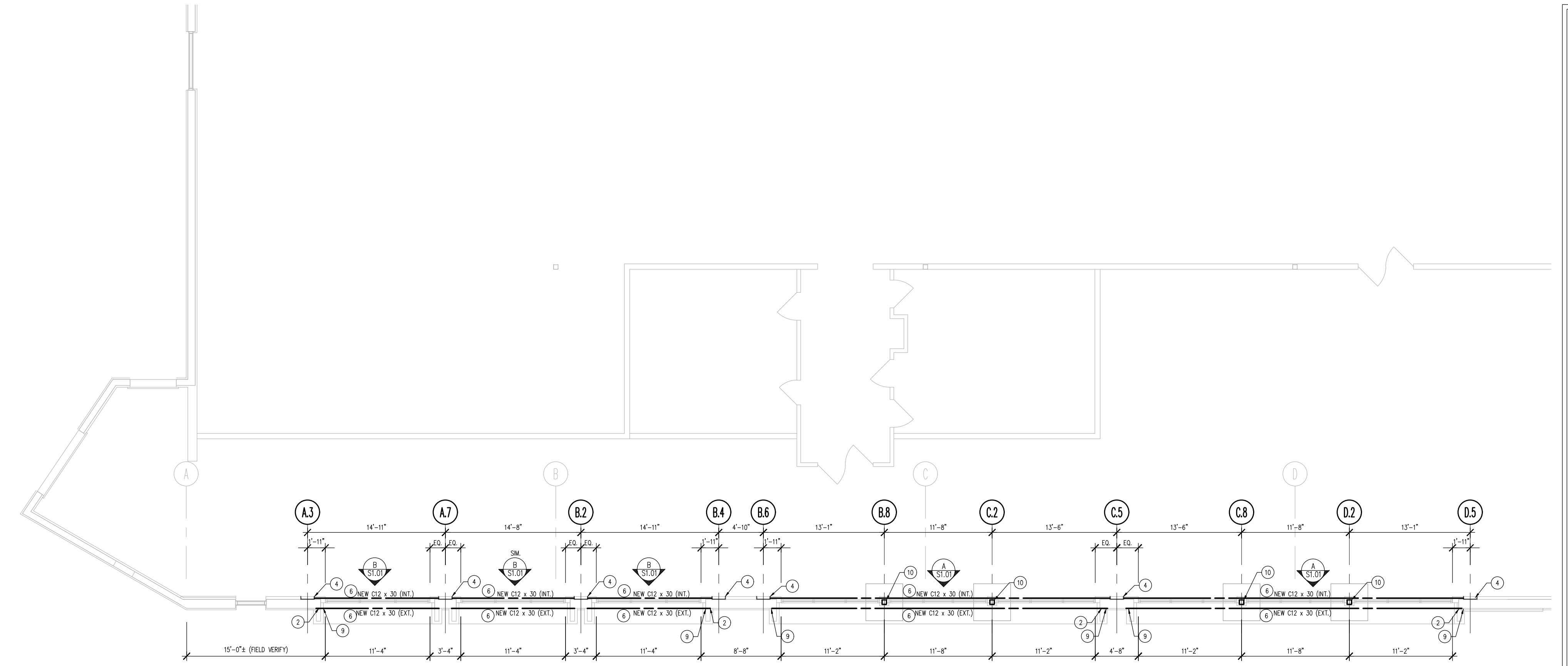
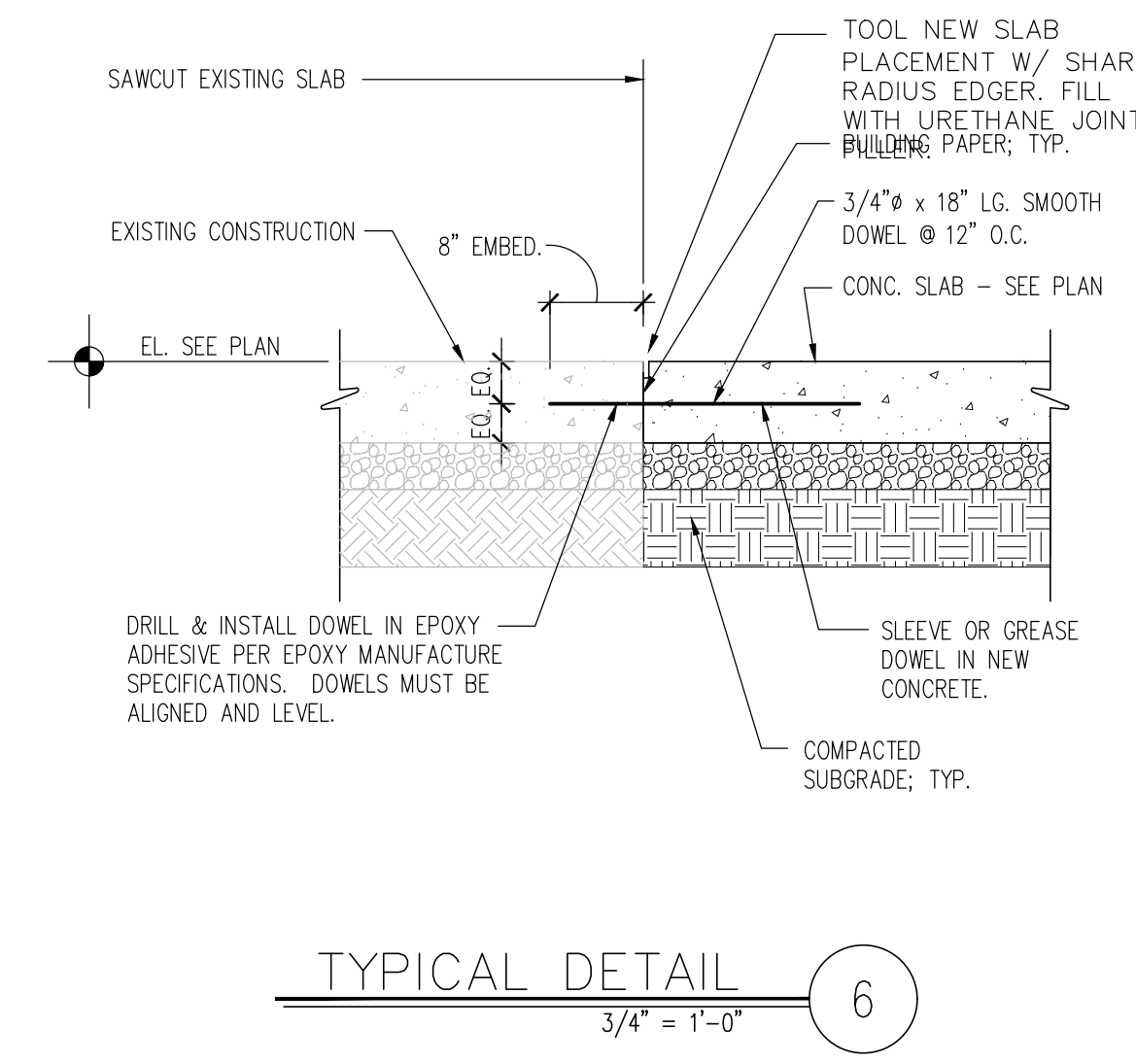
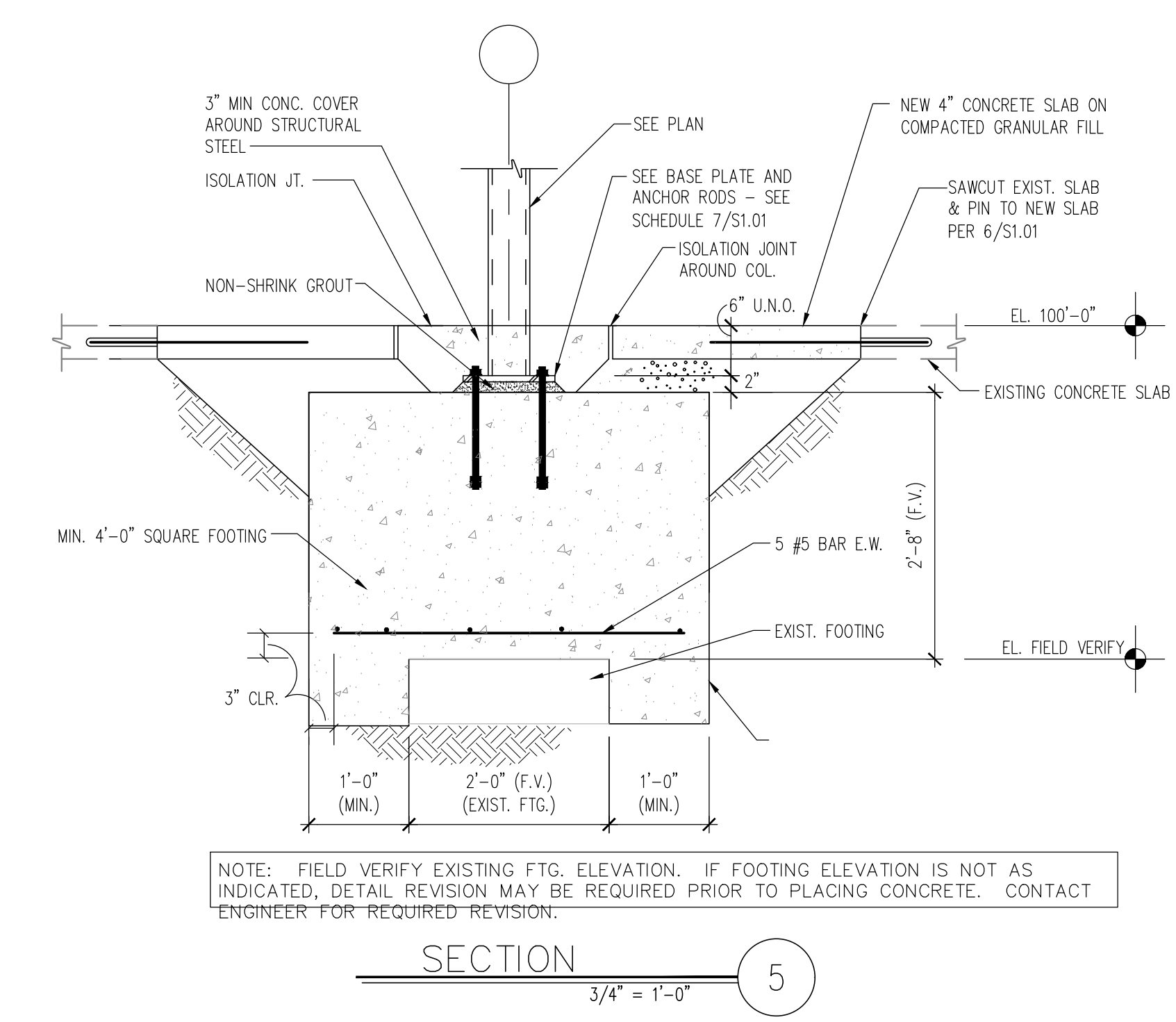
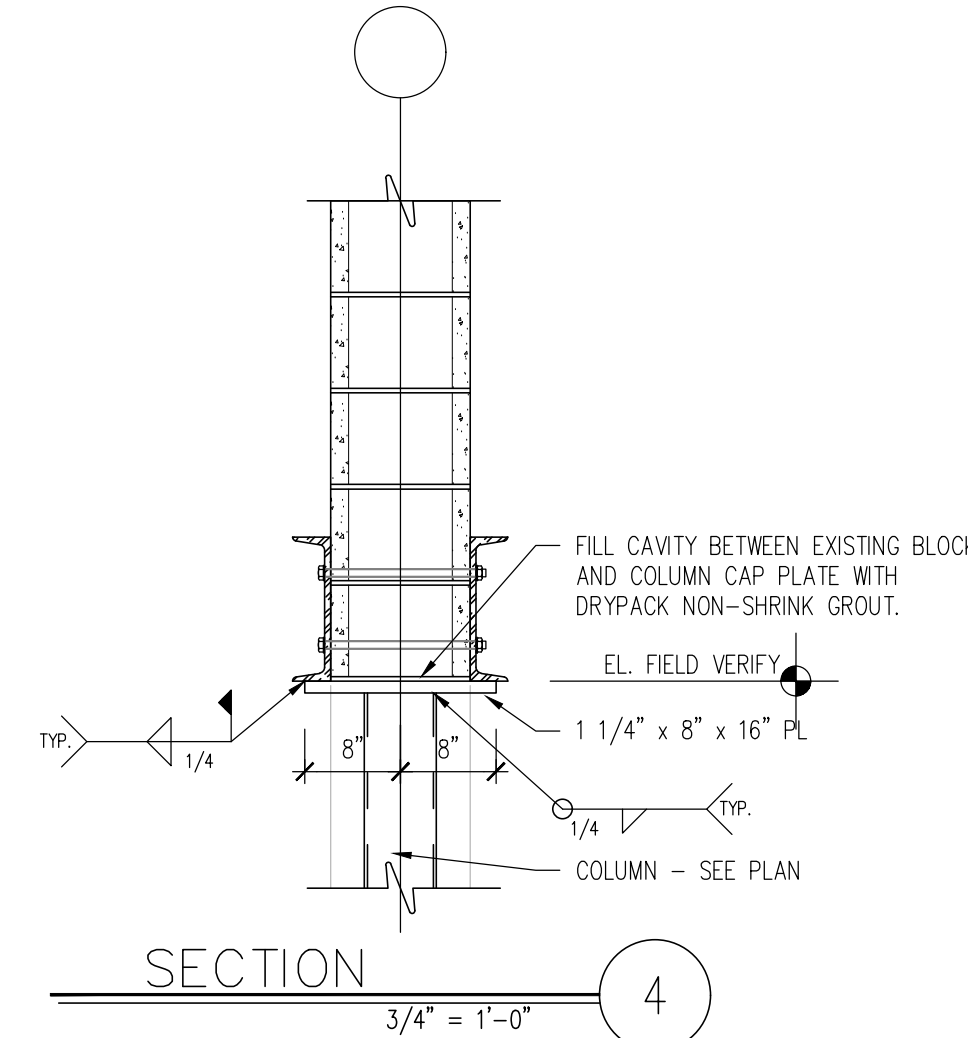
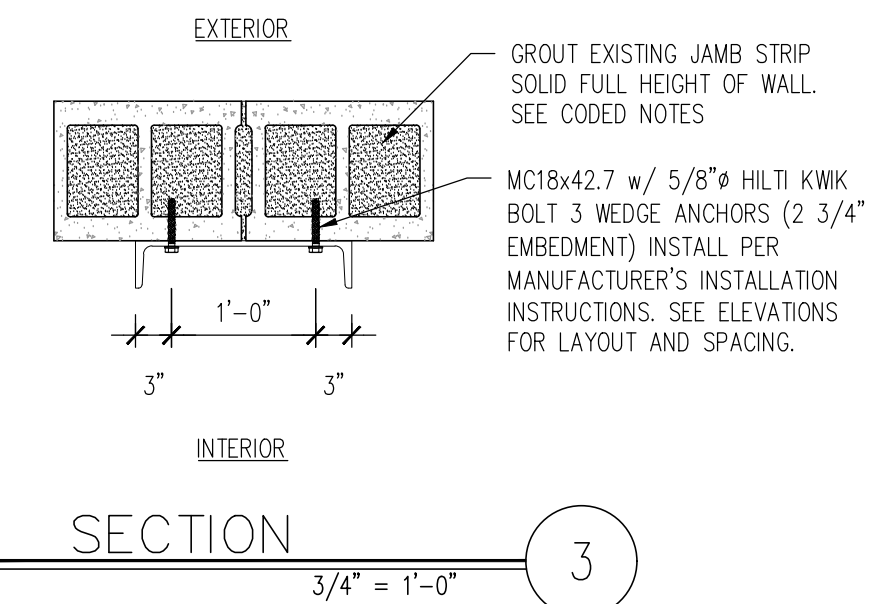
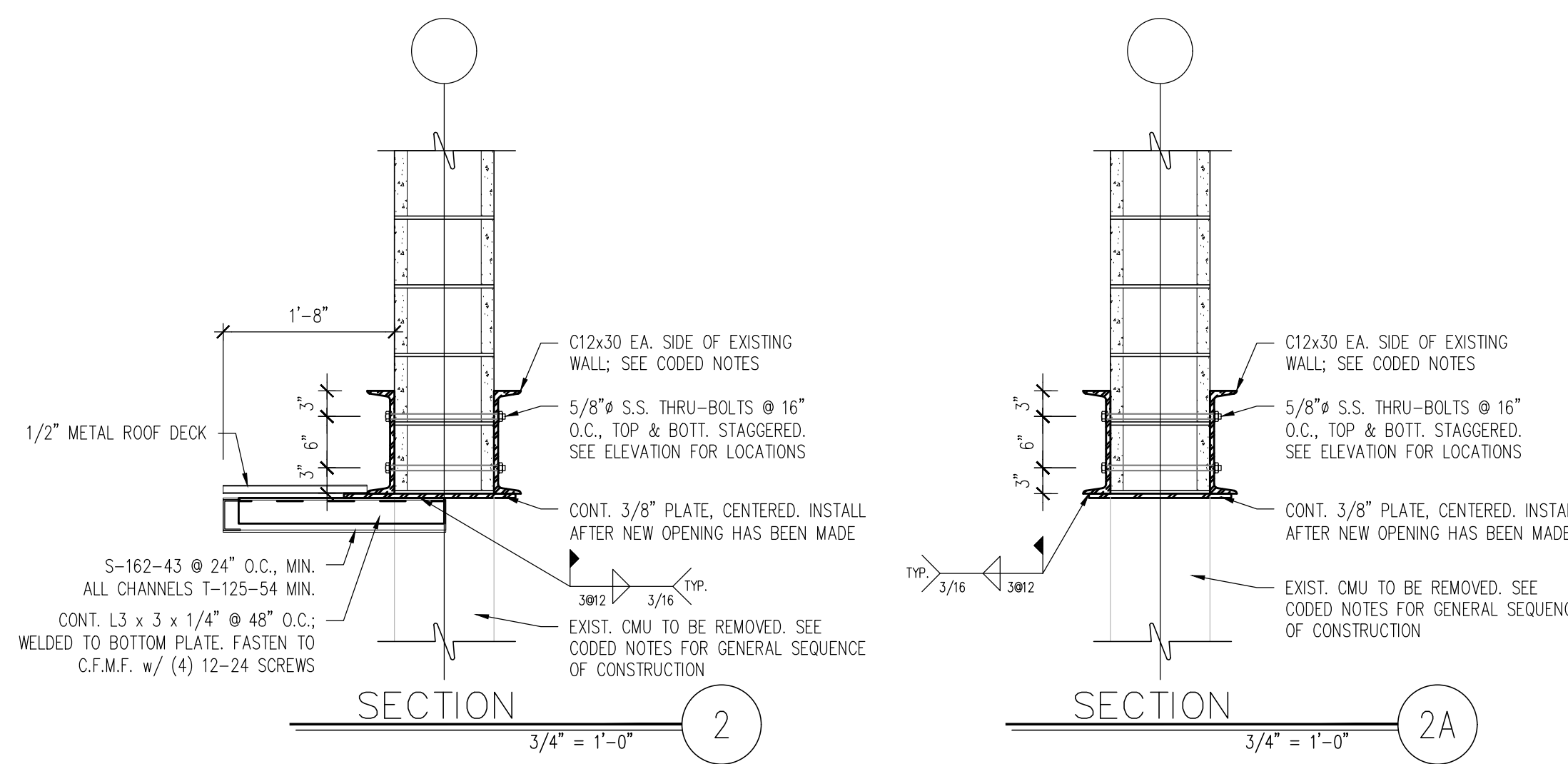
A BUILDING 'A' - WALL SECTION - ALTERNATE
SCALE 1/2" = 1'-0"



B BUILDING 'A' - WALL SECTION - ALTERNATE
SCALE 1/2" = 1'-0"



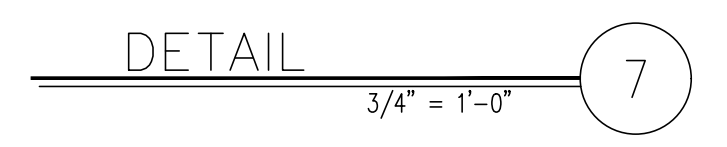
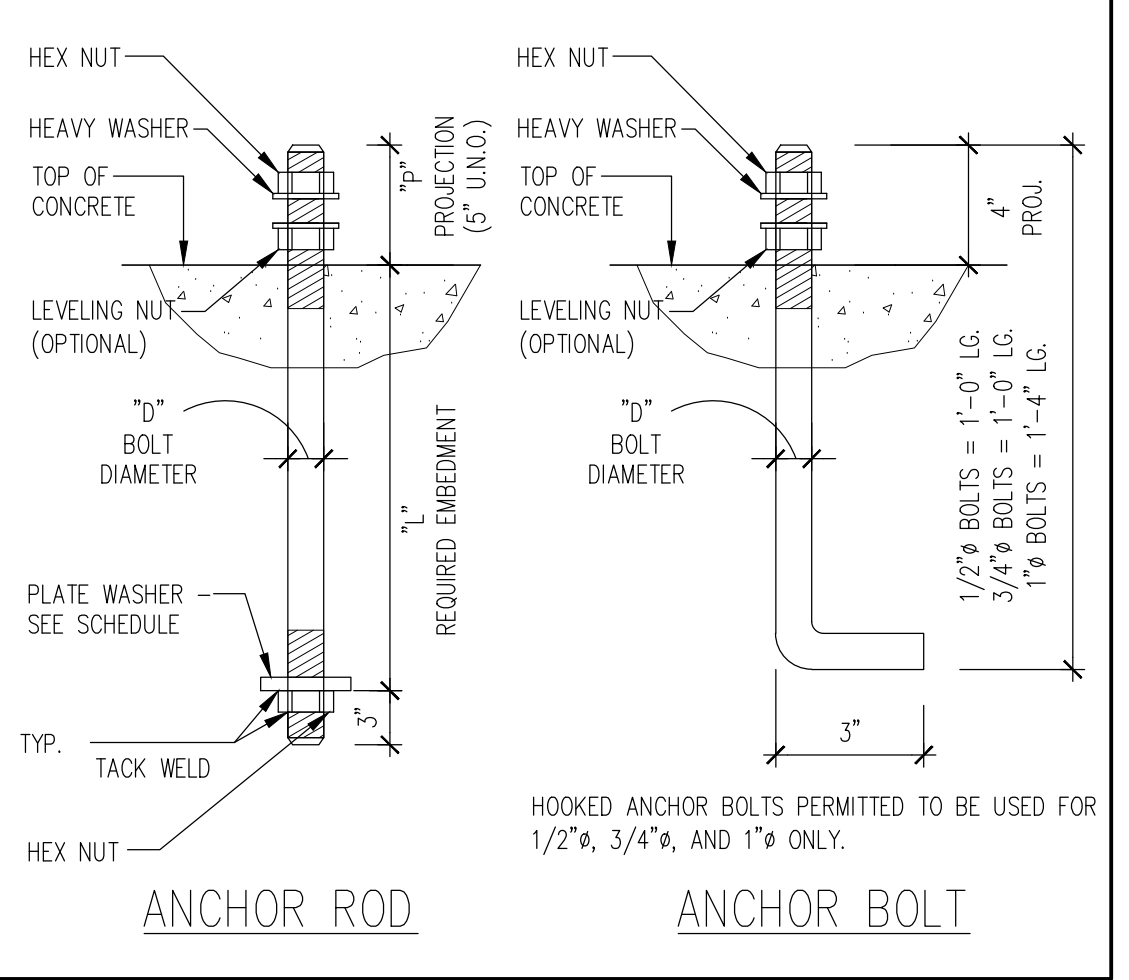
C BUILDING 'A' - WALL SECTION - ALTERNATE
SCALE 1/2" = 1'-0"



- ### CODED NOTES
- BEFORE PROCEEDING WITH CONSTRUCTION OR PURCHASING MATERIAL, CONTRACTOR SHALL DIG TEST PITS ON BOTH SIDES OF EXISTING WALL TO VERIFY ASSUMED ALLOWABLE BEARING PRESSURE OF 3,000 PSF AND EXISTING FOUNDATION WIDTH AND DEPTH. DO NOT PROCEED WITH CONSTRUCTION OR PURCHASING MATERIAL UNTIL ARCHITECT AND STRUCTURAL ENGINEER OF RECORD HAVE OBSERVED TEST PITS AND GIVEN NOTICE TO PROCEED WITH INDICATED DESIGN.
 - HATCHED AREA, MIN. 2"-8" WD. INDICATES MINIMUM EXISTING WALL AREA TO BE GROUTED. CORE DRILL EXISTING BLOCK FACE AS REQUIRED TO FILL CORES SOLID WITH LOW PRESSURE GROUT INJECTION. CORE BLOCK AT 4'-0" O.C. MAX. VERT. AND INSTALL GROUT IN LIFTS. INSTALL FOUR STOPS AS REQUIRED. FILL SOLID DOWN TO EXISTING FOOTING IF EXISTING WALL IS NOT ALREADY SOLID BELOW GRADE.
 - GROUT BLOCK AT END JAMB LOCATION, FULL HEIGHT OF WALL. REFER TO NOTE 2.
 - INSTALL NEW VERTICAL CHANNEL ON INTERIOR FACE OF EXISTING CMU WALL. CENTER VERTICAL CHANNEL ON JAMB WIDTH AT INTERMEDIATE JAMB STRIPS. SEE 3/51.01 FOR ANCHORS. FIELD MEASURE DISTANCE BETWEEN CHANNELS AFTER INSTALLATION TO FABRICATE EXACT LENGTHS FOR INTERIOR HORIZONTAL CHANNELS.
 - SAW CUT AND REMOVE EXISTING BRICK AT AND ABOVE LOCATIONS WHERE NEW EXTERIOR SAW CUT AND REMOVE EXISTING BRICK AT AND ABOVE LOCATIONS WHERE NEW EXTERIOR HORIZONTAL CHANNELS WILL BE INSTALLED. DO NOT REMOVE EXISTING BRICK TO REMAIN AT JAMB STRIPS (BELOW EL. 110'-0" NOMINAL).
 - INSTALL HORIZONTAL CHANNEL EACH SIDE OF WALL AT PLAN-SPECIFIED LOCATIONS. FIELD INSTALL HORIZONTAL CHANNEL EACH SIDE OF WALL AT PLAN-SPECIFIED LOCATIONS. FIELD VERIFY EXISTING CONDITIONS AND REFER TO ARCHITECTURAL DRAWINGS FOR NEW ROUGH OPENING DIMENSIONS. INSTALL TEMPORARY SCREW ANCHORS AS REQUIRED TO HOLD CHANNELS IN PLACE FOR THRU-BOLTING. CHANNELS ARE REQUIRED TO BE CONTINUOUS OVER OPENING.
 - FIT UP INTERIOR HORIZONTAL CHANNELS TO INTERIOR VERTICAL CHANNELS AND WELD FIT UP INTERIOR HORIZONTAL CHANNELS TO INTERIOR VERTICAL CHANNELS AND WELD AROUND WITH 1/4" FILLET WELDS. BOLT THROUGH WALL TO HORIZONTAL OUTSIDE CHANNELS PER NOTE 9 AND 2/51.01 AT LOCATIONS/SPACING INDICATED ON ELEVATION.
 - EXTEND EXTERIOR HORIZONTAL CHANNELS 1'-0" PAST EDGE OF NEW OPENING. DO NOT EXTEND EXTERIOR HORIZONTAL CHANNELS 1'-0" PAST EDGE OF NEW OPENING. DO NOT WELD TO ADJACENT EXTERIOR CHANNELS. BOLT THROUGH WALL TO HORIZONTAL INSIDE CHANNELS PER NOTE 9 AND 2/51.01 AT LOCATIONS/SPACING INDICATED ON ELEVATION.
 - 5/8" THRU BOLT WITH WASHER EA. END. INSTALL SNUG TIGHT AND SET THREADS. 5/8" THRU BOLT WITH WASHER EA. END. INSTALL SNUG TIGHT AND SET THREADS. DO NOT OVER-TIGHTEN. SEE ELEVATION FOR REQUIRED BOLT LAYOUTS AND SPACING.
 - SAWCUT VERTICAL WIDTH OF WALL AS REQUIRED TO INSTALL STEEL COLUMN AND NEW FOOTING. DO NOT REMOVE ENTIRE AREA OF WALL AT THIS TIME. INSTALL NEW FOOTING AND NEW HSS 6 x 6 x 1/4" COLUMN. THE CONSTRUCTION MANAGER IS RESPONSIBLE TO FIELD VERIFY REQUIRED COLUMN LENGTH AND PRODUCE DIMENSION TO STEEL FABRICATOR. REFER TO 4/51.01 AND 5/51.01 FOR COLUMN CONNECTION REQUIREMENTS. ALLOW FOOTING CONCRETE TO CURE A MINIMUM OF 7 DAYS PRIOR TO REMOVING ENTIRE AREA OF WALL.
 - SAW CUT WALL AT LOCATION INDICATED ON ARCHITECTURAL DRAWINGS AND CAREFULLY SAW CUT WALL AT LOCATION INDICATED ON ARCHITECTURAL DRAWINGS AND CAREFULLY REMOVE FOR NEW OPENINGS.
 - INSTALL BOTTOM CLOSURE PLATE PER HEAD DETAIL. INSTALL BOTTOM CLOSURE PLATE PER HEAD DETAIL.
 - INSTALL WIND BRACE PER 8/51.01; TYP. ALL VERTICAL CHANNEL LOCATIONS

BASE PLATE SCHEDULE		
COLUMN SIZE	BASE PLATE SIZE (1 x b x d)	ANCHOR RODS
HSS 6 x 6 x 1/4	3/4" x 12" x 12"	(4) 3/4" x 16" LG. ANCHOR RODS

- NOTES:
- TYPICAL BASE PLATE SIZES UNLESS NOTED OTHERWISE ON PLAN.
 - FOR 1/2" INCREMENT COLUMN SIZES ("5.00"), USE BASE PLATE FOR NEXT LARGER COLUMN SIZE.
 - ANCHOR ROD MATERIAL MAY BE ASTM F1554 GR. 36 OR CONTINUOUSLY THREADED A36 ROD.
 - HOKED ANCHOR BOLT MATERIAL MAY BE A36.
 - ANCHOR ROD ASSEMBLIES SHALL BE CLEAN AND FREE OF ALL OIL, GREASE, ICE, AND DEBRIS.
 - FOR 3/4" RODS, STD ASTM F944 WASHERS MAY BE SUBSTITUTED FOR PLATE WASHERS.
 - "1" INDICATES REQUIRED EMBEDMENT DEPTH. ANCHOR RODS SHALL BE INSTALLED SO THAT THE PLATE WASHER IS EMBEDDED TO THE SPECIFIED DEPTH INTO THE BASE CONCRETE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PLACING ANCHOR RODS WHILE CONCRETE IS STILL PLASTIC. THE CONTRACTOR SHALL PLACE ALL ANCHOR RODS IN SUCH A MANNER TO PREVENT AIR POCKETS/VOIDS FROM DEVELOPING AROUND ANCHOR RODS.
 - FOR PRE-ENGINEERED BUILDINGS, COORDINATE SIZE AND LAYOUT OF ANCHORS WITH METAL BUILDING SUPPLIER.



DUBLIN VILLAGE CENTER
 BUILDING 'A' - WEST FACADE ALTERATION
 6751 VILLAGE PARKWAY
 DUBLIN, OHIO 43017

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ISSUE	REVISION	DATE
PRELIMINARY		FEB. 18, 2020
PRELIMINARY		MAR. 4, 2020
BID ISSUE		APR. 22, 2020
A.R.T. REVIEW		JAN. 26, 2021

FOUNDATION PLANS

FAA #19033.01

BUILDING 'A'

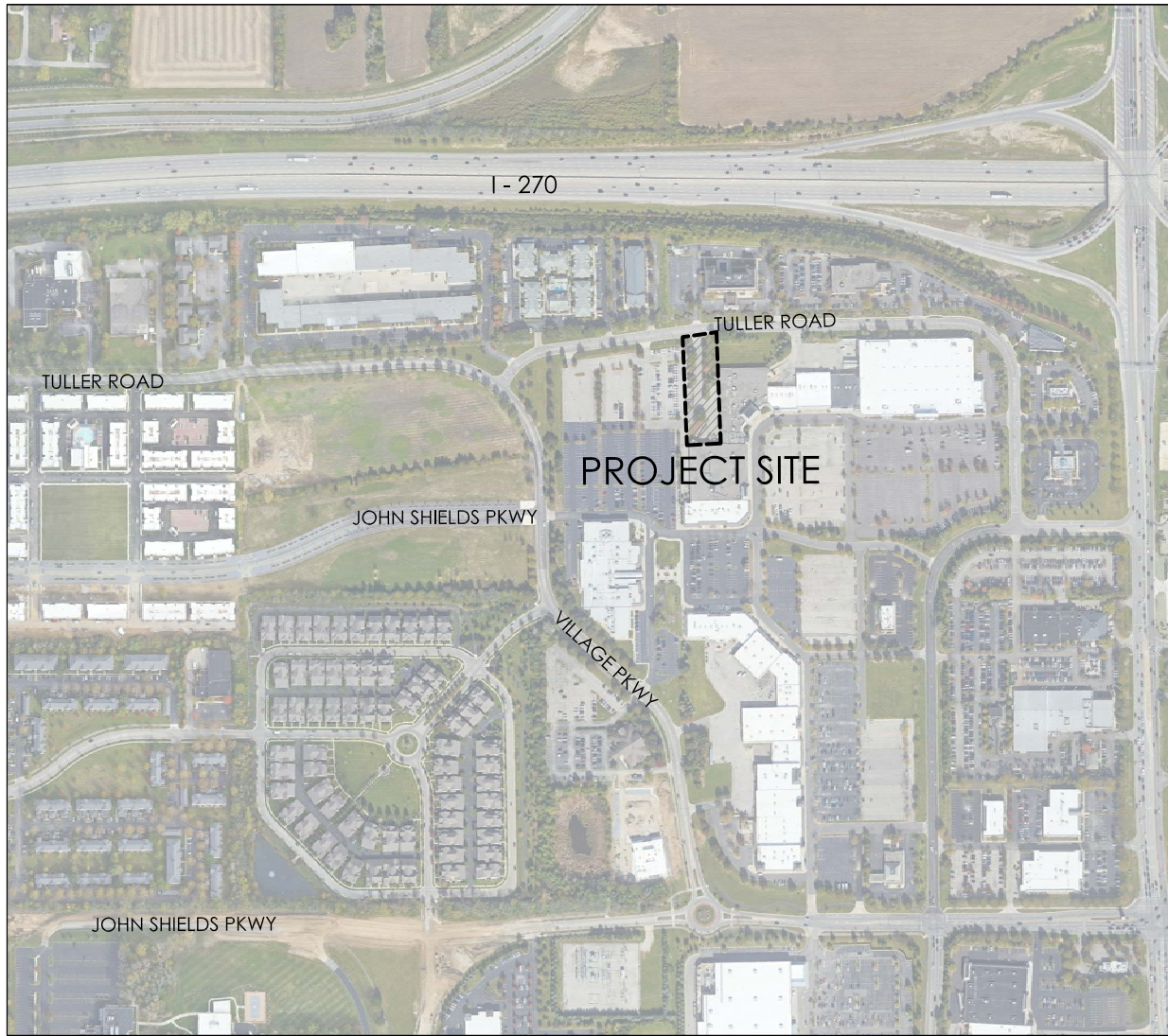
S1.01

DUBLIN VILLAGE CENTER

6751 DVC WEST FACADE RENOVATION

6751 Dublin Center Dr
Dublin, Ohio 43017

BSD - Minor Plan Review




NORTH
VICINITY MAP
NOT TO SCALE

PREPARED FOR:

Stavroff

6689 Dublin Center Dr
Dublin, Ohio 43017
(614) 764-9981

December 21, 2020

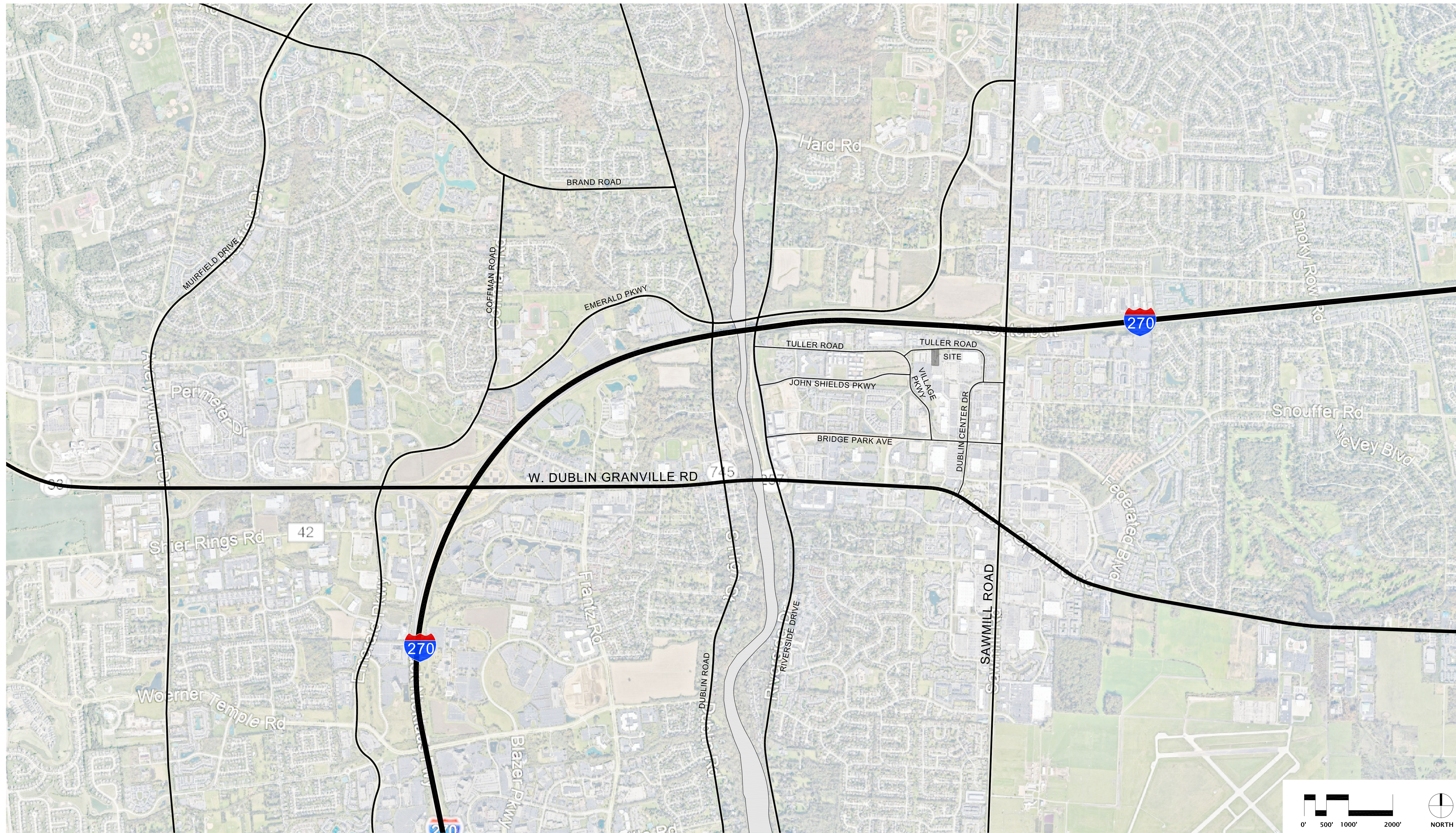
INDEX OF DRAWINGS

COVER	
EX. A	VICINITY MAP
EX. B	REGIONAL CONTEXT MAP
L1.00	LAYOUT / LANDSCAPE PLAN
L2.00	DETAILS

LANDSCAPE ARCHITECT

EDGE PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

330 WEST SPRING STREET, SUITE 350
COLUMBUS, OHIO 43215
614-486-3343
www.edgela.com

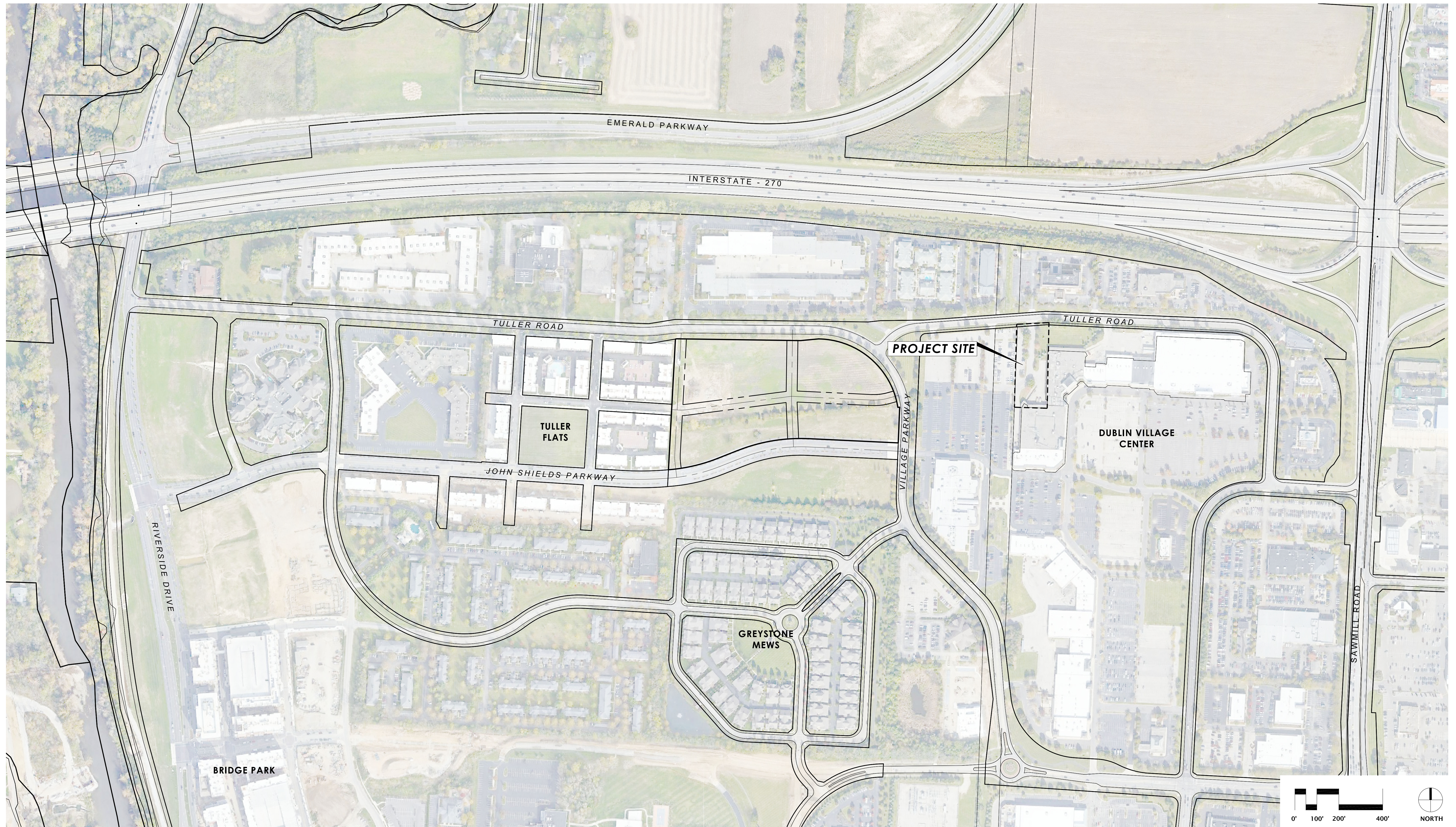


6751 DVC WEST FACADE REVNOVATION

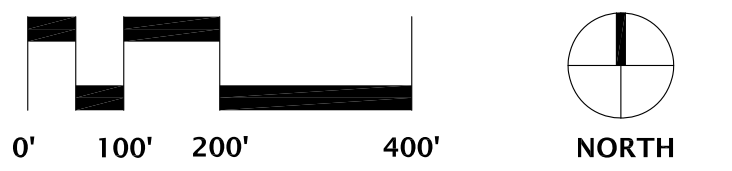
EXHIBIT A - VICINITY MAP

BSD, Dublin, OH

November 1, 2020



NOTE: The regional aerial has been included to show current road network and development that has not been updated on County GIS maps.

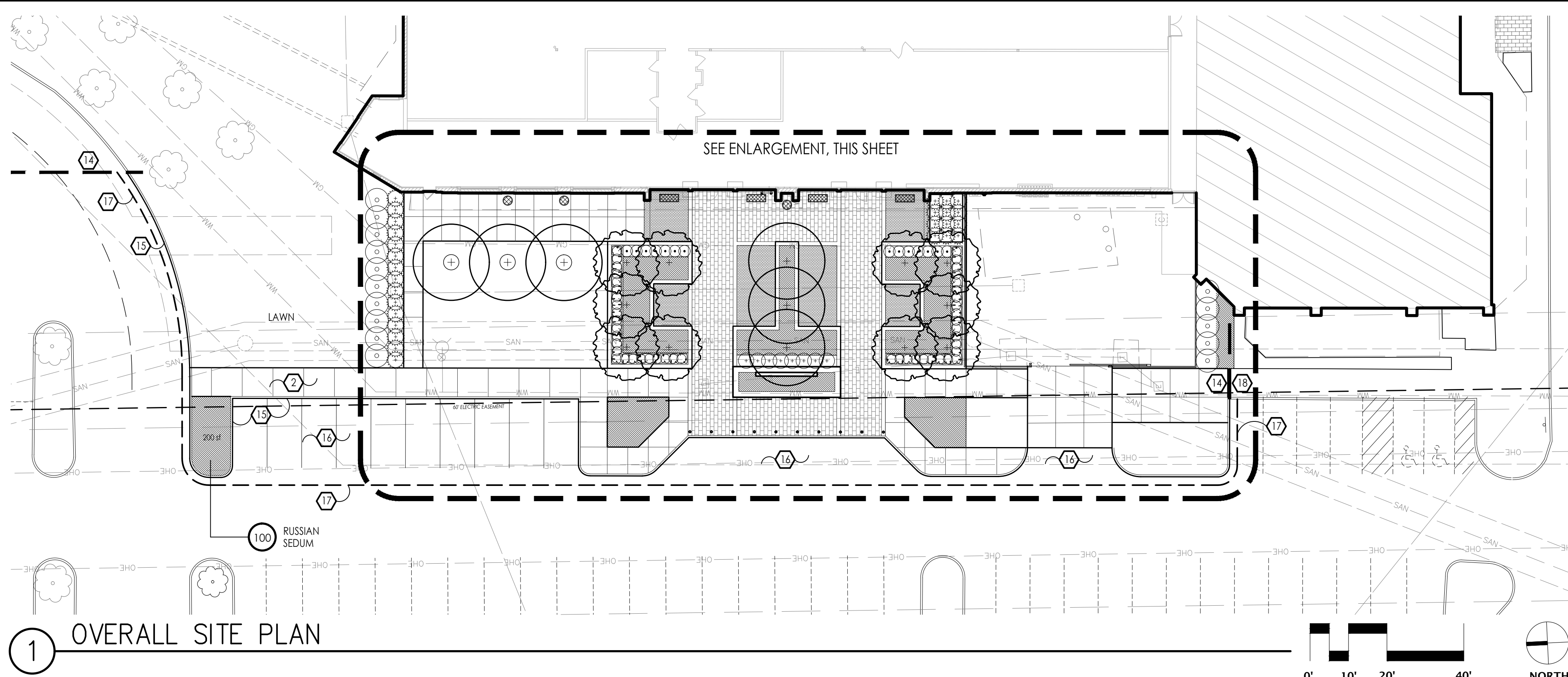


6751 DVC WEST FACADE REVNOVATION

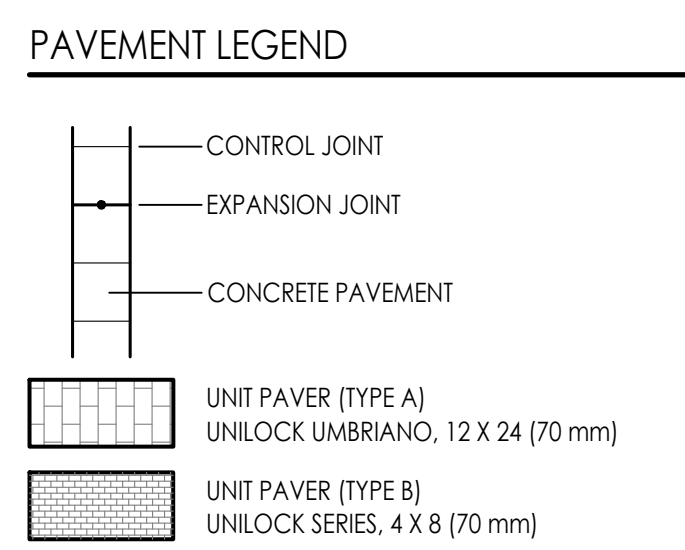
EXHIBIT B - REGIONAL CONTEXT MAP

BSD, Dublin, OH

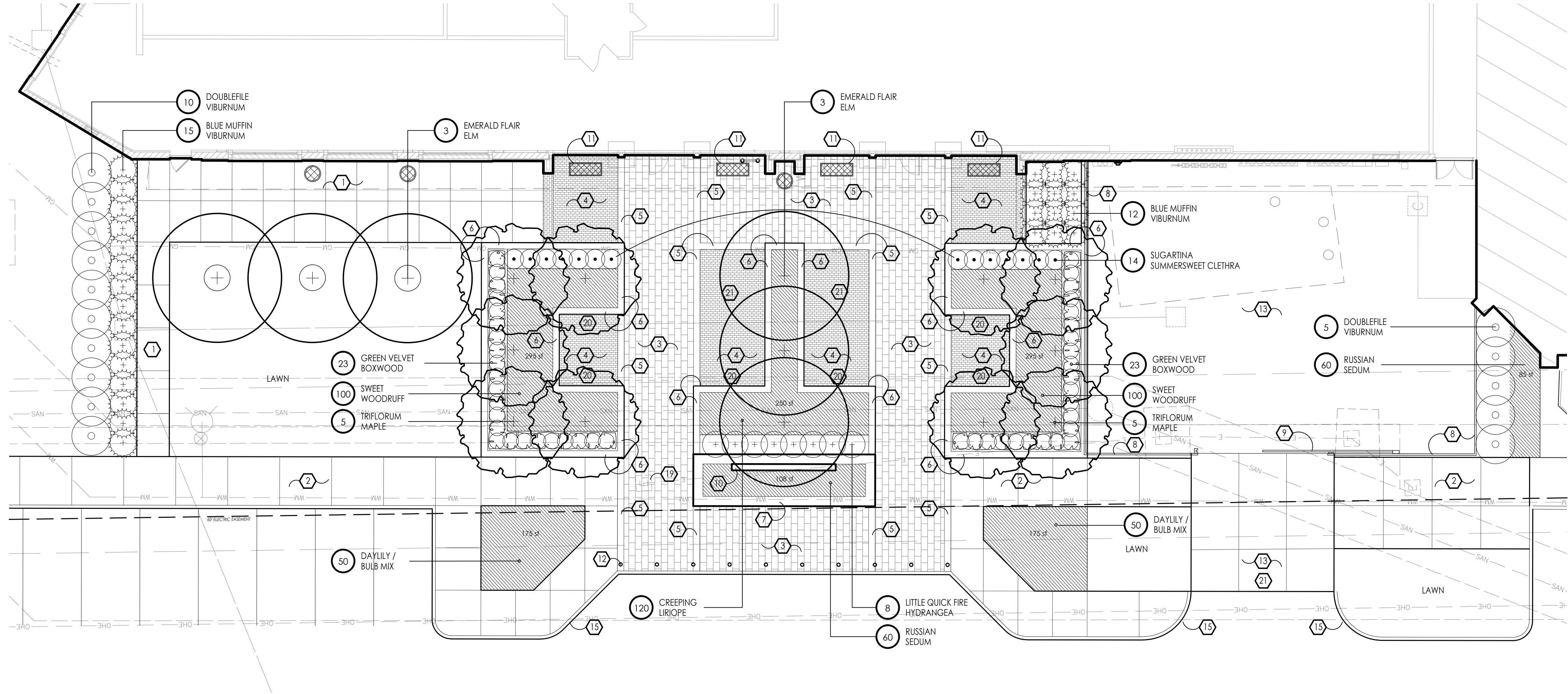
November 1, 2020



1 OVERALL SITE PLAN



- GENERAL NOTES**
- ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 - EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 - EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
 - ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
 - WORK SHOWN IS BASED ON A SURVEY PROVIDED BY:
CHOICE ONE ENGINEERING
WWW.CHOICEONEENGINEERING.COM
 - EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING.
 - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
 - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
 - ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
 - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
 - CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION, SEE PLAN.
 - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.



2 SITE PLAN ENLARGEMENT

- CONSTRUCTION NOTES**
- CONCRETE PAVEMENT (BUFF WASH FINISH).
 - CONCRETE PAVEMENT (BROOM FINISH).
 - UNIT PAVER ON CONCRETE BASE/BIT. SETTING (TYPE 'A')
 - UNIT PAVER ON CONCRETE BASE/BIT. SETTING (TYPE 'B')
 - UNIT PAVER BAND ON CONCRETE BASE/BIT. SETTING (TYPE 'A')
 - 4" x 12" W PRE-CAST CURB
 - 18" HGT SEAT WALL, PRE-CAST VENEER & CAP. (2' LENGTH SEGMENTS)
 - 8' HGT SERVICE ENCLOSURE. SEE DETAIL 4, SHEET L2.00.
 - 8' HGT SERVICE ENCLOSURE GATE. GATE MATERIAL SHALL HAVE SIMILAR APPEARANCE AS ENCLOSURE PANELS, SUBJECT TO OWNER APPROVAL.
 - SIGN
 - 3H x 5L x 3W STEEL PLANTER
 - DECORATIVE SECURITY BOLLARD (TYP OF 10).
 - HEAVY-DUTY VEHICULAR CONCRETE PAVEMENT
 - LIMITS OF NEW CONCRETE CURB
 - 6" CONCRETE CURB
 - HEAVY-DUTY VEHICULAR CONCRETE PAVEMENT
 - APPROX. LIMITS OF NEW CONCRETE CURB
 - 6" CONCRETE CURB
 - VEHICULAR-DUTY ASPHALT PAVEMENT
 - APPROX. LIMITS OF NEW ASPHALT
 - APPROX. LIMITS OF NEW CONCRETE PAVEMENT
 - ELECTRIC PEDESTAL TO BE RELOCATED.
 - BENCH LOCATION. BENCH SHALL BE "STAY" FROM LANDSCAPE FORMS AND INCLUDE A BACK, OR OWNER APPROVED EQUAL. BENCH SHALL BE BLACK IN COLOR.
 - TABLE AND CHAIRS LOCATION. TABLE AND CHAIRS SHALL BE "CAROUSEL" FROM LANDSCAPE FORMS, OR OWNER APPROVED EQUAL. TABLE AND CHAIRS SHALL BE BLACK IN COLOR.

Date: February 2, 2021
Job No.: 18195

STAVROFF INTERESTS

LANDSCAPE RENOVATION AND IMPROVEMENT PACKAGE-PHASE 2
FOR
DUBLIN VILLAGE CENTER
DUBLIN, OHIO

**LAYOUT/
LANDSCAPE PLAN**

EDGE
PLANNING, LANDSCAPE ARCHITECTURE, GRAPHIC DESIGN
330 West Spring Street, Suite 350
Columbus, OH 43215
P: 614-466-5340, F: 614-466-5344

MARK	DATE	DESCRIPTION

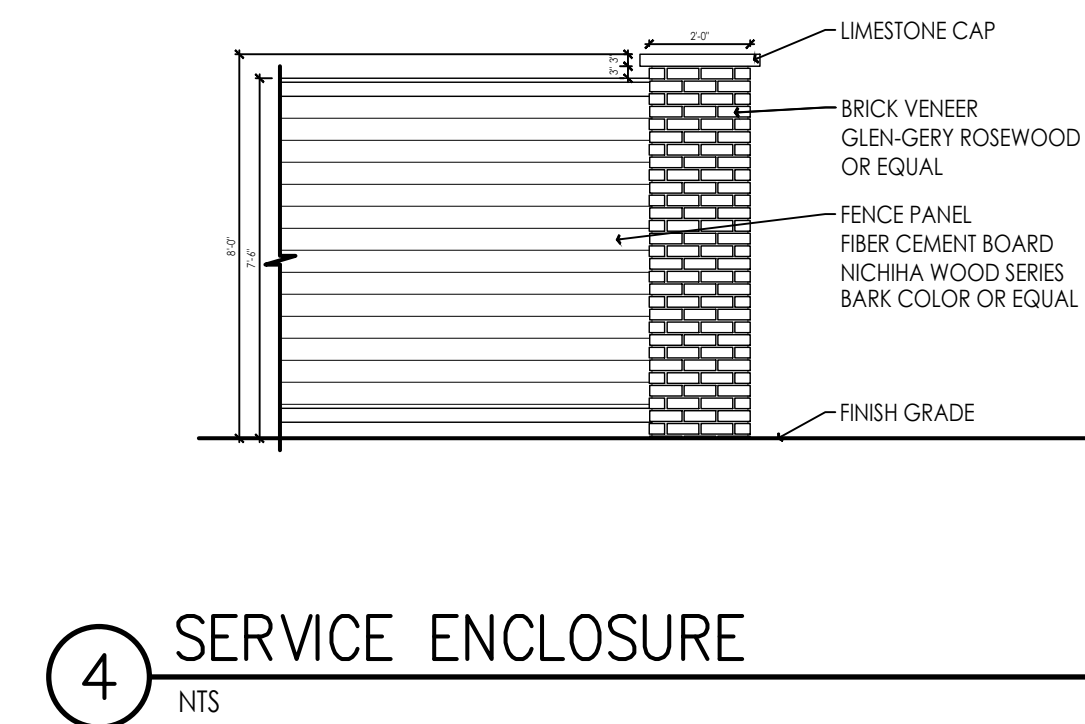
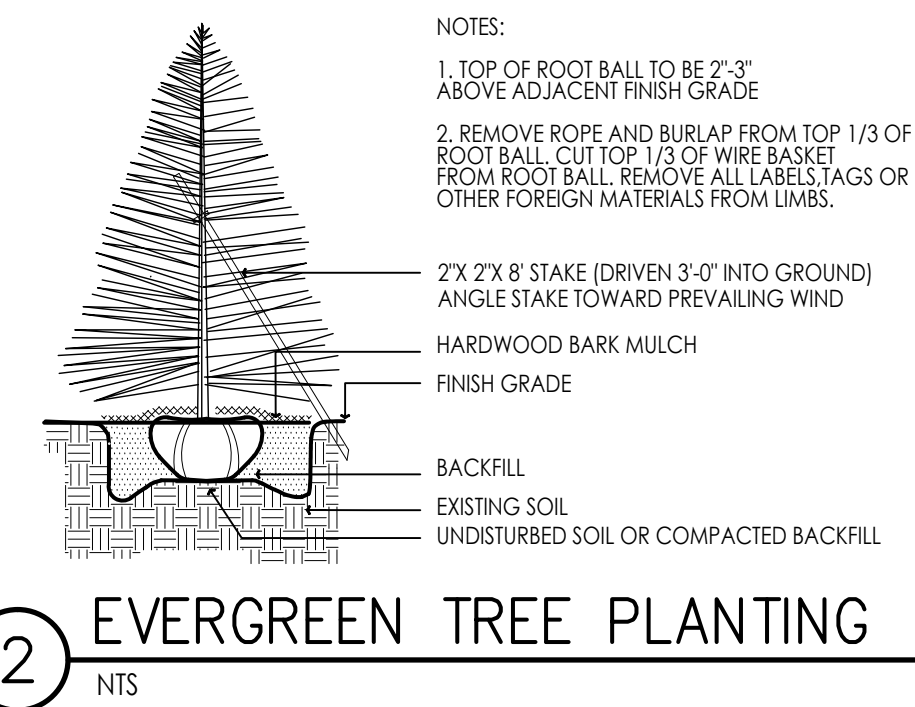
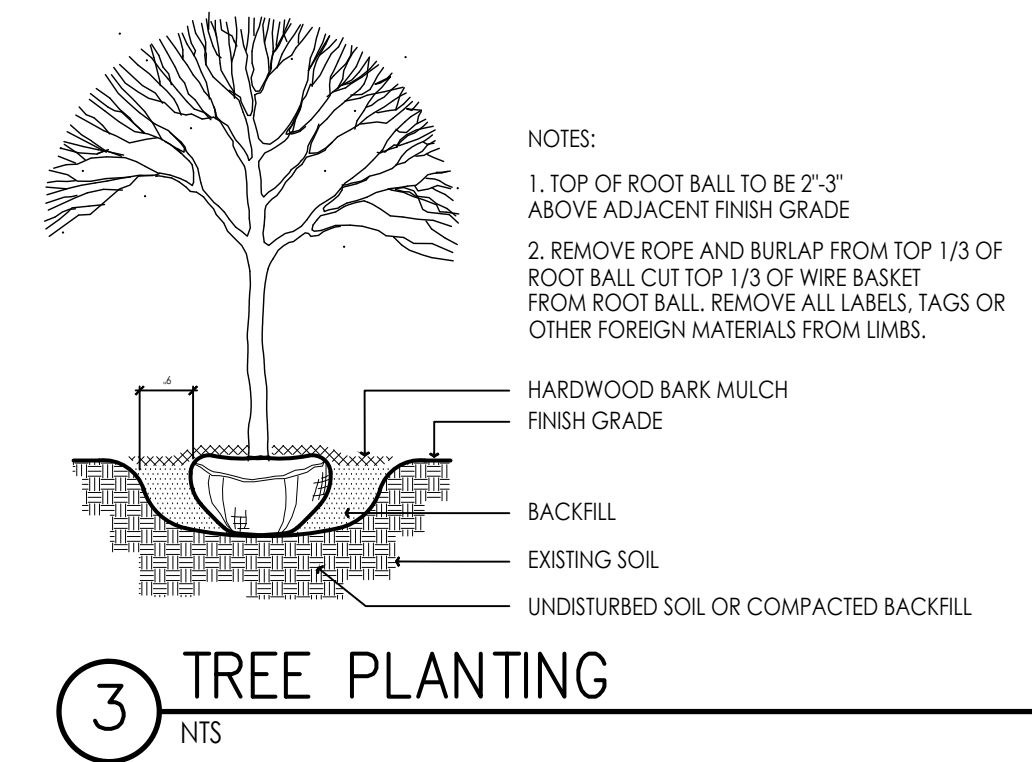
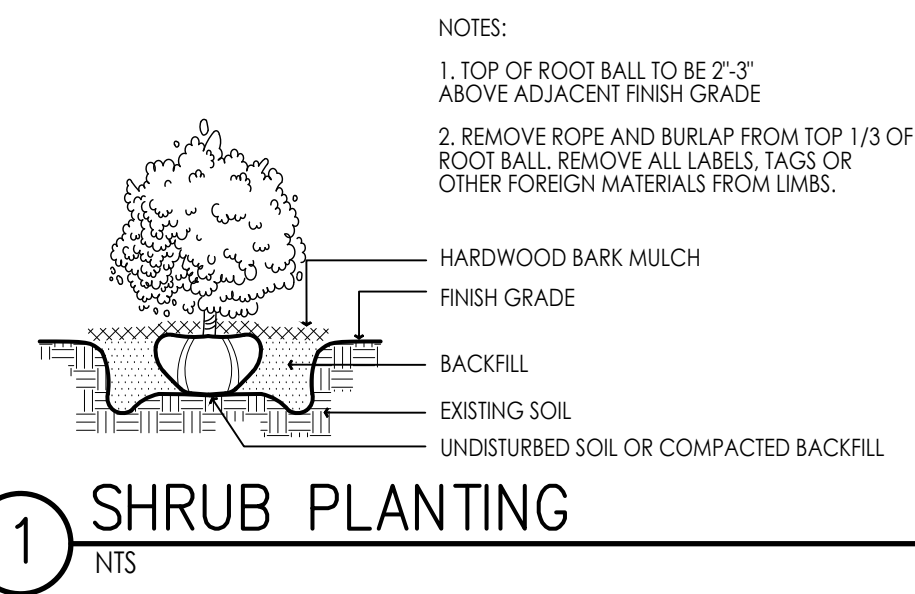
SHEET **L1.00**

PLANT MATERIALS LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	NOTES	MAINTENANCE - PRUNING
TREES						
6	EMERALD FLAIR ELM	Ulmus parvifolia 'JFS-Barrett'	2.5" CAL	B&B	MATCHED FORM	REMOVE DEAD, DISEASED OR CROSSING BRANCHES. PRUNE AS NEEDED.
10	TRIFLORUM MAPLE	Acer triflorum	2.5" CAL	B&B	MATCHED FORM	REMOVE DEAD, DISEASED OR CROSSING BRANCHES. PRUNE AS NEEDED AFTER FLOWERING.
SHRUBS						
8	LITTLE QUICK FIRE HYDRANGEA	Hydrangea paniculata 'Little Quick Fire'	24" HGT	CONT.		PRUNE TO SHAPE AS NEEDED, FALL.
27	BLUE MUFFIN VIBURNUM	Viburnum dentatum 'Blue Muffin'	24" HGT	CONT.		PRUNE TO SHAPE AS NEEDED, FALL.
14	SUGARTINA SUMMERSWEET CLETHRA	Clethra alnifolia 'Sugartina Dwf. Summersweet'	24" HGT	CONT.		PRUNE AS HEDGE, EARLY SPRING, 3" HGT.
46	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	18" HGT	CONT.		SHEAR AS HEDGE, EARLY SPRING AND AS NEEDED THROUGH SUMMER, 2" HGT.
15	DOUBLEFILE VIBURNUM	Viburnum plicatum tomentosum	36" HGT	B&B		PRUNE TO SHAPE AS NEEDED, FALL.
GRASSES/ PERENNIALS						
220	RUSSIAN SEDUM	Sedum kamtschaticum	1 GAL.	CONT.		REMOVE DEAD FOLIAGE
120	CREEPING LIRIOPE	Liriope spicata	1 GAL.	CONT.		CUT BACK TO 4" - 6" IN HEIGHT IN FEBRUARY
200	SWEET WOODRUFF	Galium odoratum	1 GAL.	CONT.		CUT BACK TO 4" - 6" IN HEIGHT IN FEBRUARY
DAYLILY/BULB MIX						
100	DAYLILY MIX	Hemerocallis 'Stella Supreme'	1 GAL.	CONT.	EQUAL MIX: STEPHANIE RETURNS, STRAWBERRY CANDY, UPGRADE	CUT BACK TO 4" - 6" IN HEIGHT IN FEBRUARY
500	NATURALIZATION MIX	Narcissus 'Naturalizing Daffodils'		BULB	DIST. EVENLY BETWEEN DAYLILYS (5 BULBS PER HOLE/PERENNIAL QTY.)	

PLANT BED SCHEDULE

- NEW PLANT BED**
 - REMOVE EXISTING LAWN TO SPECIFIED DIMENSIONS.
 - REMOVE ANY ROOTS OR ROOTBALLS FROM PREVIOUSLY PLANTED TREES OR SHRUBS.
 - TILL AND AMEND SOIL TO A DEPTH OF 24". SOIL AMENDMENTS TO BE BASED ON ANALYSIS AND RECOMMENDATIONS OF SOIL TEST.
 - PROVIDE 3" HARDWOOD MULCH OVER ENTIRE AREA OF NEW BED.
 - PROVIDE CLEAN AND STRAIGHT EDGE BETWEEN NEW BED AND EXISTING LAWN.
 - REPAIR EXISTING LAWN AREAS DISTURBED DURING CONSTRUCTION OF NEW BED.
- RENOVATED PLANT BED**
 - REMOVE ANY ROOTS OR ROOTBALLS FROM PREVIOUSLY PLANTED TREES OR SHRUBS SLATED FOR REMOVAL OR REPLACEMENT.
 - PROTECT THE ROOTZONES OF ANY TREES OR SHRUBS TO REMAIN.
 - TILL AND AMEND SOIL TO A DEPTH OF 24". SOIL AMENDMENTS TO BE BASED ON ANALYSIS AND RECOMMENDATIONS OF SOIL TEST.
 - PROVIDE 3" HARDWOOD MULCH OVER ENTIRE AREA OF NEW BED.



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STAVROFF INTERESTS

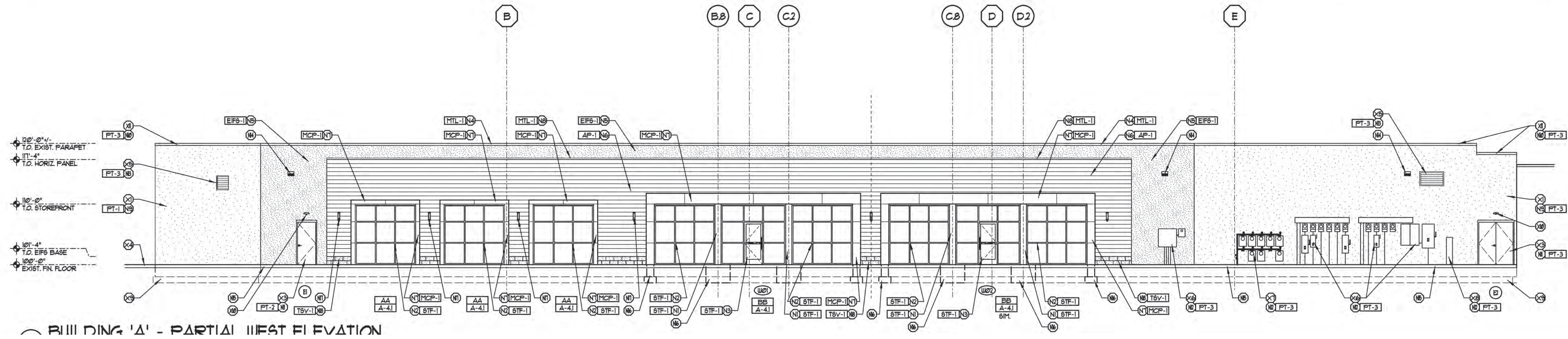
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DETAILS

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NO.	DATE	DESCRIPTION

SHEET **L2.00**



PARTIAL WEST ELEVATION - BUILDING A - NOTED
N.T.S.



PARTIAL WEST ELEVATION - BUILDING A
N.T.S.

ELEVATION CODED NOTES

EXISTING CONSTRUCTION CODED NOTES	NEW CONSTRUCTION CODED NOTES
<ul style="list-style-type: none"> ⊗ EXISTING EFS SYSTEM VENEER OVER EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQ'D. DURING NEW CONSTRUCTION. PAINT. ⊗ PORTION OF EXISTING CMU EXTERIOR WALL CONSTRUCTION TO REMAIN. PATCH / REPAIR AS REQUIRED FOR NEW CONSTRUCTION. ⊗ EXISTING EXTERIOR HOLLOW METAL SERVICE DOOR, FRAME AND HARDWARE TO REMAIN. PAINT. ⊗ PORTION OF EXISTING CONCRETE CURB TO REMAIN. PATCH / REPAIR AS REQUIRED DURING NEW CONSTRUCTION. ⊗ EXISTING WALL LOUVER TO REMAIN. PAINT. ⊗ EXISTING BUILDING / TENANT ELECTRICAL SERVICE (METER SETS, DISCONNECTS, WIREWAYS, ETC.) TO REMAIN. PAINT. ⊗ EXISTING BUILDING / TENANT GAS SERVICE (METER SETS, PIPING, ETC.) TO REMAIN. PAINT. ⊗ EXISTING BUILDING / TENANT TELECOMMUNICATIONS PEDESTAL TO REMAIN. PAINT. ⊗ LINE OF EXIST. BUILDING FOUNDATION TO REMAIN. V.P. ⊗ EXISTING BUILDING EGRESS LIGHT FIXTURE TO REMAIN. ⊗ EXISTING BUILDING METAL COPING FLASHING TO REMAIN. PAINT. 	<ul style="list-style-type: none"> Ⓝ PREFINISHED ALUMINUM STOREFRONT SYSTEM BRAKE METAL TRIM AT NEW COLUMN INSTALLATION. Ⓝ 2" x 4 1/2" PREFINISHED ALUMINUM STOREFRONT SYSTEM w/ 1" INSULATED GLAZING. Ⓝ PREFINISHED ALUMINUM STOREFRONT MEDIUM STILE DOOR w/ 1" INSULATED GLAZING. Ⓝ PREFINISHED METAL (24 GA) COPING FLASHING. Ⓝ EFS w/ MOISTURE DRAINAGE SYSTEM. Ⓝ NOM. 6" HORIZ. PLANK ARCHITECTURAL PANEL. Ⓝ PREFINISHED ALUMINUM COMPOSITE PANEL SURROUND. Ⓝ PREFINISHED METAL (24 GA) CAP FLASHING. Ⓝ PAINT EXISTING EFS FINISH. Ⓝ PAINT EXISTING METAL COPING. Ⓝ PAINT EXISTING METAL SERVICE DOOR / FRAME. Ⓝ PAINT EXISTING UTILITY SERVICE ITEMS. Ⓝ PAINT EXISTING METAL LOUVER. Ⓝ WALL PACK LIGHT FIXTURE. Ⓝ NEW CONCRETE SIDEWALK / PATIO. SEE HARDSCAPE SHEETS. Ⓝ CLP. FOOTING / CMU FOUNDATION AT NEW COLUMN INSTALLATION OR SURROUND CONSTRUCTION. Ⓝ DECORATIVE WALL MOUNTED LIGHT FIXTURE. FINAL SELECTION TO BE DETERMINED BY OWNER. Ⓝ THIN STONE VENEER BASE.

EXTERIOR MATERIAL FINISH KEY

MARK	MANUFACTURER	DESCRIPTION	REMARKS
ARCHITECTURAL PANEL - FIBER CEMENT BOARD			
AP-1	NICHHA	VNTAGEWOOD WOOD SERIES 'BARK'	HORIZONTAL ORIENTATION
PREFINISHED METAL			
MTL-1	DMI	COLOR - 'CHAMPAGNE'	COPING, CAP FLASHING, ETC.
ALUMINUM STOREFRONT / ENTRANCE SYSTEM			
STF-1	KAWEER	TRIFAB VG 451T SERIES, 2" x 4 1/2" w/ 1" INSULATED GLAZING - COLOR 'NIGHT HAWK GRAY'	
PAINT			
PT-1	SHERWIN WILLIAMS	SU 1643 'RUSBYWILLOW' OR SIMILAR SHERWIN WILLIAMS COLOR	EXISTING EFS WALL
PT-2	SHERWIN WILLIAMS	SU 1048 'URBANE BRONZE'	EXISTING METAL DOOR / FRAME
PT-3	SHERWIN WILLIAMS	SU 1643 'RUSBYWILLOW' OR SIMILAR SHERWIN WILLIAMS COLOR	EXISTING METAL DOOR / FRAME, LOUVER, METAL COPING, UTILITIES
METAL COMPOSITE PANEL			
MCP-1	ALUCOBOND	'ANODIC SATIN MICA'	WET SEAL SYSTEM JOINTS MATCH PANEL COLOR
EFS			
EFS-1	DRYVIT	MATCH SHERWIN WILLIAMS SU 1048 'URBANE BRONZE'	FINE SANDPEBBLE FINISH
THIN STONE VENEER			
TBY-1	ROCKCAST	THIN ARCHITECTURAL STONE 'BUFFSTONE' 1 1/4" D. x 1 3/8" H x 15 5/8" L	SPLIT FACE FINISH
NOTE - ALTERNATE APPROVED EQUAL OR SIMILAR MANUFACTURER MATERIAL OR COLORS ARE ACCEPTABLE			