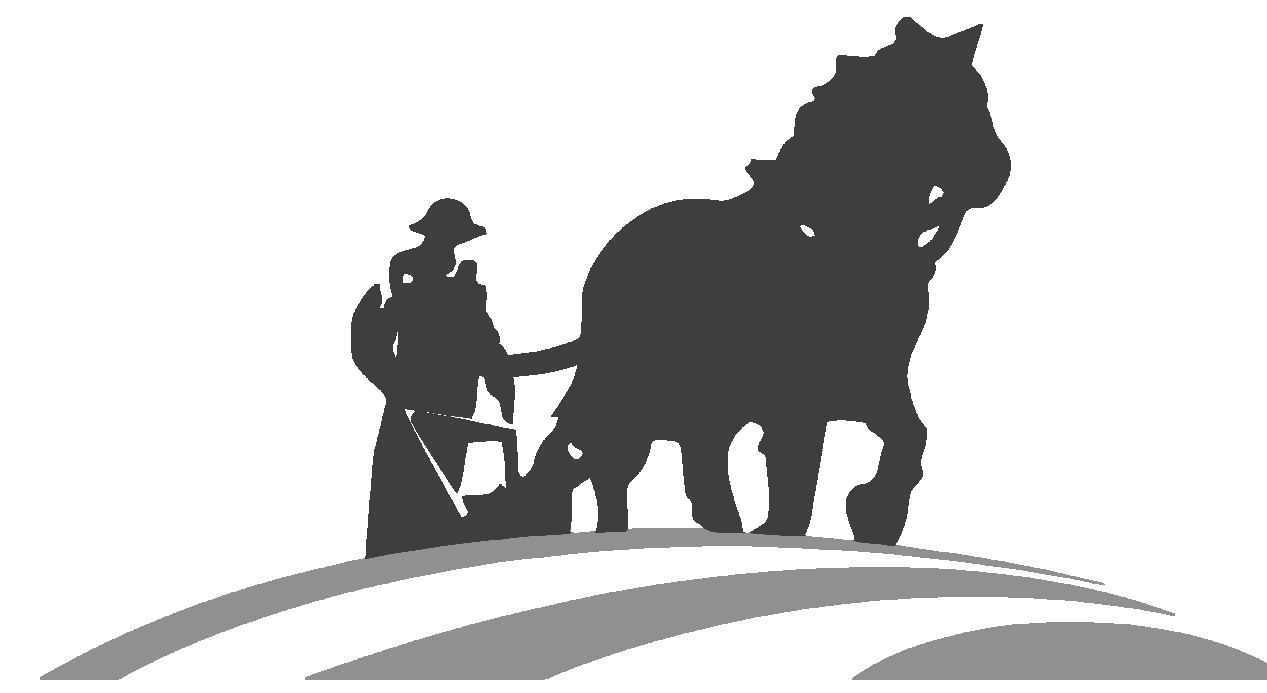


# RENOVATION OF HEARTLAND BANK DUBLIN

6500 FRANTZ ROAD  
DUBLIN, OH 43017

PREPARED FOR:



## HEARTLAND BANK

430 N. HAMILTON ROAD  
WHITEHALL, OH 43213

PREPARED BY:

CIVIL ENGINEER



300 SPRUCE STREET  
SUITE 200  
COLUMBUS, OH 43215

PHONE: (614) 280-8999

ARCHITECT



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OH 43215

PHONE: (614) 461-4664 FAX: (614) 280-8881

STRUCTURAL ENGINEER



5640 FRANTZ ROAD  
DUBLIN, OH 43017

PHONE: (614) 766-0066

PLUMBING, MECHANICAL &  
ELECTRICAL ENGINEER



1405 DUBLIN ROAD  
COLUMBUS, OH 43215

PHONE: (614) 486-4778

# FINAL DEVELOPMENT PLAN 11/30/2020

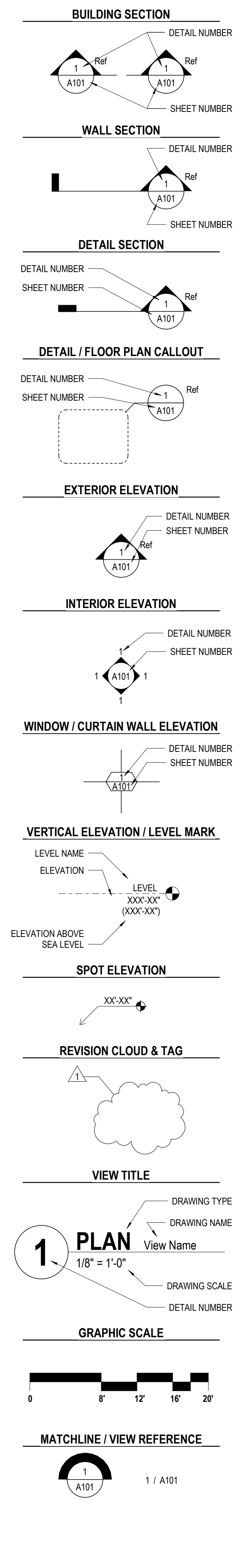
ABBREVIATIONS

SYMBOLS table with columns for symbols and their corresponding descriptions (e.g., AND, ANGLE, AT, NUMBER / POUND).

G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, Y table with columns for letters and their corresponding descriptions (e.g., GAGE / GAUGE, HEIGHT / HIGH, JANITOR, SOUTH).

PC, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TV, TW, TX, TY, TZ, UNF, UNO, UR, VCT, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ table with columns for letters and their corresponding descriptions (e.g., PRE-CAST PERFORATED PLATE / PROPERTY LINE, QUARRY TILE QUANTITY, RADIUS / RISER, SOUTH).

SYMBOLS LEGEND



CODE SUMMARY

OWNER: HEARTLAND BANK
OWNERS ADDRESS: 430 N. HAMILTON ROAD, WHITEHALL, OH 43013
OWNERS PHONE:
SITE ADDRESS: 6500 FRANTZ ROAD, DUBLIN, OH 43017
SITE ZONING:
SITE AREA: 0.913 ACRES
PARKING REQUIRED: 4,436 SF/1000 x 2.5 = 12
PARKING SHOWN: 20 + 2 HANDICAPPED = 22
BUILDING CODES:
-OHIO BUILDING CODE: 2017 OBC
-OHIO PLUMBING CODE: 2017 OPC
-OHIO MECHANICAL CODE: 2017 OMC
-NATIONAL ELECTRIC CODE: 2017 NEC - NFPA 70
-INTERNATIONAL FUEL GAS CODE: 2015 IFGC
-INTERNATIONAL ENERGY CONSERVATION CODE: 2012 IECC
-ASHRAE 90.1 2007 ENERGY STANDARDS FOR BUILDING EXCEPT LOW-RISE RESIDENTIAL BUILDINGS: 2010 ASHRAE 90.1
-ICC A117.1-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES: ANSI A117.1 - 2009
-OHIO FIRE CODE: 2017 OFC
-NATIONAL FIRE ALARM AND SIGNALLING CODE NFPA 72-10
BUILDING DATA:
CONSTRUCTION TYPE: TYPE VB (COMBUSTIBLE, NON-PROTECTED)
USE GROUP: B - BUSINESS
ALLOWABLE HEIGHT: 40'-0"
ACTUAL HEIGHT: 25'-6"
ALLOWABLE AREA SF: 9,000 SF
ALLOWABLE AREA INCREASE FOR OPEN PERIMETER:
ALLOWABLE FLOOR AREA:
ACTUAL FLOOR AREAS: BASEMENT 2,106 SF, FIRST FLOOR 2,330 SF, TOTAL 4,436 SF
FIRE RESISTANCE RATINGS TABLE 602
EXTERIOR WALLS: 0 HR
VERTICAL CIRCULATION: 0 HR
EXIT ACCESS CORRIDORS: 0 HR
STRUCTURE: 0 HR
FLOORS: 0 HR
ROOF: 0 HR

INDEX OF DRAWINGS

Table with columns for SHEET NUMBER and SHEET NAME, listing drawing titles such as GENERAL, CIVIL, LANDSCAPE, STRUCTURAL, DEMOLITION, ARCHITECTURAL, PLUMBING, MECHANICAL, and ELECTRICAL.

GENERAL NOTES

KEYNOTE
SUB-DIVISION
UNIQUE IDENTIFIER (MAY NOT DIRECTLY REFER TO SPEC SUB-SECTION)
FURNITURE / EQUIPMENT TAG
CASEWORK TAG
MILLWORK NOTE
NORTH ARROW
AREA TAG

AREA MAP

VICINITY MAP

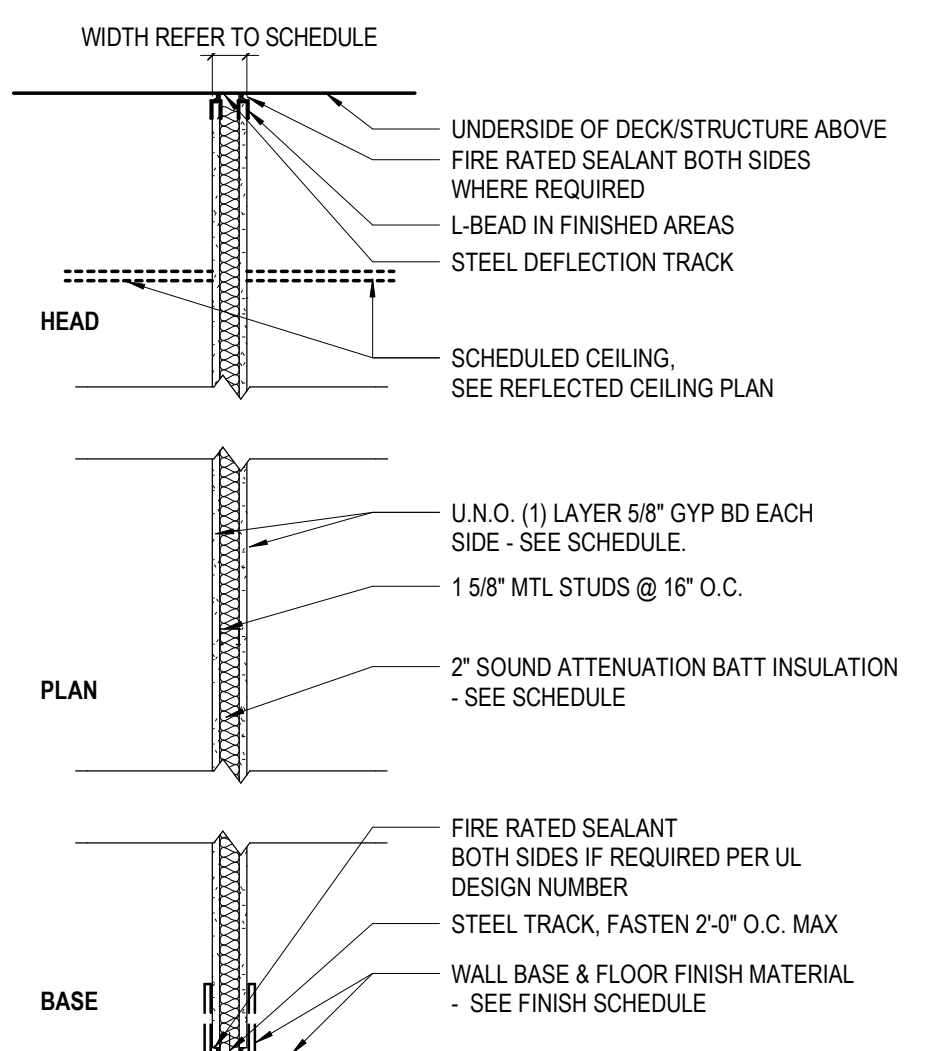
MATERIALS LEGEND

Table listing materials and their corresponding hatching patterns: ALUMINUM, ACOUSTIC CEILING, BRICK, CONCRETE, CONCRETE MASONRY, CONCRETE (SURFACE), EARTH, GLASS - LARGE SCALE, GLASS - SMALL SCALE, GRANULAR FILL, GYPSUM BOARD, INSULATION - BATT, INSULATION - RIGID, PLYWOOD, STEEL, WOOD - ROUGH FRAMING, WOOD - ROUGH BLOCKING, WOOD - FINISHED.

RENOVATION OF HEARTLAND BANK DUBLIN
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215
PHONE: (614) 461-4664 FAX: (614) 280-8881

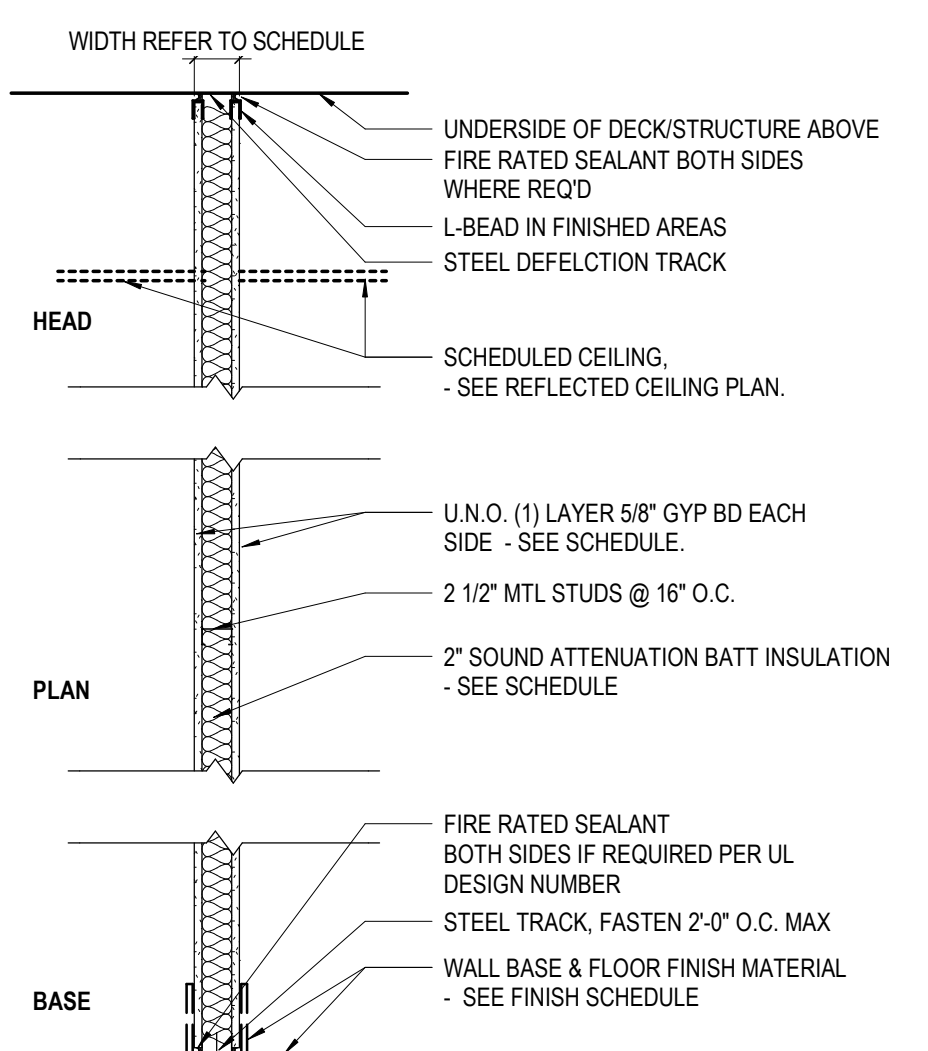
DRAWING INDEX
11/30/2020
DRAWN BY: xxx CHECKED BY: xxx
20022
G001
FINAL DEVELOPMENT PLAN

**TYPE 1 - 1 5/8" METAL STUD WALL TYPES**



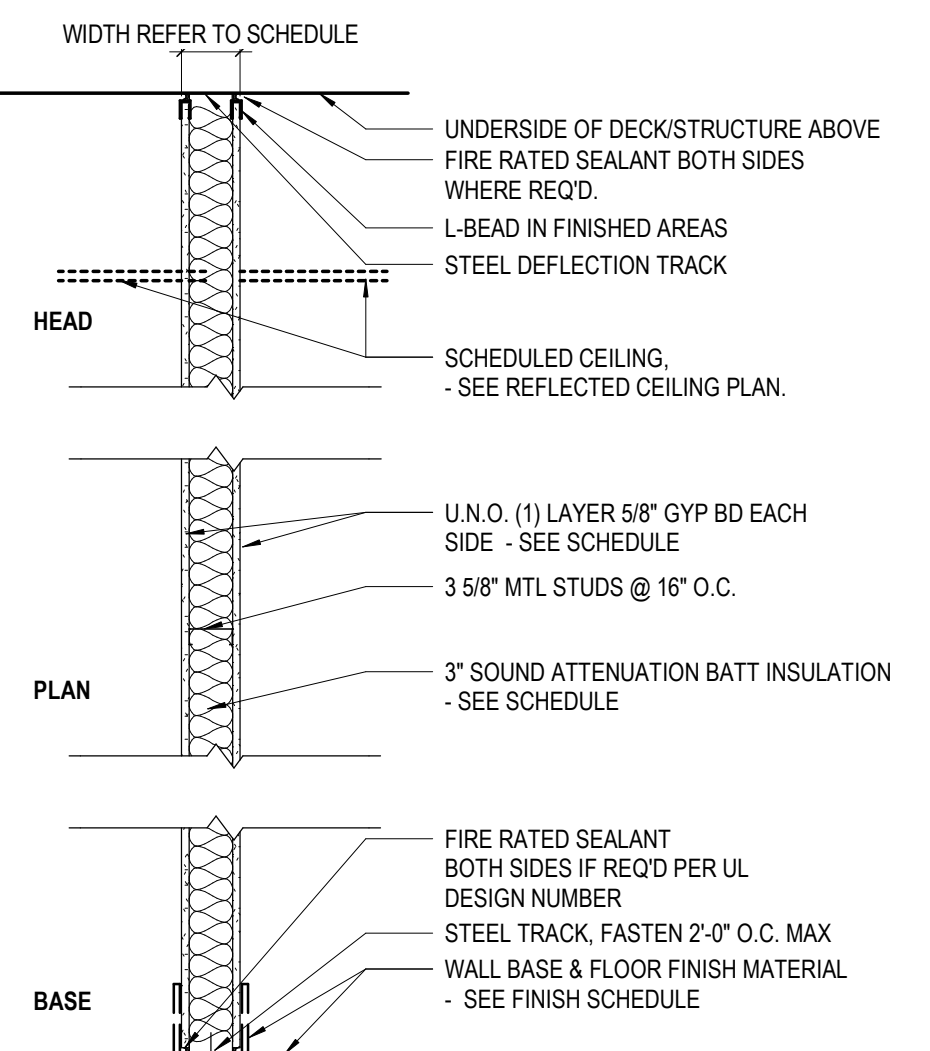
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
1K	2 1/4"	1 5/8"	Yes	No	No	0HR			No	05	
1M	2 1/4"	1 5/8"	Yes	No	No	0HR			No	05	

**TYPE 2 - 2 1/2" METAL STUD WALL TYPES**



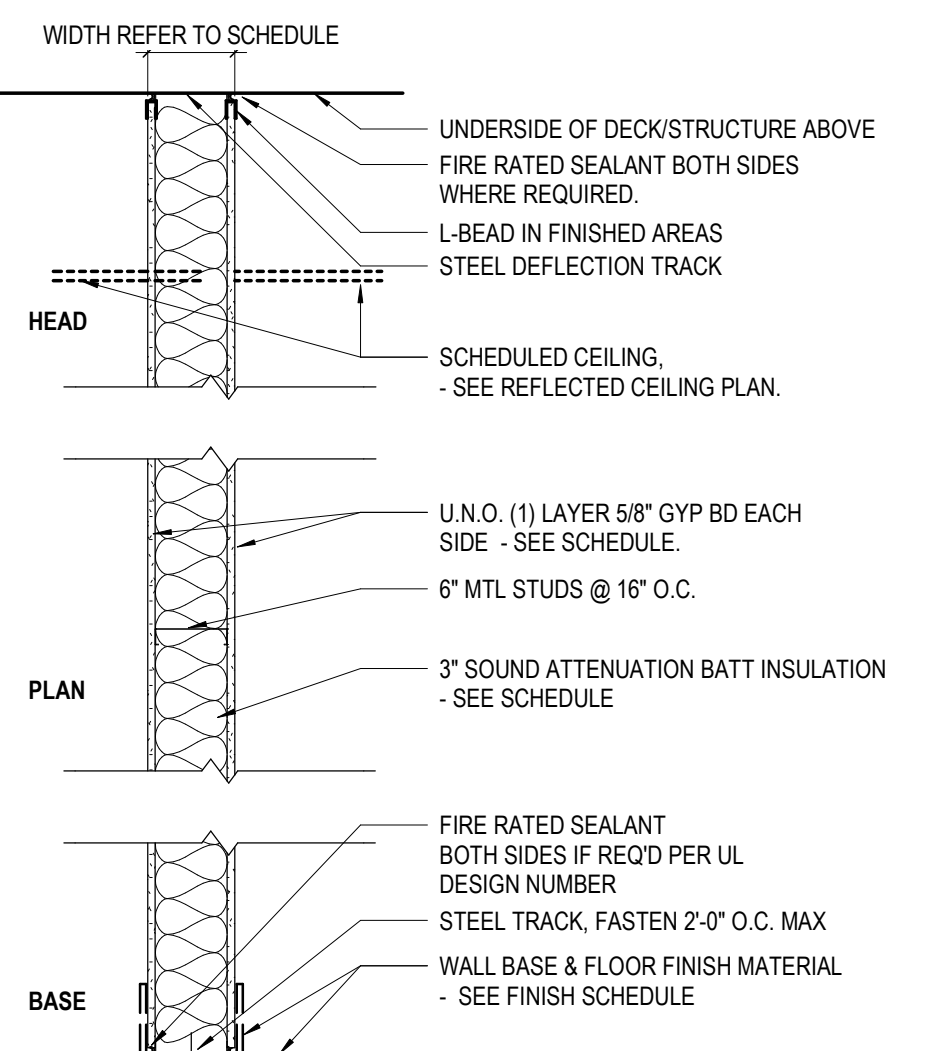
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
2K	4 1/8"	2 1/2"	No	Yes	No	0HR		43	Yes	04	
2D	4 7/8"	3 5/8"	No	Yes	No	0HR		40	No	04	
2K	4 1/4"	3 5/8"	Yes	No	No	0HR		No	02, 05		

**TYPE 3 - 3 5/8" METAL STUD WALL TYPES**



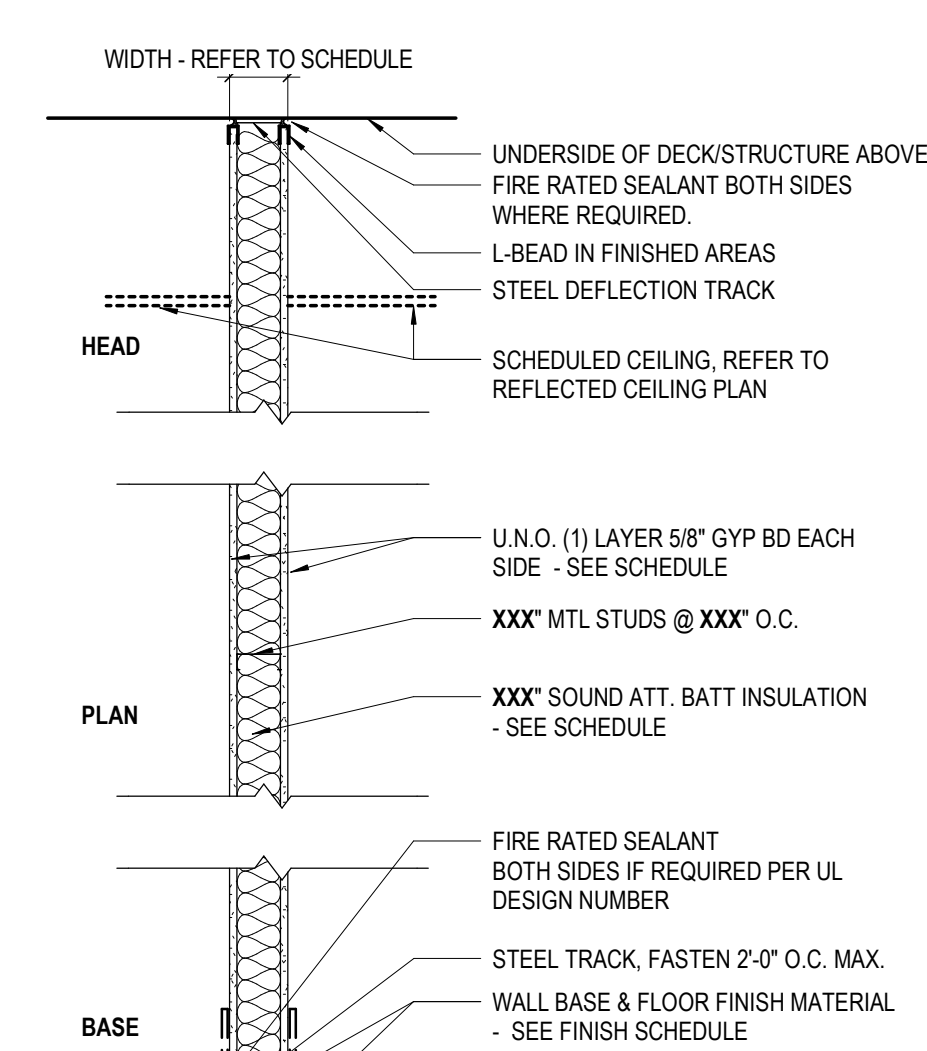
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
3K	4 1/4"	3 5/8"	Yes	No	No	0HR		No	02, 05		

**TYPE 4 - 6" METAL STUD WALL TYPES**



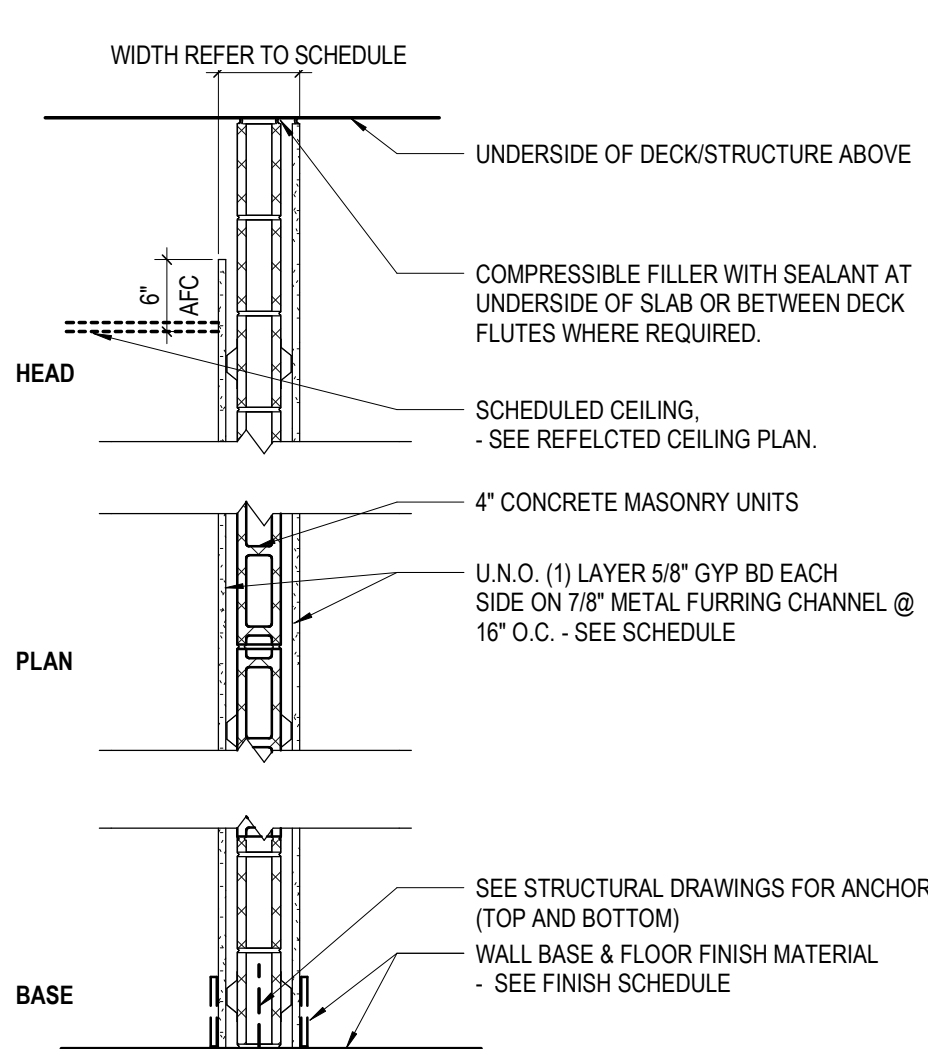
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
4K	4 1/4"	6"	Yes	No	No	0HR		No	02, 05		

**TYPE 5 - MISC. METAL STUD WALL TYPES**



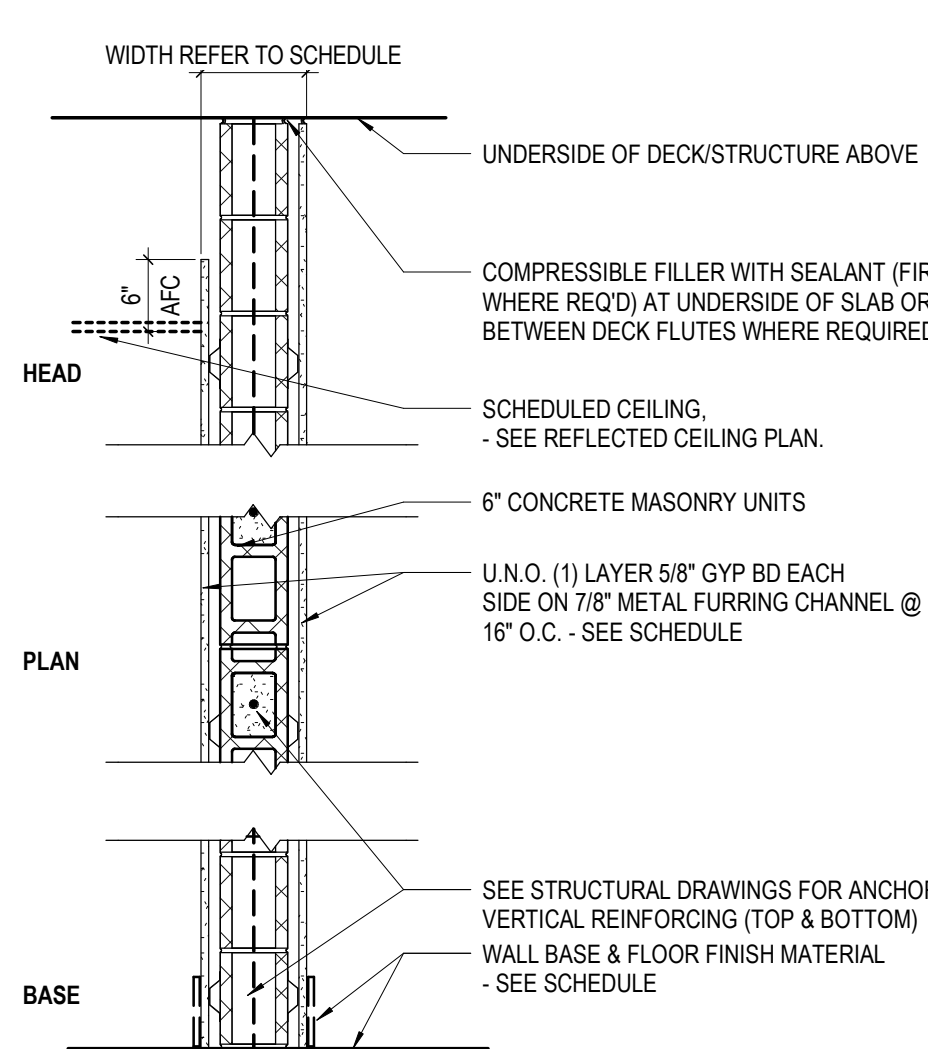
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
5K	4 1/4"	6"	Yes	No	No	0HR		No	02, 05		

**TYPE 6 - 4" CONCRETE MASONRY WALLS**



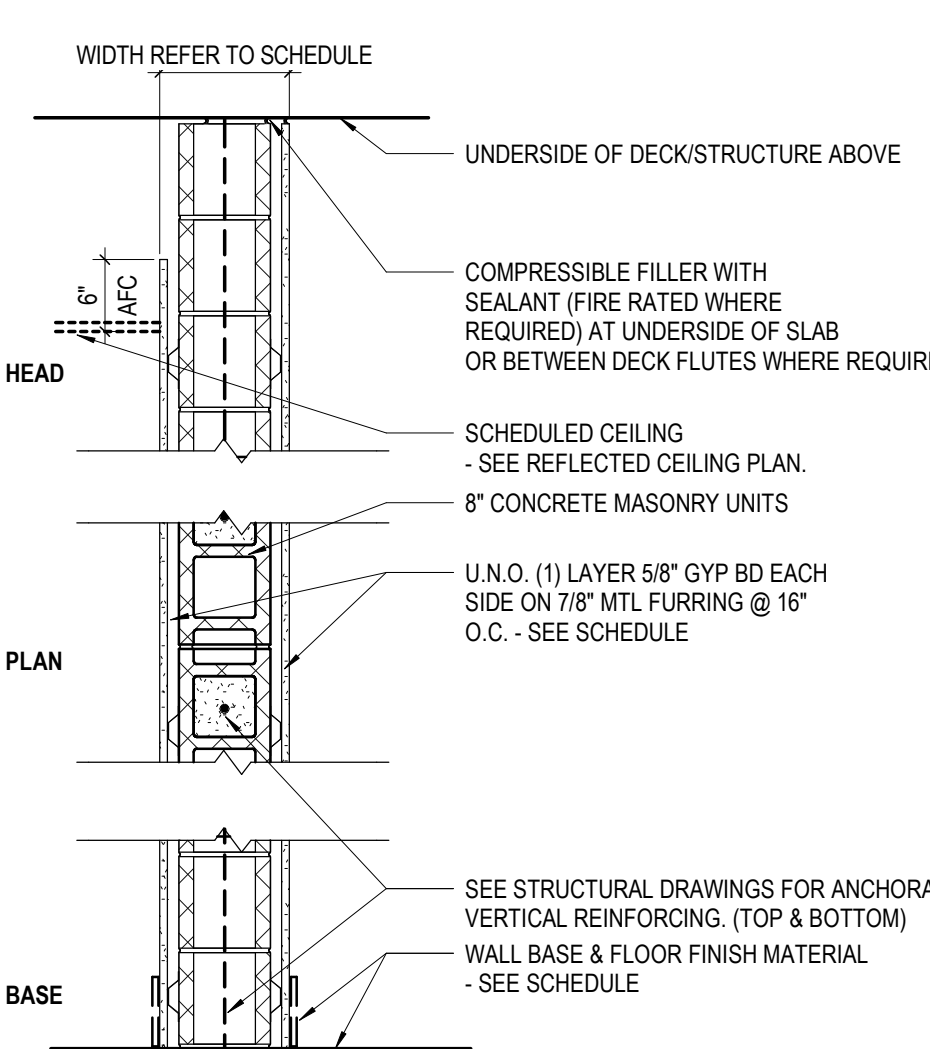
TYPE	WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
6K	4"	No	No	No	0HR		46	No	08	
6E	9 1/8"	Yes	No	No	0HR		45+	No	10	7/8" METAL FURRING @ 16" O.C.

**TYPE 7 - 6" CONCRETE MASONRY WALLS**



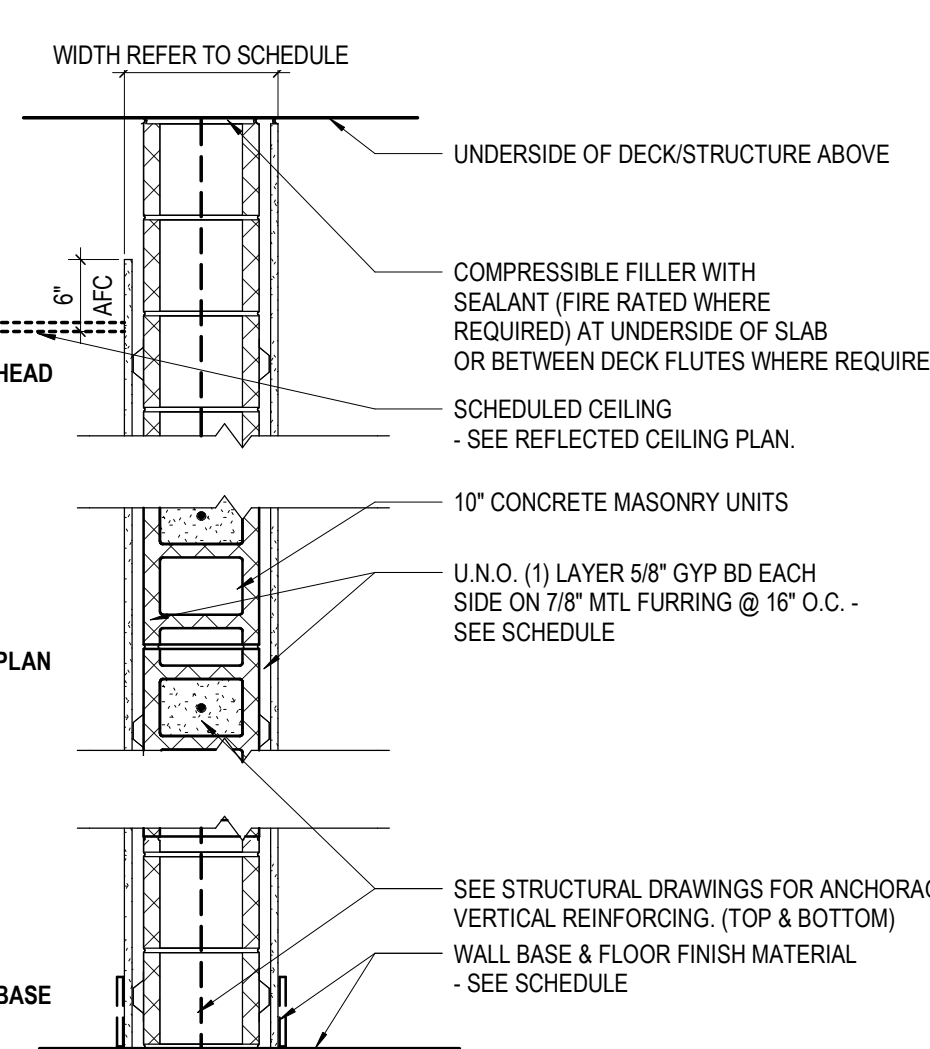
TYPE	WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
7K	6"	No	No	No	0HR		46	No	08	
7E	9 1/8"	Yes	No	No	0HR		45+	No	10	7/8" METAL FURRING @ 16" O.C.

**TYPE 8 - 8" CONCRETE MASONRY WALLS**



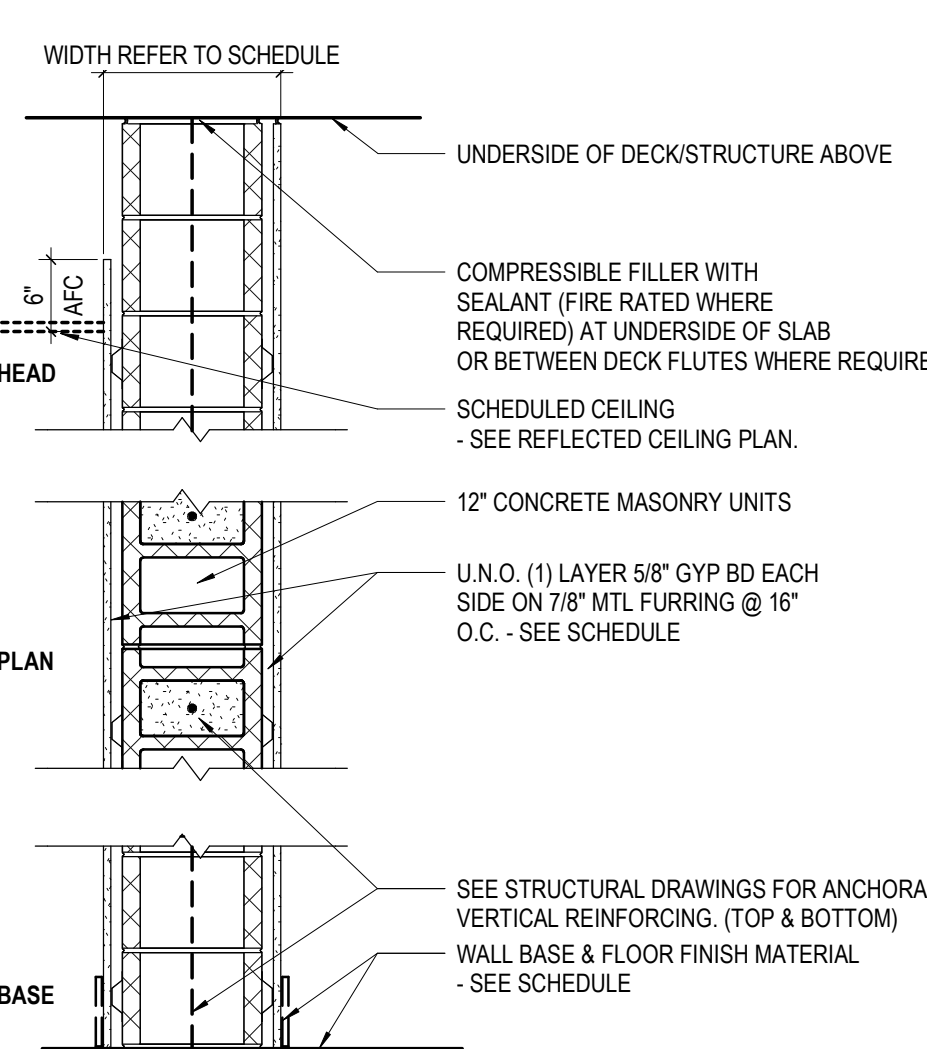
TYPE	WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
8K	8"	No	No	No	0HR		46	No	08	
8E	9 1/8"	Yes	No	No	0HR		45+	No	10	7/8" METAL FURRING @ 16" O.C.

**TYPE 9 - 10" CONCRETE MASONRY WALLS**



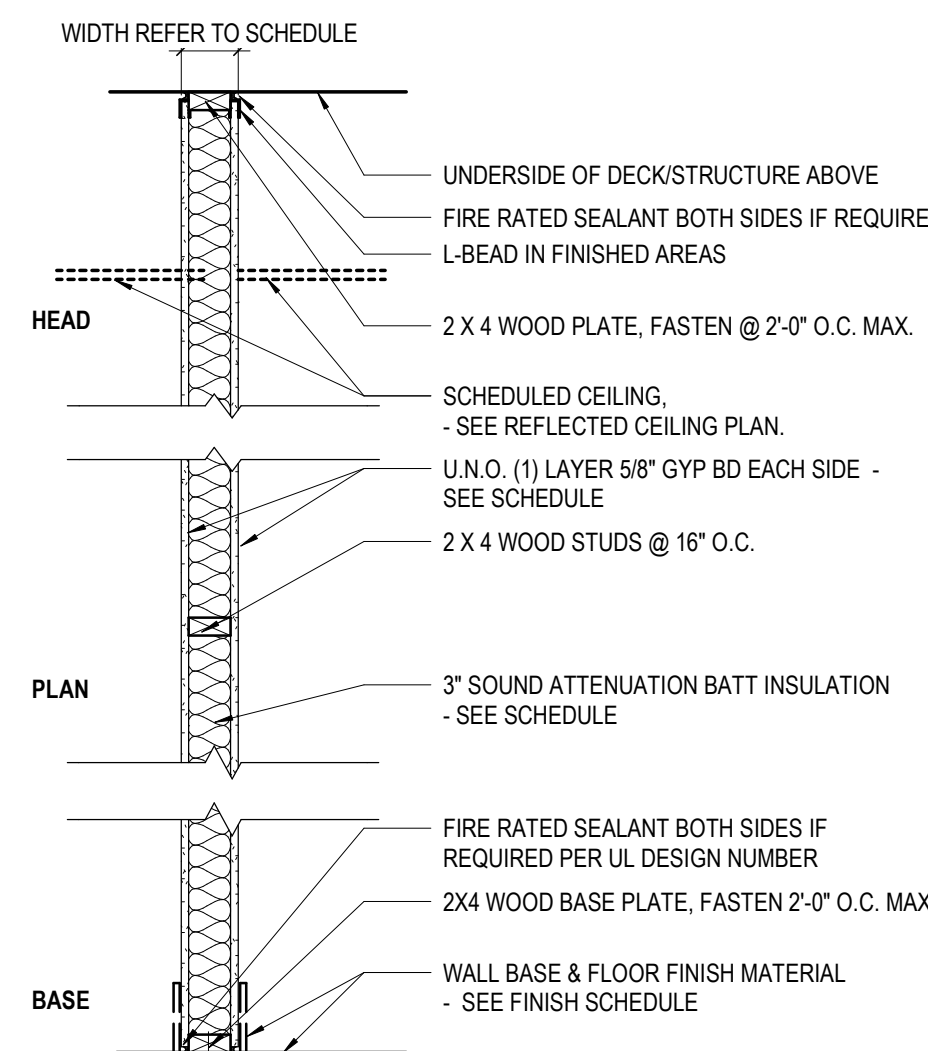
TYPE	WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
9K	10"	No	No	No	0HR		46	No	08	
9E	9 1/8"	Yes	No	No	0HR		45+	No	10	7/8" METAL FURRING @ 16" O.C.

**TYPE 10 - 12" CONCRETE MASONRY WALLS**



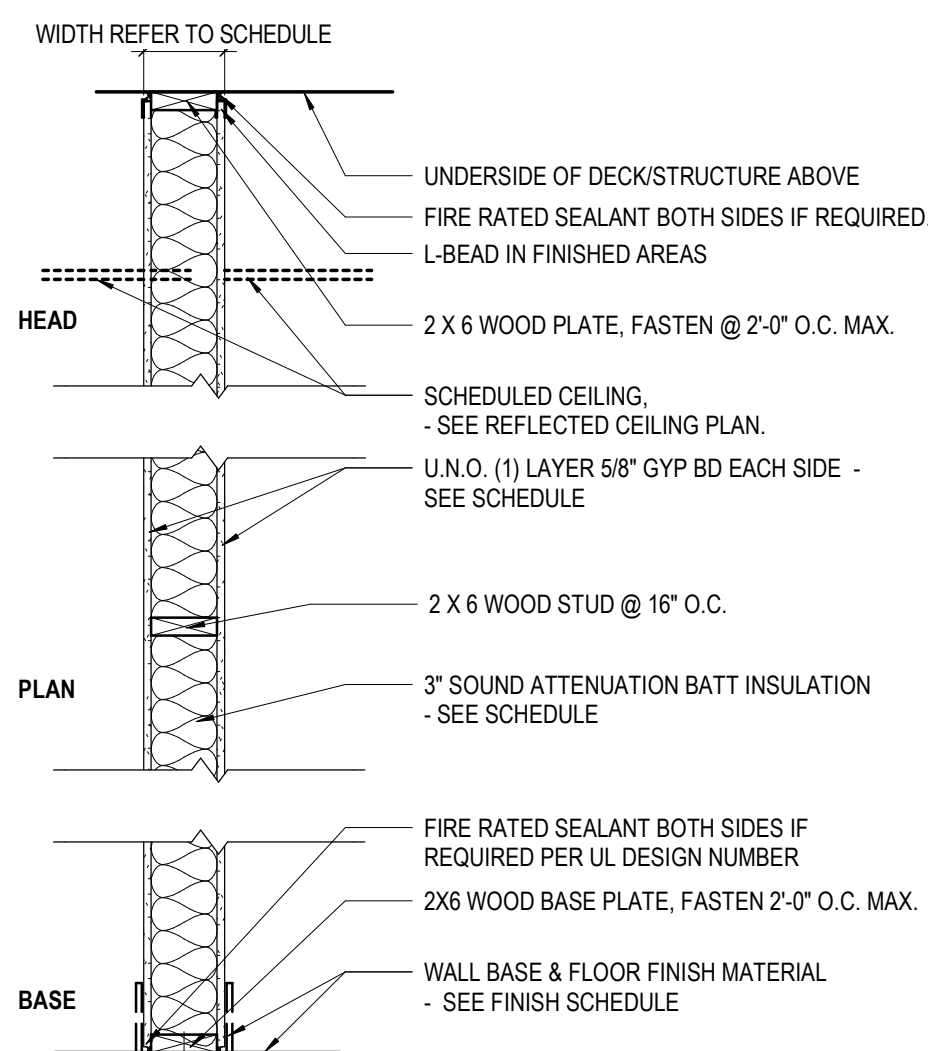
TYPE	WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
10K	12"	No	No	No	0HR		46	No	08	
10E	9 1/8"	Yes	No	No	0HR		45+	No	10	7/8" METAL FURRING @ 16" O.C.

**TYPE 11 - 2 X 4 WOOD STUD WALL TYPES**



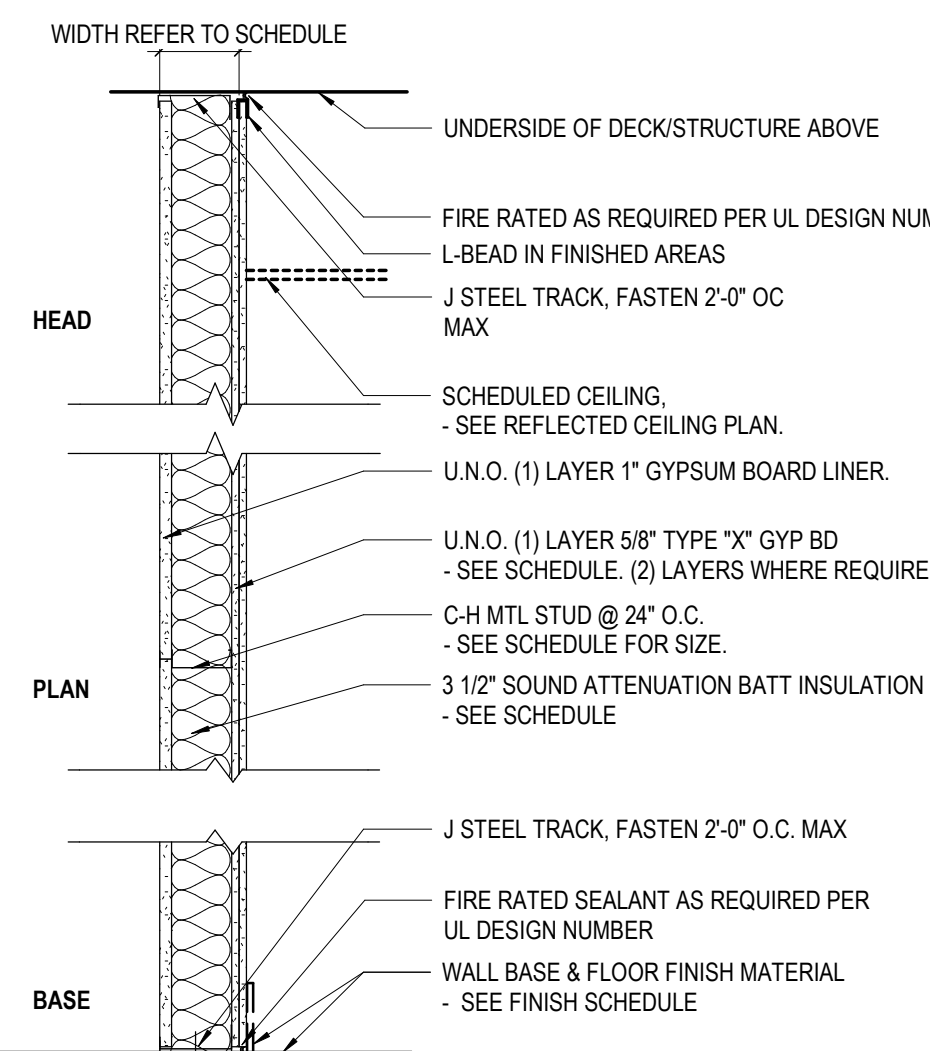
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
11D	4 3/4"	2x4	No	Yes	No	0HR		35	No	04	
11E	4 1/8"	2x4	No	Yes	No	0HR		35	No	04	
11F	4 3/4"	2x4	No	Yes	No	0HR		35	No	05	

**TYPE 12 - 2 X 6 WOOD STUD WALL TYPES**



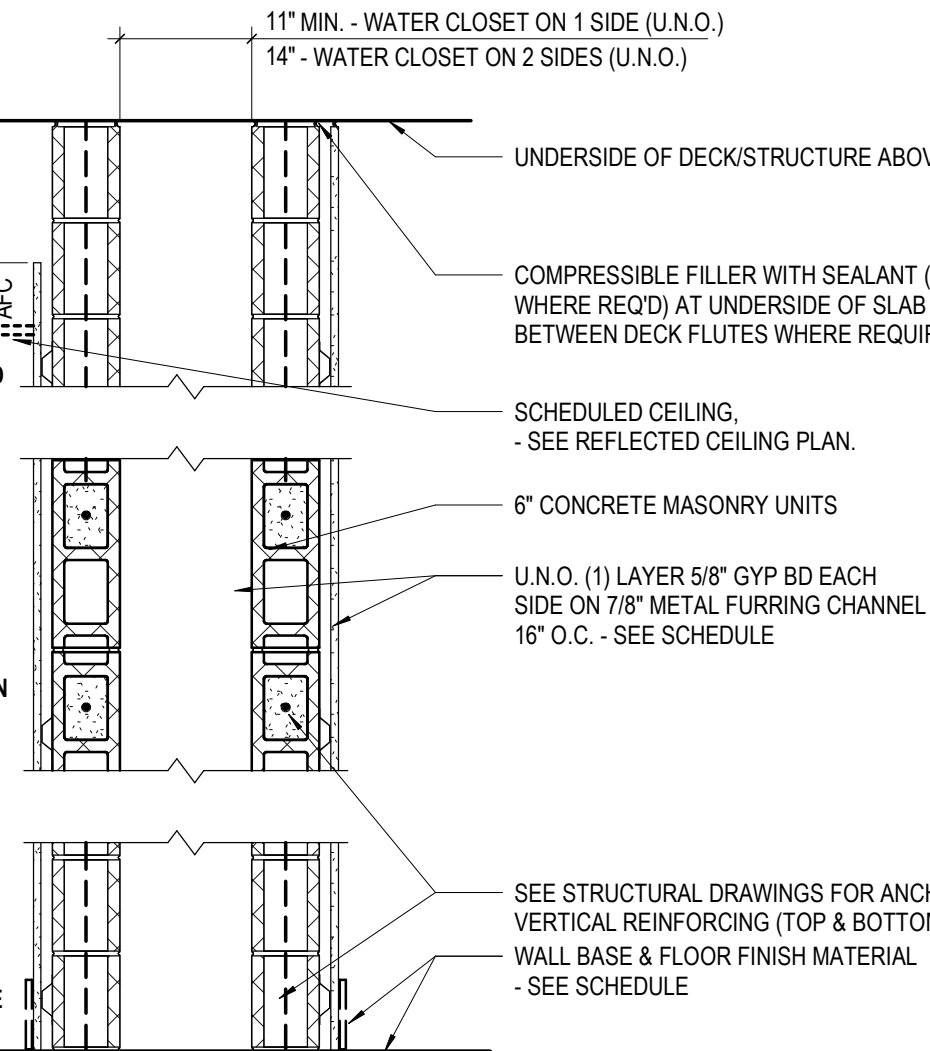
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
12D	6 3/4"	2x6	No	Yes	No	0HR		35	EST.	No	04

**TYPE S - SHAFT WALL TYPES**



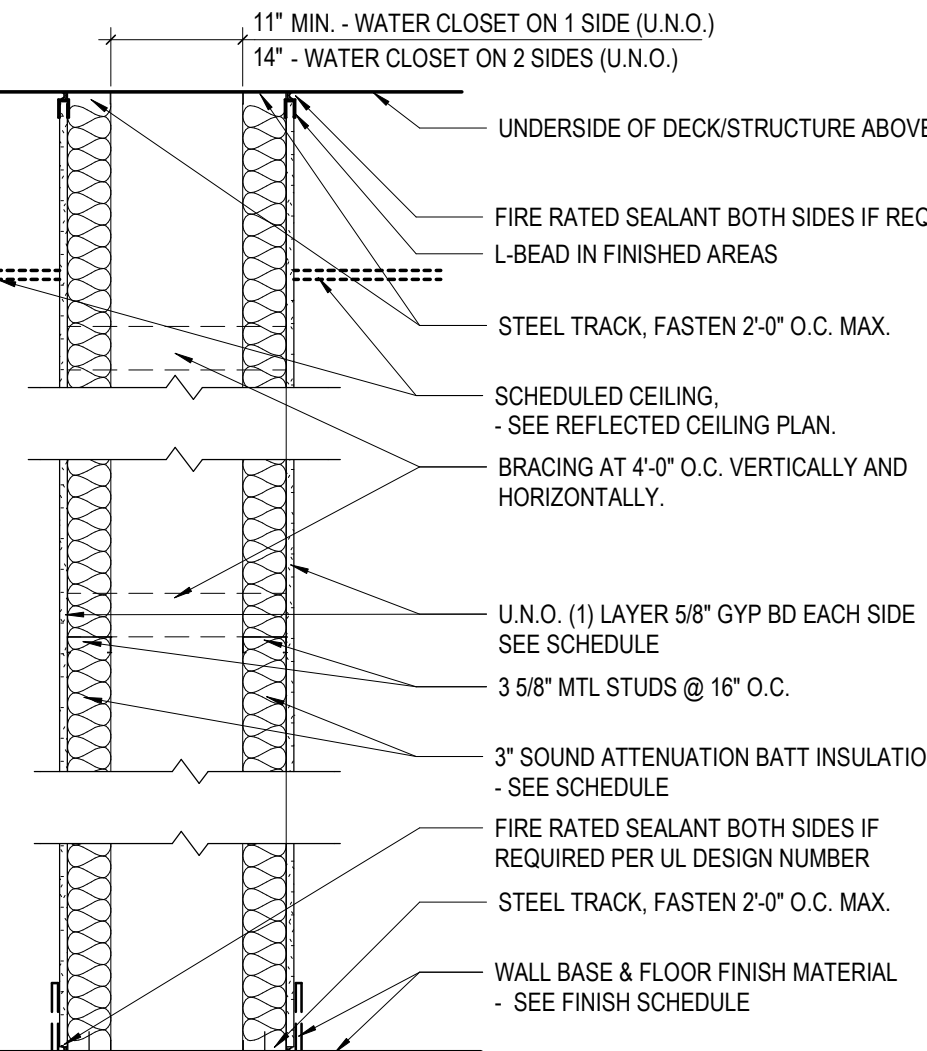
TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
S	4"	4"	No	No	No	0HR		46	No	08	

**TYPE CM - MASONRY CHASE WALL TYPES**



TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
CM	4"	4"	No	No	No	0HR		46	No	08	

**TYPE CS - STUD CHASE WALL TYPES**



TYPE	WIDTH	STUD WIDTH	GYP. BD. - 1 SIDE	GYP. BD. - 2 SIDES	"TYPE X" GYP. BD.	FIRE RATING	UL #	STC RATING	SOUND INSUL.	CODED NOTES	COMMENTS
CS	4"	4"	No	No	No	0HR		46	No	08	

**GENERAL NOTES - WALL TYPE**

- ALL DIMENSIONS TO FACE OF WALL UN.O.
- USE 5/8" WATER RESISTANT GYP. BD. ON ALL WET WALLS, LINO.
- USE CEMENT BOARD FOR ALL WALLS TO RECEIVE CERAMIC TILE, LINO.
- FIRE SAFE ALL JOINTS AND PENETRATIONS AT FIRE RATED PARTITIONS.
- UL NUMBERS LISTED APPLY ONLY TO THE TESTED MANUFACTURERS. EQUAL MANUFACTURERS EQUIVALENT ASSEMBLY INFORMATION MUST BE APPROVED BY ARCHITECT.
- INSULATION MUST EXTEND FULL HEIGHT OF PARTITION. WHERE SOUND ATTENUATION BATTS ARE INDICATED IN PARTITIONS, INSTALL ACOUSTIC SEALANT AT BOTH SIDES, ALONG THE TOP AND BOTTOM, AND AT INTERSECTING PARTITIONS.
- WHERE 3 5/8", 4" OR 6" STUD WALLS ARE INDICATED, SEE SPECIFICATIONS FOR HEIGHT LIMITS.
- REFER TO FINISH SCHEDULE FOR FINISHES.
- PROVIDE ACOUSTIC SEALANT AT TOP & BOTTOM OF PARTITION AS REQUIRED BY STC RATING.

**CODED NOTE LEGEND**

- BRACE EACH STUD @ 4'-0" O.C. TO BACK-UP WALL FOR ENTIRE HEIGHT OF PARTITION.
- BRACE EACH STUD @ 8'-0" O.C. TO BACK-UP WALL FOR ENTIRE HEIGHT OF PARTITION.
- SMOKE TIGHT SEAL SHALL BE PROVIDED AT TOP, BOTTOM AND ENDS OF WALL AND AT ALL PENETRATIONS.
- FULL HEIGHT PARTITION. TERMINATE GYP. BD. AND STUDS AT DECKSTRUCTURE ABOVE.
- STOP GYP. BD. AND STUDS 6" AFC. BRACE PARTITION TO DECKSTRUCTURE PER METAL STUD MANUFACTURER DESIGN LOADING CRITERIA.
- FULL HEIGHT SHAF WALL. TERMINATE GYP. BD. AND STUDS AT DECKSTRUCTURE ABOVE.
- FULL HEIGHT PARTITION. TERMINATE GYP. BD., PLYWOOD AND STUDS AT DECKSTRUCTURE ABOVE.
- FULL HEIGHT PARTITION. TERMINATE CMU AT DECKSTRUCTURE ABOVE.
- STOP CMU FULL COURSE ABOVE FINISH CEILING. BRACE WALL TO STRUCTURE PER STRUCTURAL DRAWINGS.
- FULL HEIGHT PARTITION. TERMINATE CMU AT DECK ABOVE. STOP FURRING AND GYP. BD. @ 6" ABOVE FINISHED CEILING.
- STOP WALL FULL COURSE ABOVE FINISH CEILING. BRACE WALL TO STRUCTURE PER STRUCTURAL DRAWINGS.

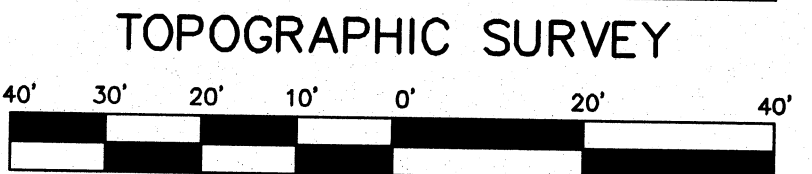
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5303 FRONT ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**WALL TYPE SCHEDULE**  
 11/30/2020  
 DRAWN BY: xxx CHECKED BY: xxx  
 20022  
**G002**  
 FINAL DEVELOPMENT PLAN

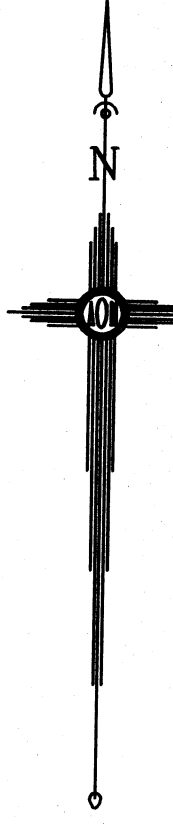
Situated in the State of Ohio, County of Franklin, City of Dublin, being all of the land conveyed to Heartland Bank as shown of Record O.R.V. 21589 J01, Recorder's Office, Franklin County, Ohio.

REVISIONS:			
No.	Date	Description	By



Scale: 1" = 20'  
July 30, 2020

Address: 6500 Frantz Road  
Dublin, OH 43017



EASEMENTS  
Lawyers Title Insurance Corporation  
Policy Date: January 20, 1993  
Policy Number: 113-00-763041

Item 5. Easement to Columbus and Southern Ohio Electric Company over part of a larger tract of which insured premises is a part, of record in Deed Book 1127, page 69; Deed Book 1955, page 275; and Deed Book 2669, Page 3. All Do Not Apply.

Item 6. Easement to State of Ohio over part of a larger tract of which insured premises is a part, of record in Deed Book 2669, Page 396 - Wrong Page Number

Item 7. Easement to Columbia Gas of Ohio, Inc., over an unspecified location affecting a tract of land of which insured premises is a part, of record in Deed Book 2726, page 284 and Deed Book 2861, Page 383. PLOTTED

Item 8. Easement to County of Franklin, of record in Deed Book 3106, Page 141. PLOTTED

Item 9. Easement to Columbus and Southern Ohio Electric Company, of record in Deed Book 3709, Page 331. PLOTTED

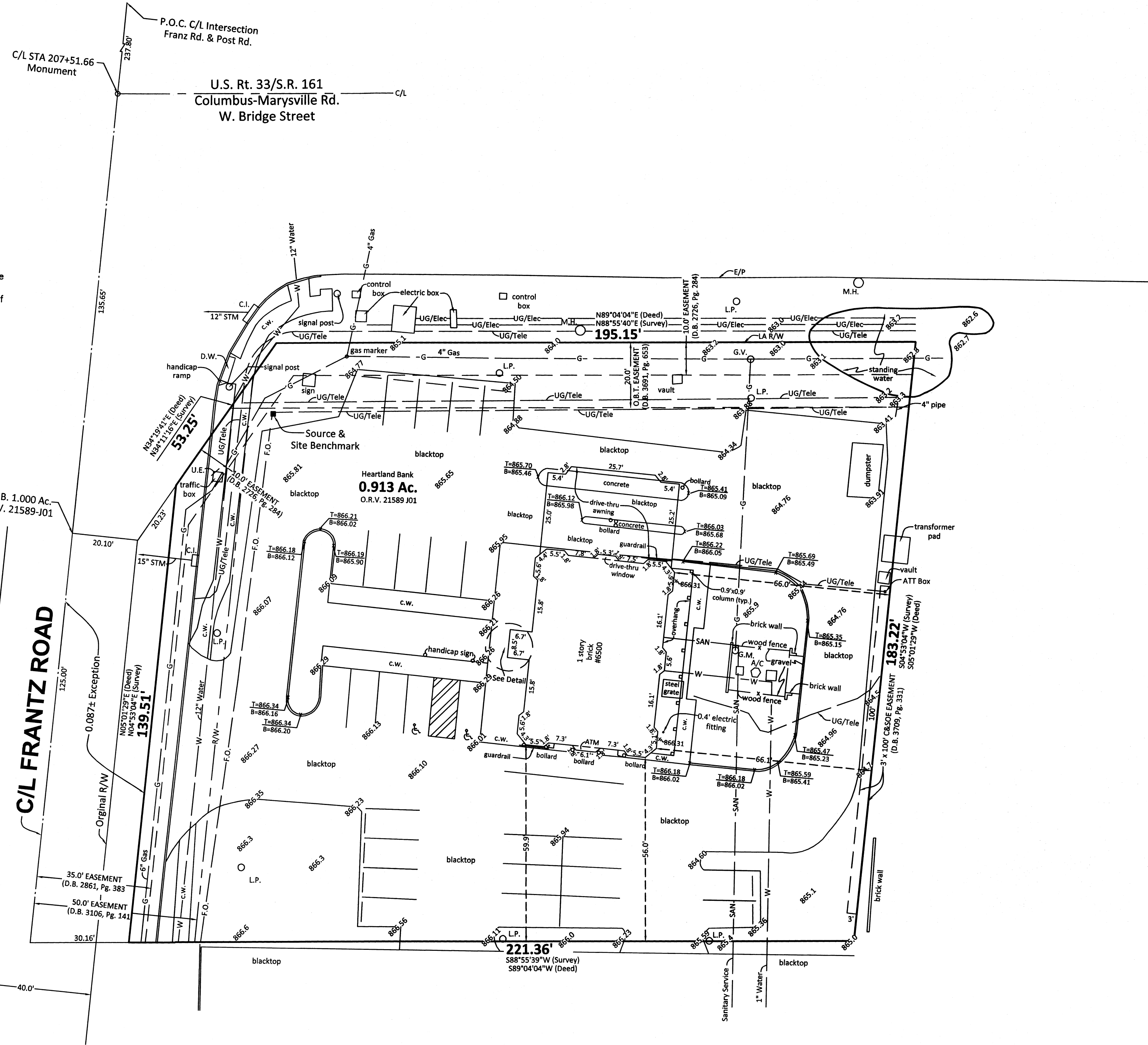
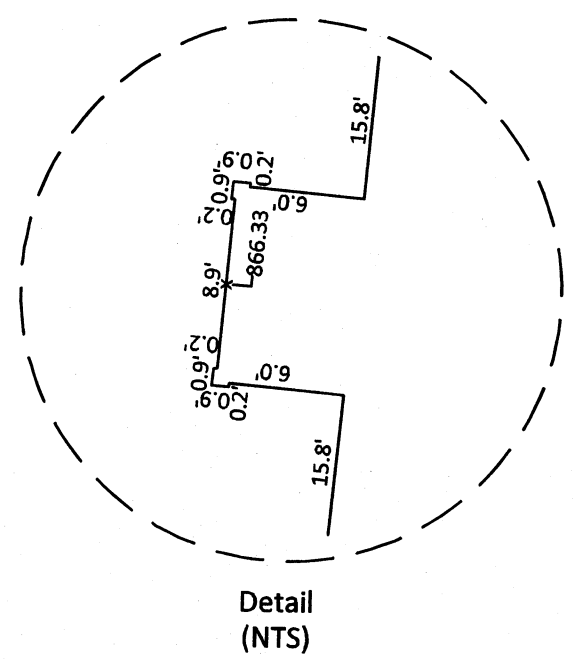
Item 10. Easement to The Ohio Bell Telephone Company, of record in Deed Book 3691, Page 653. PLOTTED

Item 11. Easement to Southwick, Solove and Company, of record in Official Record 20376C19, Blanket Easement over drive areas and access to streets, highways and alleys.

Source & Site Benchmark - V21

Brass plug in concrete monument at the southeast corner of S.R. 161 and Frantz Road, in front of the Ohio Federal Bank, 63.8 Feet south of the centerline of the S.R. 161 eastbound lanes, 18.2 feet east of the back of curb of Frantz Road, 12.7' southwest of a concrete base for a bank sign, 9 inches below the ground.

Elevation = 864.965' (NAVD 88)



Legend

- P.B. = Plat Book
- D.B. = Deed Book
- O.R.V. = Official Records Volume
- Inst.No. = Instrument Number
- I.P. = Iron Pipe
- RR Spk. = Railroad Spike
- C/L = Centerline
- R/W = Right-of-Way
- LA R/W = Limited Access Right-of-Way
- M.H. = Manhole
- C.B. = Catch Basin
- F.H. = Fire Hydrant
- U.P. = Utility Pole
- L.P. = Light Pole
- E. = Electric
- U.E. = Underground Electric
- E.M. = Electric Meter
- E.T. = Electric Transformer
- G. = Gas
- G.M. = Gas Meter
- G.V. = Gas Valve
- W. = Water
- W.M. = Water Meter
- W.V. = Water Valve
- T.P. = Telephone Pedestal
- T. = Telephone
- O.B.T. = Ohio Bell Telephone
- C&SOE = Col. & Southern Ohio Electric
- CATV = Cable Television
- R.P. = Record Plan
- San. = Sanitary Sewer
- Stm. = Storm Sewer
- Comb. = Combination Sewer
- T.C. = Top of Casting
- INV. = Invert
- c.w. = Concrete Walk
- c.a. = Concrete Stoop/Steps
- c.o. = Cleanout
- d.s. = Downspout
- 868.4 = Spot Elevation 868.4
- (2) = Existing Striped Parking Space

To: Heartland Bank  
and/or  
Moody Engineering

We hereby certify that the foregoing Topographic Survey was prepared from actual field measurements in July, 2020. Basis of Bearings is the Ohio State Plane Coordinate System, Ohio South Zone, NAD83 (2011). The bearing herein are based on GPS observations using the CORS Network to determine a grid bearing of North 88°55'40" East for the south right of way of U.S. Rt. 33.

By: *Joseph P. Myers* 7/30/2020

Joseph P. Myers, Professional Surveyor No. 7361



Utility Warning

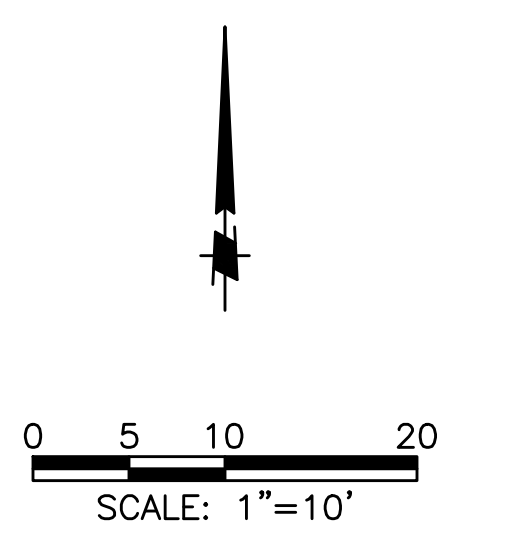
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



**Myers Surveying**  
2740 E. Main St., Beavley, Ohio 43209-2577  
(614) 235-8677 ~ (614) 235-4559 fax  
info@myerssurveying.com

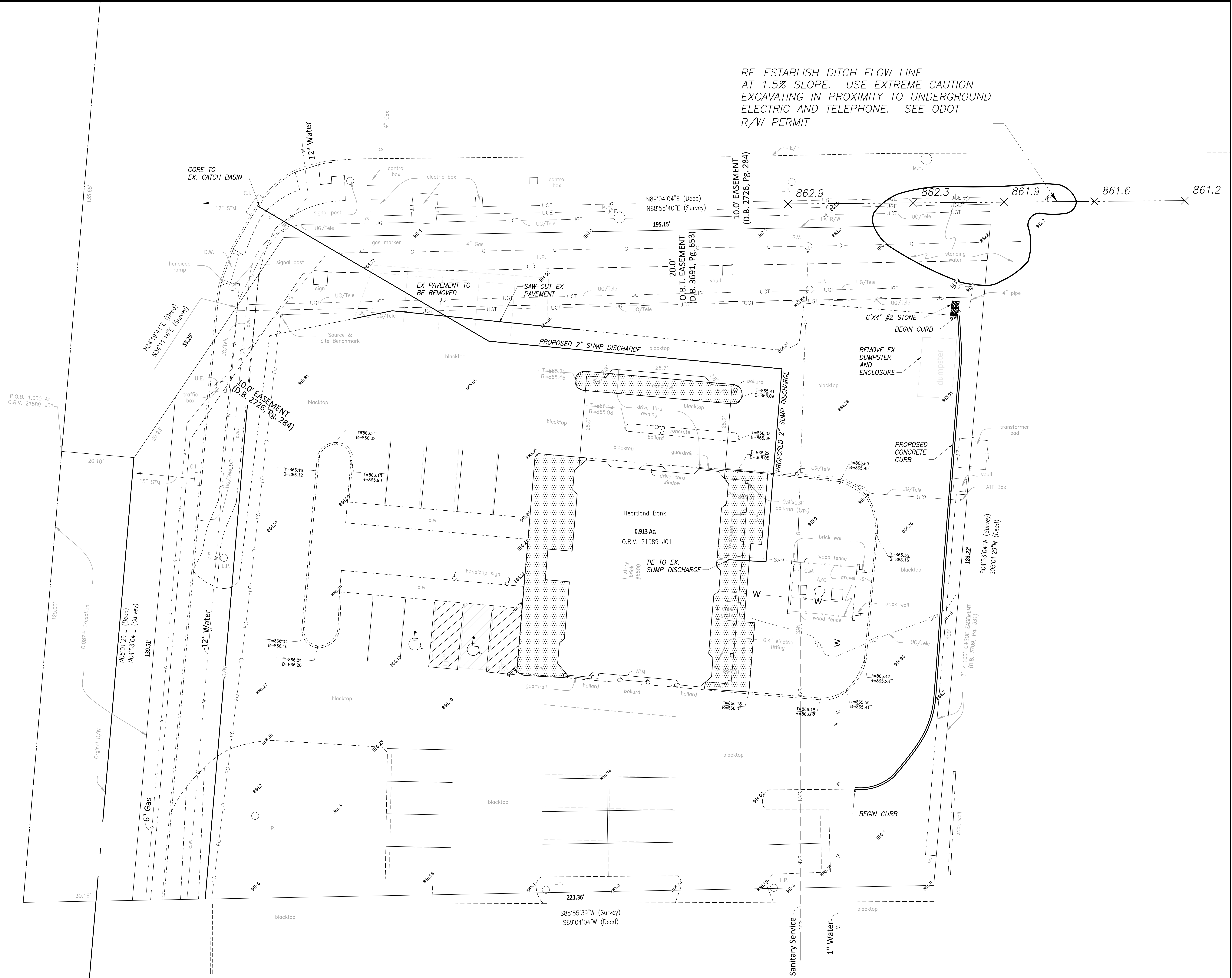
1-800-382-2784 CALL TWO WORKING DAYS BEFORE YOU DIG (NON MEMBERS MUST BE CALLED DIRECTLY)

RE-ESTABLISH DITCH FLOW LINE  
AT 1.5% SLOPE. USE EXTREME CAUTION  
EXCAVATING IN PROXIMITY TO UNDERGROUND  
ELECTRIC AND TELEPHONE. SEE ODOT  
R/W PERMIT



**LEGEND**

 CONCRETE SIDEWALK  
REMOVED AND REPLACED



NOTE:  
1) SEE ARCHITECTURAL SITE PLAN  
FOR PROPOSED LOT STRIPING


#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND  
BANK DUBLIN**  
500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

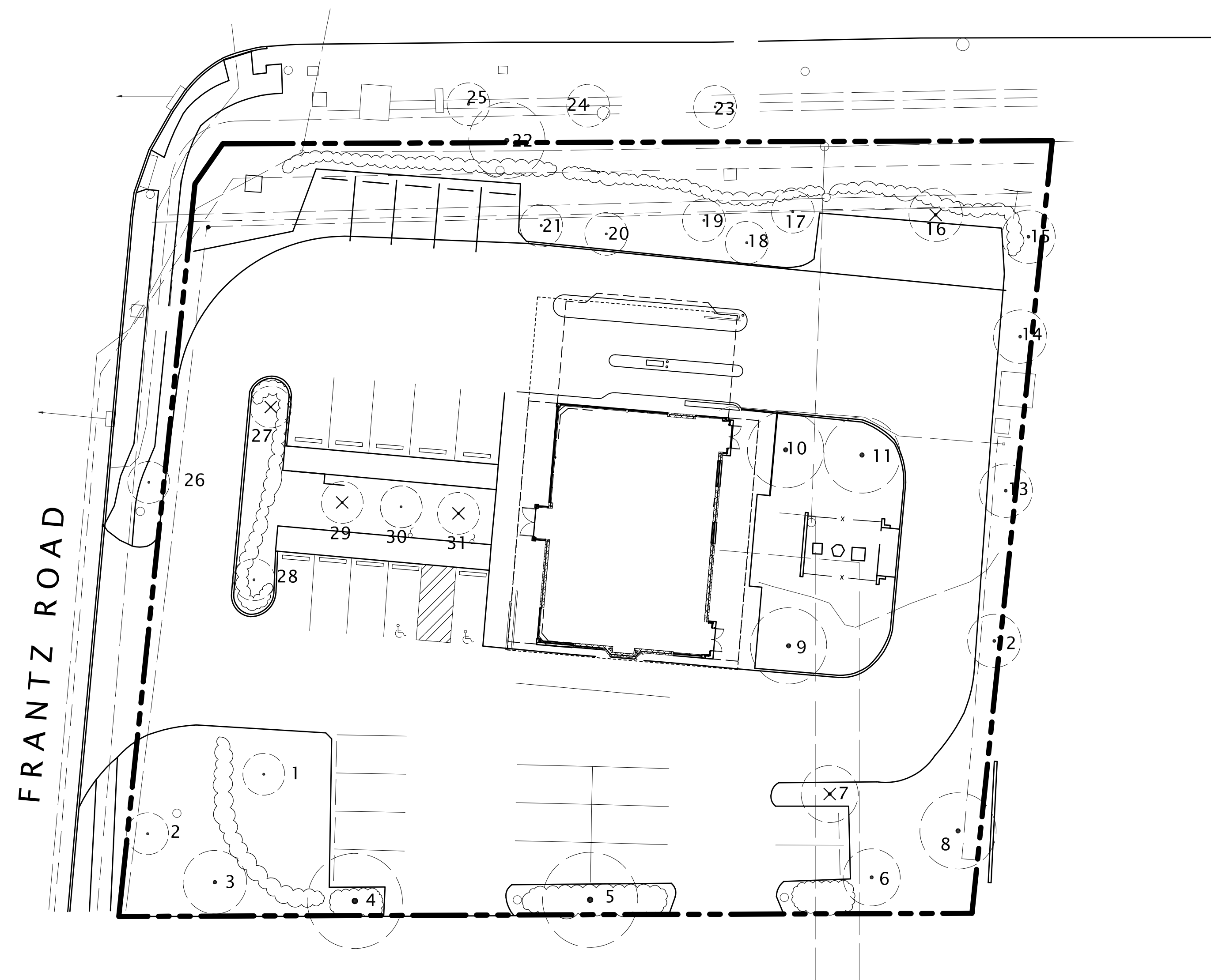
 300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**CIVIL SITE PLAN**

11/30/2020  
DRAWN BY: MSL CHECKED BY: MSL  
20022  
**C100**  
FINAL DEVELOPMENT PLAN

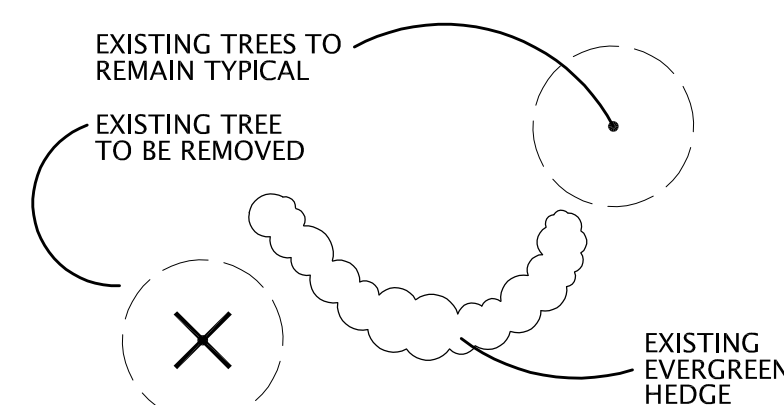


WEST BRIDGE STREET



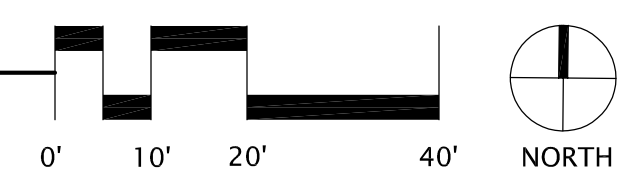
EXISTING TREE LEGEND

NO.	TREE TYPE	SIZE	CONDITION	
1	GINKGO	2" CALIPER	GOOD	RETAIN
2	CRABAPPLE	3" CALIPER	GOOD	RETAIN
3	ZELCOVA	4" CALIPER	GOOD	RETAIN
4	ZELCOVA	6" CALIPER	GOOD	RETAIN
5	ZELCOVA	6" CALIPER	GOOD	RETAIN
6	ZELCOVA	3" CALIPER	GOOD	RETAIN
7	OAK	3" CALIPER	POOR	REPLACE
8	MAPLE	20" CALIPER	GOOD	RETAIN
9	HONEYLOCUS	15" CALIPER	GOOD	RETAIN
10	HONEYLOCUS	17" CALIPER	GOOD	RETAIN
11	HONEYLOCUS	15" CALIPER	GOOD	RETAIN
12	PEAR	6" CALIPER	GOOD	RETAIN
13	PEAR	6" CALIPER	GOOD	RETAIN
14	PEAR	6" CALIPER	GOOD	RETAIN
15	PEAR	6" CALIPER	GOOD	RETAIN
16	ZELCOVA	4" CALIPER	POOR	REPLACE
17	ZELCOVA	3" CALIPER	GOOD	RETAIN
18	GINKGO	1" CALIPER	GOOD	RETAIN
19	ZELCOVA	11" CALIPER	GOOD	RETAIN
20	GINKGO	2" CALIPER	GOOD	RETAIN
21	GINKGO	2" CALIPER	GOOD	RETAIN
22	OAK	24" CALIPER	GOOD	RETAIN
23	LILAC	4" CALIPER	GOOD	RETAIN
24	LILAC	5" CALIPER	GOOD	RETAIN
25	LILAC	8" CALIPER	GOOD	RETAIN
26	LILAC	3" CALIPER	GOOD	RETAIN
27	MAPLE	5" CALIPER	POOR	REPLACE
28	LINDEN	5" CALIPER	GOOD	RETAIN
29	MAGNOLIA	5" CALIPER	GOOD	REMOVE
30	MAGNOLIA	5" CALIPER	GOOD	REMOVE
31	MAGNOLIA	5" CALIPER	GOOD	REMOVE



TREE LEGEND

1 TREE DEMOLITION AND PRESERVATION PLAN



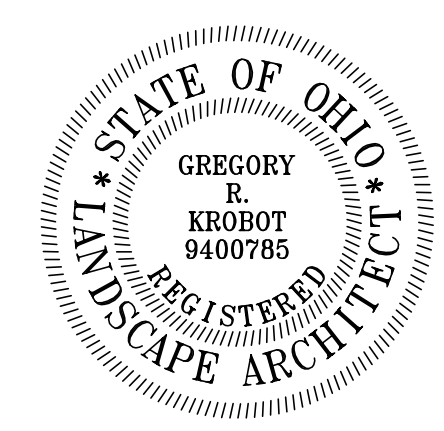
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

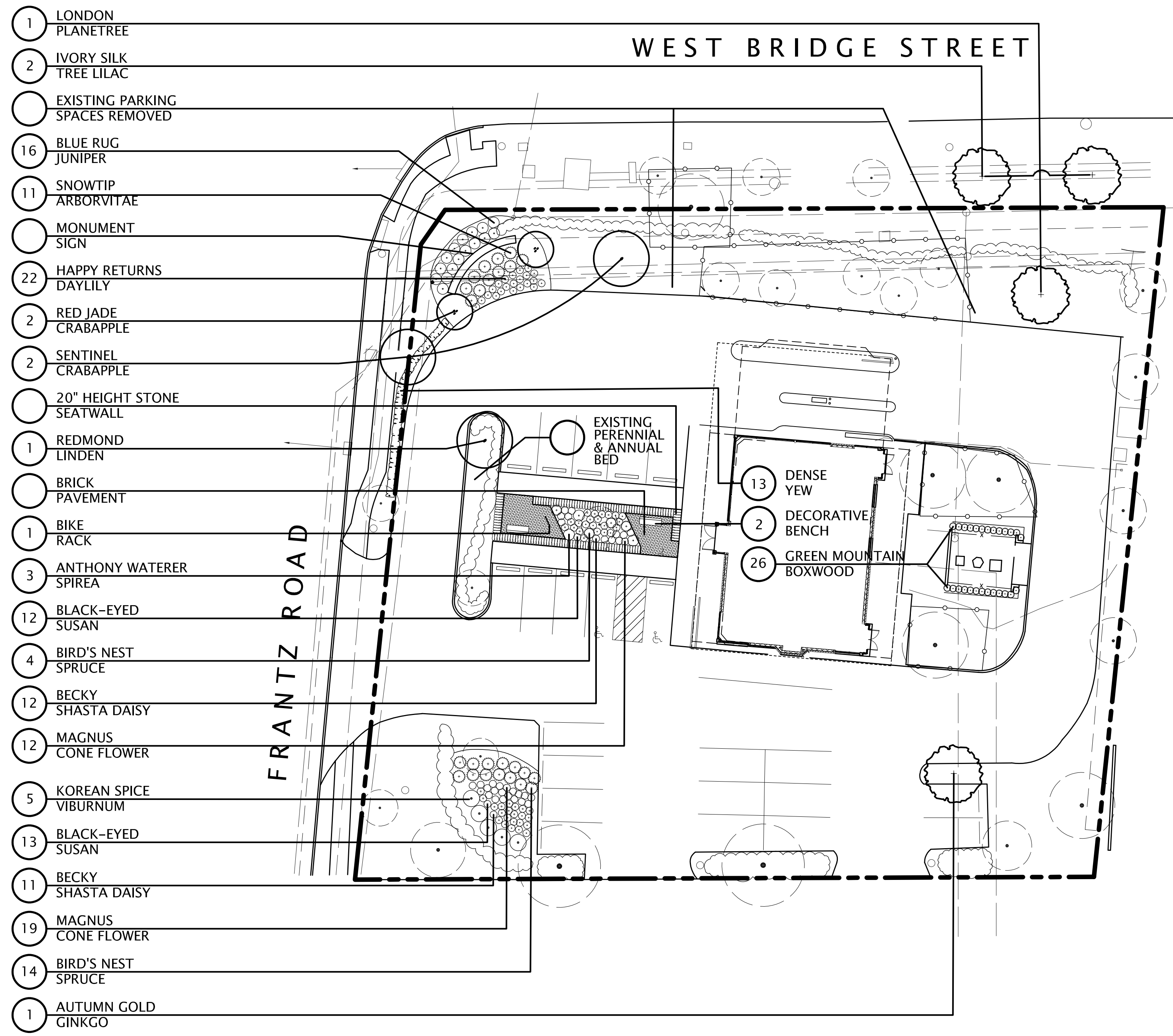
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**TREE DEMOLITION AND PRESERVATION PLAN**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: GJK   CHECKED BY: GJK
	2022
<b>L1.01</b>	
FINAL DEVELOPMENT PLAN	



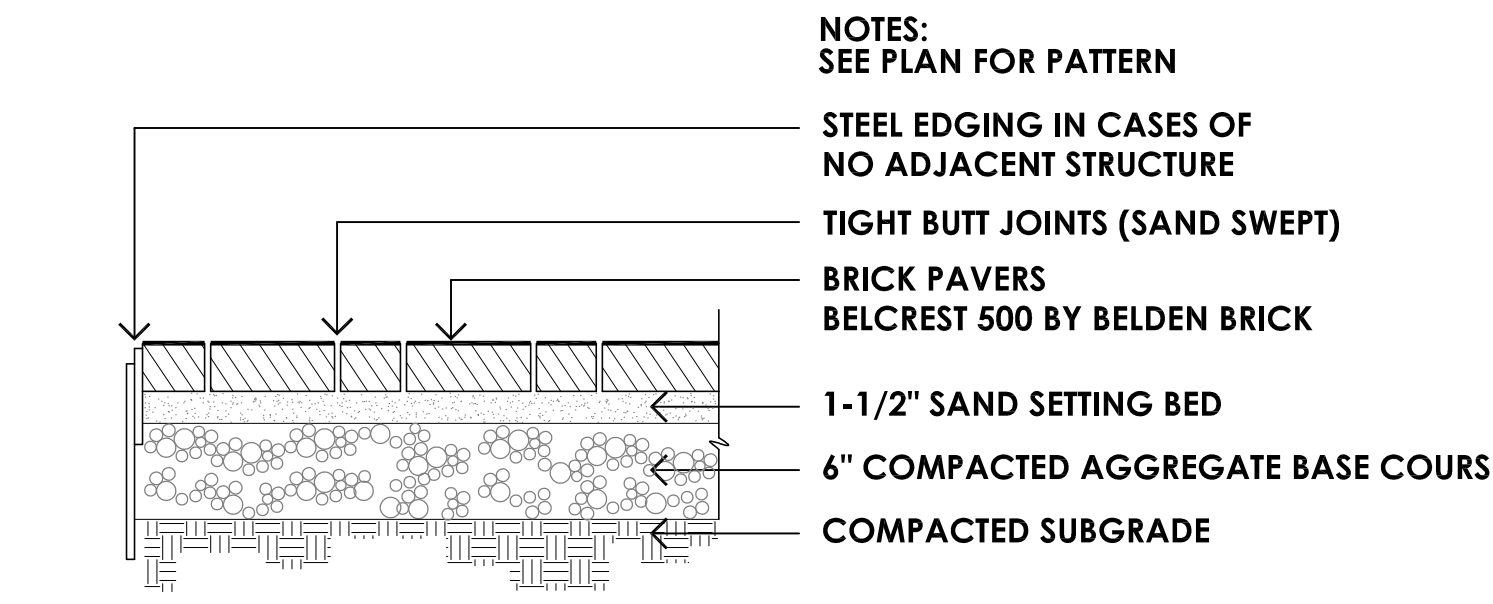
**GrKLA**  
 LANDSCAPE ARCHITECTURE  
 231 BUTTLES AVENUE  
 COLUMBUS, OHIO 43215  
 614.464.3463  
 GREGORY.KROBOT@GKLA.COM



- 1 LONDON PLANETREE
- 2 IVORY SILK TREE LILAC
- EXISTING PARKING SPACES REMOVED
- 16 BLUE RUG JUNIPER
- 11 SNOWTIP ARBORVITAE
- MONUMENT SIGN
- 22 HAPPY RETURNS DAYLILY
- 2 RED JADE CRABAPPLE
- 2 SENTINEL CRABAPPLE
- 20" HEIGHT STONE SEATWALL
- 1 REDMOND LINDEN
- BRICK PAVEMENT
- 1 BIKE RACK
- 3 ANTHONY WATERER SPIREA
- 12 BLACK-EYED SUSAN
- 4 BIRD'S NEST SPRUCE
- 12 BECKY SHASTA DAISY
- 12 MAGNUS CONE FLOWER
- 5 KOREAN SPICE VIBURNUM
- 13 BLACK-EYED SUSAN
- 11 BECKY SHASTA DAISY
- 19 MAGNUS CONE FLOWER
- 14 BIRD'S NEST SPRUCE
- 1 AUTUMN GOLD GINKGO

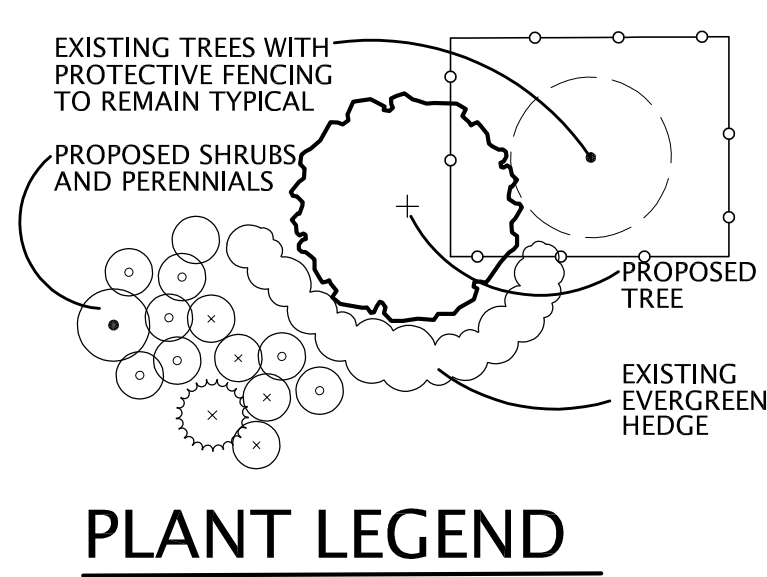
**PLANT MATERIALS LIST**

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES				
5	SKYLINE HONEYLOCUST	Geditsia t. i. 'Skyline'	2 1/2" Cal.	B&B
3	SOMERSET MAPLE	Acer rubrum 'Somerset'	2 1/2" Cal.	B&B
1	REDMOND LINDEN	Tilia americana 'Redmond'	2 1/2" Cal.	B&B
1	LONDON PLANETREE	Platanus x acerifolia	2 1/2" Cal.	B&B
2	IVORY SILK TREE LILAC	Syringa reticulata 'Ivory Silk'	2" Cal.	B&B
2	RED JADE CRABAPPLE	Malus 'Red Jade'	1 3/4" Cal.	B&B
2	SENTINEL CRABAPPLE	Malus 'Sentinel'	1 3/4" Cal.	B&B
1	AUTUMN GOLD GINKGO	Ginkgo 'Autumn Gold'	2 1/2" Cal.	B&B
SHRUBS				
11	SNOWTIP ARBORVITAE	Thuja occidentalis 'Snowtip'	5' Hgt.	B&B
13	DENSE YEW	Taxus x media 'Densiformis'	24" Hgt.	B&B
16	BLUE RUG JUNIPER	Juniperus horizontalis 'Blue Rug'	18" Spr.	Cont.
18	BIRD'S NEST SPRUCE	Picea abies 'Nidiformis'	15" Spr.	Cont.
5	KOREAN SPICE VIBURNUM	Viburnum carlesii	24" Hgt.	Cont.
3	ANTHONY WATERER SPIREA	Spiraea 'Anthony Waterer'	24" Spr.	Cont.
23	BECKY SHASTA DAISY	Leucanthemum x superbum 'Becky'	Clump	#2 Cont.
25	BLACK-EYED SUSAN	Rudbeckia fulgida 'Goldsturm'	Clump	#2 Cont.
31	MAGNUS CONE FLOWER	Echinacea 'Magnus'	Clump	#2 Cont.
22	HAPPY RETURNS DAYLILY	Hemerocallis 'Happy Returns'	Clump	#2 Cont.
26	GREEN MOUNTAIN BOXWOOD	Buxus x 'Green Mountain'	24" Hgt.	

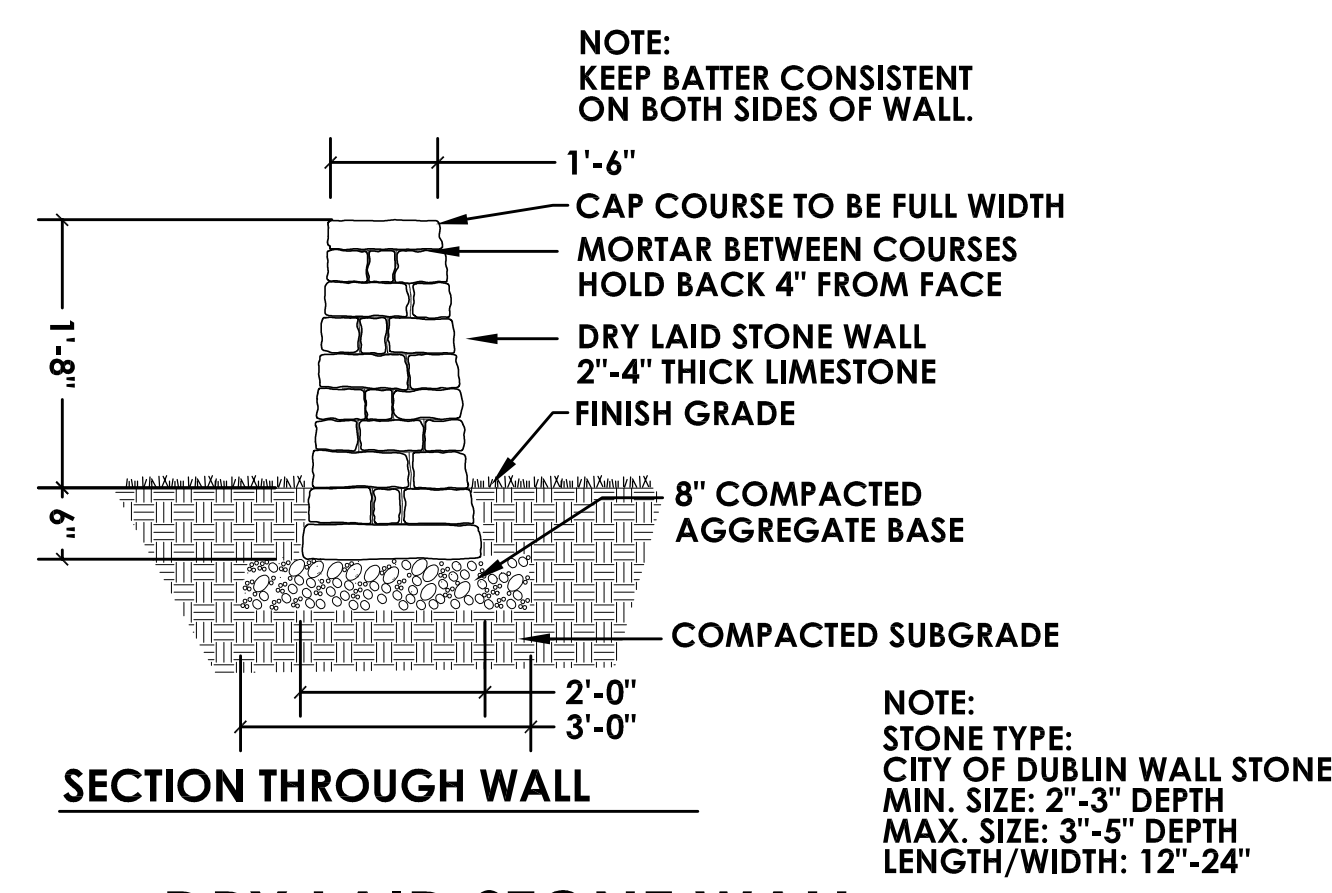


**5 DRY LAID BRICK PAVEMENT**  
NTS

**1 SITE LANDSCAPE PLAN**  
0' 10' 20' 40' NORTH



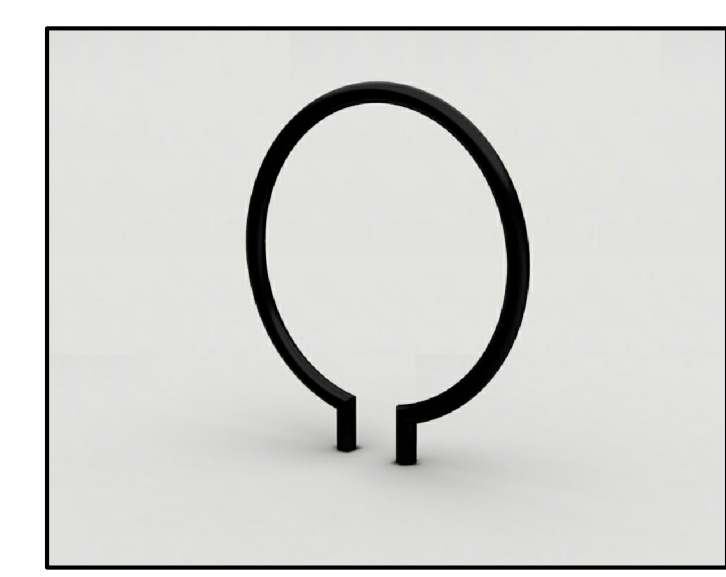
**PLANT LEGEND**



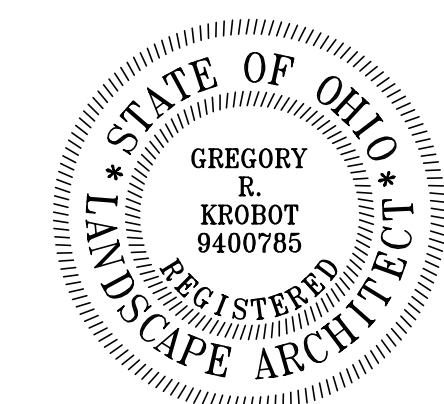
**2 DRY LAID STONE WALL**  
NTS



**3 6' SCARBOROUGH BENCH**  
BY LANDSCAPE FORMS



**4 RING BIKE RACK**  
BY LANDSCAPE FORMS



#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5505 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**SITE LANDSCAPE PLAN**

11/30/2020  
DRAWN BY: GJK | CHECKED BY: GJK  
20022

PROGRESS DRAWING NOT FOR CONSTRUCTION

**L1.02**

FINAL DEVELOPMENT PLAN

GENERAL STRUCTURAL NOTES

- 1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE CONSTRUCTION IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
2. MECHANICAL EQUIPMENT LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR RECORD PURPOSES ONLY. CONTRACTOR IS TO BE RESPONSIBLE FOR MECHANICAL AND OTHER TRADES BEFORE PROCEEDING WITH EACH PORTION OF THE WORK. EXCESS COST DUE TO VARIATION IN MECHANICAL REQUIREMENTS IS TO BE BORNE BY MECHANICAL CONTRACTOR.
3. DO NOT SCALE THE DRAWINGS WHERE DIMENSIONS ARE NOT SPECIFICALLY GIVEN. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT SHOWN. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE TAKEN TO ALIGNMENT, UNLESS OTHERWISE SPECIFIED ON THE ARCHITECTURAL DRAWINGS.
4. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY WHERE CONFLICTS EXIST WITH THE DRAWINGS OR BETWEEN THE DRAWINGS AND FIELD CONDITIONS.
5. THROUGHOUT THESE PLANS, THE TERM 'PROVIDE' IS DEFINED AS 'SUPPLY AND INSTALL'.

Table with 2 columns: Item, Description, and Value. Includes sections for ROOF LIVE LOADS, WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

CONNECTIONS

- 1. FIELD CONNECTIONS ARE TO BE BOLTED, EXCEPT AS INDICATED OTHERWISE. SHOP CONNECTIONS MAY BE WELDED OR BOLTED.
2. CONNECTIONS ARE TO BE DESIGNED BY THE FABRICATOR TO DEVELOP FULL USE OF THE FULL LUMEN LOAD CAPACITY OF THE MEMBER.
3. CONNECTIONS ARE TO BE DESIGNED BY THE FABRICATOR TO DEVELOP FULL USE OF THE FULL LUMEN LOAD CAPACITY OF THE MEMBER.
4. PROVIDE A FIELD-APPLIED COAT OF APPROXIMATE PAINT FOR ALL BELOW-GRADE STEEL, INCLUDING ANCHOR RODS, NUTS, AND WELDS.
5. PROVIDE 1/4" THICK SETTING PLATES FOR ALL BEAMS AND BEAM LATERALS BEARING ON MASONRY OR CONCRETE WHICH IS NOT CURED.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

Table with 2 columns: Item, Description, and Value. Includes sections for WIND LOADS, SEISMIC LOADS, SPECIAL LOADS, and FOUNDATION TYPE.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, ADDITIONAL, ALUM, ALUMINUM, ARCH, ARCHITECTURAL, etc.

STATEMENT OF SPECIAL INSPECTIONS FOR STRUCTURAL DISCIPLINE

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR SOLS, REINFORCED SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION, and LEVEL 1 QUALITY ASSURANCE REQUIRED SPECIAL INSPECTIONS AND TESTS OF MASONRY CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

Table with 2 columns: Item, Description, and Value. Includes sections for REINFORCED SPECIAL INSPECTIONS AND TESTS FOR STEEL DECK, REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION, and REINFORCED SPECIAL INSPECTIONS AND TESTS OF STRUCTURAL STEEL CONSTRUCTION.

LAP SPLICE SCHEDULE FOR CONCRETE REINFORCING

Table with 2 columns: Bar Size and Splice Length. Includes sections for 3,000 psi and 3,500 psi concrete.

LAP SPLICE SCHEDULE FOR CONCRETE REINFORCING

Table with 2 columns: Bar Size and Splice Length. Includes sections for 4,000 psi and 4,500 psi concrete.

LAP SPLICE SCHEDULE FOR CONCRETE REINFORCING

Table with 2 columns: Bar Size and Splice Length. Includes sections for 5,000 psi and 5,500 psi concrete.

- 1. TOP BARS OTHER BARS TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW THE BAR.
2. BAR SPACING TO BE A MINIMUM OF THREE DIAMETERS UNLESS NOTED OTHERWISE.
3. APPLICABLE ONLY FOR 60 KSI STEEL AND NORMAL WEIGHT CONCRETE.
4. IN lieu of LAP SPLICING, BARS MAY BE SPLICED BY MECHANICAL MEANS WHICH DEVELOP AT LEAST 125% OF THE BAR'S SPECIFIED YIELD STRENGTH.

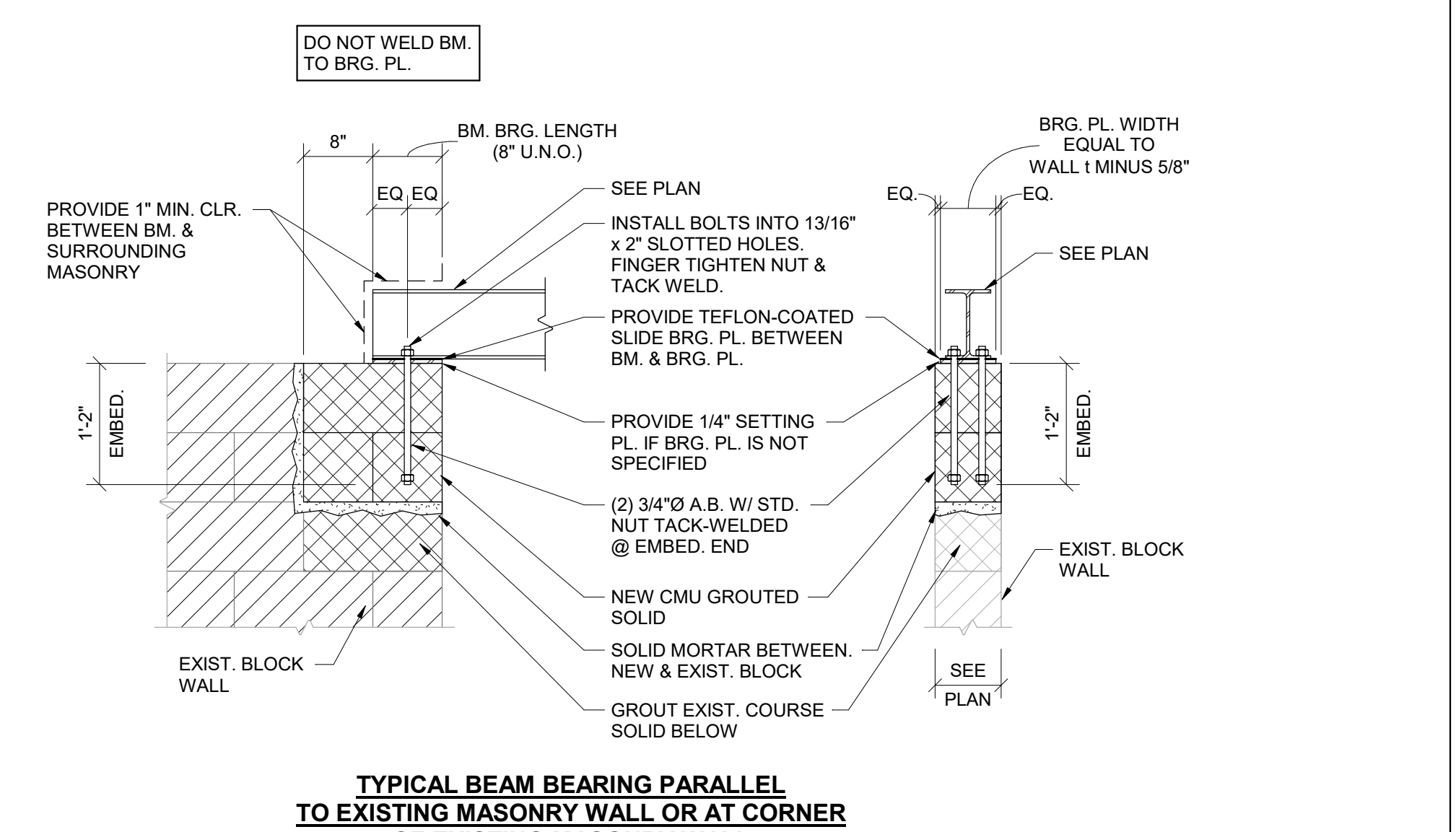
REINFORCING COVER/TOLERANCE (#3 - #11 BARS)

Table with 3 columns: Exposure Condition, Min. Cover (in. O.D.), and Placement Tolerance. Includes sections for Cast Against and Permanently Exposed to Earth, and Neither Exposed to Weather.

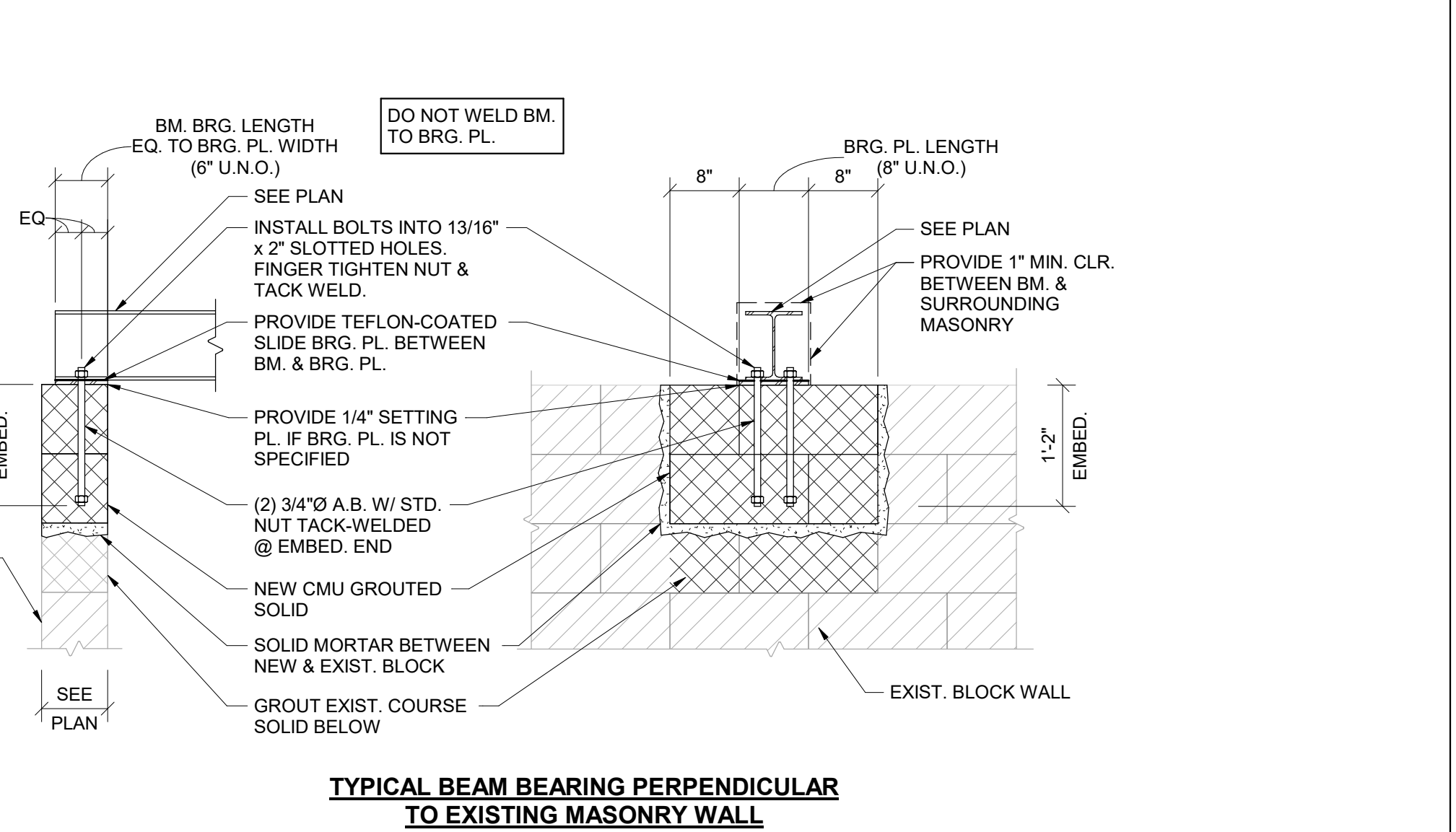
LAP SPLICE SCHEDULE FOR MASONRY REINFORCING

Table with 2 columns: Bar Size and Splice Length. Includes sections for 1,500 psi and 2,000 psi masonry.

- 1. \* \* \* INDICATES LAP LENGTH GREATER THAN MAXIMUM ALLOWABLE HEIGHT OF 5'-0" FOR LOW-LIFT GROUTING.
2. APPLICABLE ONLY FOR BARS CENTERED IN MASONRY CELL.
3. APPLICABLE ONLY FOR 60 KSI STEEL AND ASTM C90 BLOCK.



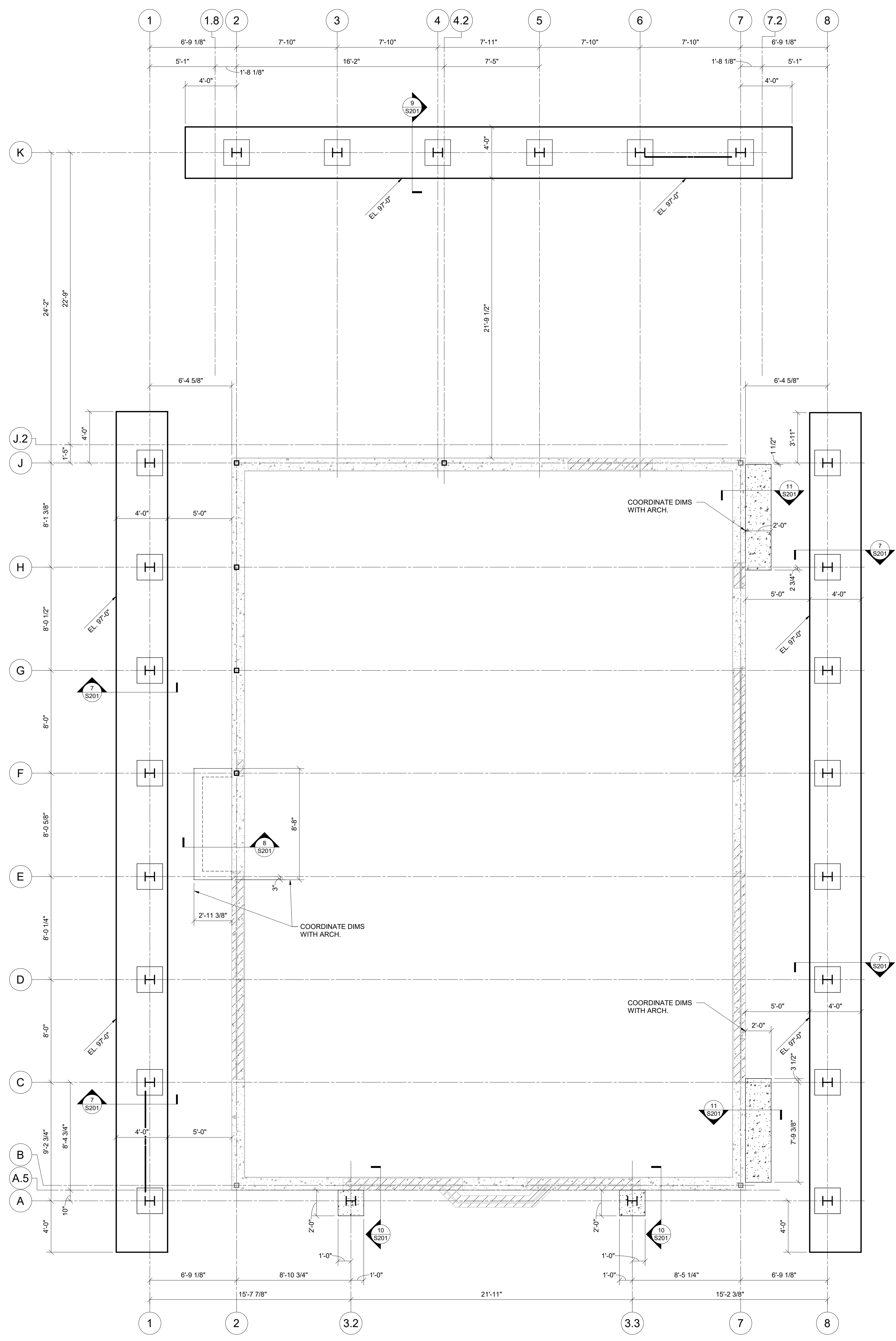
TYPICAL BEAM BEARING PARALLEL TO EXISTING MASONRY WALL OR AT CORNER OF EXISTING MASONRY WALL



TYPICAL BEAM BEARING PERPENDICULAR TO EXISTING MASONRY WALL

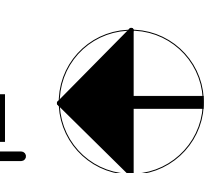
Project information for the renovation of Heartland Bank Dublin. Includes the company name 'MOODY-NOLAN', project title 'GENERAL STRUCTURE INFORMATION', date '11/30/2020', and contact information for 300 Spruce Street, Suite 300, Columbus, Ohio 43215. Also includes a drawing title block with 'GENERAL STRUCTURE INFORMATION' and 'S001'.





### FOUNDATION/FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"



- FOUNDATION NOTES**
- DESIGN SOIL BEARING PRESSURE = 3,000 PSF. SEE S001 FOR REFERENCE SOILS REPORT INFORMATION. REFERENCE THIS REPORT FOR ANY REQUIRED SITE BUILDING PREPARATION PRIOR TO FOUNDATION AND/OR SLAB ON GROUND CONSTRUCTION. FOOTING LOCATIONS MAY BE REQUIRED TO EXTEND THROUGH EXISTING FILL, RESINS IN ORDER TO BEAR ON SUITABLE MATERIAL. OVER-ELEVATIONS ARE TO BE FILLED WITH LEAN CONCRETE UP TO THE PLANNED BOTTOM OF FOOTING ELEVATION. PLACE NO CONCRETE PRIOR TO INSPECTION AND APPROVAL OF BEARING SURFACES BY SOILS ENGINEER.
  - KEEP FOUNDATIONS FREE OF WATER AT ALL TIMES. REPLACE WEAKENED SOIL WITH LEAN CONCRETE OR FLOWABLE FILL.
  - BOTTOM OF FOOTINGS ARE TO BE AT LEAST 36 INCHES BELOW THE ADJACENT EXTERIOR FINISHED GRADE FOR Frost Protection.
  - ELEVATIONS SHOWN ON FOOTINGS INDICATE ELEVATION AT TOP OF FOOTING. REFERENCE ELEVATION TOP OF CONCRETE SLAB ELEVATION AS NOTED ON PLANS. COORDINATE ABSOLUTE ELEVATION OF TOP OF SLAB WITH SITE DRAWINGS.
  - PROVIDE CORNER BARS AT ALL FOOTING AND CONCRETE WALL INTERSECTIONS PER DETAIL S1021
  - SEE SECTION 41021 FOR TYPICAL INDOOR AND OUTDOOR MECHANICAL EQUIPMENT PADS.
  - EXISTING BUILDING STRUCTURE SHOWN IS BASED ON LIMITED FIELD INVESTIGATION. EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. ARE TO BE VERIFIED PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MATERIAL BY CONTRACTOR PERFORMING WORK IN EXISTING AREAS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY. DO NOT REMOVE EXISTING LOAD-BEARING WALLS, COLUMNS, OR ANY SUB-STRUCTURE WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. WHERE NEW STRUCTURE IS TO BE INSTALLED, PROVIDE SHORING AND BRACING AS REQUIRED TO PROPERLY SUPPORT THE REMAINING STRUCTURE UNTIL THE NEW STRUCTURE IS IN PLACE AND PROPERLY BRACED.
  - SEE SHEET S001 FOR GENERAL STRUCTURAL INFORMATION.

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5303 FRANTZ ROAD,  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN** 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

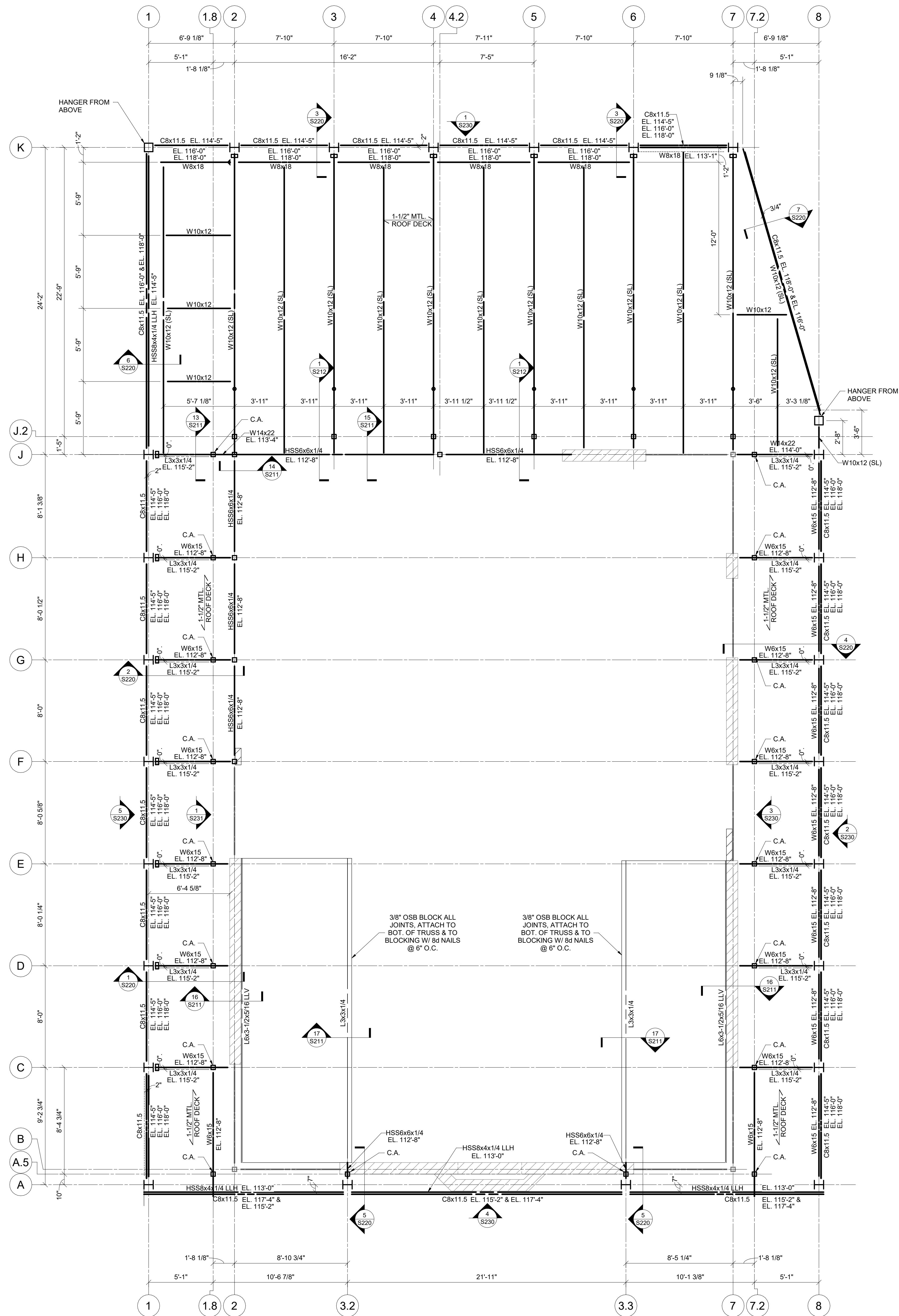
DRAWING TITLE:

## 1ST FLOOR FRAMING PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	2022

# S101

FINAL DEVELOPMENT PLAN

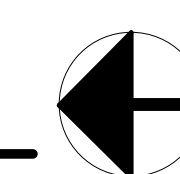


### ROOF FRAMING PLAN

1/4" = 1'-0"

#### ROOF FRAMING NOTES

- DESIGN LIVE LOADS:
  - FLAT ROOF LIVE: 20 PSF
  - SLOPED ROOF LIVE: 16 PSF
  - FLAT ROOF SNOW: 20 PSF - DRIFT
  - SLOPED ROOF SNOW: 15 PSF
  - WIND (ASD NET UPLIFT): 15 PSF
  - COLLATERAL: 5 PSF
- ROOF CONSTRUCTION:
  - 1/2" x 16 GA WIDE RIB METAL DECK. SEE SECTION 3/510 FOR TYPICAL ATTACHMENT TO SUPPORTING STRUCTURE.
- TOP OF STEEL AS NOTED. REFERENCE ELEVATION 100'-0" TOP OF FIRST FLOOR SLAB ON GRADE.
- INDICATES MOMENT CONNECTION PER SECTIONS 6 & W5210.
- SEE S210 FOR TYPICAL STEEL FRAMING DETAILS.
- SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS NOT INDICATED HEREIN.
- EXISTING BUILDING STRUCTURE SHOWN IS BASED ON ORIGINAL BUILDING DRAWINGS AND/OR LIMITED FIELD INVESTIGATION. EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. ARE TO BE VERIFIED PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MATERIAL BY CONTRACTOR PERFORMING WORK IN EXISTING AREAS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY. DO NOT REMOVE EXISTING LOAD BEARING WALLS, COLUMNS OR ANY SUCH STRUCTURE WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT. WHERE NEW STRUCTURE IS TO BE INSTALLED, PROVIDE SHORING AND BRACING AS REQUIRED TO PROPERLY SUPPORT THE REMAINING STRUCTURE UNTIL THE NEW STRUCTURE IS IN PLACE AND PROPERLY BRACED.
- SEE SHEET S001 FOR GENERAL STRUCTURAL INFORMATION.



#	DATE	CHANGE DESCRIPTION

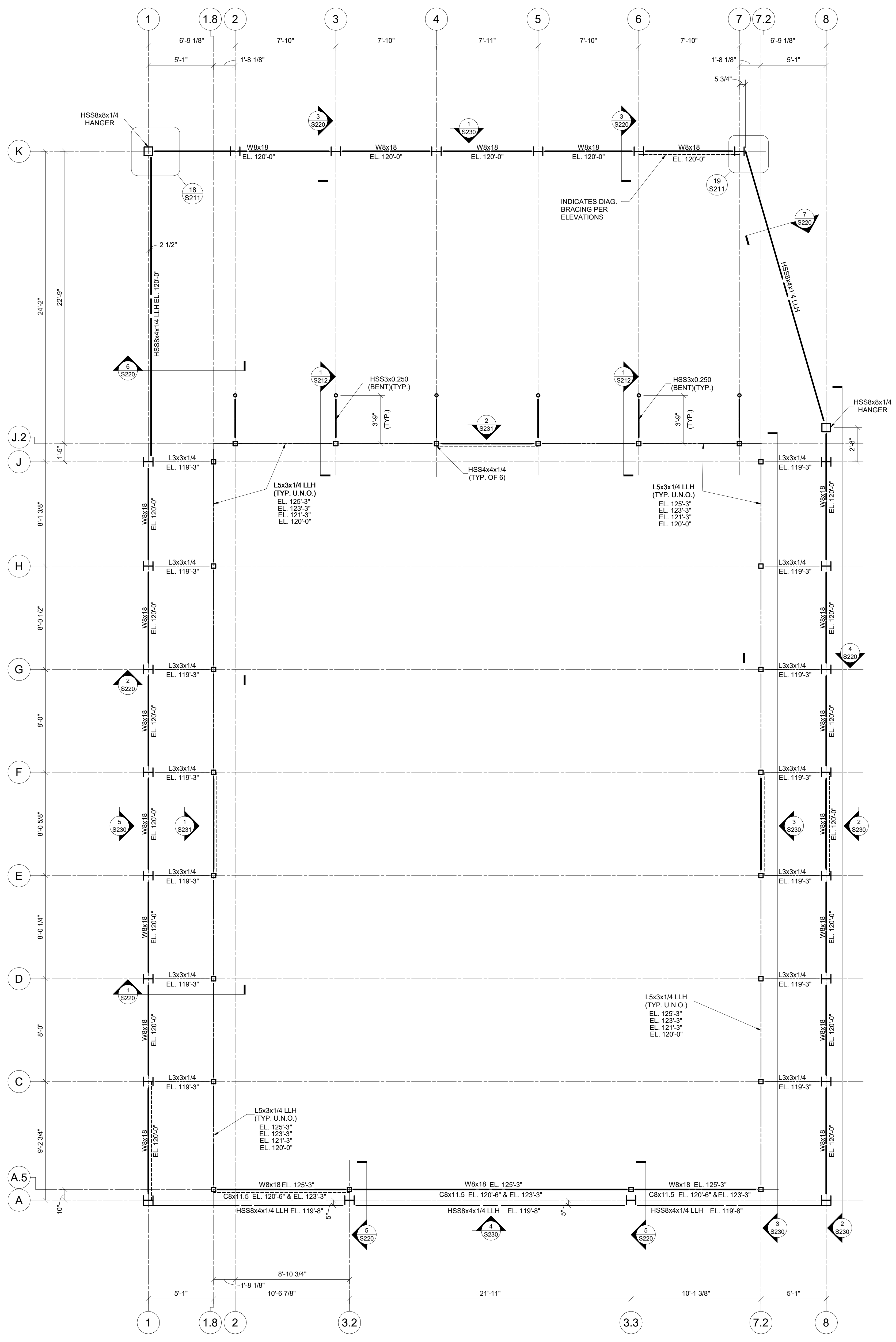
**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5303 FRANTZ ROAD,  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:

### ROOF FRAMING PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>S102</b>
	FINAL DEVELOPMENT PLAN



**SCREENWALL FRAMING PLAN**  
1/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 FRANTZ ROAD,  
DUBLIN OH - 43017  
FOR  
**HEARTLAND BANK**

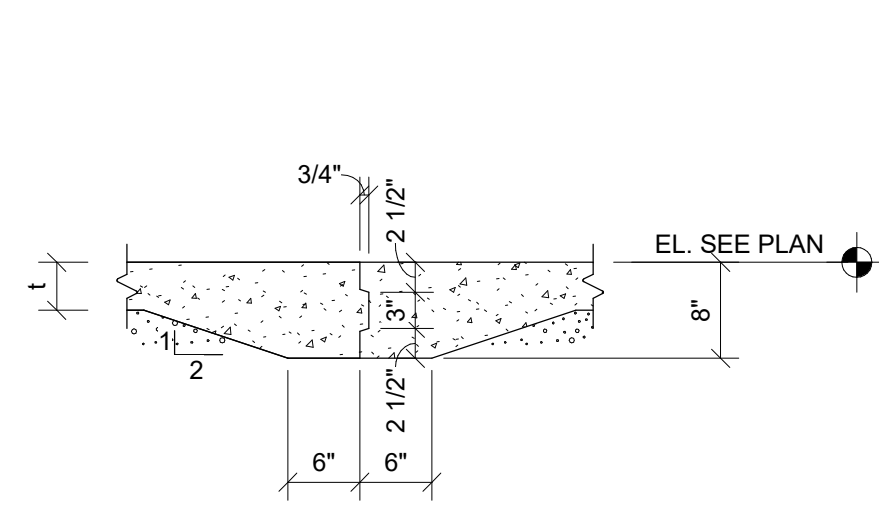
**MOODY-NOLAN** 300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**SCREENWALL FRAMING PLAN**

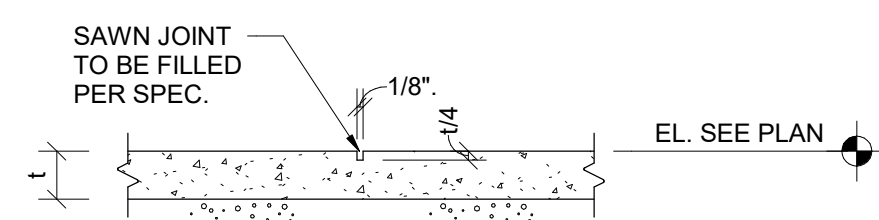
PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022

**S103**

FINAL DEVELOPMENT PLAN

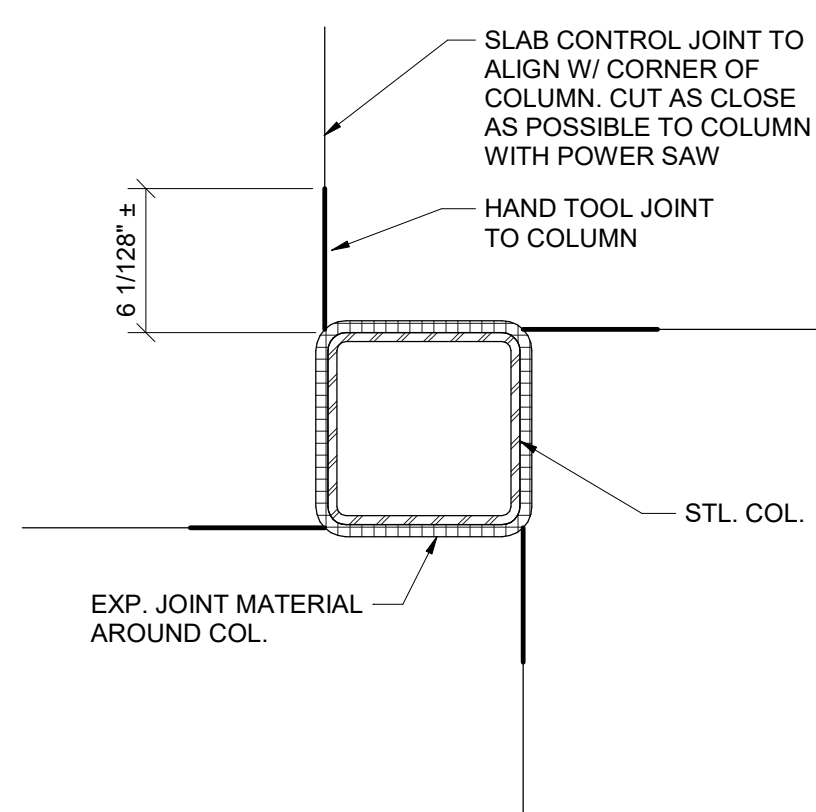


TYPICAL FLOOR CONSTRUCTION JOINT



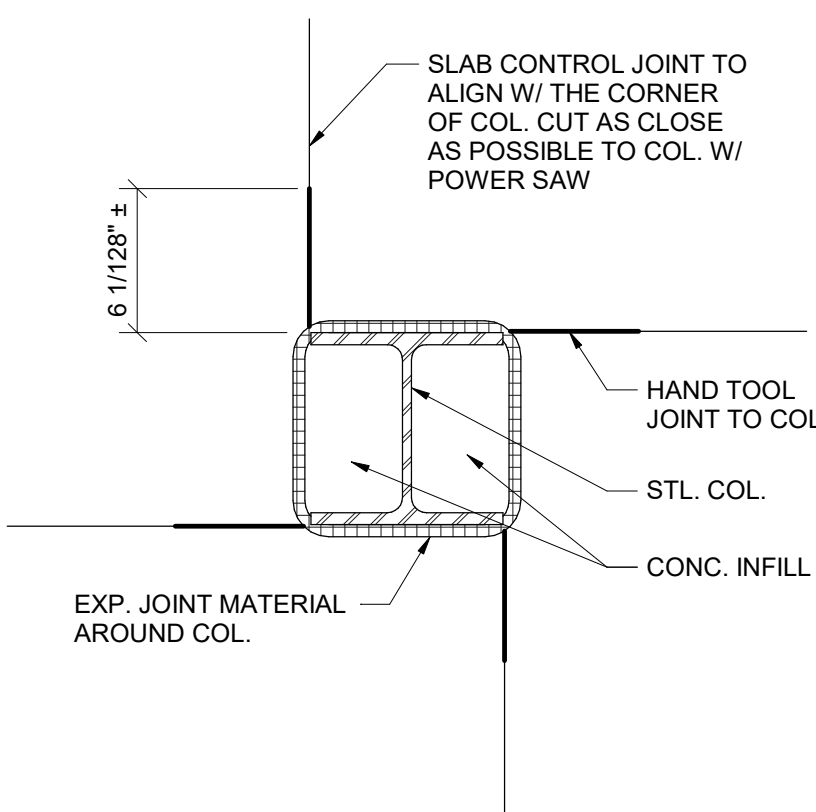
TYPICAL FLOOR CONTROL JOINT

SECTION 3/4\"/>



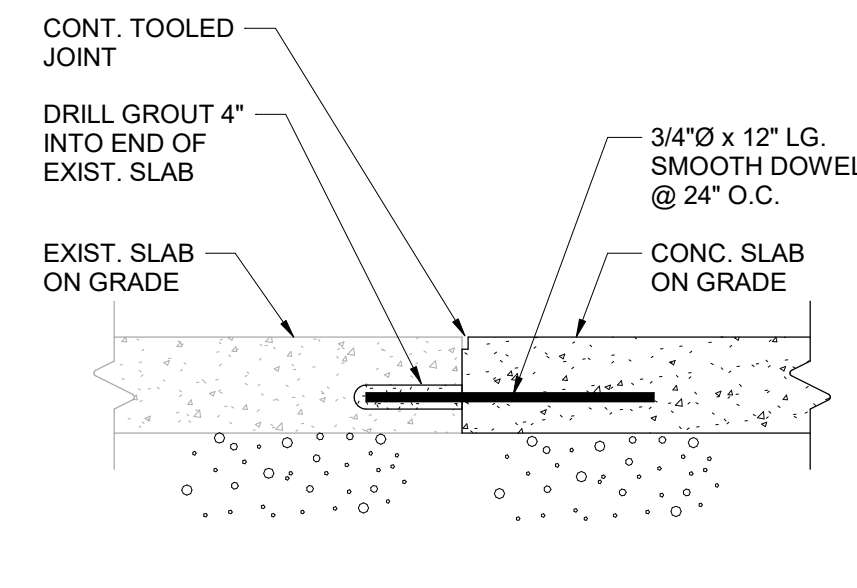
CONTROL JOINTS AT SQUARE COLUMN

SECTION 1 1/2\"/>



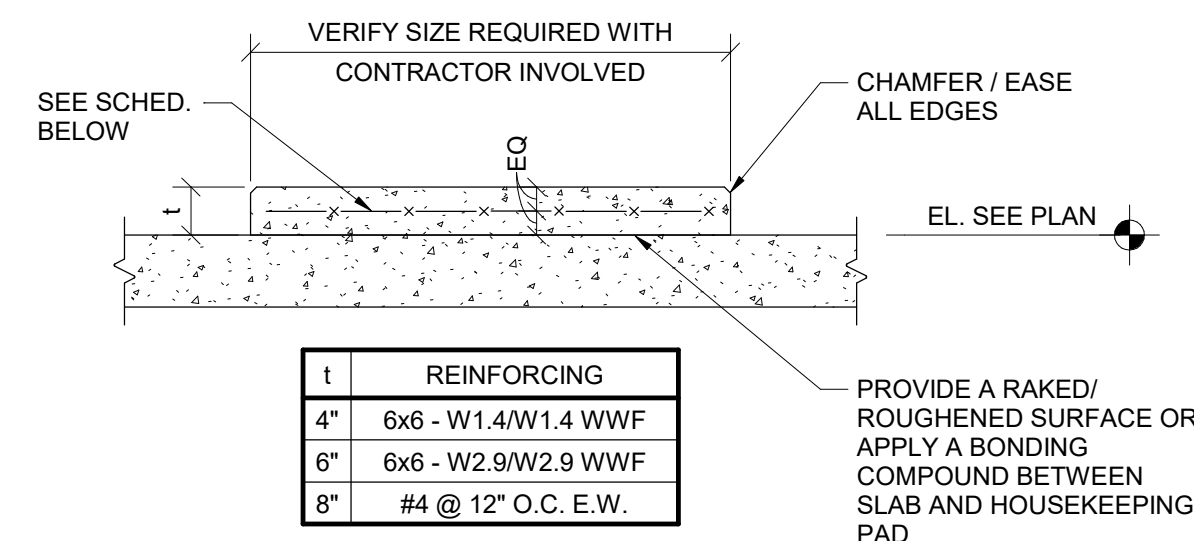
CONTROL JOINTS AT W COLUMN

SECTION 1 1/2\"/>



TYPICAL NEW-TO-EXISTING SLAB TRANSITION

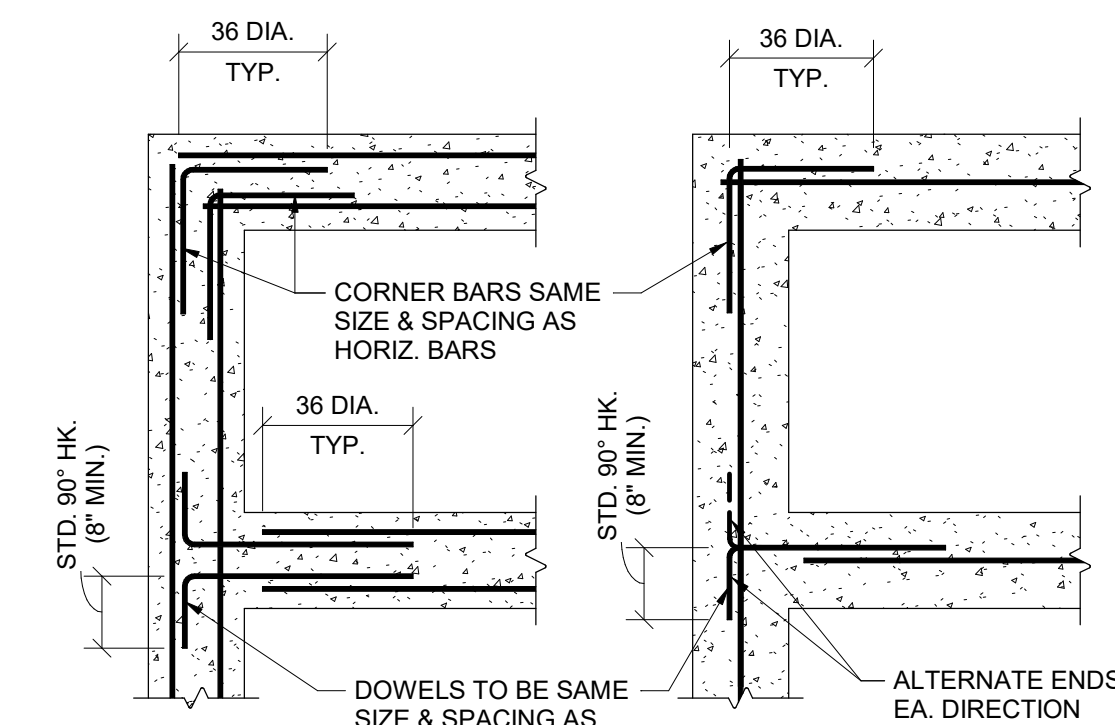
SECTION 1 1/2\"/>



TYPICAL HOUSEKEEPING PADS FOR SLABS ON GRADE & STRUCTURAL DECK

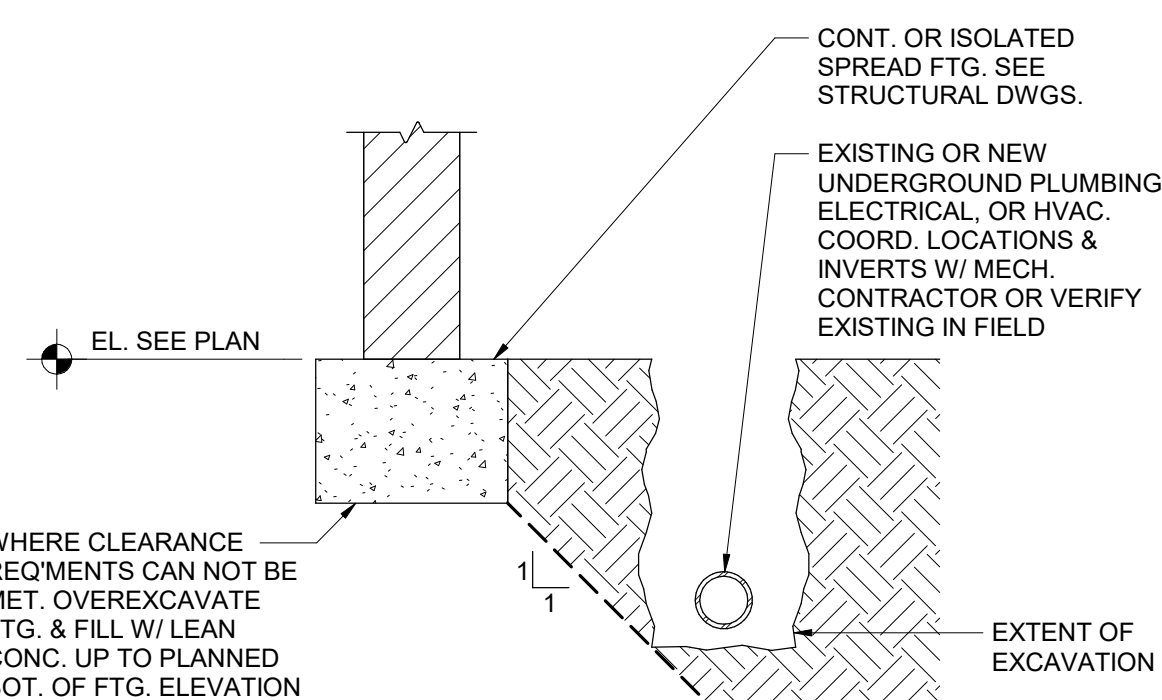
SECTION 3/4\"/>

1	REINFORCING
4"	#6 - W1.4W1.4 WWF
6"	#6 - W2.9W2.9 WWF
8"	#4 @ 12" O.C. E.W.



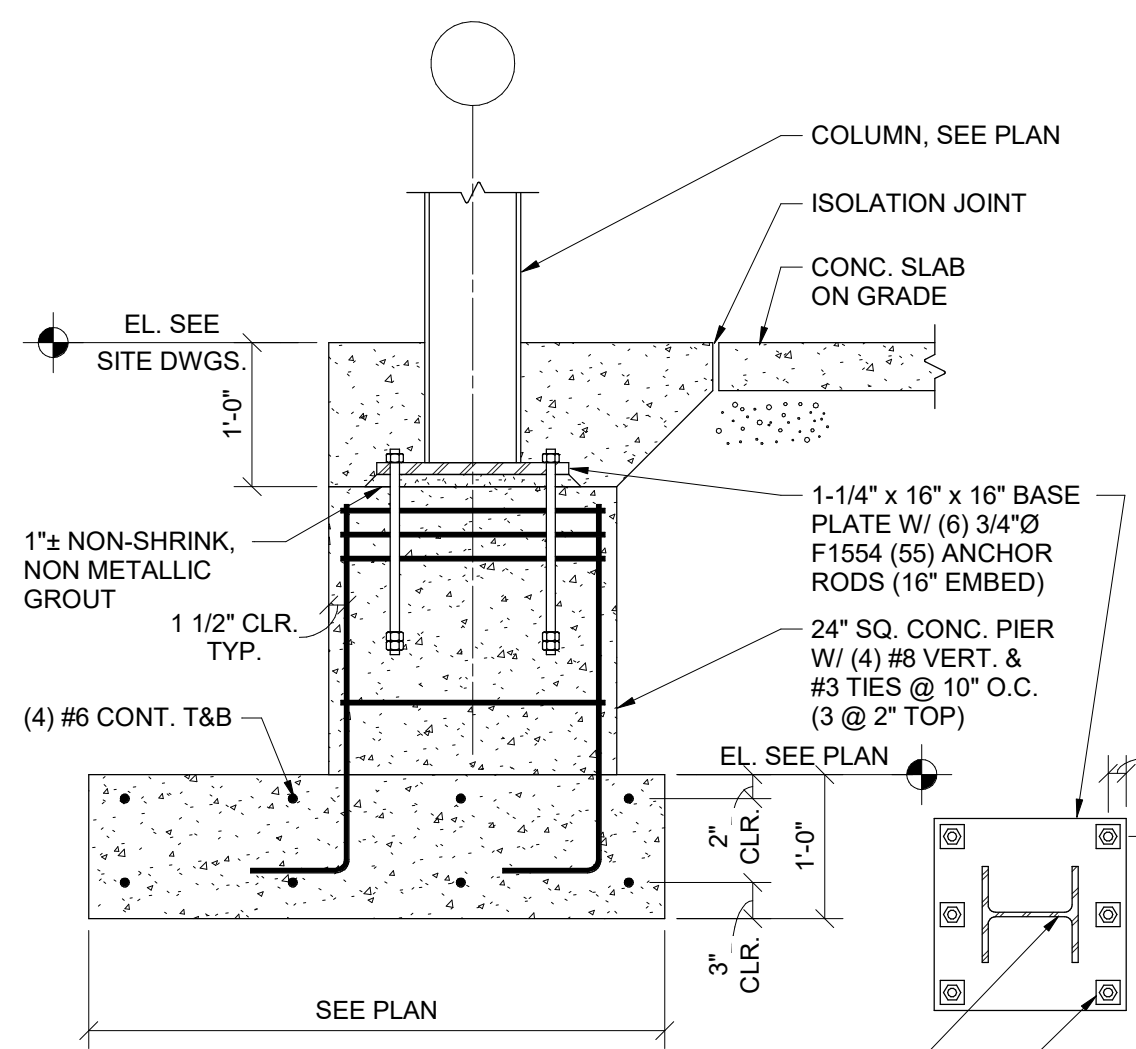
TYPICAL CORNER BARS FOR CONCRETE WALL AND FOOTING CONSTRUCTION

SECTION 3/4\"/>

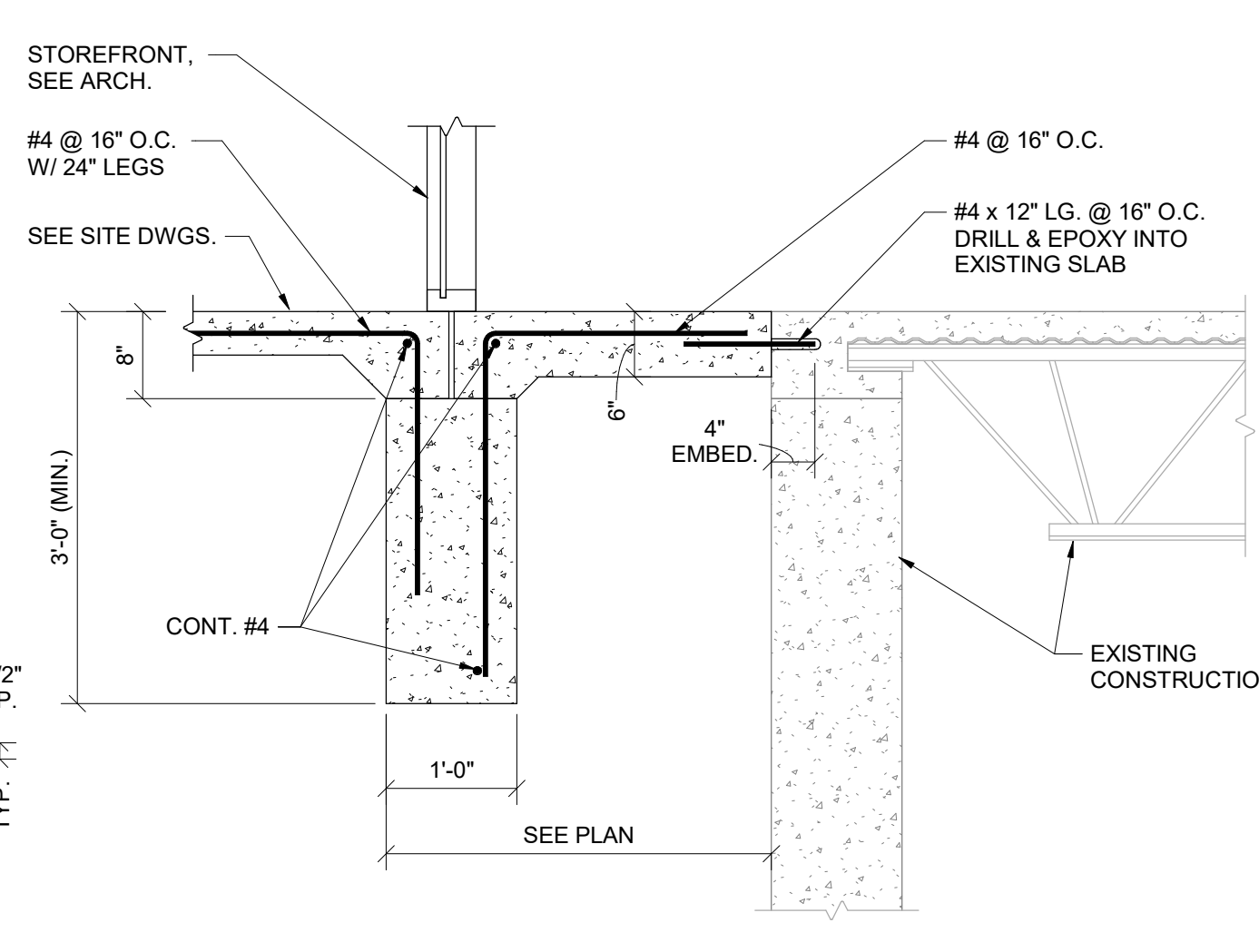


TYPICAL EXCAVATION CLEARANCE REQUIREMENTS

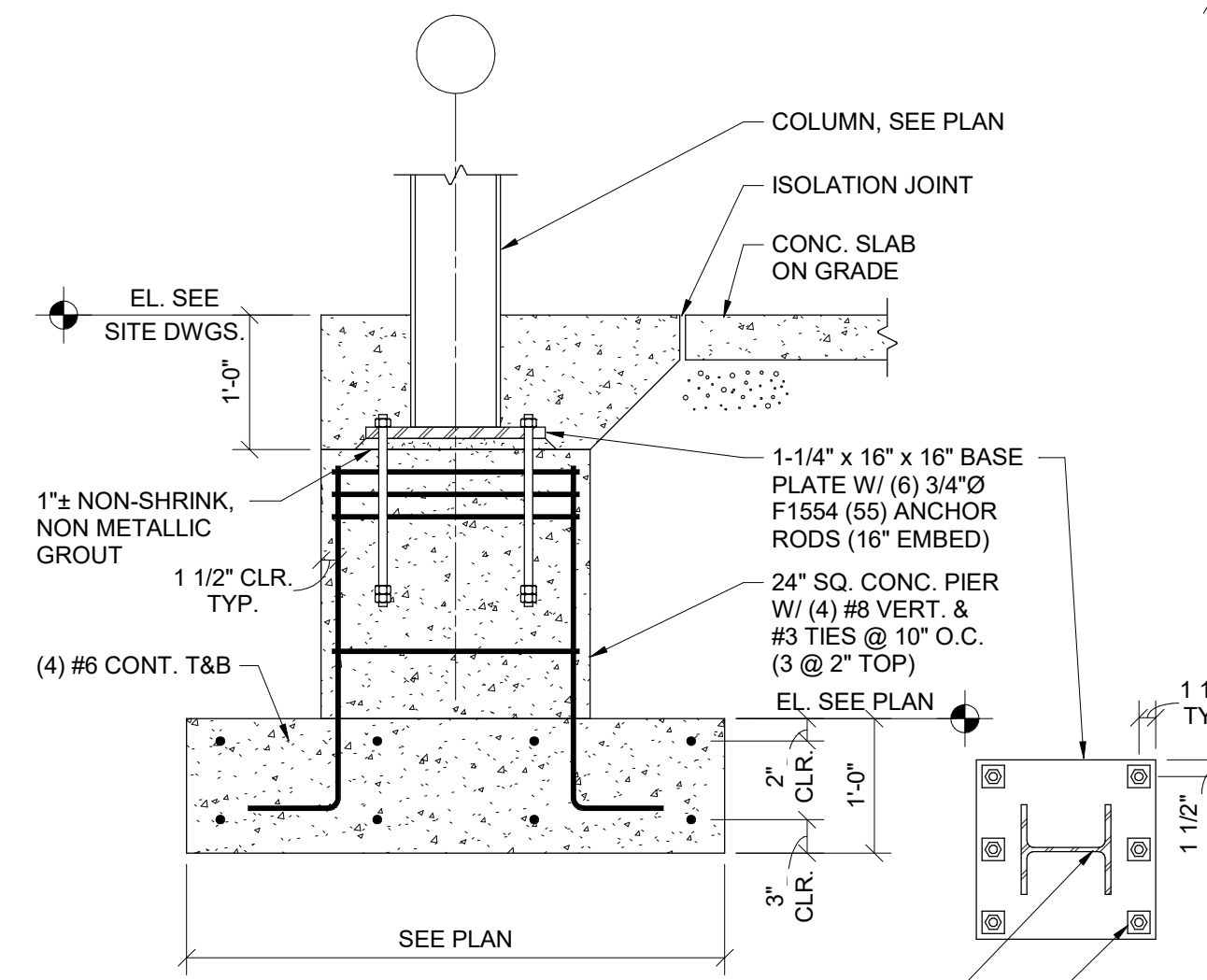
SECTION 3/4\"/>



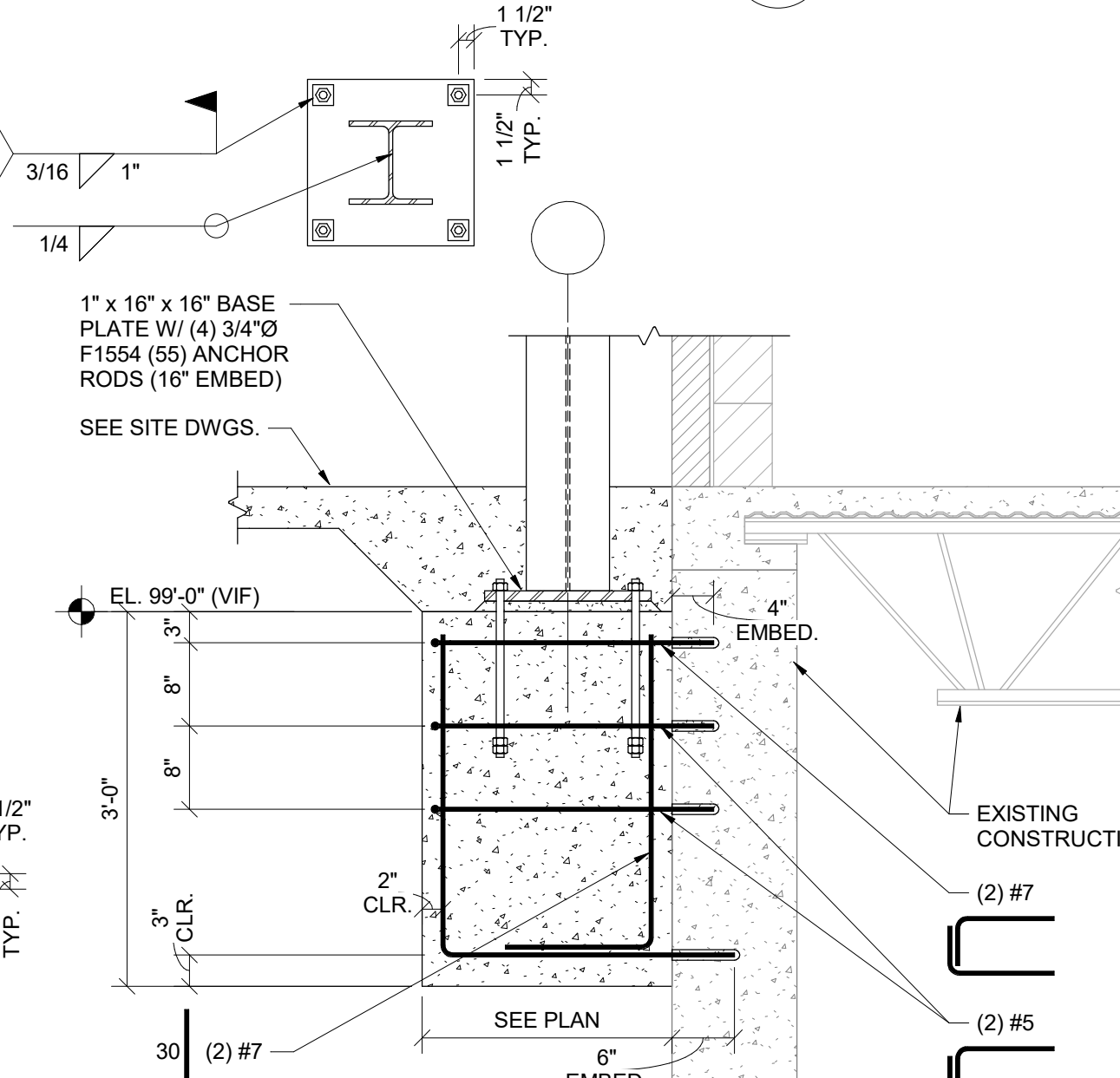
SECTION 3/4\"/>



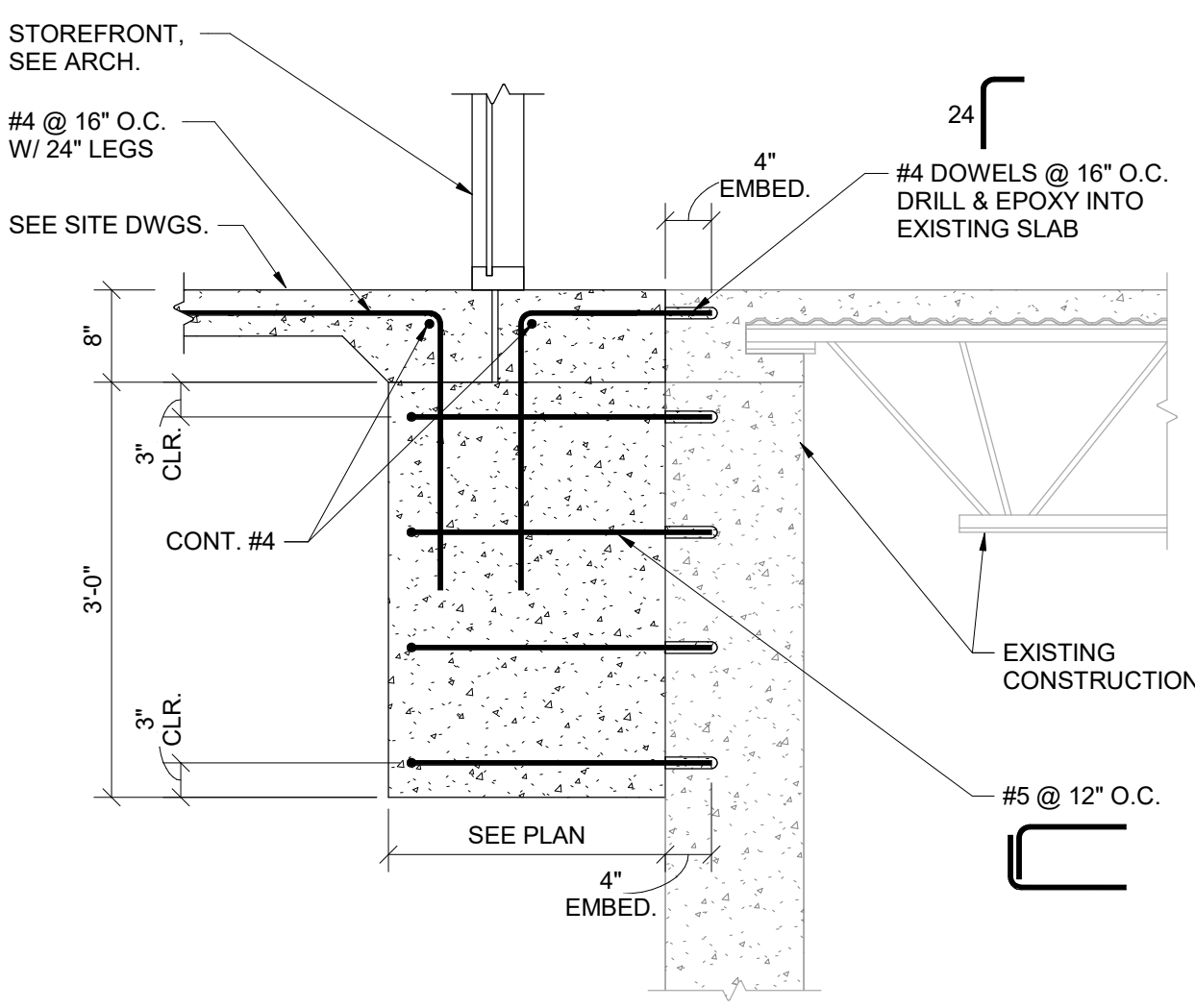
SECTION 3/4\"/>



SECTION 3/4\"/>



SECTION 3/4\"/>



SECTION 3/4\"/>

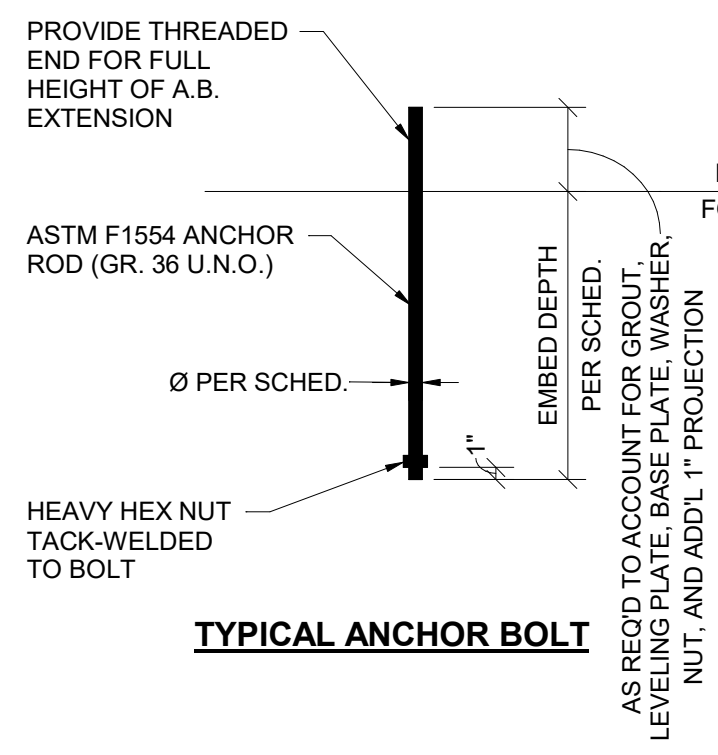
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5303 FRANTZ ROAD,  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

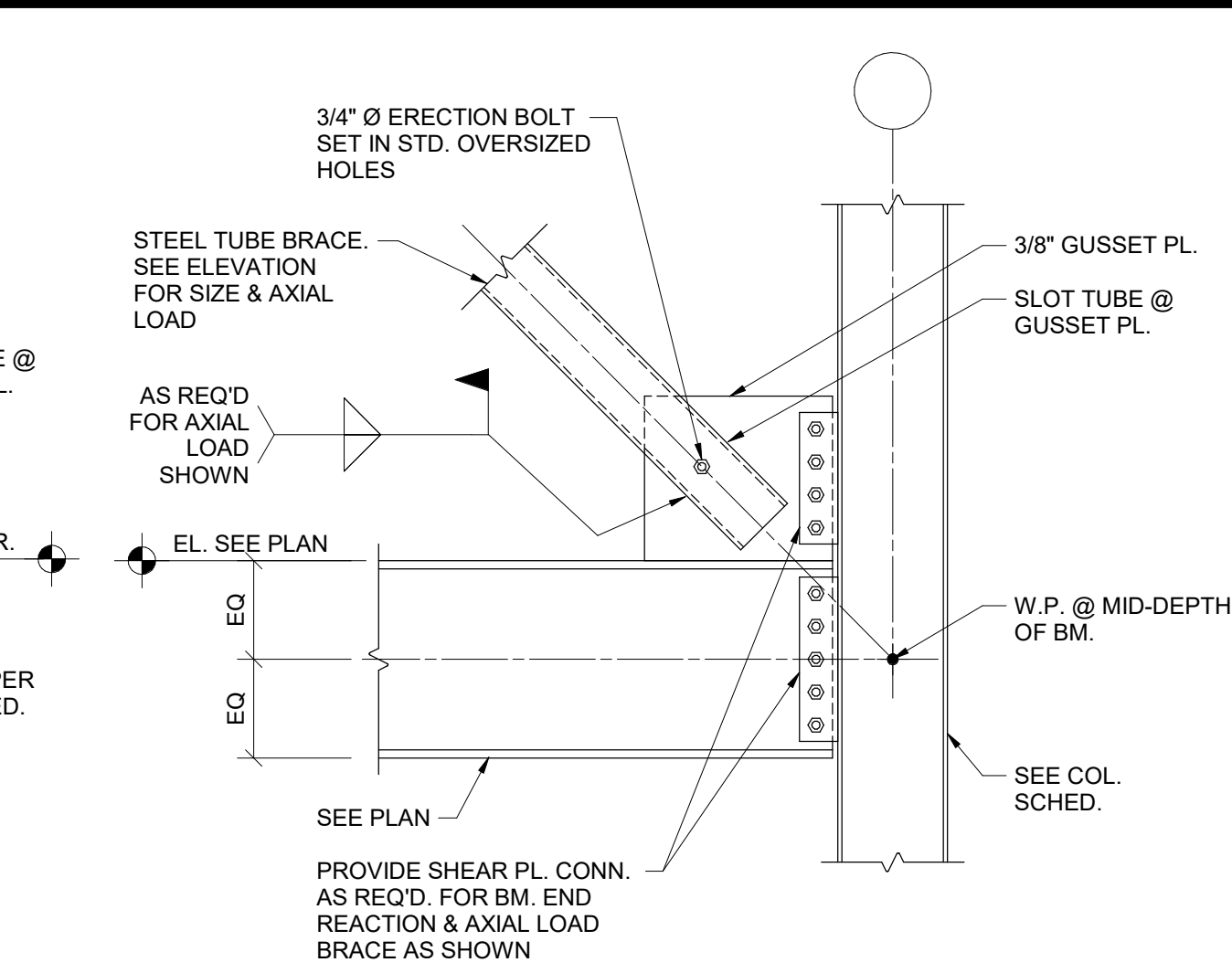
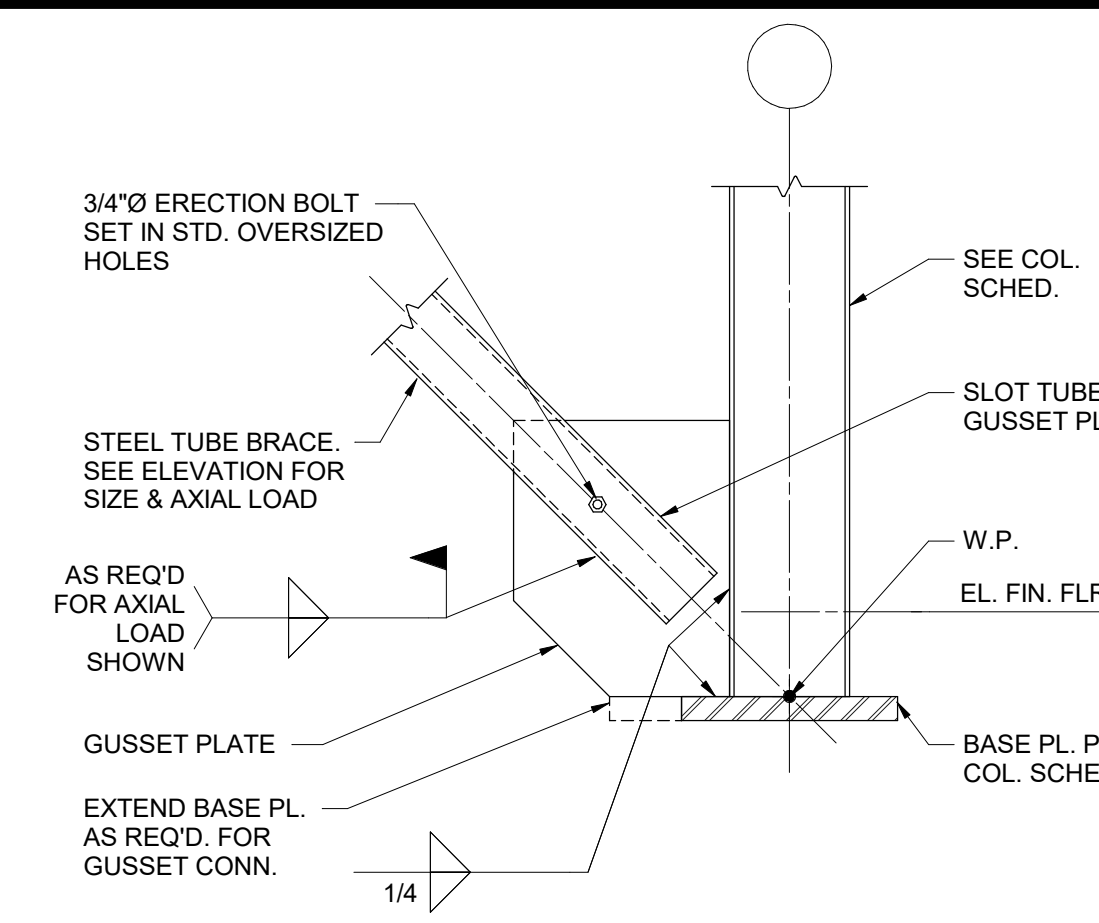
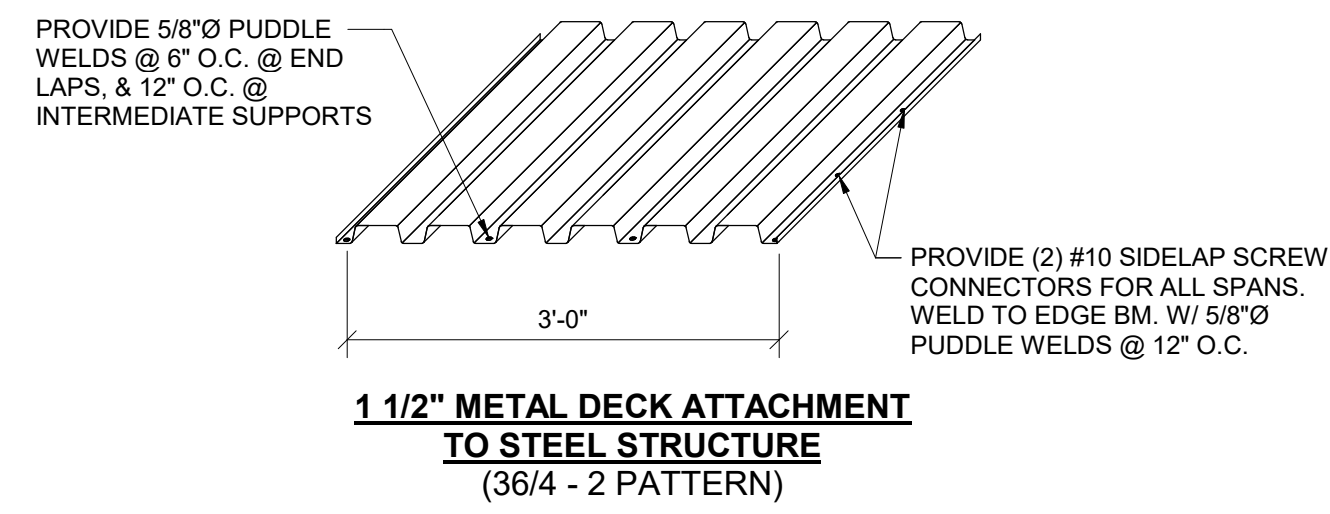
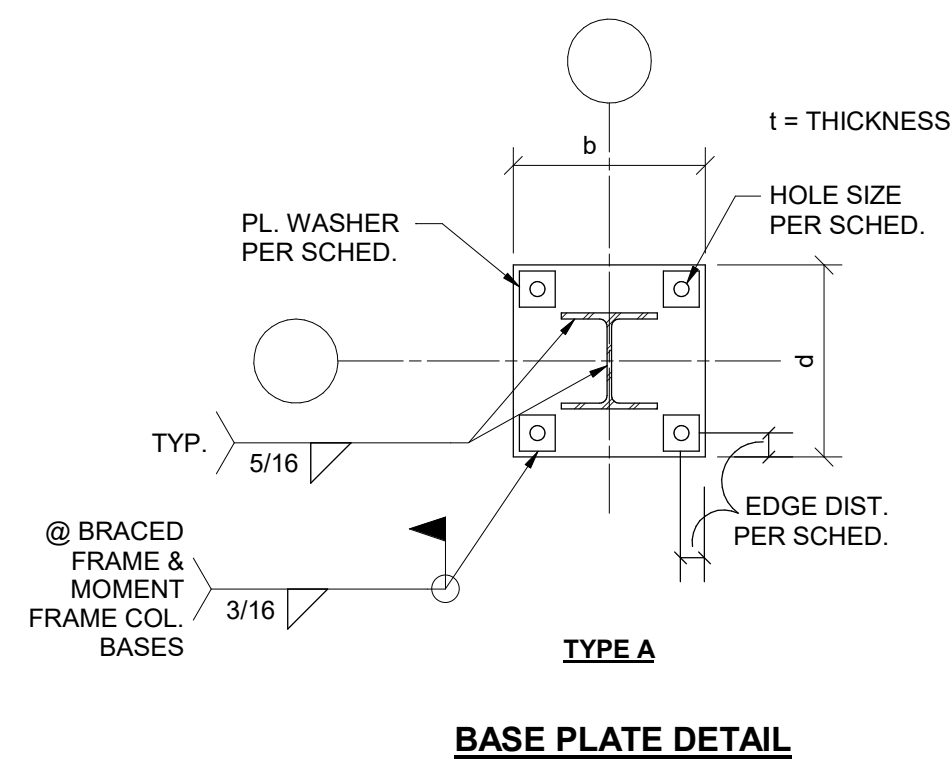
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**FOUNDATION DETAILS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
<b>S201</b>	
FINAL DEVELOPMENT PLAN	



BASE PLATE DETAILING SCHEDULE			
BOLT SIZE	BASE PLATE HOLE SIZE	EDGE DISTANCE	PLATE WASHER
3/4"Ø	1-5/16"Ø	1-1/2"	1/4" x 2-1/2" SQ.
1"Ø	1-13/16"Ø	2"	3/8" x 3" SQ.
1-1/4"Ø	2-1/16"Ø	2"	1/2" x 3" SQ.
1-1/2"Ø	2-5/16"Ø	2-1/2"	1/2" x 3-1/2" SQ.
1-3/4"Ø	2-3/4"Ø	3"	5/8" x 4" SQ.
2"Ø	3-1/4"Ø	3-1/2"	3/4" x 5" SQ.



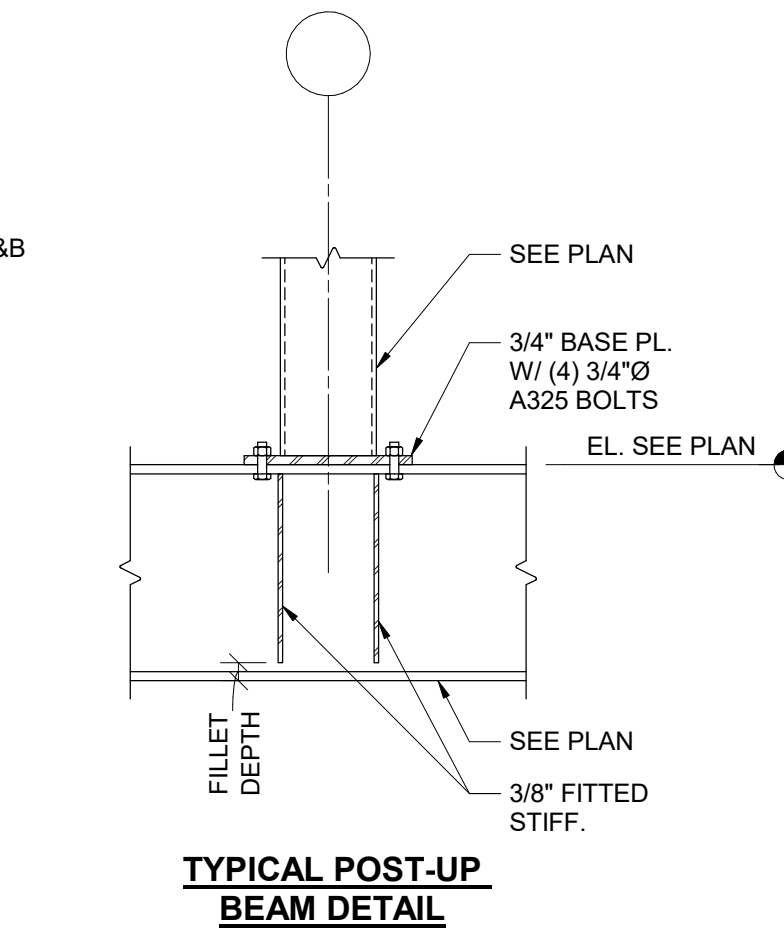
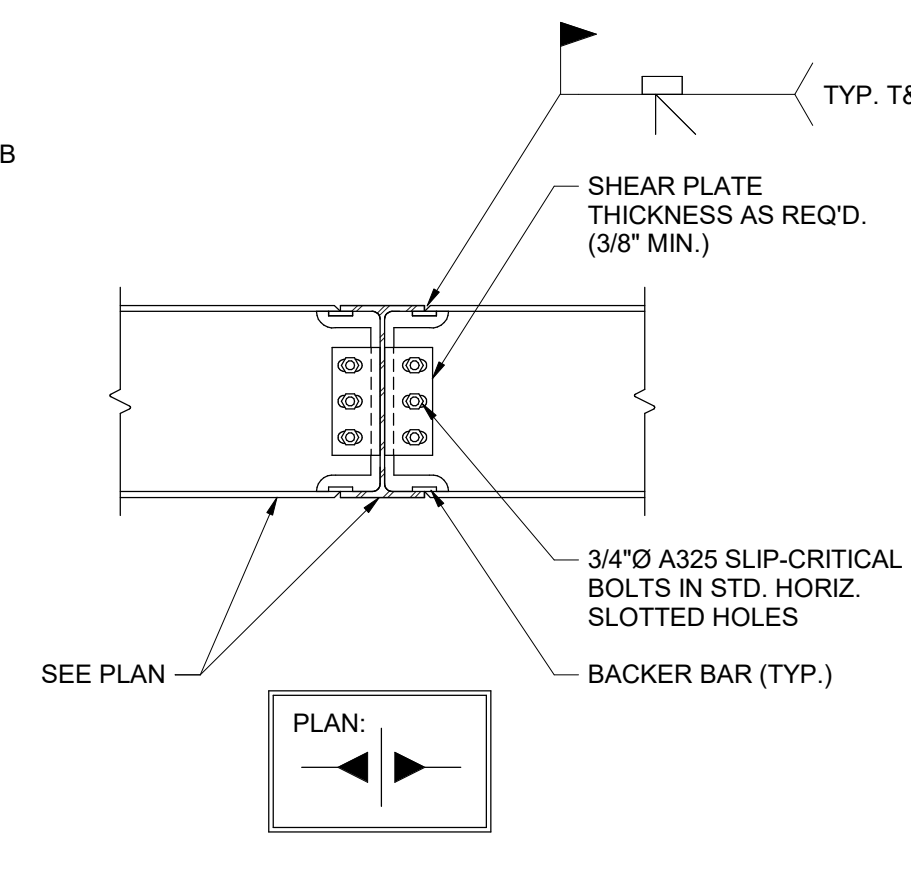
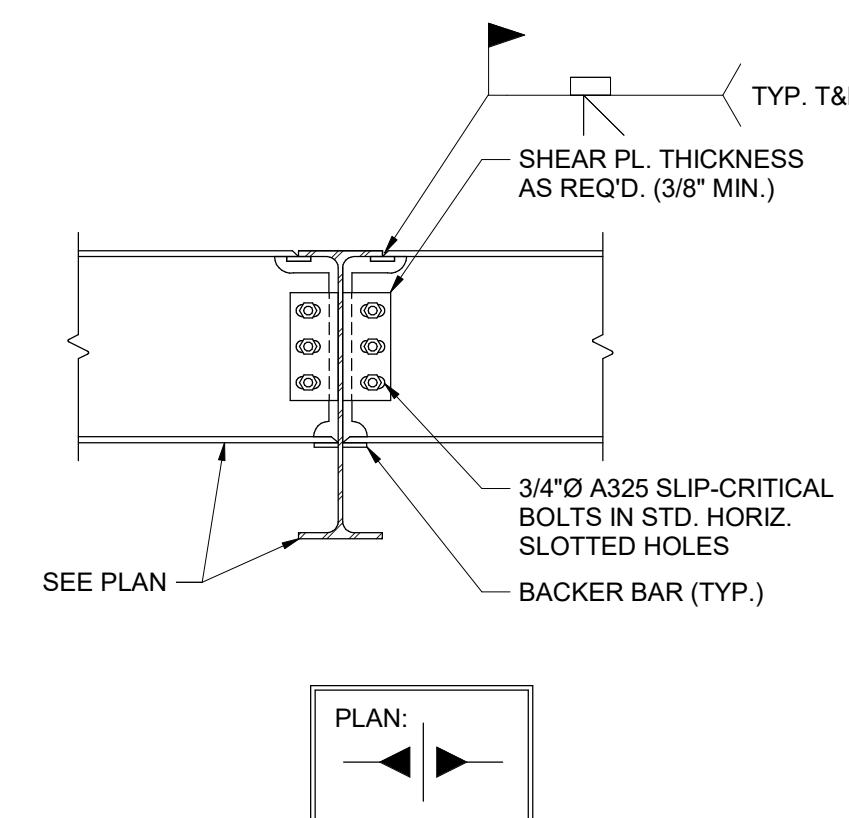
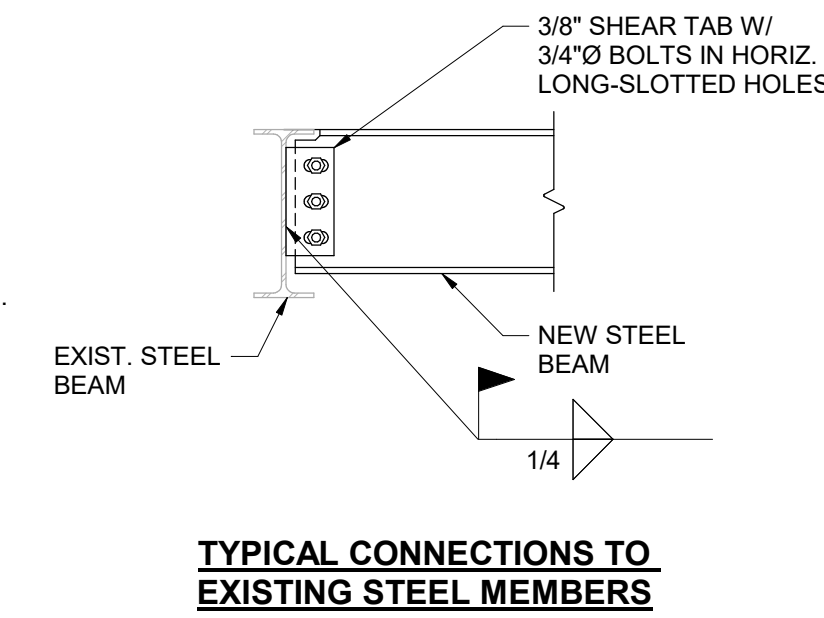
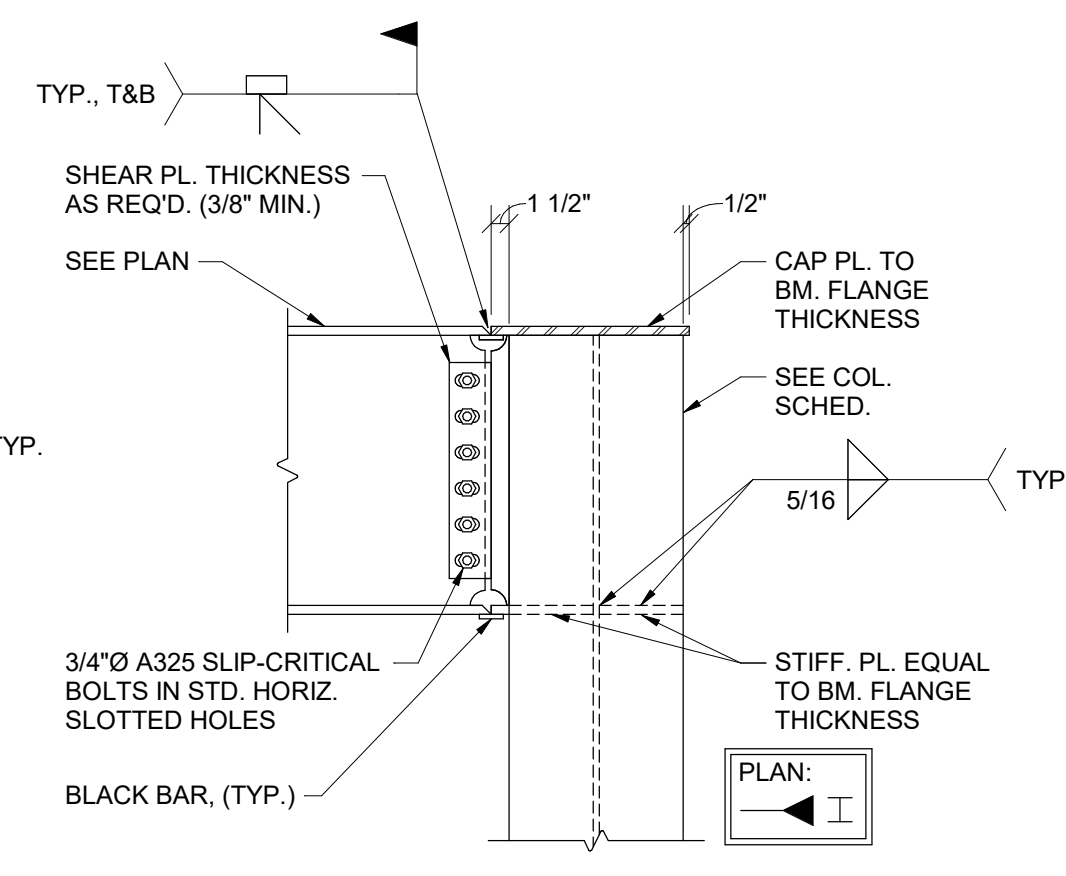
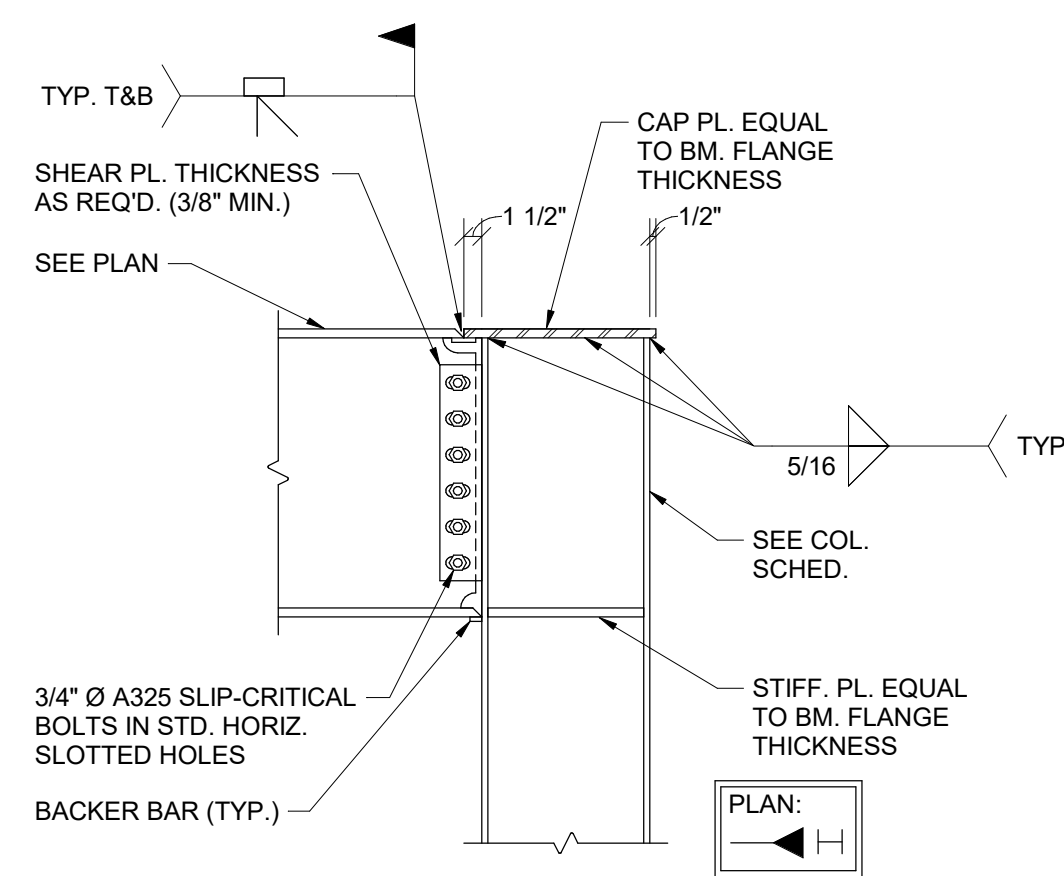
SECTION 1  
3/4" = 1'-0"

SECTION 2  
3/4" = 1'-0"

SECTION 3  
3/4" = 1'-0"

SECTION 4  
3/4" = 1'-0"

SECTION 5  
3/4" = 1'-0"



SECTION 6  
3/4" = 1'-0"

SECTION 7  
3/4" = 1'-0"

SECTION 8  
3/4" = 1'-0"

SECTION 9  
3/4" = 1'-0"

SECTION 10  
3/4" = 1'-0"

SECTION 11  
3/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

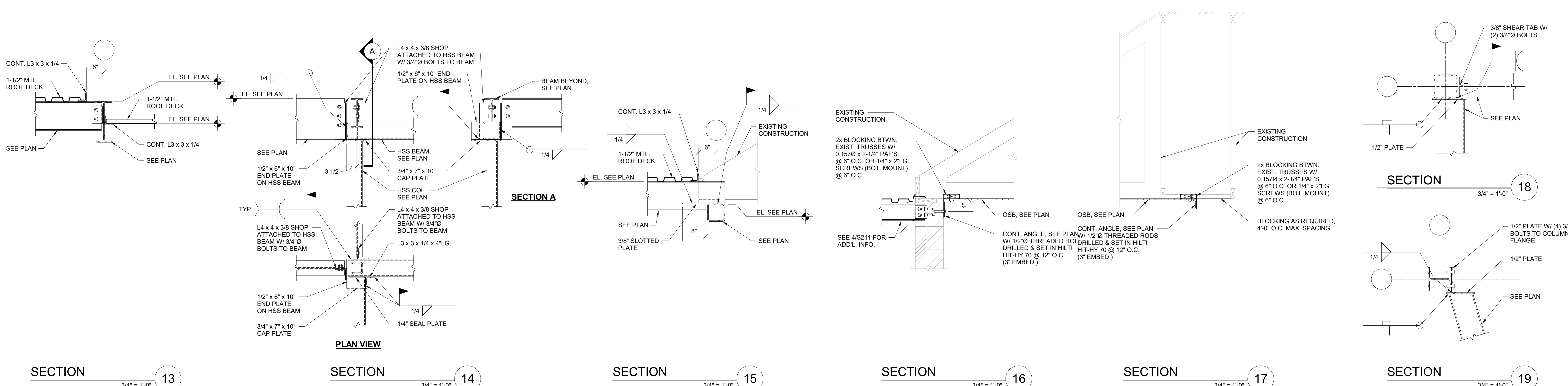
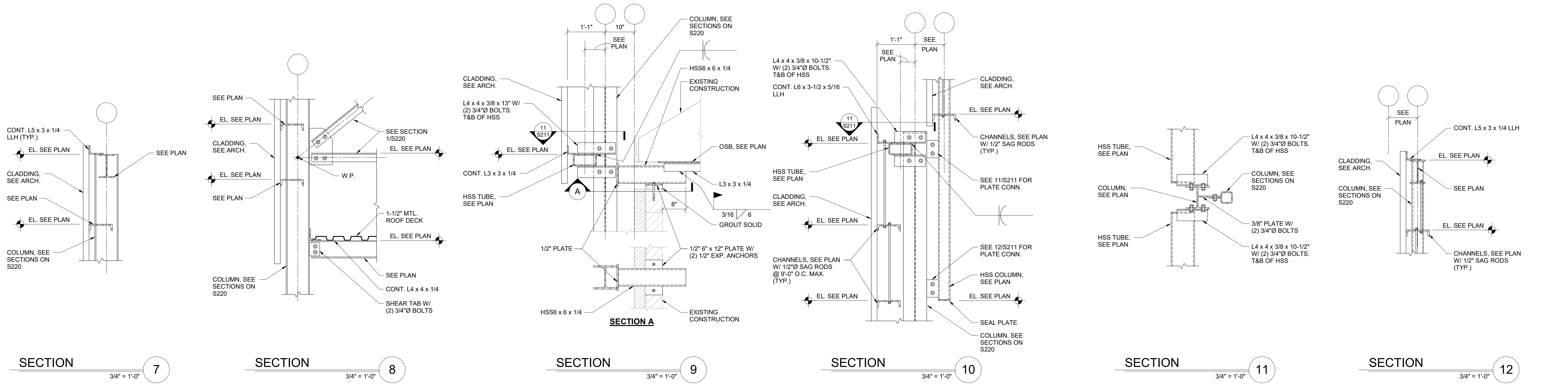
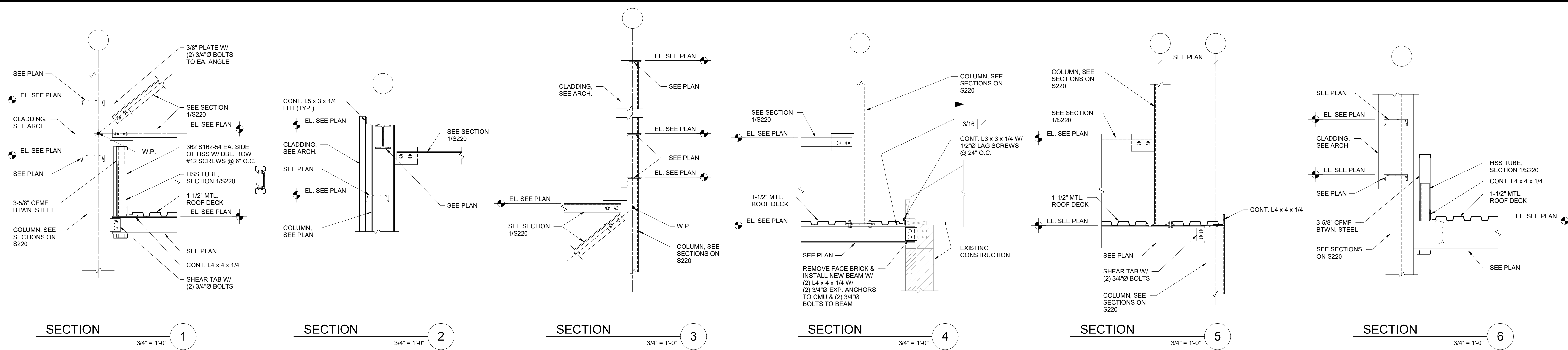
**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5303 FRANTZ ROAD,  
 DUBLIN OH - 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:

**FRAMING DETAILS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>S210</b>
	FINAL DEVELOPMENT PLAN



#	DATE	CHANGE DESCRIPTION

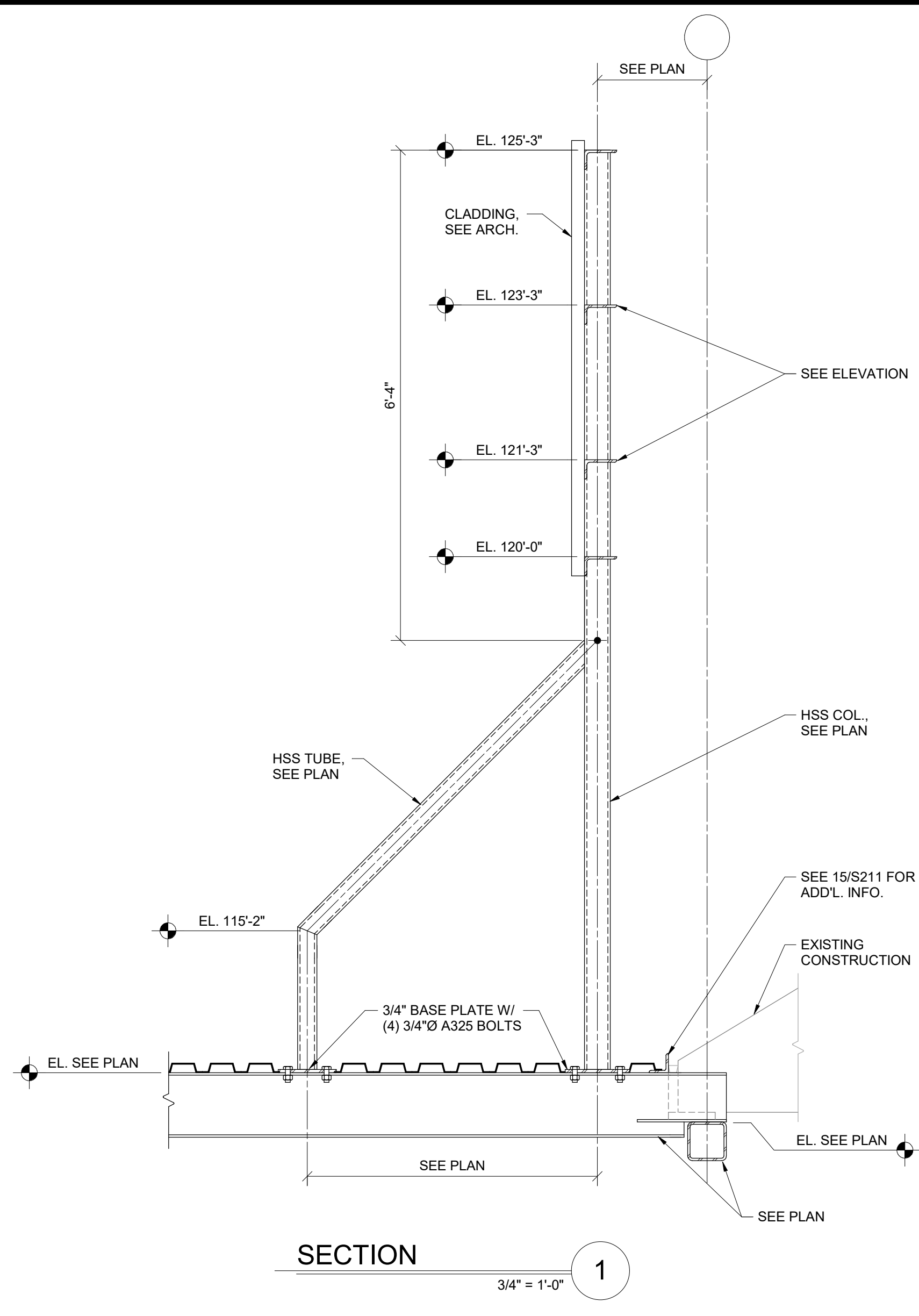
**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 FRANTZ ROAD, DUBLIN OH - 43017 FOR HEARTLAND BANK

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE: **FRAMING DETAILS**

11/30/2020  
DRAWN BY: Author CHECKED BY: Checker  
20022  
**S211**  
FINAL DEVELOPMENT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION



#	DATE	CHANGE DESCRIPTION

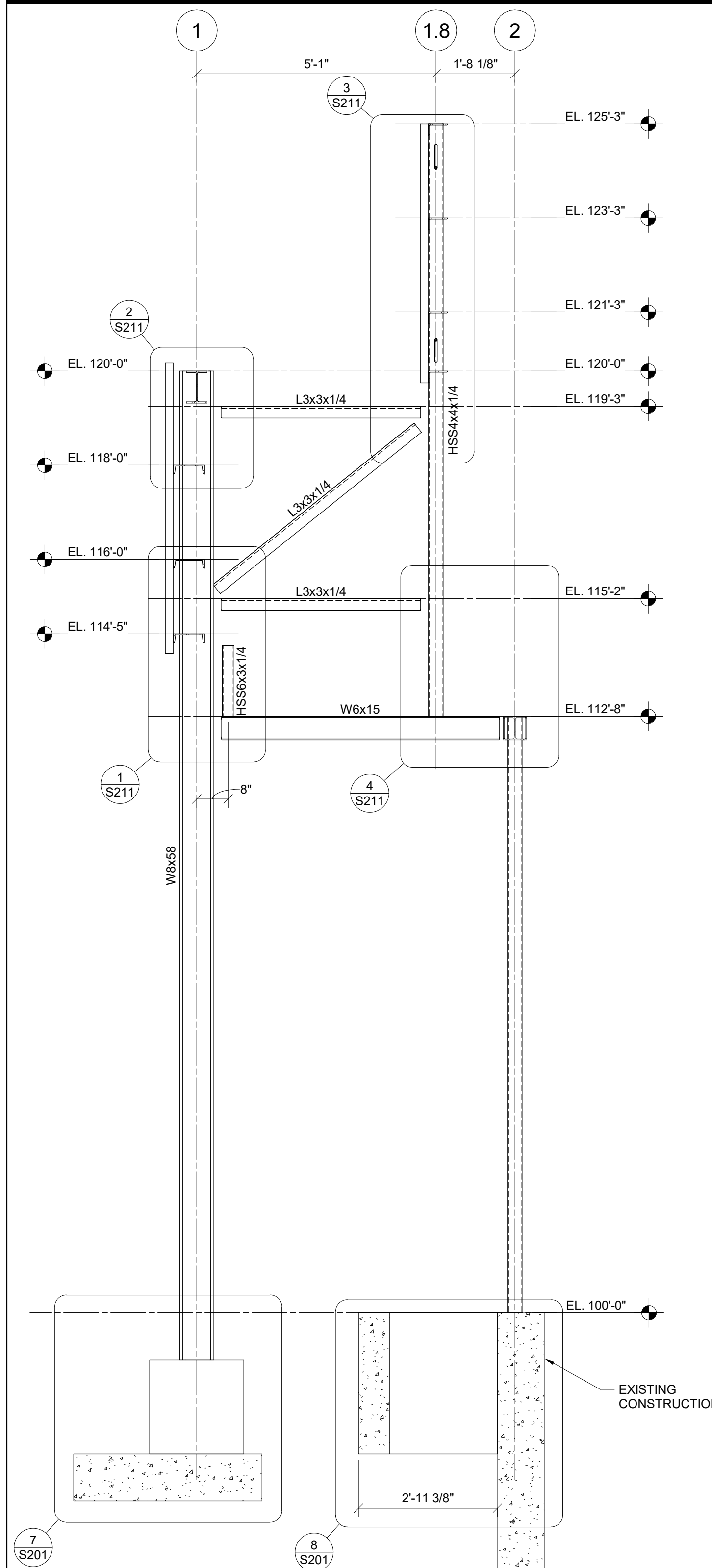
**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6300 FRANTZ ROAD,  
 DUBLIN OH - 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

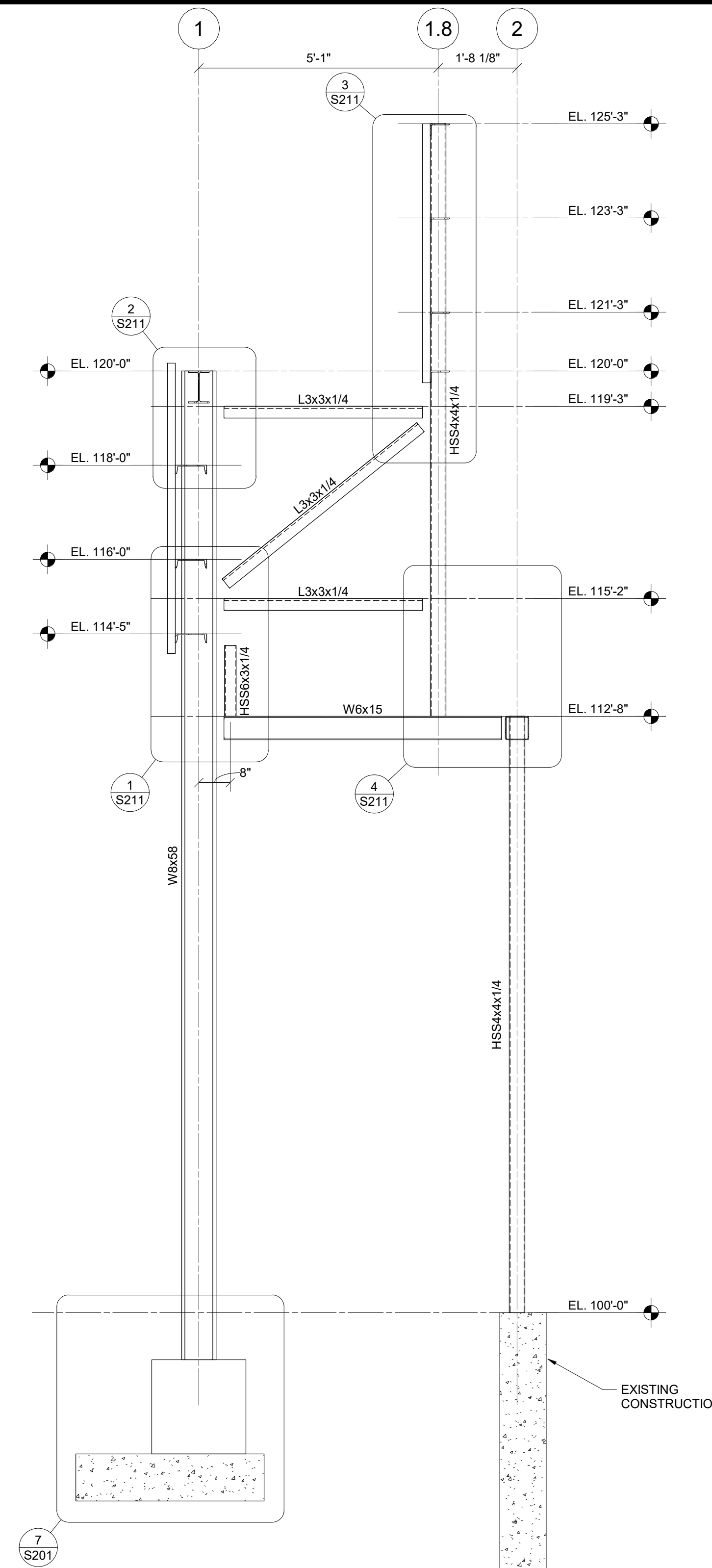
DRAWING TITLE: **FRAMING DETAILS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker
	20022
	<b>S212</b>

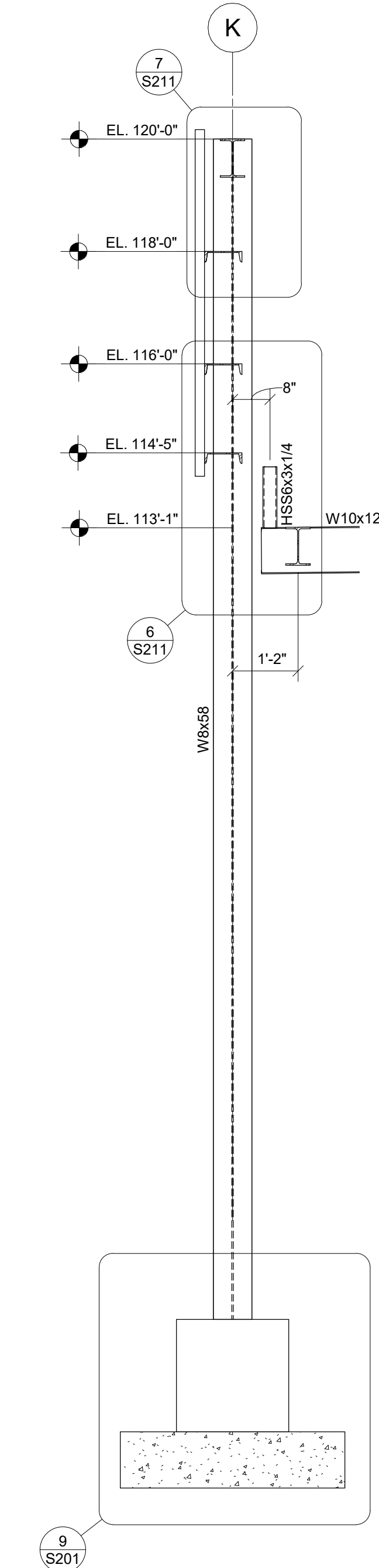
FINAL DEVELOPMENT PLAN



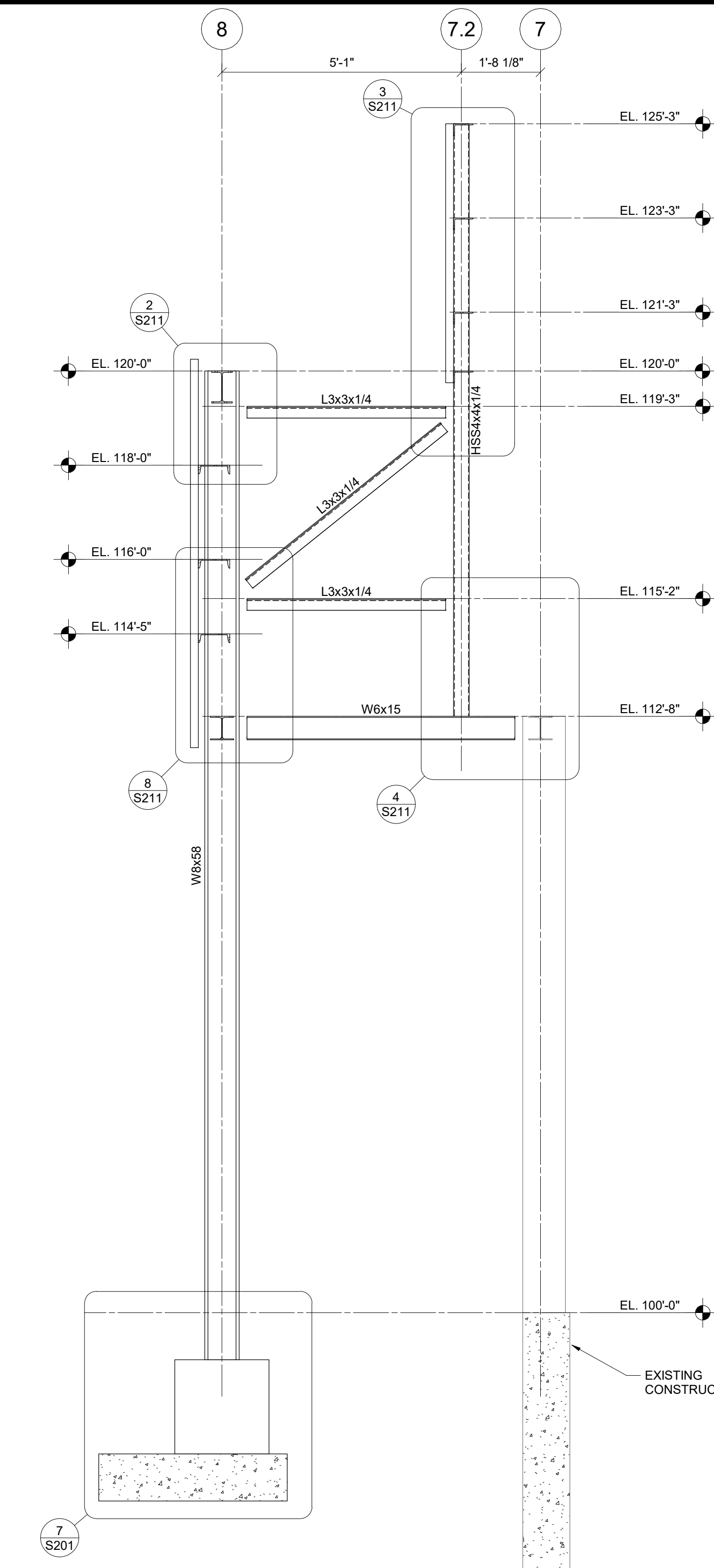
SECTION 1  
1/2" = 1'-0"



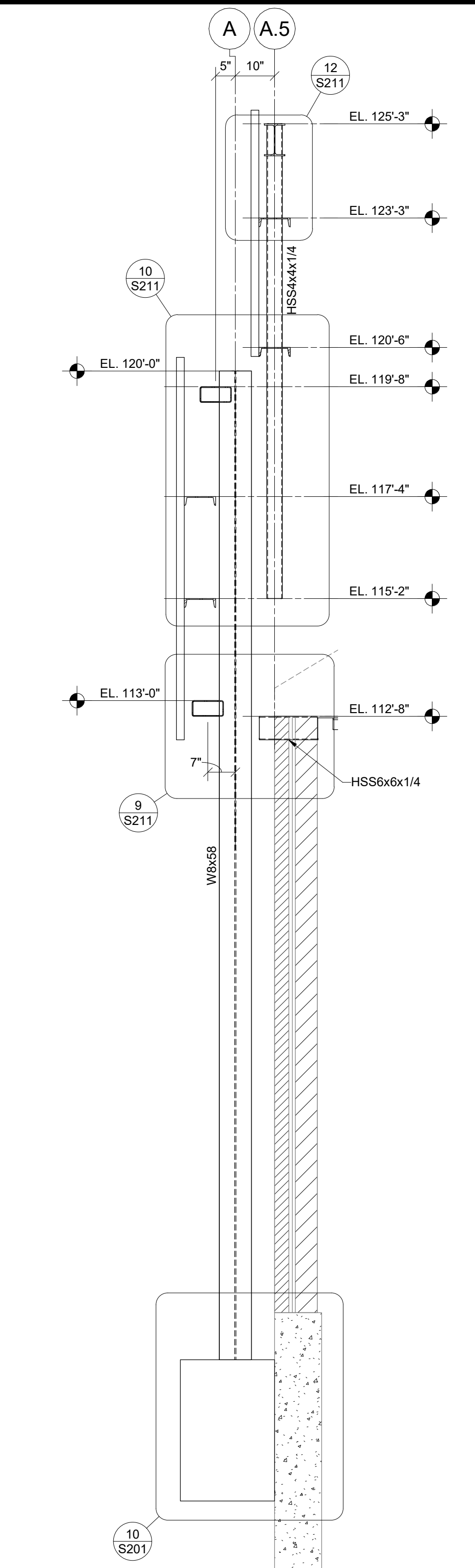
SECTION 2  
1/2" = 1'-0"



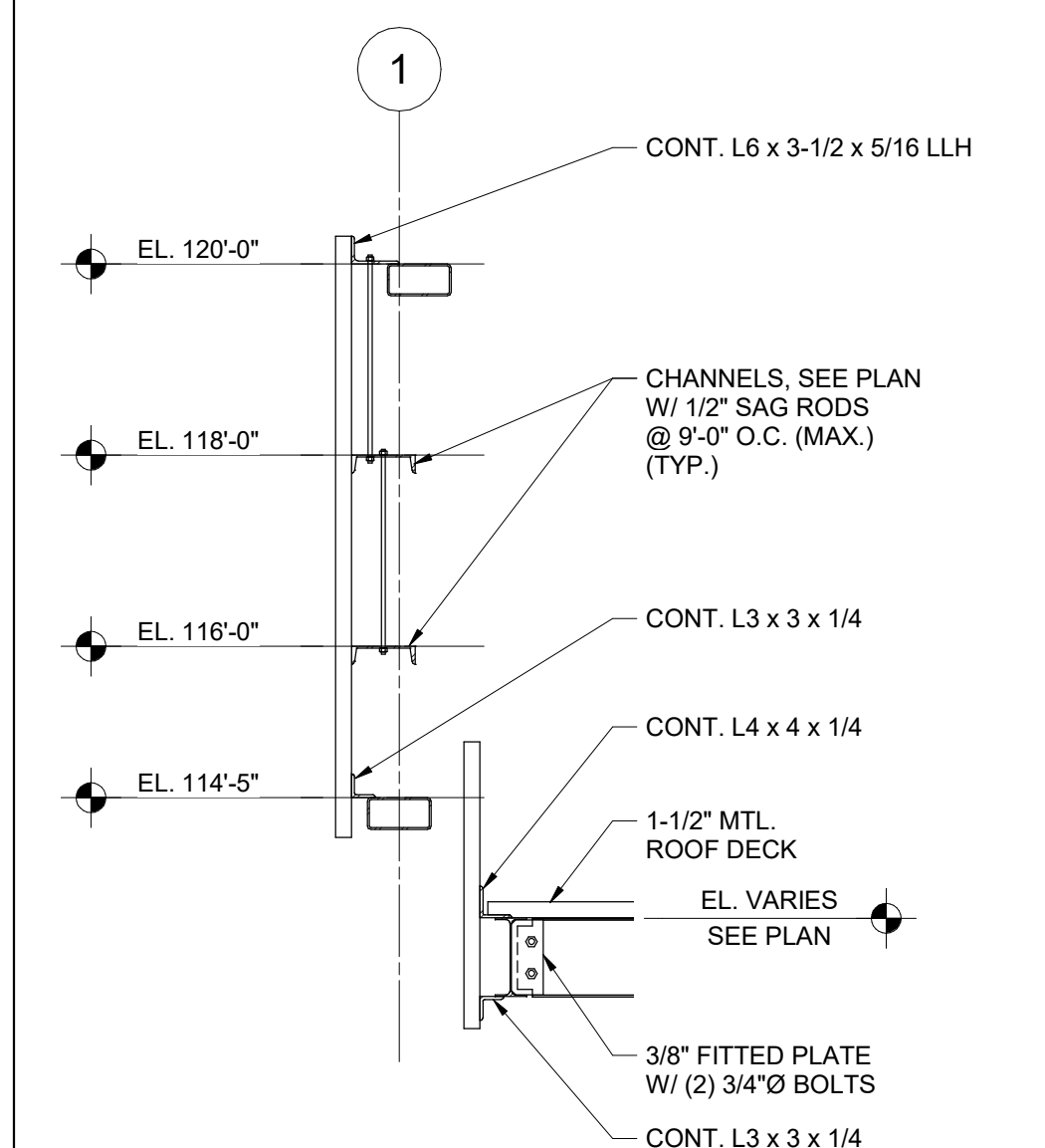
SECTION 3  
1/2" = 1'-0"



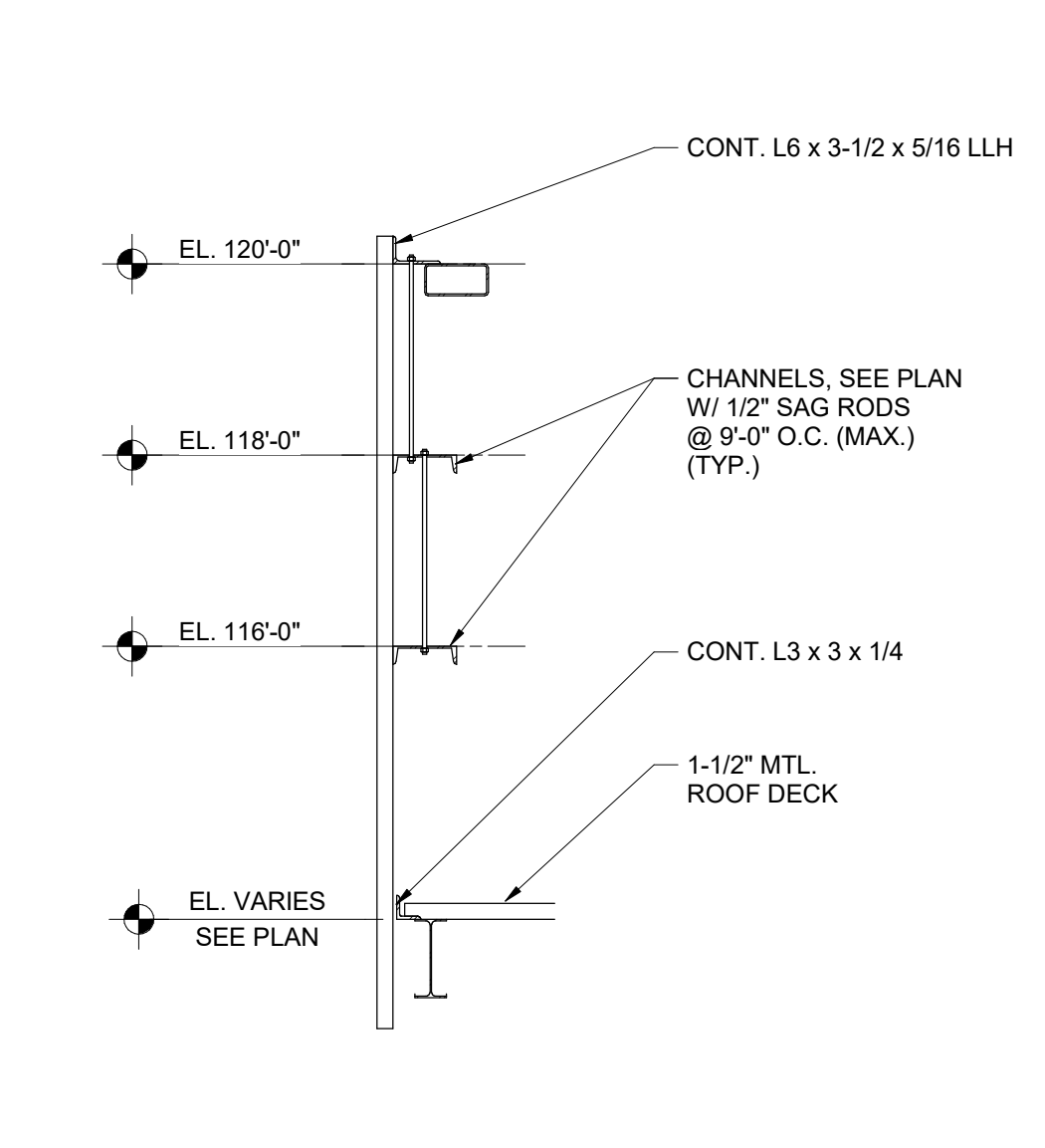
SECTION 4  
1/2" = 1'-0"



SECTION 5  
1/2" = 1'-0"



SECTION 6  
1/2" = 1'-0"



SECTION 7  
1/2" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 FRANTZ ROAD, DUBLIN OH - 43017  
FOR HEARTLAND BANK

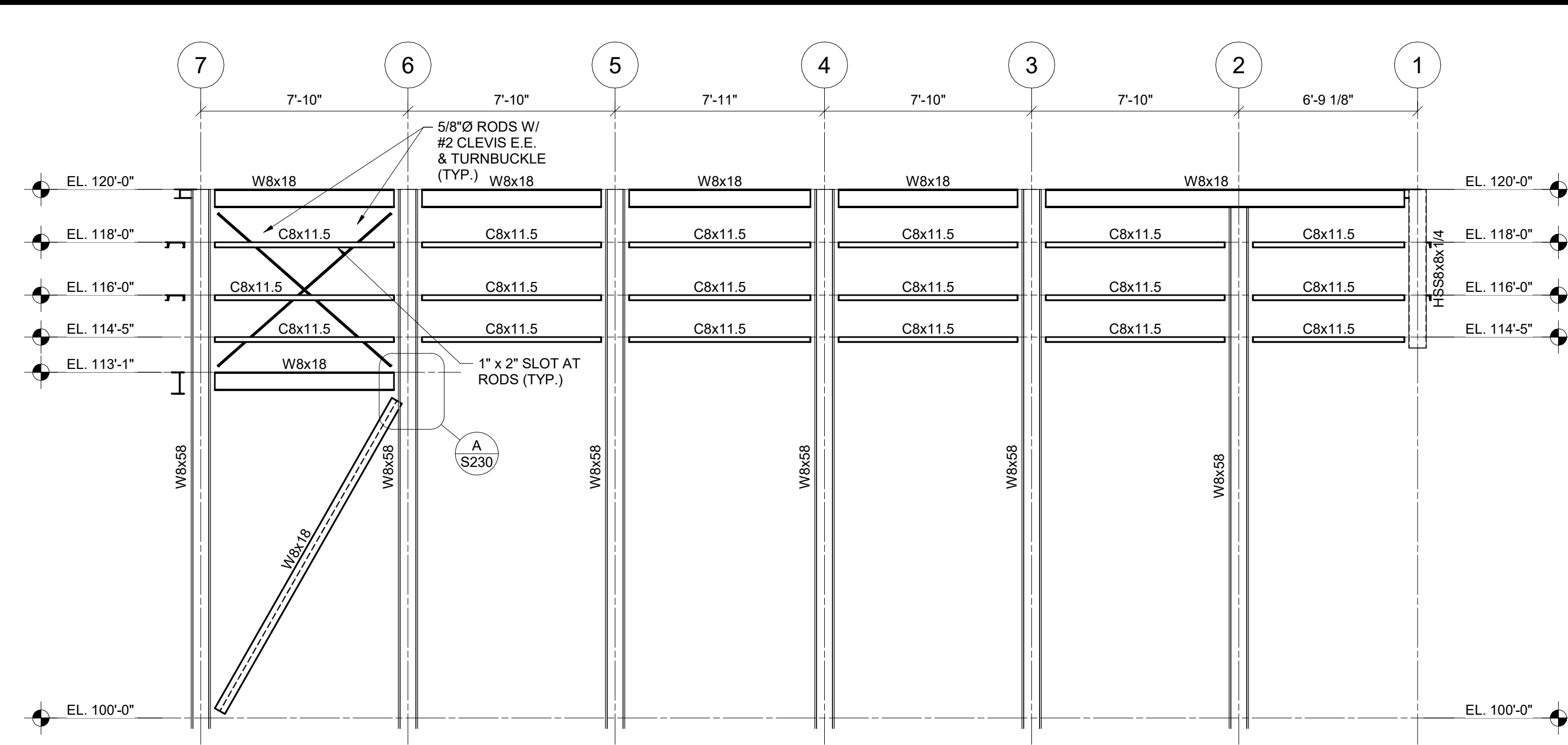
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE: **FRAMING DETAILS**

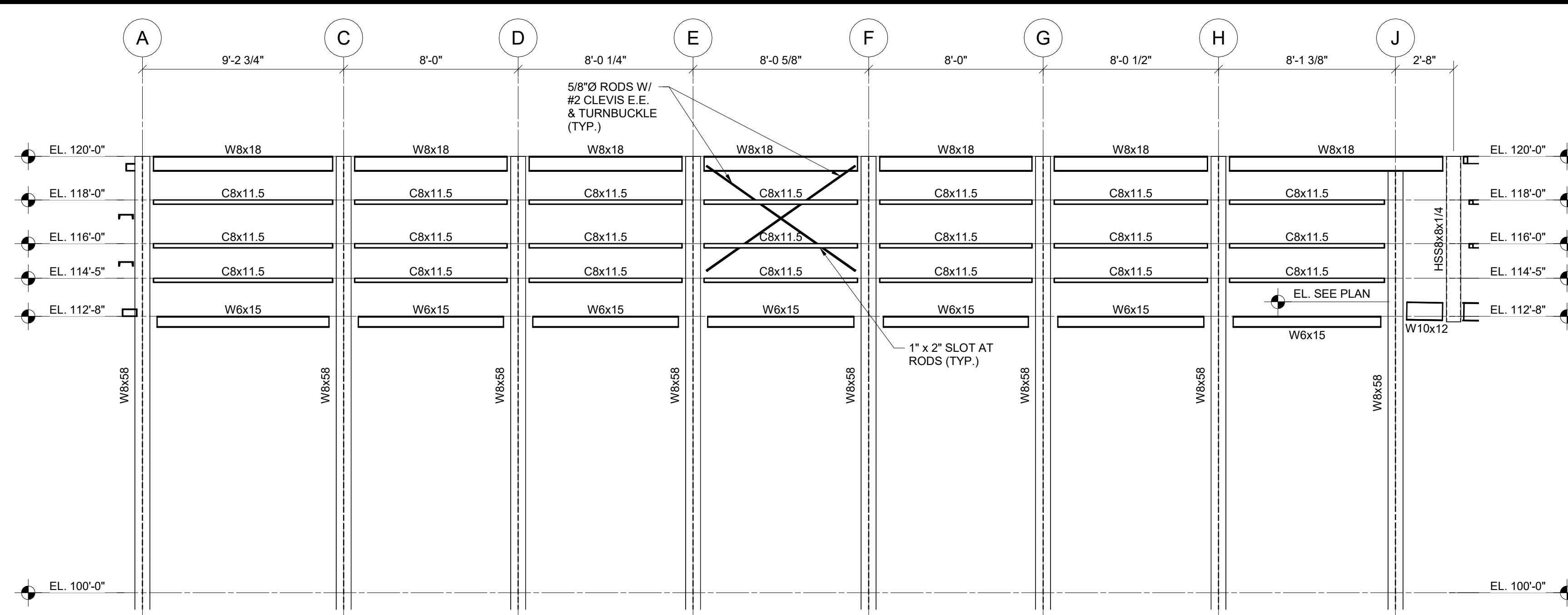
PROGRESS DRAWING NOT FOR CONSTRUCTION

11/30/2020  
DRAWN BY: Author CHECKED BY: Checker  
2022  
**S220**  
FINAL DEVELOPMENT PLAN

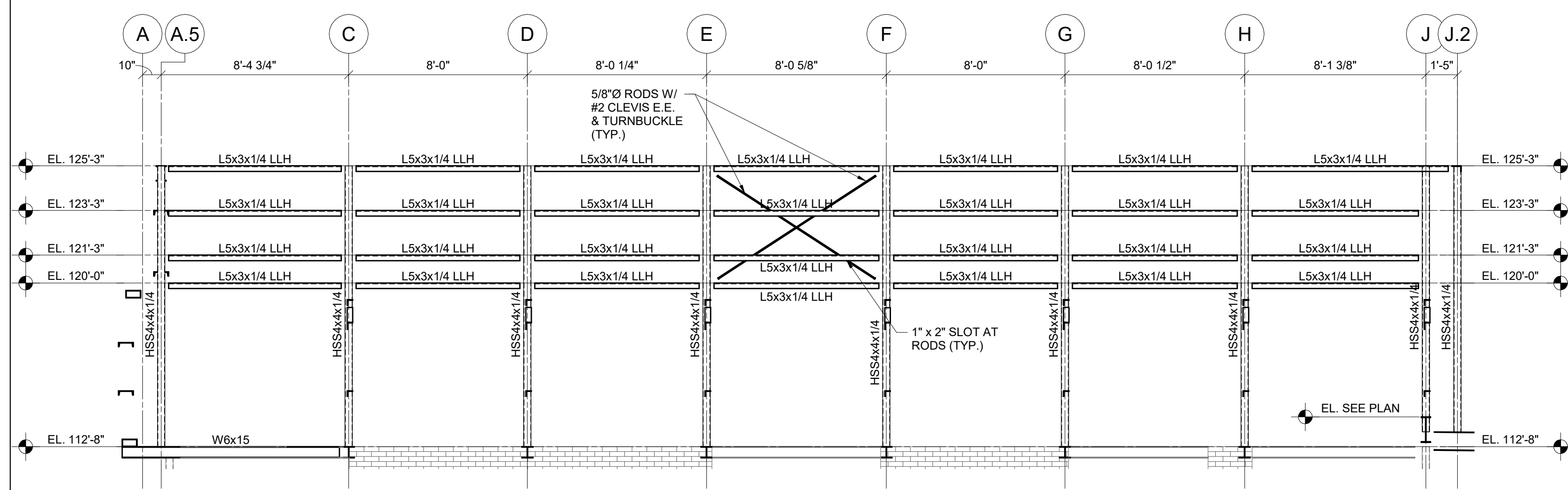




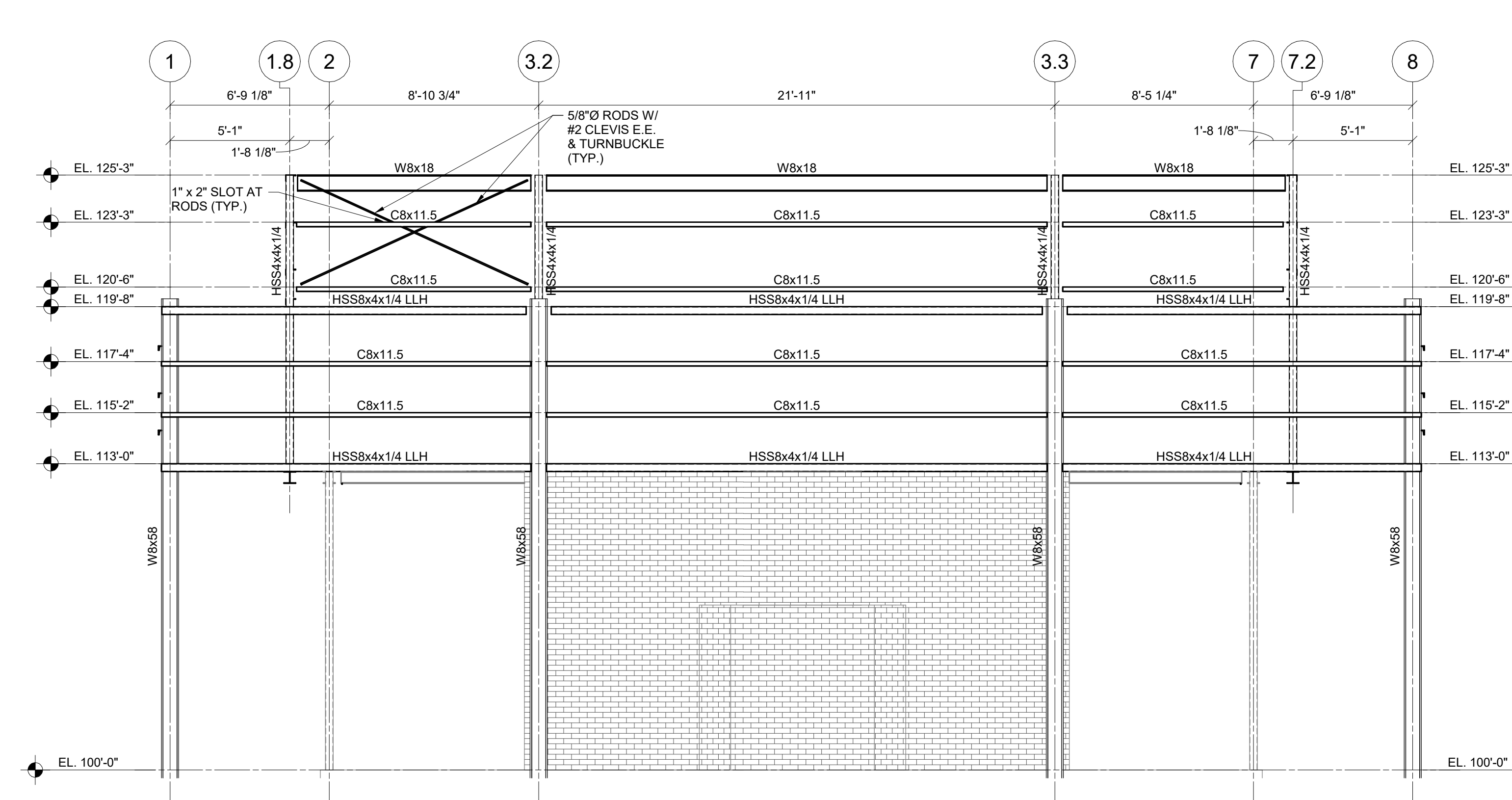
ELEVATION LINE K  
1/4" = 1'-0"



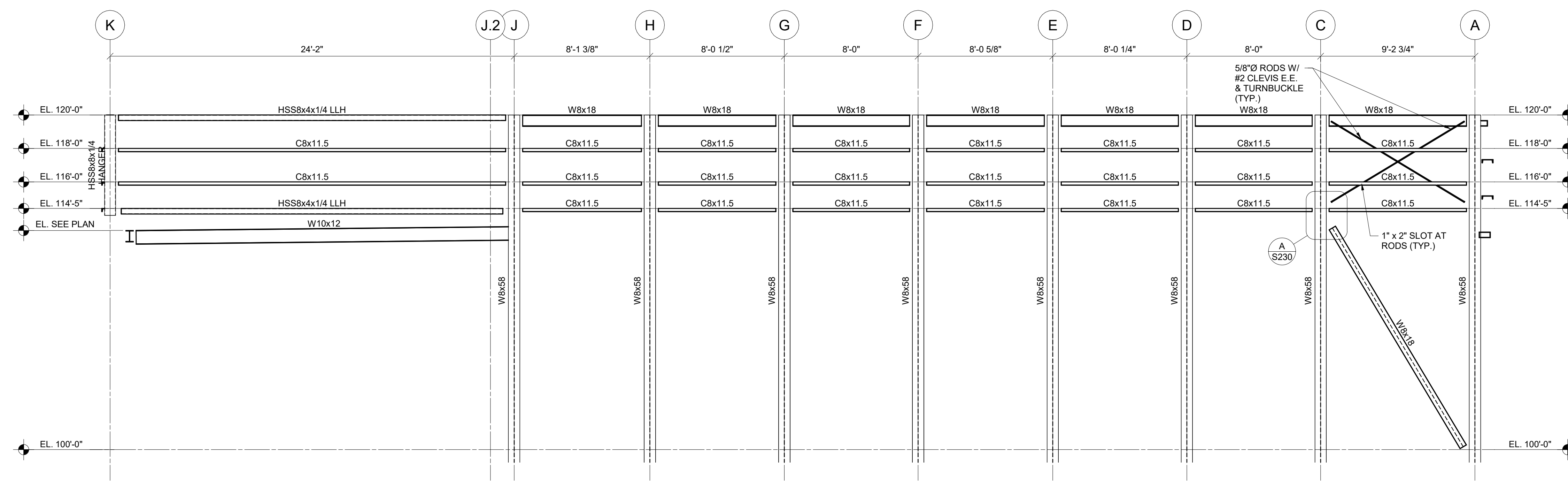
ELEVATION LINE 8  
1/4" = 1'-0"



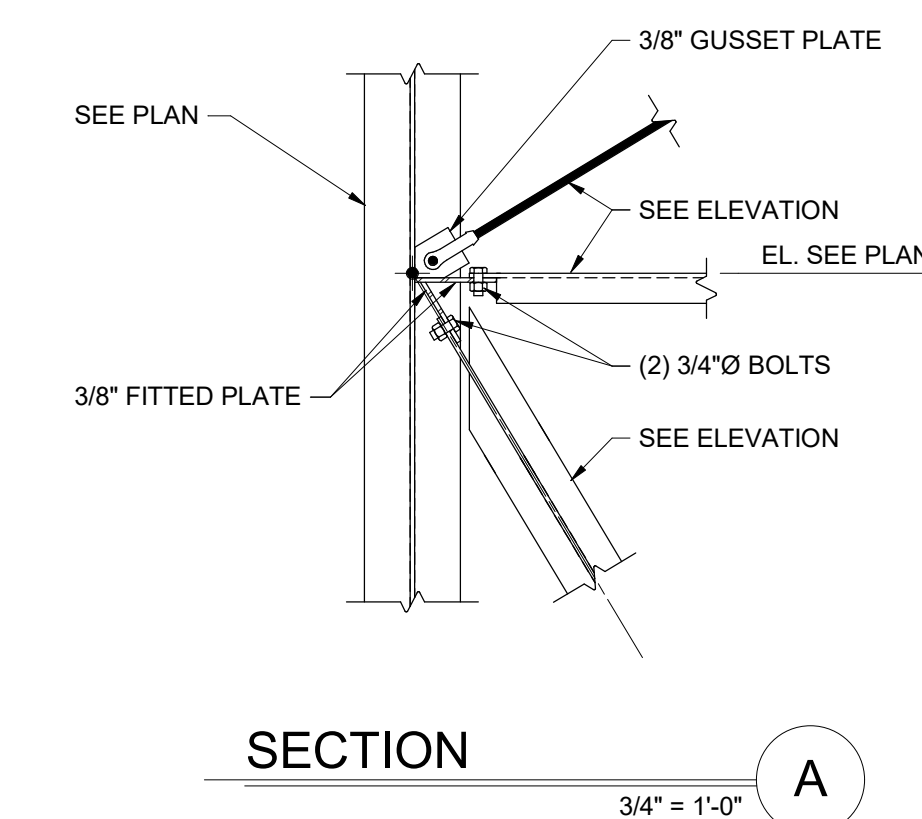
ELEVATION LINE 7.2  
1/4" = 1'-0"



ELEVATION LINE A  
1/4" = 1'-0"



ELEVATION LINE 1  
1/4" = 1'-0"



SECTION  
3/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 FRANTZ ROAD, DUBLIN OH - 43017  
FOR HEARTLAND BANK

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE: **FRAMING ELEVATIONS**

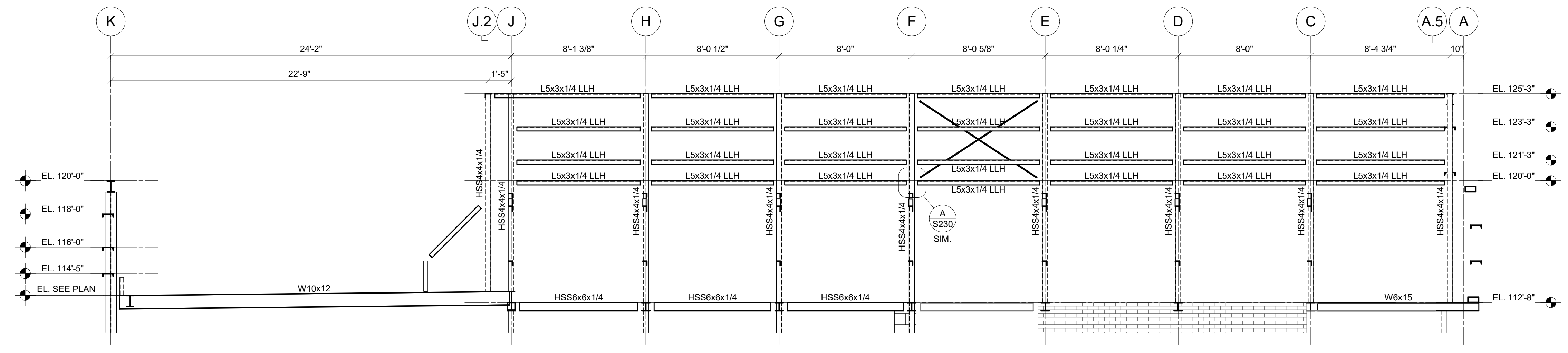
11/30/2020  
DRAWN BY: Author CHECKED BY: Checker

20022

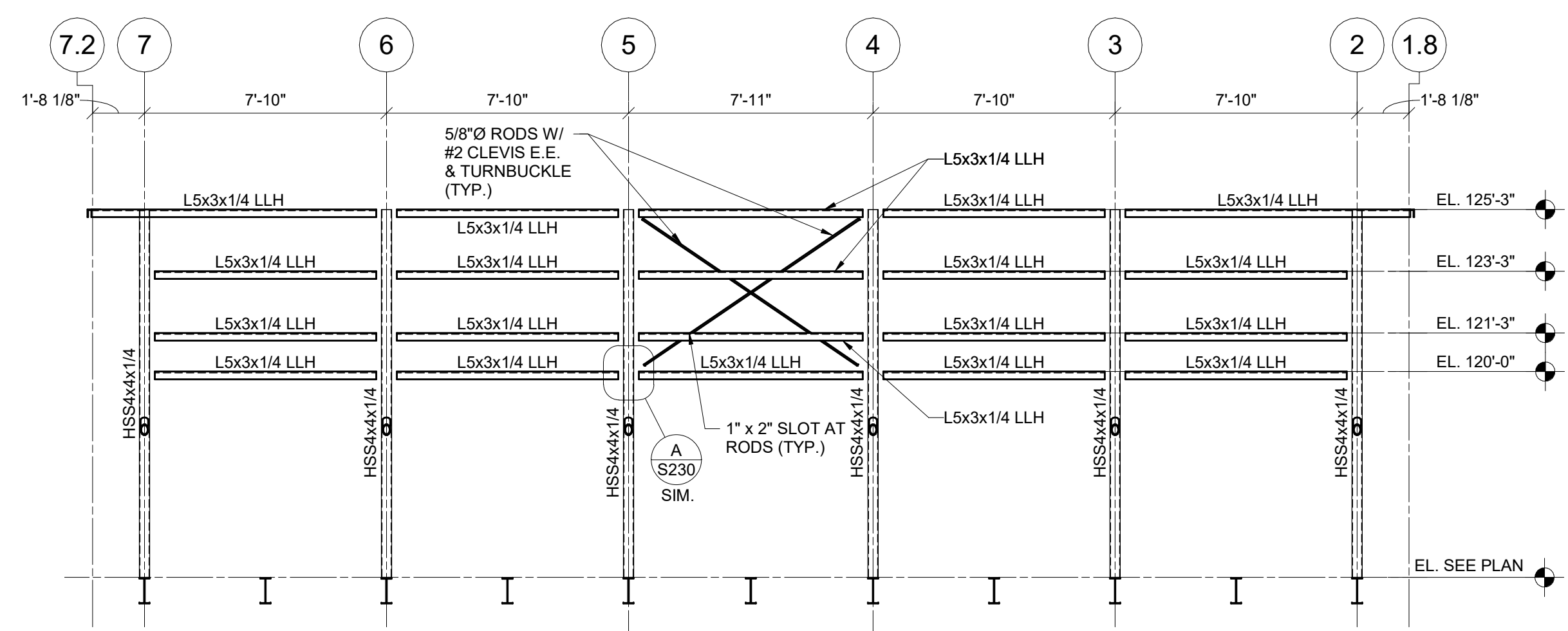
**S230**

FINAL DEVELOPMENT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION



ELEVATION LINE 1.8  
1/4" = 1'-0"



ELEVATION  
1/4" = 1'-0"

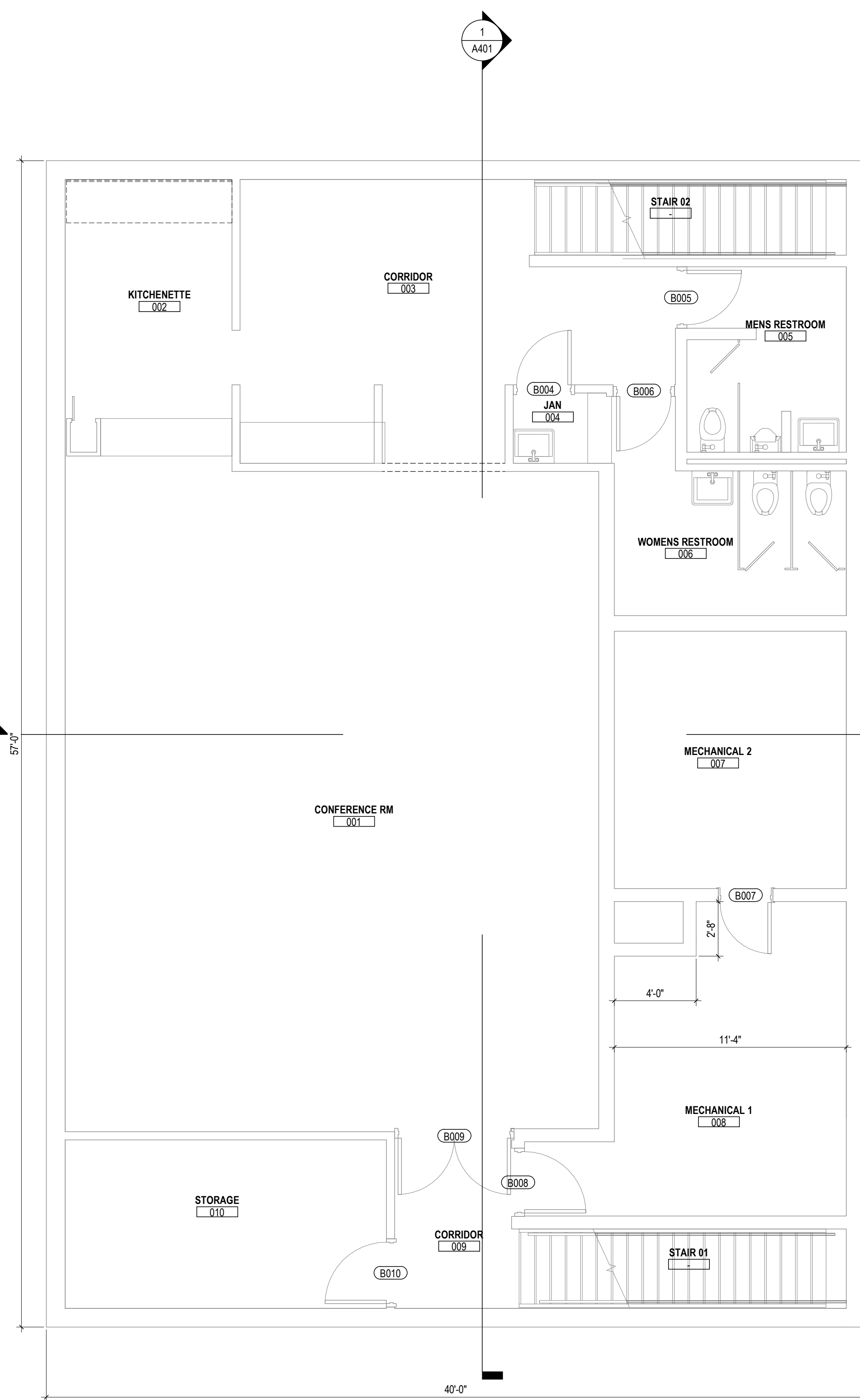
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6300 FRANTZ ROAD,  
 DUBLIN OH - 43017  
 FOR  
**HEARTLAND BANK**

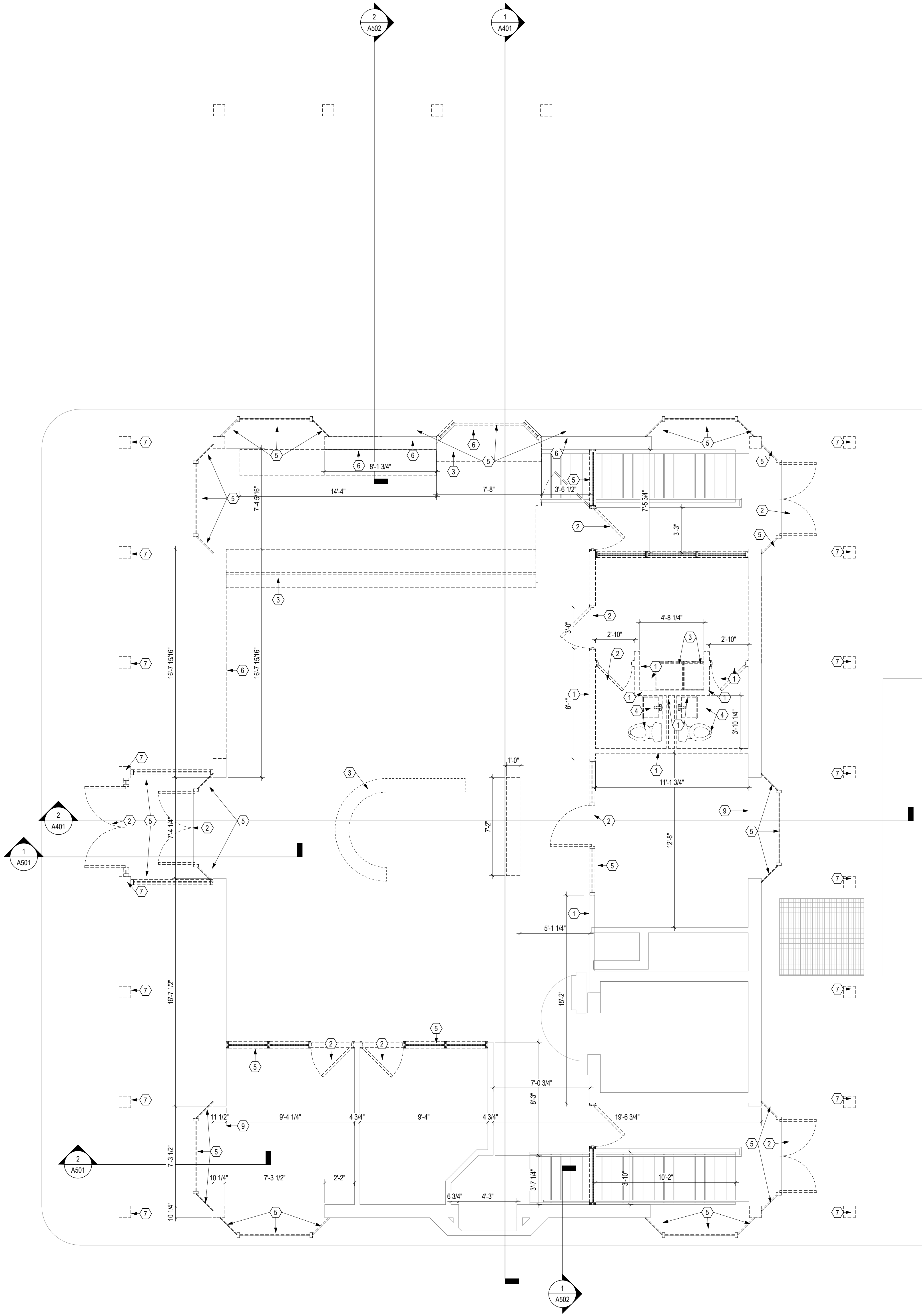
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**FRAMING ELEVATIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>S231</b>
	FINAL DEVELOPMENT PLAN



**2 BASEMENT**  
 1/4" = 1'-0"



**1 FIRST FLOOR**  
 1/4" = 1'-0"

**GENERAL NOTES - DEMOLITION PLANS**

**DEMOLITION LEGEND**

XXX	ROOM NUMBER
---	CONSTRUCTION TO REMAIN
---	CONSTRUCTION TO BE REMOVED
---	DOOR TO REMAIN
---	DOOR TO BE REMOVED

**CODED DEMOLITION NOTES**

- REMOVE EXISTING WALL IN ITS ENTIRETY.
- REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
- REMOVE EXISTING CASEWORK IN ITS ENTIRETY.
- REMOVE EXISTING PLUMBING FIXTURE, COORDINATE W/ RELATED WORK ON PLUMBING DRAWINGS.
- REMOVE EXISTING STOREFRONT WINDOW.
- REMOVE EXISTING EXTERIOR WALL.
- REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
- REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE A PORTION OF EXISTING WALL.
- REMOVE A PORTION OF THE CHIMNEY. HOW MUCH? - REVIEW W/ MECH.
- REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK AND STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. SEE ROOF DETAILS FOR EXISTING BUILDING SLATE ROOFING TO REMAIN.
- REMOVE EXISTING BAY WINDOW - WALL AND ROOF IN THEIR ENTIRETY.
- REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
- EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING. REPLACE ONLY ONE COURSE OF EXISTING SLATE OVER NEW ROOF OVERLAP. SEE ROOFING DETAILS.

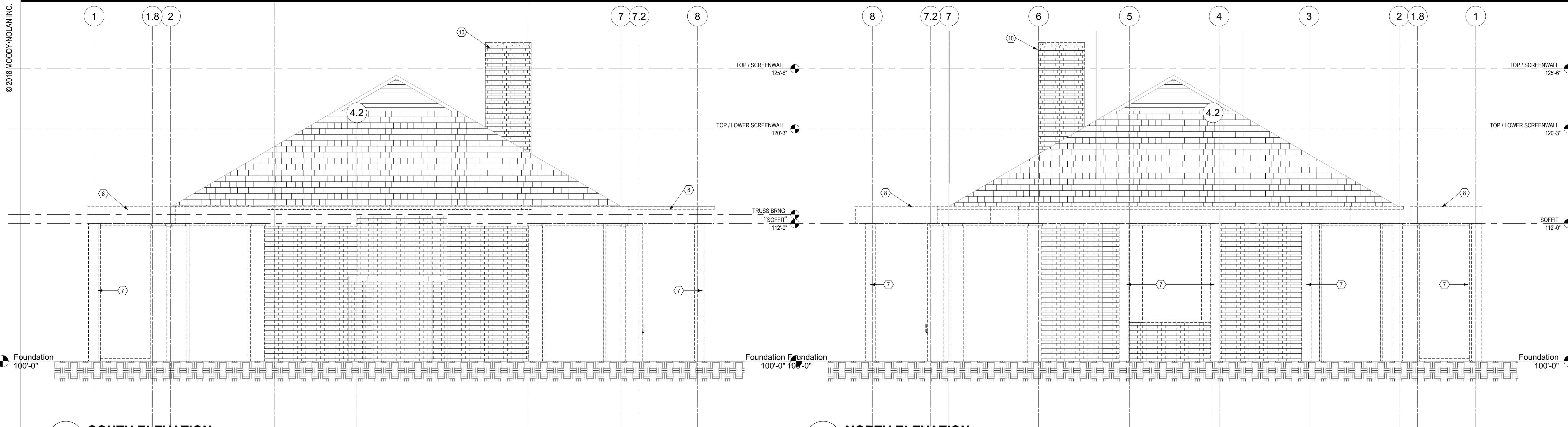
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5303 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

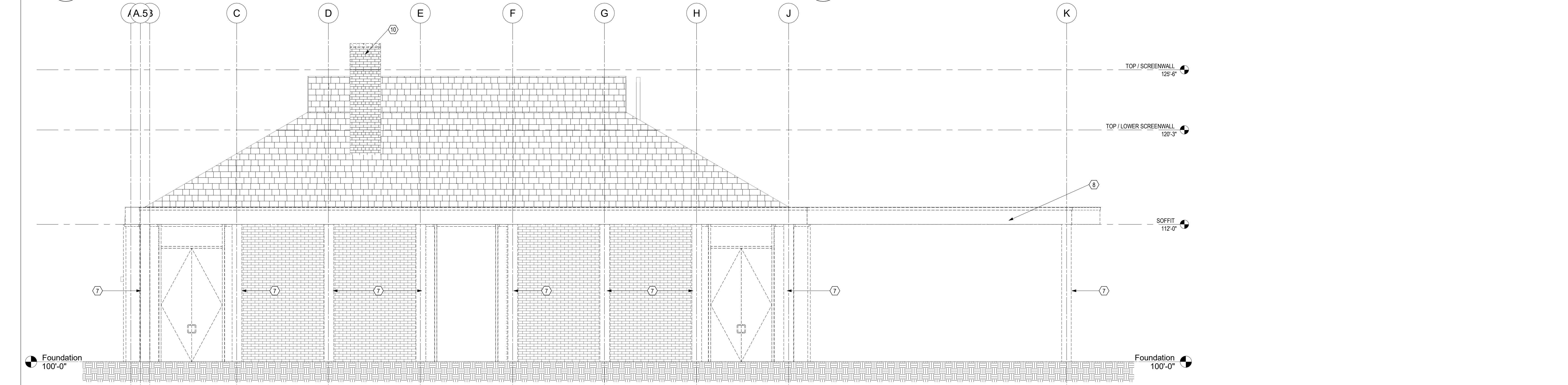
**DEMO PLAN**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>AD101</b>
FINAL DEVELOPMENT PLAN	

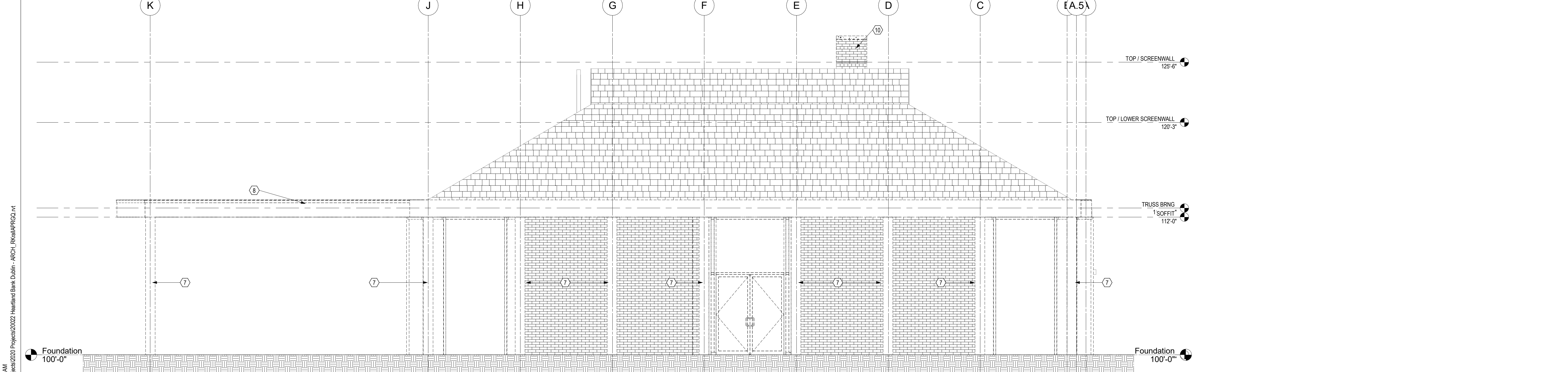


**3 SOUTH ELEVATION**  
1/4" = 1'-0"

**2 NORTH ELEVATION**  
1/4" = 1'-0"



**1 EAST ELEVATION**  
1/4" = 1'-0"



**4 WEST ELEVATION**  
1/4" = 1'-0"

**GENERAL NOTES - DEMOLITION PLANS**

**DEMOLITION LEGEND**

XXX	ROOM NUMBER
---	CONSTRUCTION TO REMAIN
- - -	CONSTRUCTION TO BE REMOVED
---	DOOR TO REMAIN
- - -	DOOR TO BE REMOVED

**CODED DEMOLITION NOTES**

1. REMOVE EXISTING WALL IN ITS ENTIRETY.
2. REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
3. REMOVE EXISTING CASEWORK IN ITS ENTIRETY.
4. REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK ON PLUMBING DRAWINGS.
5. REMOVE EXISTING STOREFRONT WINDOW.
6. REMOVE EXISTING EXTERIOR WALL.
7. REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
8. REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. REMOVE A PORTION OF EXISTING WALL.
10. REMOVE A PORTION OF THE CHIMNEY. **HOW MUCH? - REVIEW W/ MECH.**
11. REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK AND STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. SEE ROOF DETAILS FOR EXISTING BUILDING SLATE ROOFING TO REMAIN.
12. REMOVE EXISTING BAY WINDOW -WALL AND ROOF IN THEIR ENTIRETY.
13. REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
14. EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING. REPLACE ONLY ONE COURSE OF EXISTING SLATE OVER NEW ROOF OVERLAP. SEE ROOFING DETAILS.

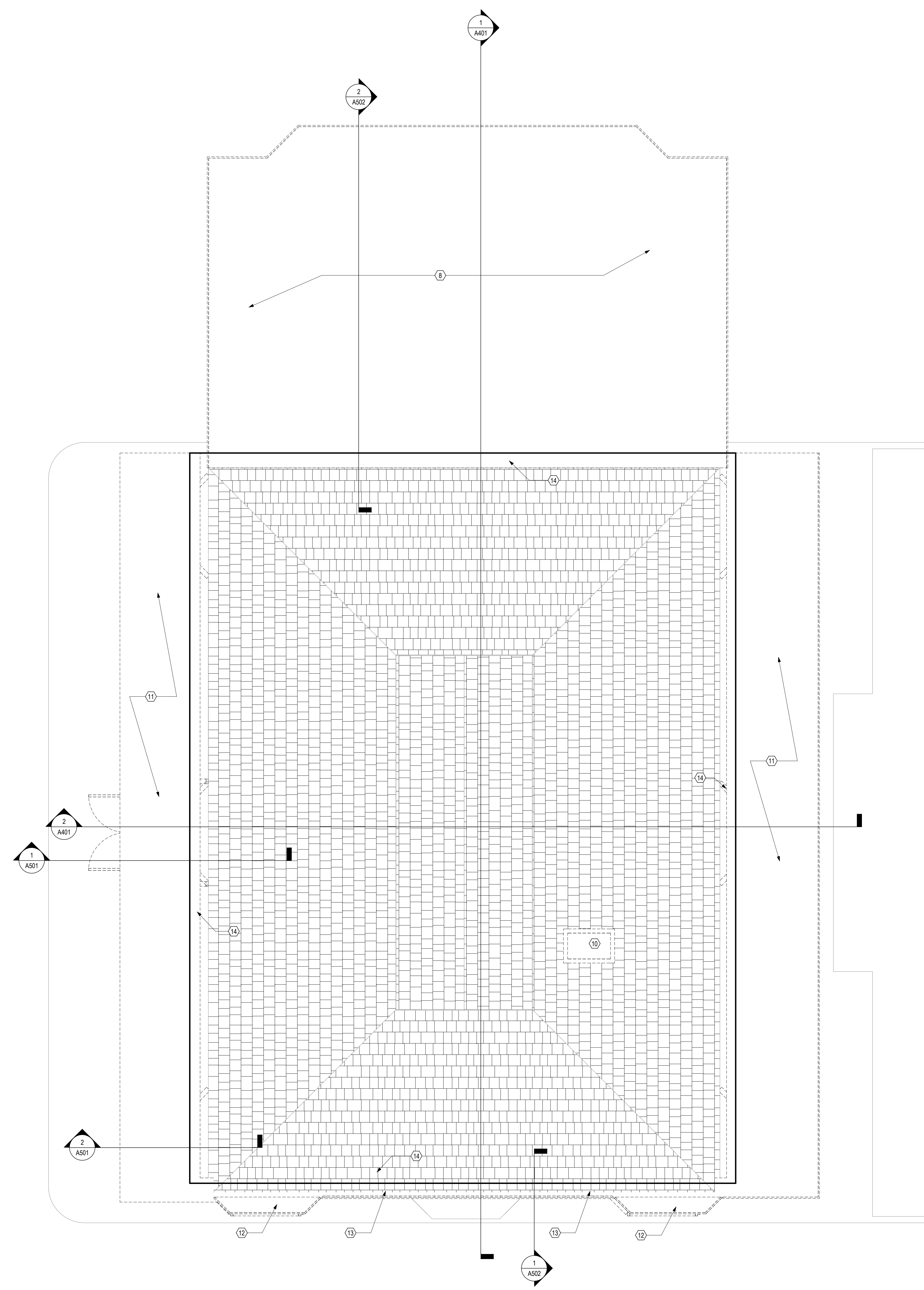
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 PRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**DEMO ELEVATIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	2022
<b>AD102</b>	
FINAL DEVELOPMENT PLAN	



**1 PLAN** ROOF DEMO PLAN  
 1/4" = 1'-0"

**GENERAL NOTES - DEMOLITION PLANS**

**DEMOLITION LEGEND**

XXX	ROOM NUMBER
—	CONSTRUCTION TO REMAIN
- - -	CONSTRUCTION TO BE REMOVED
⌢	DOOR TO REMAIN
⌢	DOOR TO BE REMOVED

**# CODED DEMOLITION NOTES**

1. REMOVE EXISTING WALL IN ITS ENTIRETY.
2. REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
3. REMOVE EXISTING CASEWORK IN ITS ENTIRETY.
4. REMOVE EXISTING PLUMBING FIXTURE. COORDINATE w/ RELATED WORK ON PLUMBING DRAWINGS.
5. REMOVE EXISTING STOREFRONT WINDOW.
6. REMOVE EXISTING EXTERIOR WALL.
7. REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
8. REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. REMOVE A PORTION OF EXISTING WALL.
10. REMOVE A PORTION OF THE CHIMNEY. **HOW MUCH? - REVIEW W/ MECH.**
11. REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK AND STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. SEE ROOF DETAILS FOR EXISTING BUILDING SLATE ROOFING TO REMAIN.
12. REMOVE EXISTING BAY WINDOW -WALL AND ROOF IN THEIR ENTIRETY.
13. REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
14. EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING. REPLACE ONLY ONE COURSE OF EXISTING SLATE OVER NEW ROOF OVERLAP. SEE ROOFING DETAILS.

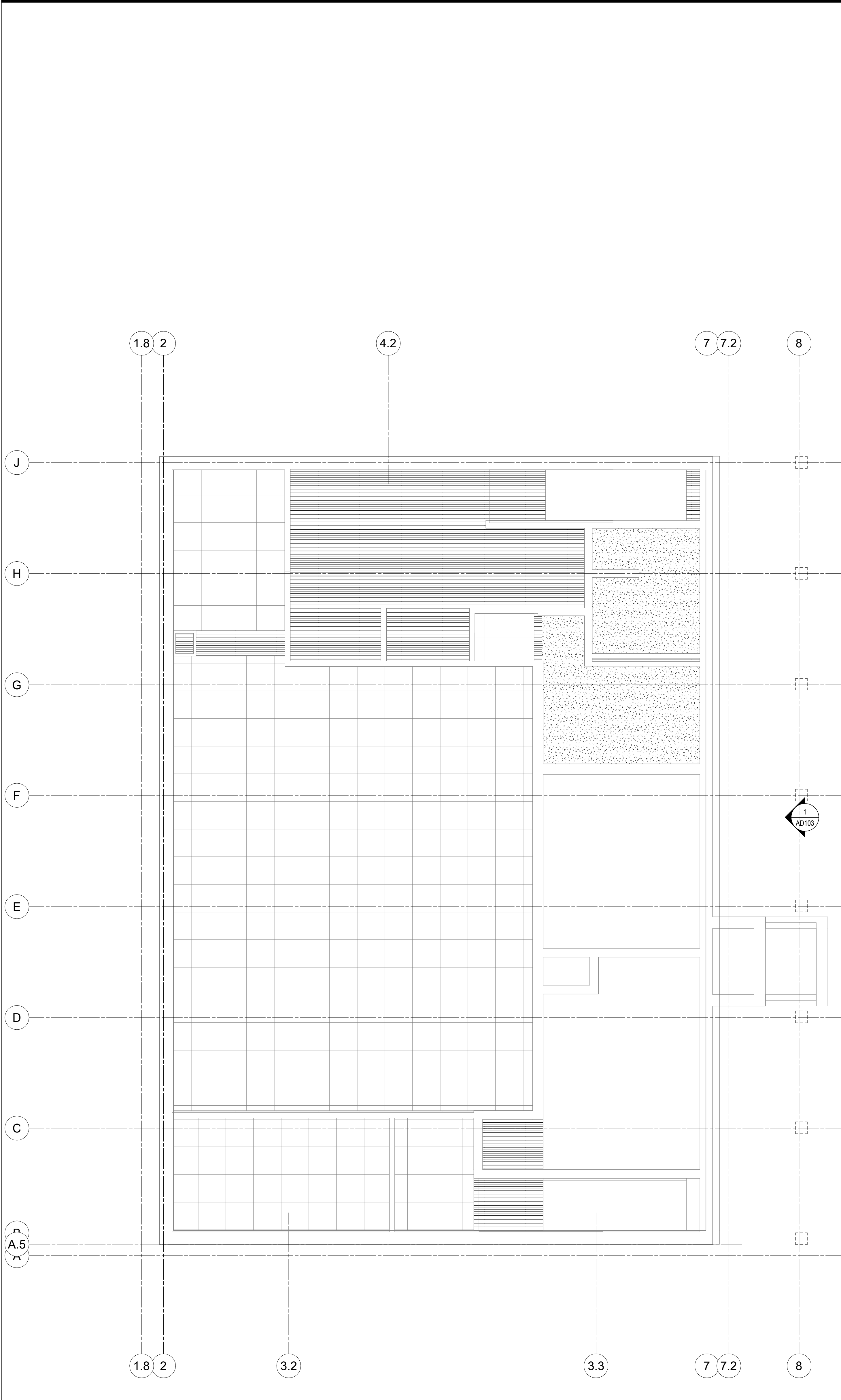
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6303 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR HEARTLAND BANK

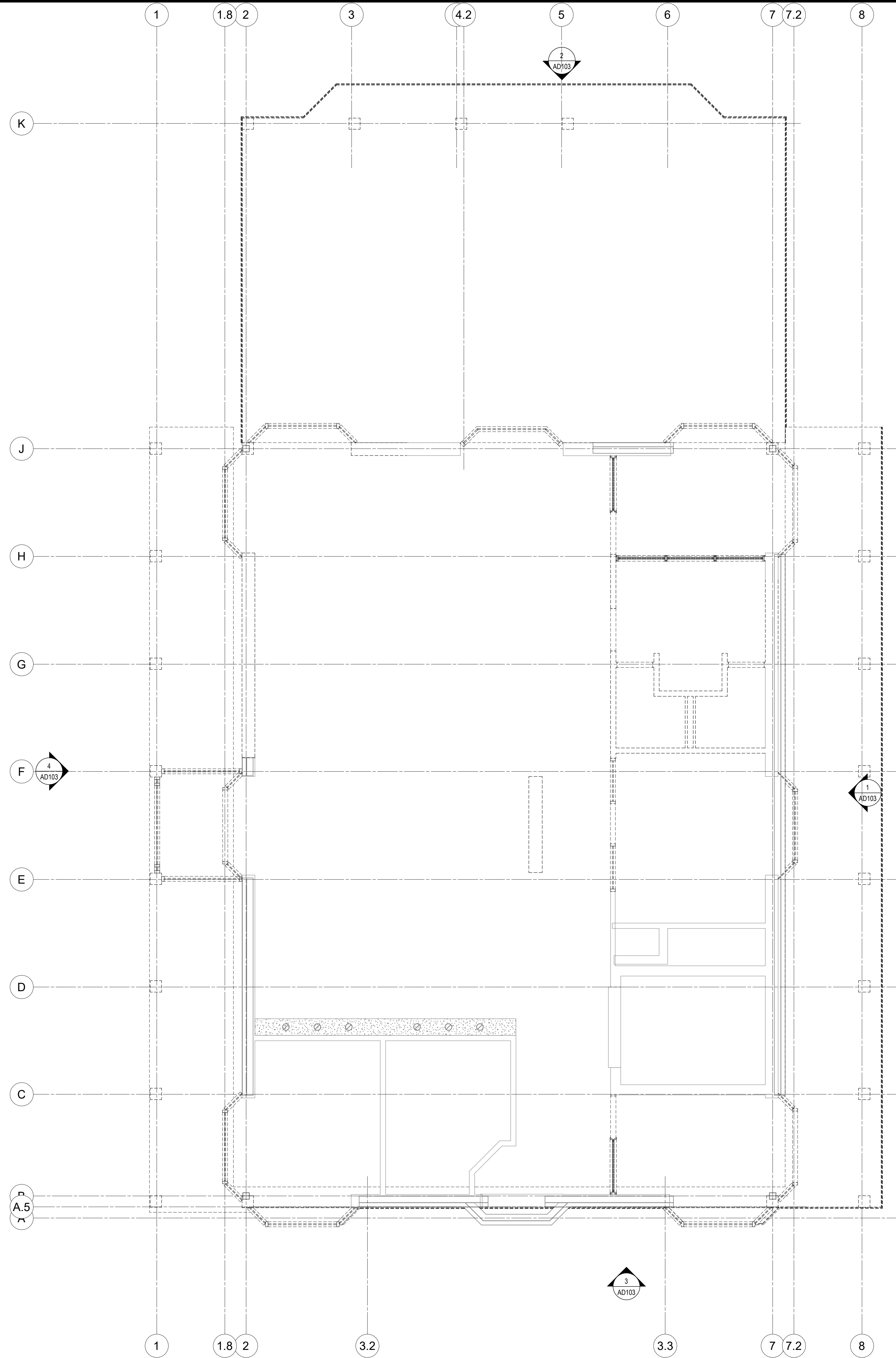
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**ROOF DEMO PLAN**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker
	20022
	<b>AD103</b>
FINAL DEVELOPMENT PLAN	



**2 BASEMENT FLOOR DEMO RCP**  
 1/4" = 1'-0"



**1 FIRST FLOOR DEMO RCP**  
 1/4" = 1'-0"

**GENERAL NOTES - DEMOLITION PLANS**

**DEMOLITION LEGEND**

- XXX ROOM NUMBER
- CONSTRUCTION TO REMAIN
- - - CONSTRUCTION TO BE REMOVED
- DOOR TO REMAIN
- - - DOOR TO BE REMOVED

**CODED DEMOLITION NOTES**

1. REMOVE EXISTING WALL IN ITS ENTIRETY.
2. REMOVE EXISTING DOOR, HARDWARE AND FRAME IN ITS ENTIRETY.
3. REMOVE EXISTING CASEWORK IN ITS ENTIRETY.
4. REMOVE EXISTING PLUMBING FIXTURE, COORDINATE W/ RELATED WORK ON PLUMBING DRAWINGS.
5. REMOVE EXISTING STOREFRONT WINDOW.
6. REMOVE EXISTING EXTERIOR WALL.
7. REMOVE EXISTING WOOD COLUMNS. SEE STRUCTURAL.
8. REMOVE ENTIRE DRIVE-THRU ROOF. INCLUDES ALL ROOFING MATERIALS, DECKING, STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. REMOVE A PORTION OF EXISTING WALL.
10. REMOVE A PORTION OF THE CHIMNEY. HOW MUCH? - REVIEW W/ MECH.
11. REMOVE EAST & WEST PORCH ROOF CANOPIES ENTIRELY INCLUDING ROOFING, DECK AND STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS FOR MODIFICATION OF EXISTING ROOF TRUSS CANTILEVER. SEE ROOF DETAILS FOR EXISTING BUILDING SLATE ROOFING TO REMAIN.
12. REMOVE EXISTING BAY WINDOW - WALL AND ROOF IN THEIR ENTIRETY.
13. REMOVE EXISTING FASCIA AND RECESSED GUTTER BACK TO ROOF RIM JOIST FRAMING.
14. EXISTING SLATE ROOFING TO REMAIN. REMOVE 1ST TWO COURSES OF ROOF SLATE FOR TIE-IN TO NEW ROOFING. REPLACE ONLY ONE COURSE OF EXISTING SLATE OVER NEW ROOF OVERLAP. SEE ROOFING DETAILS.

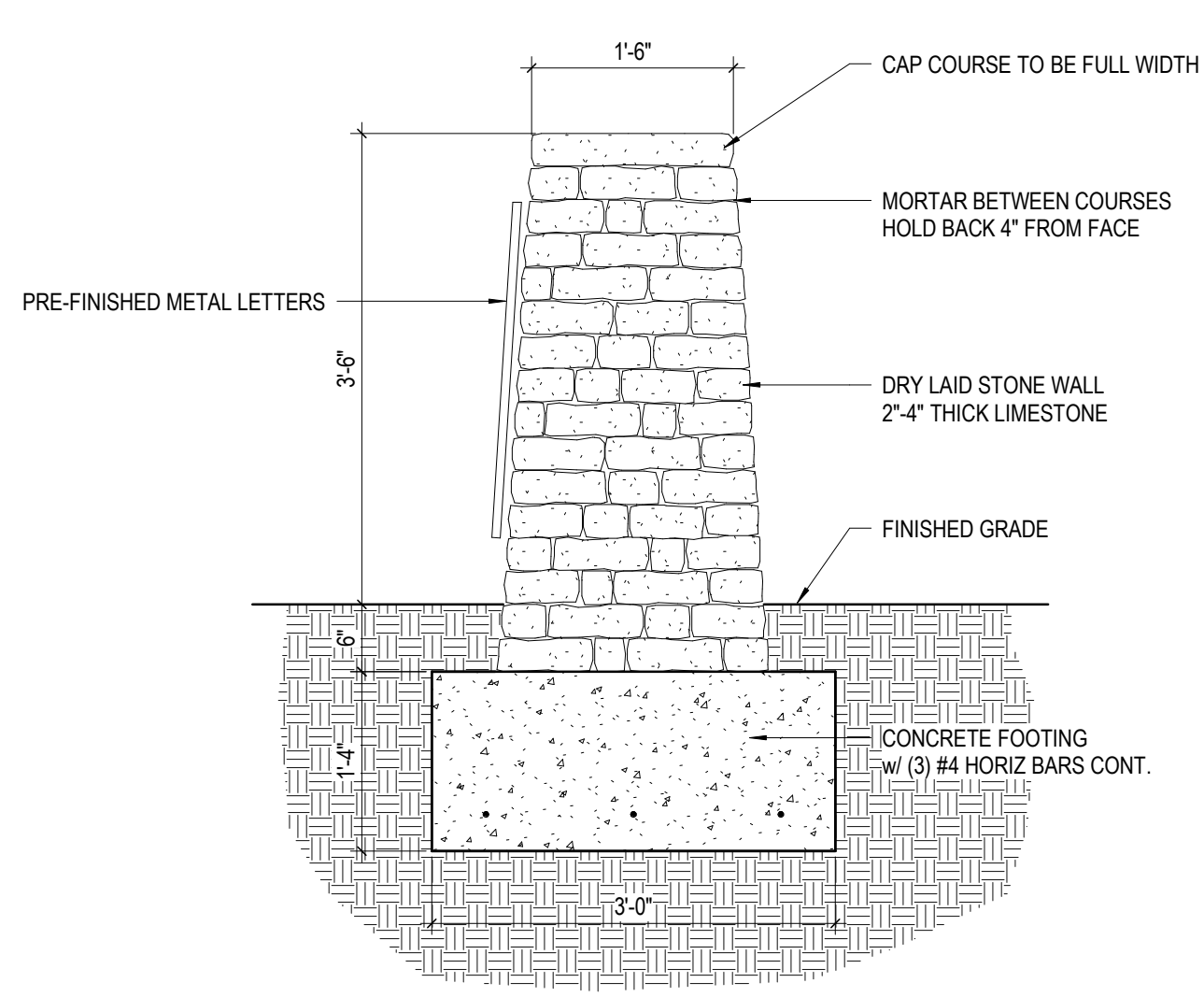
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN** 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**DEMO RCP**

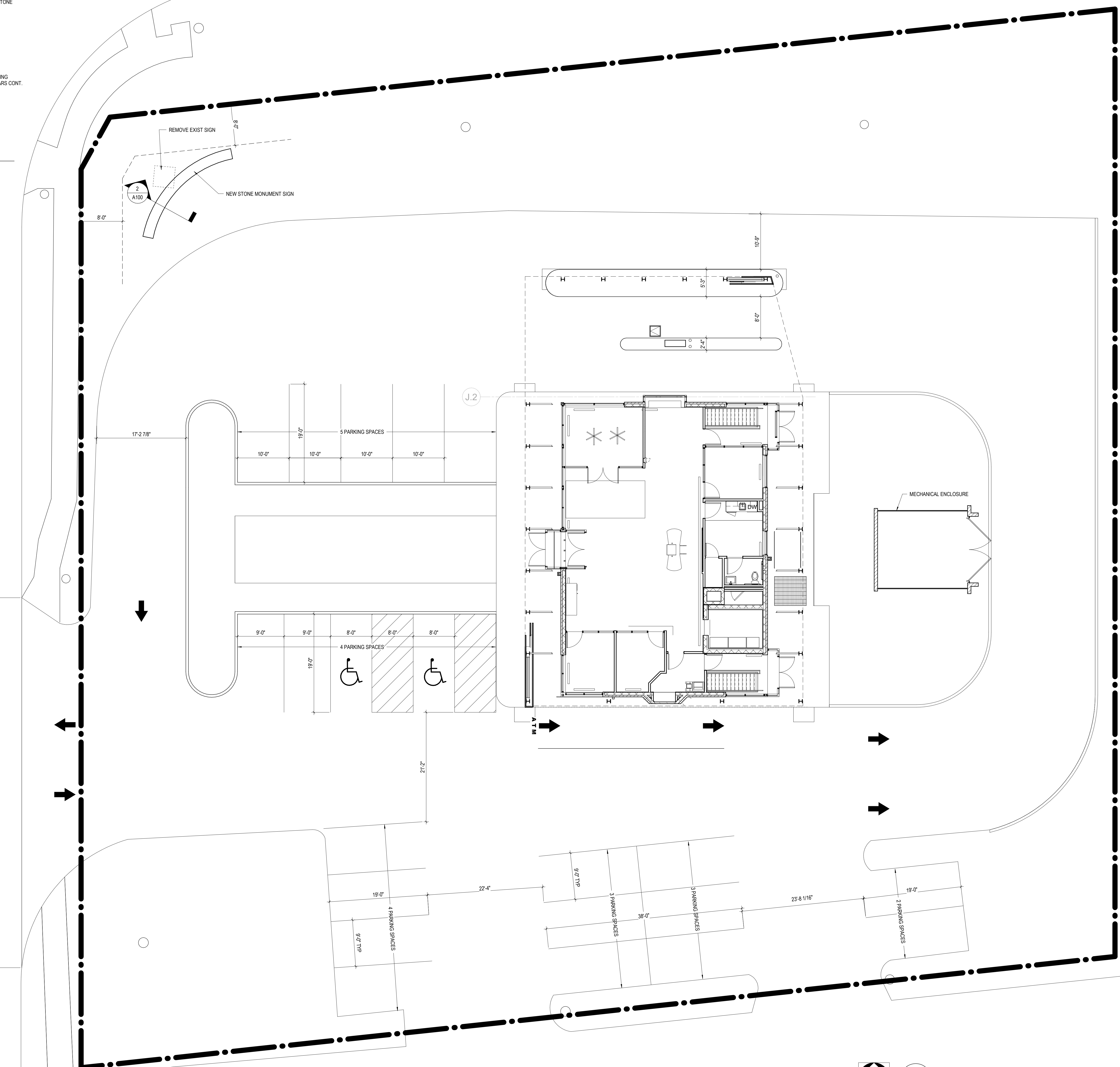
PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker 20022
	AD201
FINAL DEVELOPMENT PLAN	



**2 SECTION**  
MONUMENT SIGN  
3/4" = 1'-0"

STATE RT. #33

FRANTZ ROAD



**GENERAL NOTES - PARKING PLAN**

1. THIS PROJECT INVOLVES THE RENOVATION OF AN EXISTING BUILDING AND SITE WITH 27 EXISTING PARKING SPACES. DURING THE DESIGN PROCESS THE SITE LAYOUT AND PARKING COUNT AS IS. DURING THE DESIGN PROCESS SOME MINOR REVISIONS WERE MADE TO THE SITE LAYOUT THAT RESULTED IN THE ELIMINATION OF 6 PARKING SPACES. OUR FINAL SITE PLAN NOW HAS 21 PARKING SPACES. SINCE WE HAVE MADE A CHANGE TO THE SITE, WE ARE NOW TECHNICALLY EXCEEDING THE ALLOWABLE NUMBER OF PARKING SPACES BY SIX. HEARTLAND BANK WANTS TO MAINTAIN THE SIX EXTRA EXISTING PARKING SPACES AS THEY WILL BE NEEDED SOMETIMES, AND THEY DON'T WANT TO RELY ON THE ADJACENT SHOPPING CENTER PARKING FOR OVERFLOW.

BASEMENT - 2,106 SF  
FIRST FLOOR - 2,280 SF  
TOTAL BUILDING - 4,386 SF  
TOTAL PARKING - 21 SPACES  
REQUIRED PARKING (4386/100x2.5) = 11 SPACES

**KEYNOTE LEGEND**

#	DATE	CHANGE DESCRIPTION

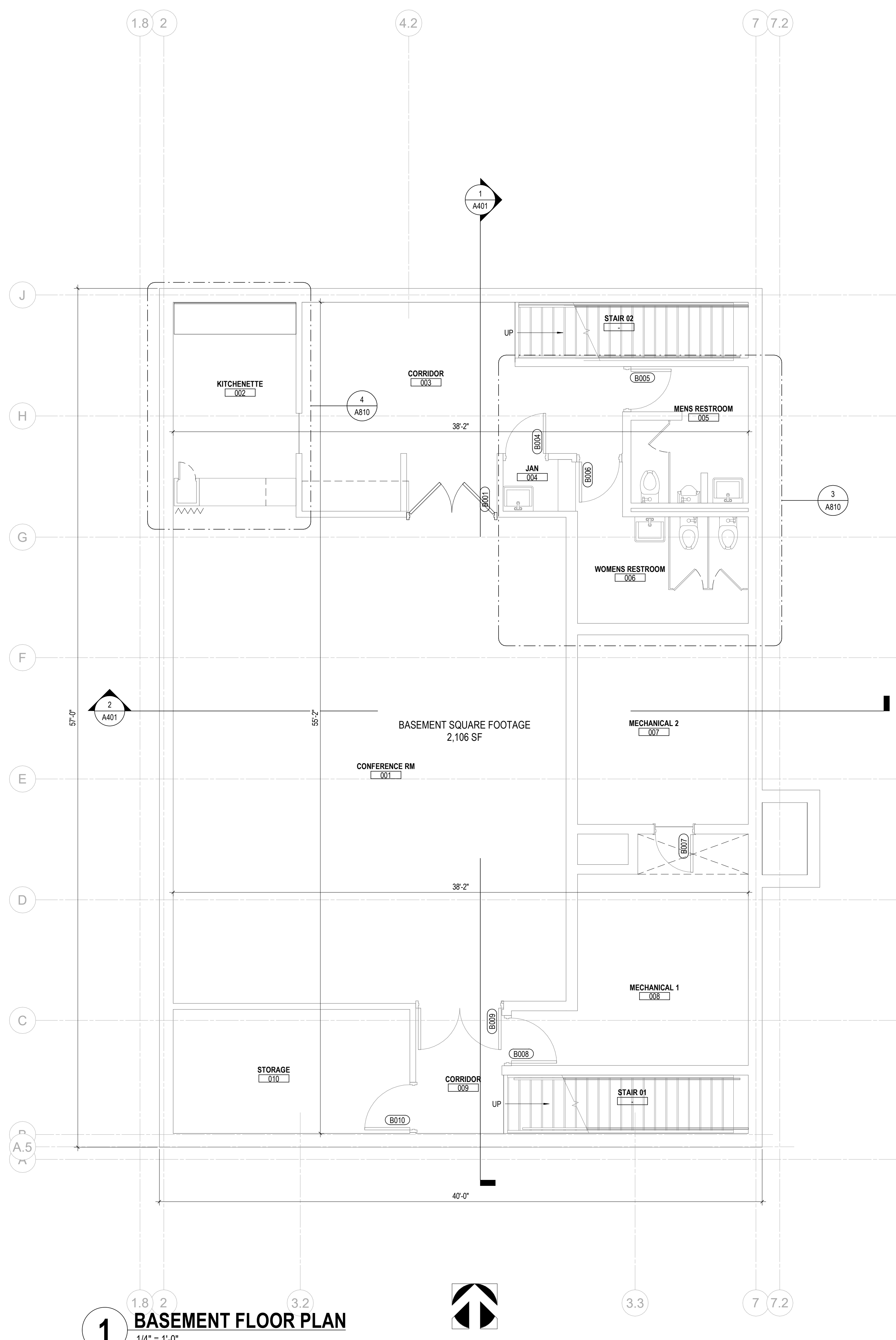
**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**ARCHITECTURAL SITE PLAN**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
<b>A100</b>	
FINAL DEVELOPMENT PLAN	

**1 ARCHITECTURAL SITE PLAN**  
1/8" = 1'-0"



**1** BASEMENT FLOOR PLAN  
 1/4" = 1'-0"

**FLOOR PLAN GENERAL NOTES**

1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **XXX**.
5. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F.F., UNLESS NOTED OTHERWISE).

**CODED NOTE LEGEND**

- ① TBD
- ② TBD
- ③ TBD
- ④ TBD
- ⑤ TBD

**RATED WALL LEGEND**

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

**KEYNOTE LEGEND**

#	DATE	CHANGE DESCRIPTION

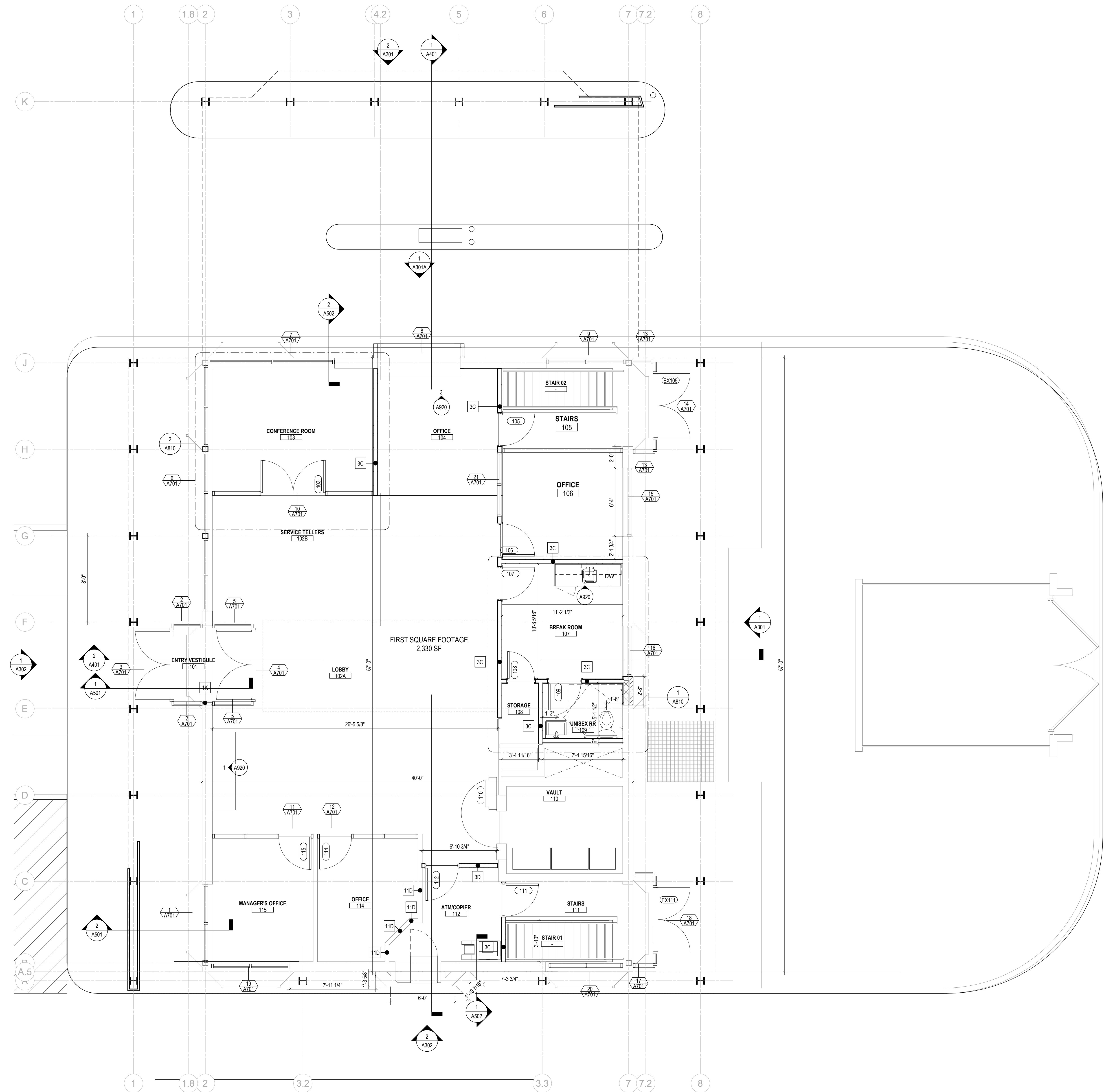
**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5505 PRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**BASEMENT FLOOR PLAN**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: XXXX      CHECKED BY: XXXX
	2022
	<b>A101</b>
FINAL DEVELOPMENT PLAN	





**1 FIRST FLOOR PLAN**  
 1/4" = 1'-0"

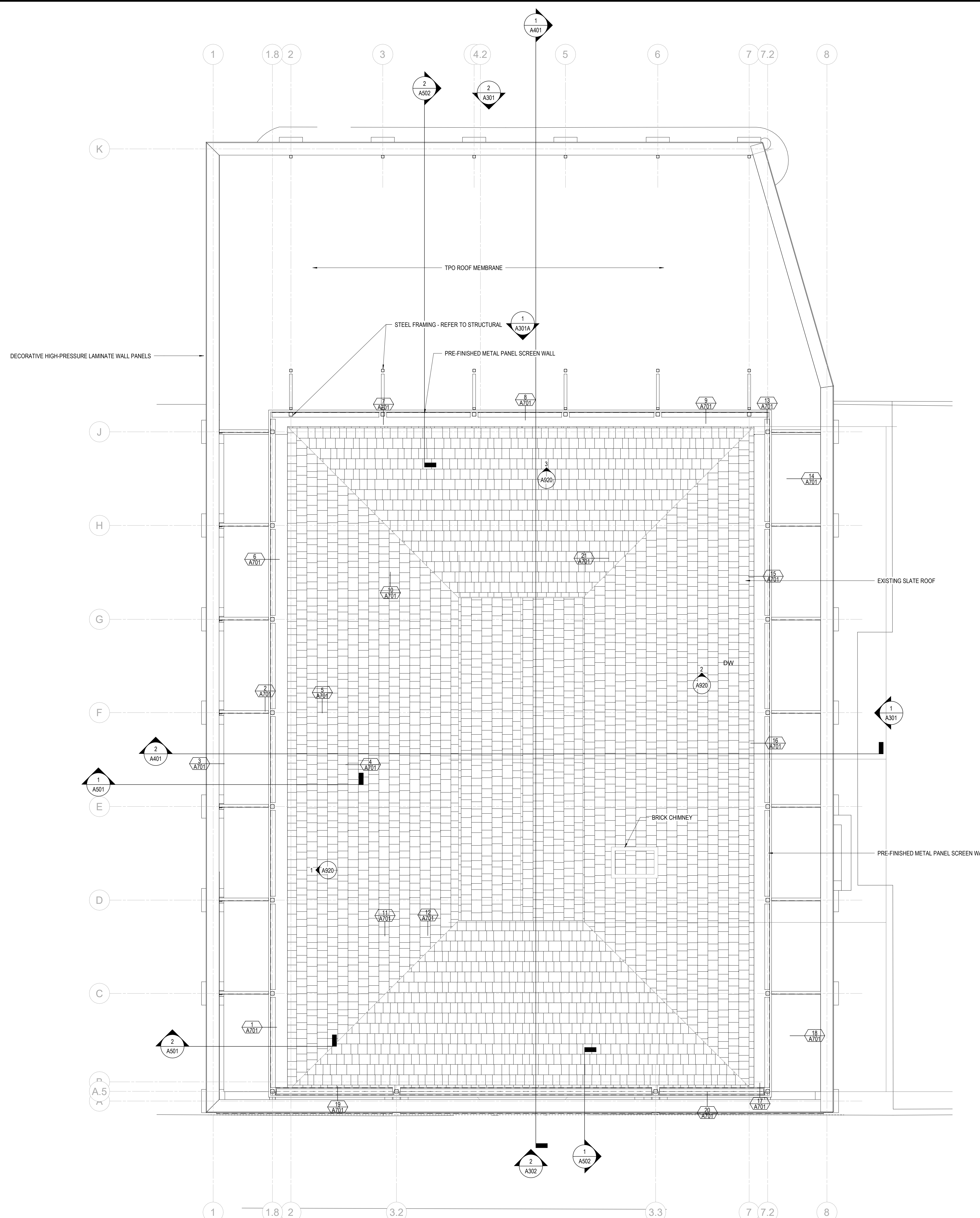
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 PRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

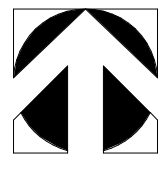
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**FIRST FLOOR PLAN**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker
	20022
<b>A102</b>	
FINAL DEVELOPMENT PLAN	



**1 ROOF PLAN**  
 1/4" = 1'-0"



**ROOF PLAN GENERAL NOTES**

1. X

**KEYNOTE LEGEND**

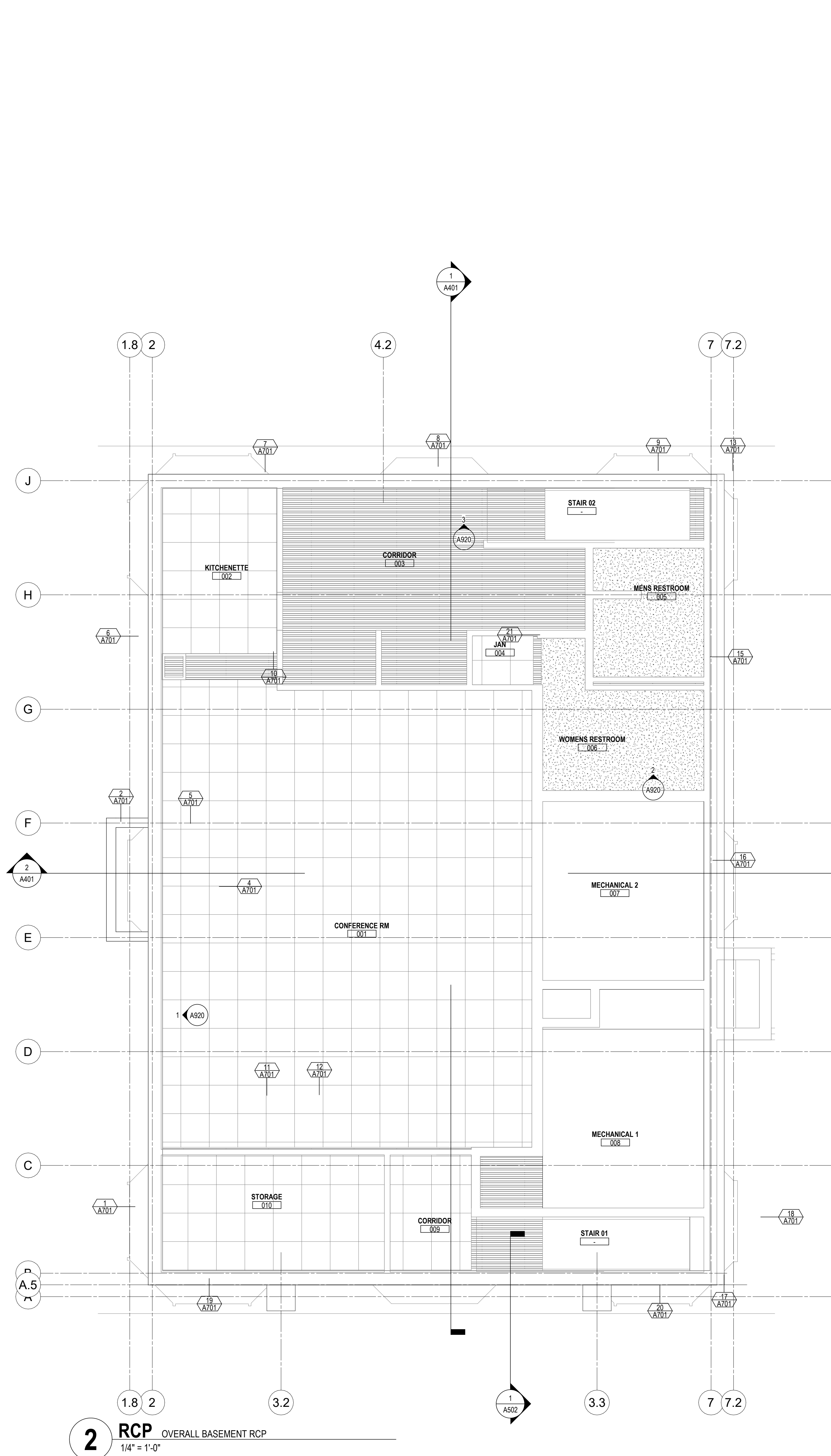
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 CLIENT LOGO IF AVAILABLE  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 for  
**HEARTLAND BANK**

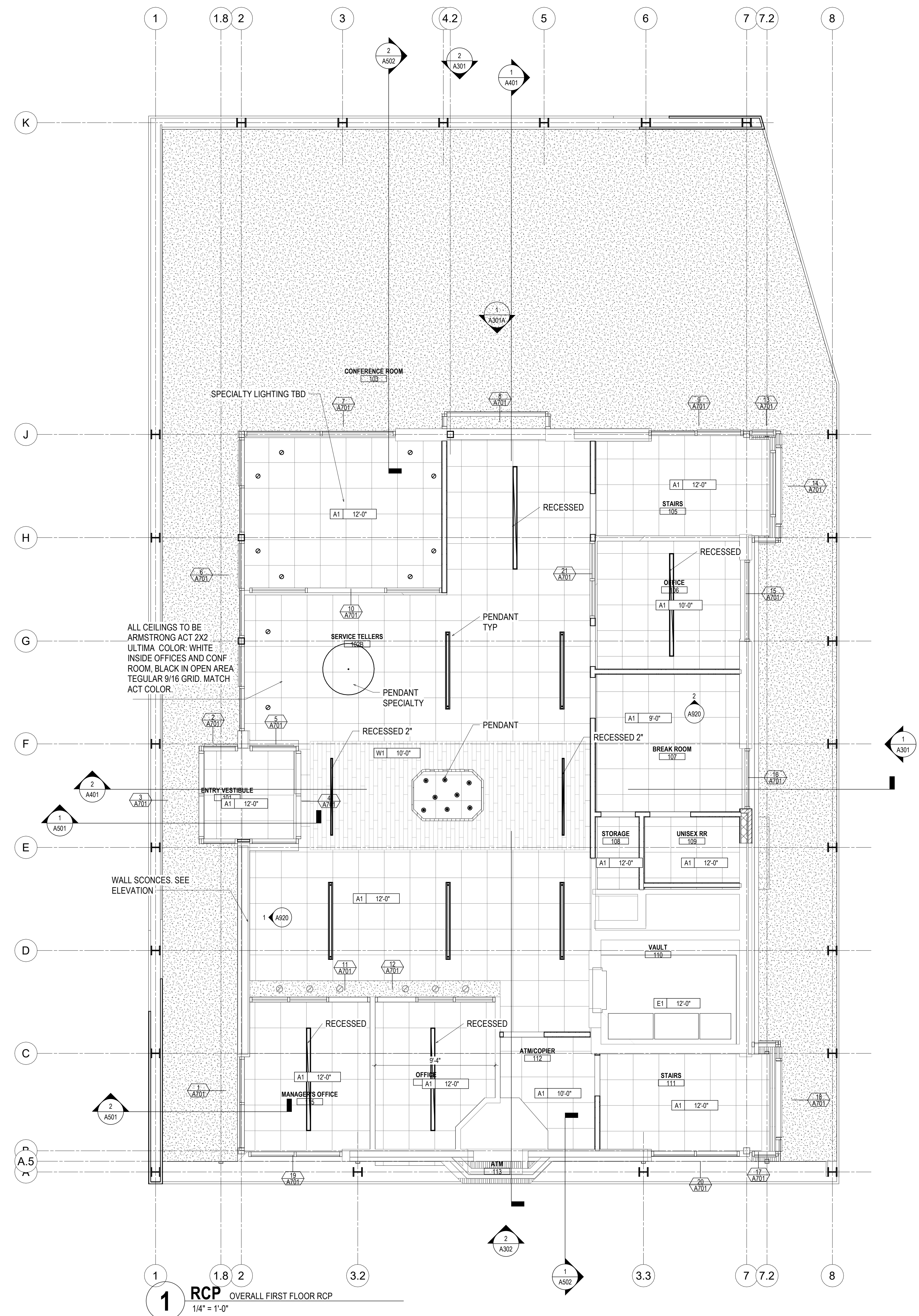
300 Spruce Street  
 Suite 300  
 Columbus, Ohio 43215  
 Phone: (614) 461-4664  
 Fax: (614) 280-8881

MOODY-NOLAN  
 Dwg. Coord.: Author Tech. Coord.: Checker 2022

PROGRESS DRAWING NOT FOR CONSTRUCTION  
**A103**  
 ROOF PLAN  
 FINAL DEVELOPMENT PLAN 11/30/2020



**2 RCP** OVERALL BASEMENT RCP  
 1/4" = 1'-0"



**1 RCP** OVERALL FIRST FLOOR RCP  
 1/4" = 1'-0"

**RCP GENERAL NOTES**

1. PAINT DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE AFOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
2. LIGHT FIXTURES SHOWN TO INDICATE PROPOSED FIXTURES & GENERAL DESIGN INTENT.
3. FINISHED CEILING HEIGHTS ARE MARKED FROM TOP OF FINISH FLOOR (UNLESS NOTED OTHERWISE).
4. COORDINATE LOCATION OF FIXTURES WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE SUPPRESSION AND TECHNOLOGY DRAWINGS. ANY CONFLICT BETWEEN TRADES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
5. FACE OF BULKHEADS ARE TO ALIGN WITH FACE OF ADJACENT WALLS TO WHICH BULKHEADS ARE PARALLEL. UNLESS NOTED OTHERWISE OR DIMENSIONED.
6. ALL GYPSUM BOARD SOFFITS & CEILINGS TO BE PAINTED FLAT CEILING WHITE (UNLESS NOTED OTHERWISE).
7. ALL GYPSUM SOFFITS IN FOOD SERVICE AREAS TO BE PAINTED WITH A SATIN FINISH.
8. PAINT DUCTWORK INSIDE AIR GRILLES FLAT BLACK.
9. CEILING GRIDS ARE CENTERED ON ROOM, U.N.O. OR DIMENSIONED.
10. WHERE EXIT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.
11. ALL CEILING DEVICES TO BE CENTERED IN TILE, U.N.O.

**CODED NOTE LEGEND**

- ① ALIGN FEATURES
- ② OPEN TO ABOVE
- ③ TBD
- ④ TBD
- ⑤ TBD

**RCP LEGEND**

- A1 ACOUSTIC CEILING TYPE 1: 2x2 LAY-IN CEILING
- A2 ACOUSTIC CEILING TYPE 2: 2x4 LAY-IN CEILING
- E1 EXPOSED STRUCTURE ABOVE
- G1 GYPSUM BOARD CEILING OR SOFFIT
- 2x2 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- 2x4 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- 1x4 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- 1x8 FLUORESCENT LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- RECESSED CAN LIGHT
- SURFACE MOUNTED LIGHT
- LINEAR COVE LIGHT
- EXIT LIGHT WITH DIRECTIONAL ARROW
- EXIT LIGHT
- SUPPLY DIFFUSER
- LINEAR DIFFUSER
- EXHAUST/RETURN GRILLE
- SPEAKER
- CEILING TAG WITH HEIGHT

NOTE: COORDINATE ARCHITECTURAL REFLECTED CEILING PLANS WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR NUMBER OF AND LOCATIONS OF AND TYPES OF FIXTURES AND GRILLES. NOT ALL ITEMS SHOWN ON LEGEND MAY BE PRESENT IN PROJECT.

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT

**RCP CEILING SCHEDULE**

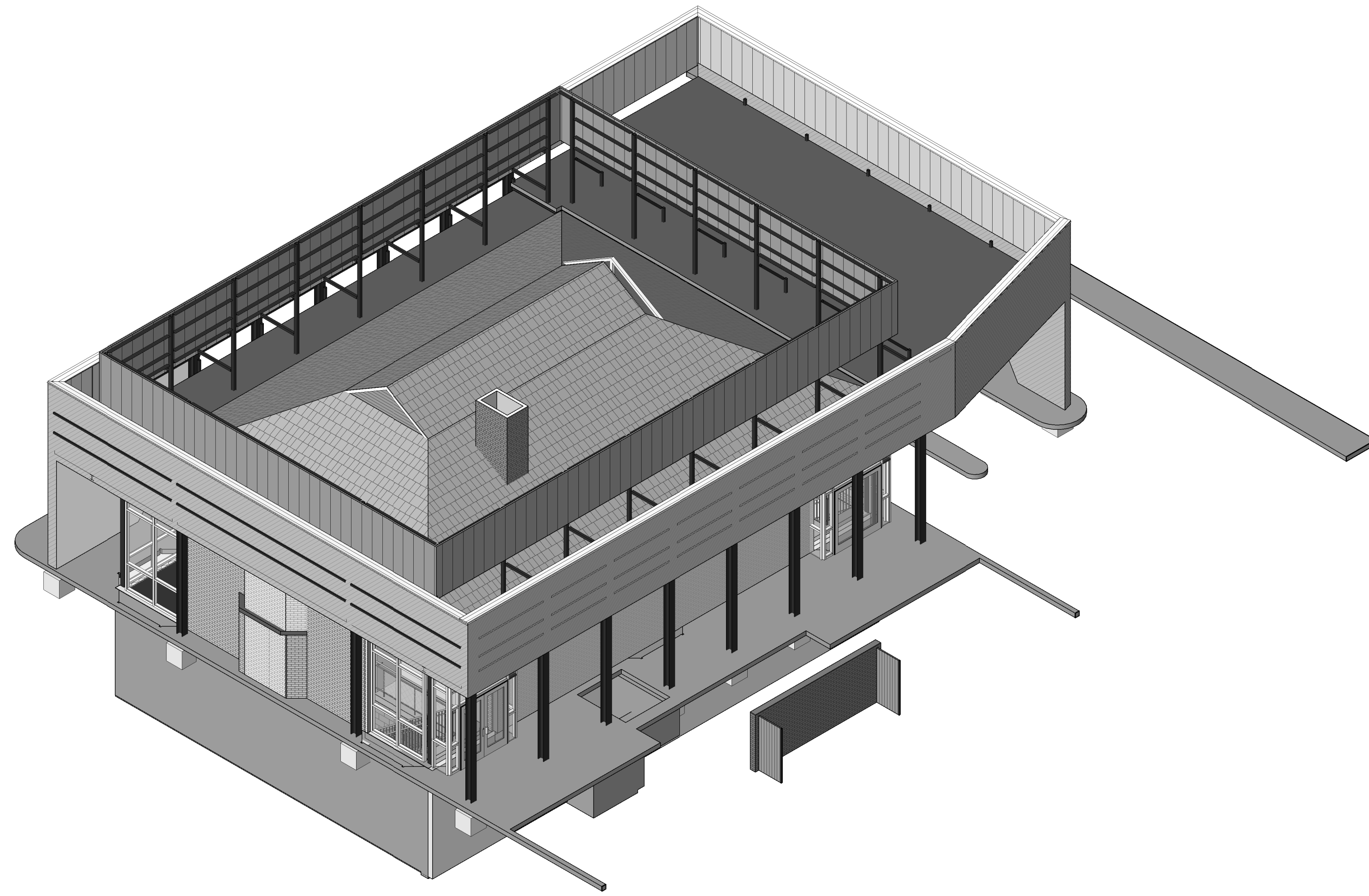
CEILING TYPE SCHEDULE	
TYPE	DESCRIPTION
#A1	DATE CHANGE DESCRIPTION
E1	
G1	
WT	WOOD PLANK

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5303 PRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

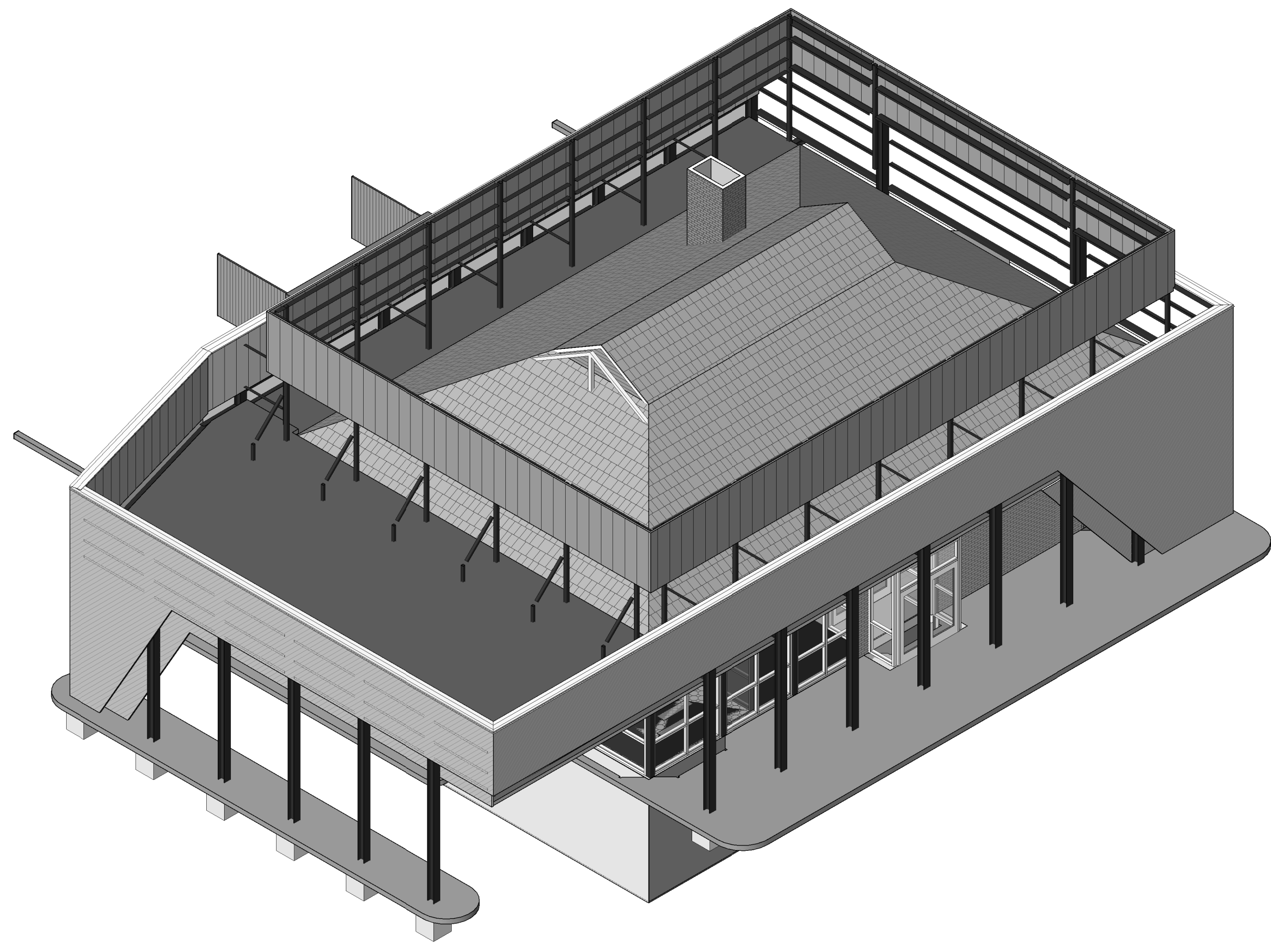
300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**RCP - OVERALL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020 DRAWN BY: xxx CHECKED BY: xxx
	2022
	<b>A201</b> FINAL DEVELOPMENT PLAN




1 3D AXON - SE



2 3D AXON - NW

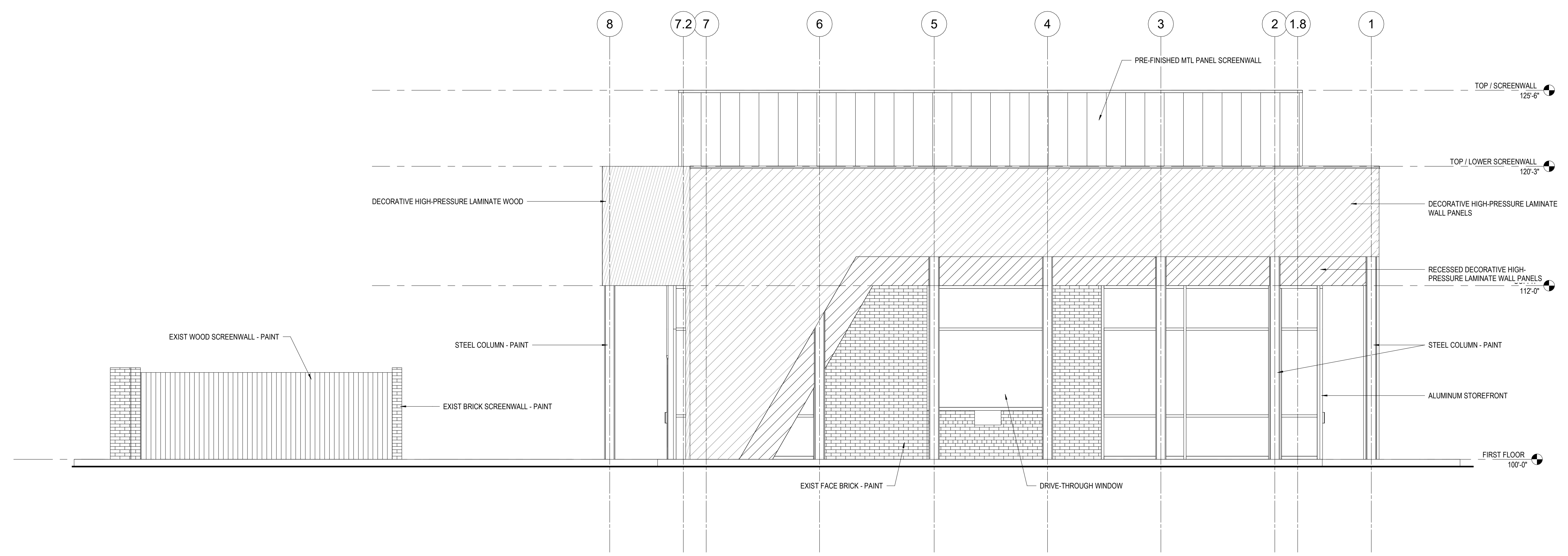
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6300 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**AXONOMETRIC VIEWS**

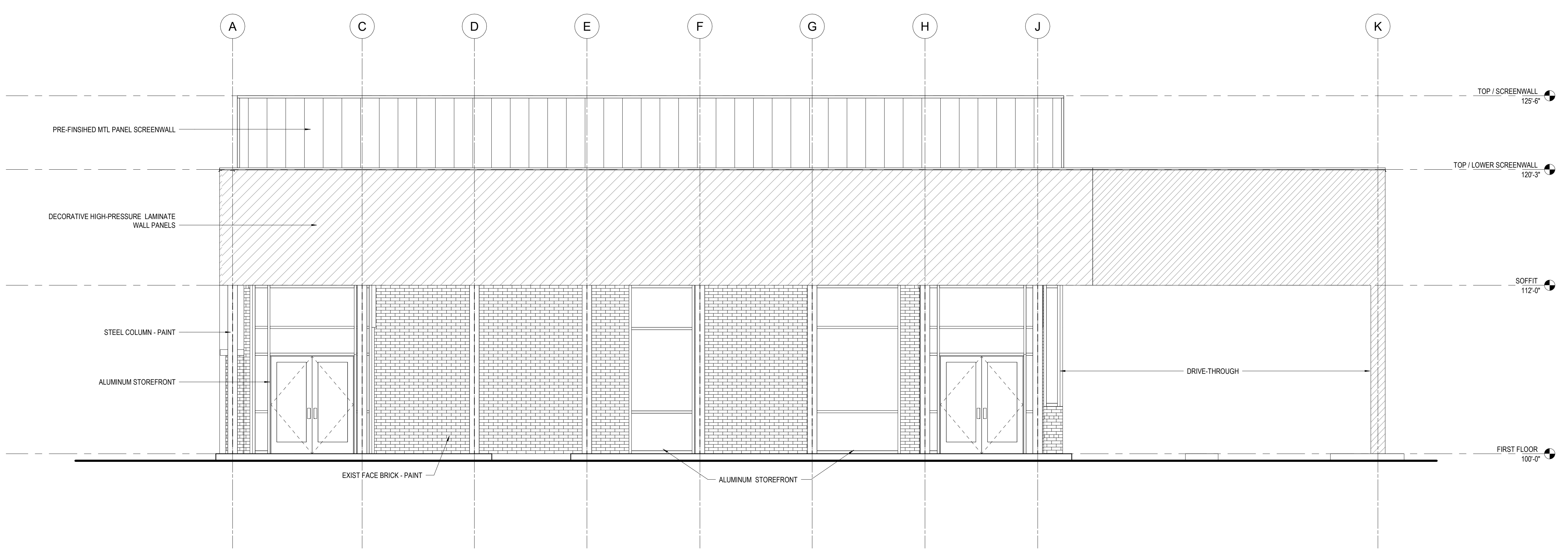
PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker
	20022
<b>A300</b>	
FINAL DEVELOPMENT PLAN	



**2 ELEVATION NORTH**  
1/4" = 1'-0" REF: 1 / A102

**MATERIAL QUANTITIES - NORTH ELEVATION**  
 TOTAL - 1,318 SF  
 BRICK - 151 SF (11.5%)  
 STOREFRONT - 385 SF (29.2%)  
 DECORATIVE HIGH-PRESSURE LAMINATE PANELS - 554 SF (42.0%)  
 METAL SCREENWALL PANELS - 228 SF (17.3%)

**TRANSPARENCY PERCENTAGES AT BUILDING**  
 NORTH ELEVATION - 385 SF GLAZING / 536 SF = 71.8%



**1 ELEVATION EAST**  
1/4" = 1'-0" REF: 1 / A102

**MATERIAL QUANTITIES - EAST ELEVATION**  
 TOTAL - 1,692 SF  
 BRICK - 370 SF (21.9%)  
 STOREFRONT - 314 SF (18.5%)  
 DECORATIVE HIGH-PRESSURE LAMINATE PANELS - 705 SF (41.6%)  
 METAL SCREENWALL PANELS - 303 SF (18.0%)

**TRANSPARENCY PERCENTAGES AT BUILDING**  
 EAST ELEVATION - 314 SF GLAZING / 684 SF = 45.9%

KEY VALUE	KEYNOTE TEXT
-----------	--------------

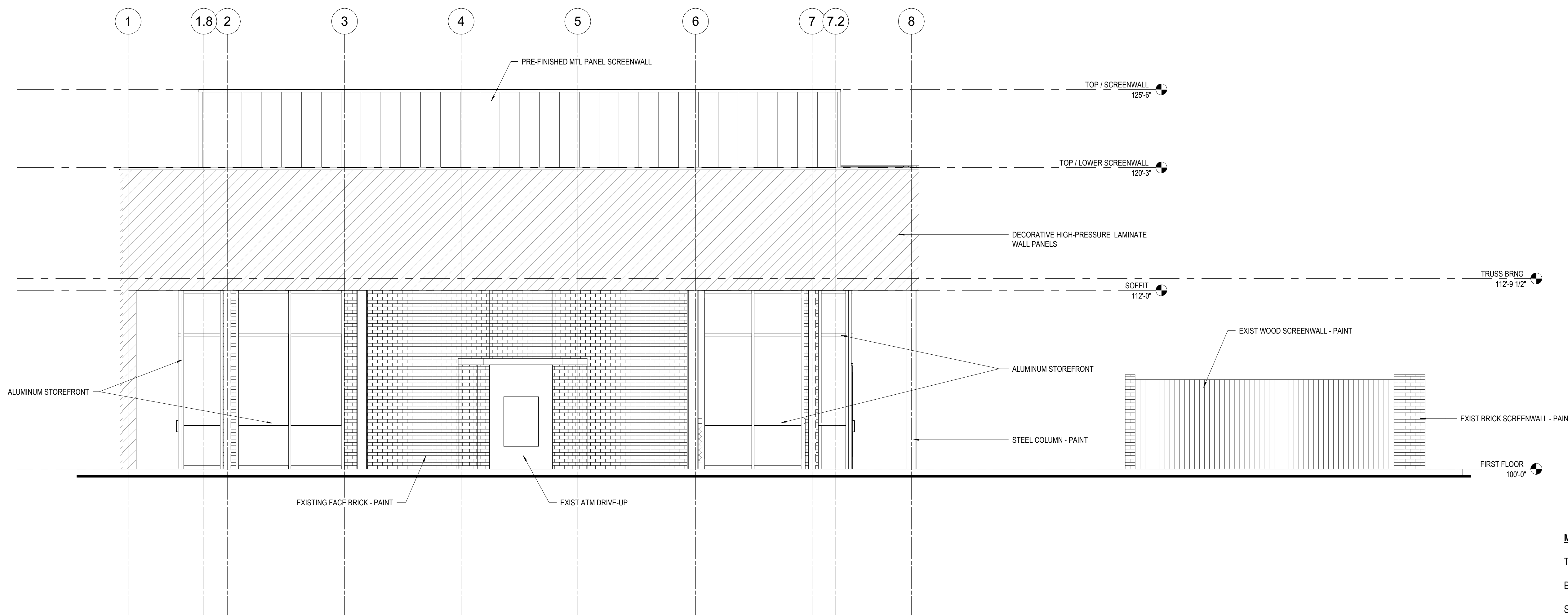
#	DATE	CHANGE DESCRIPTION
---	------	--------------------

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**EXTERIOR ELEVATIONS - OVERALL**

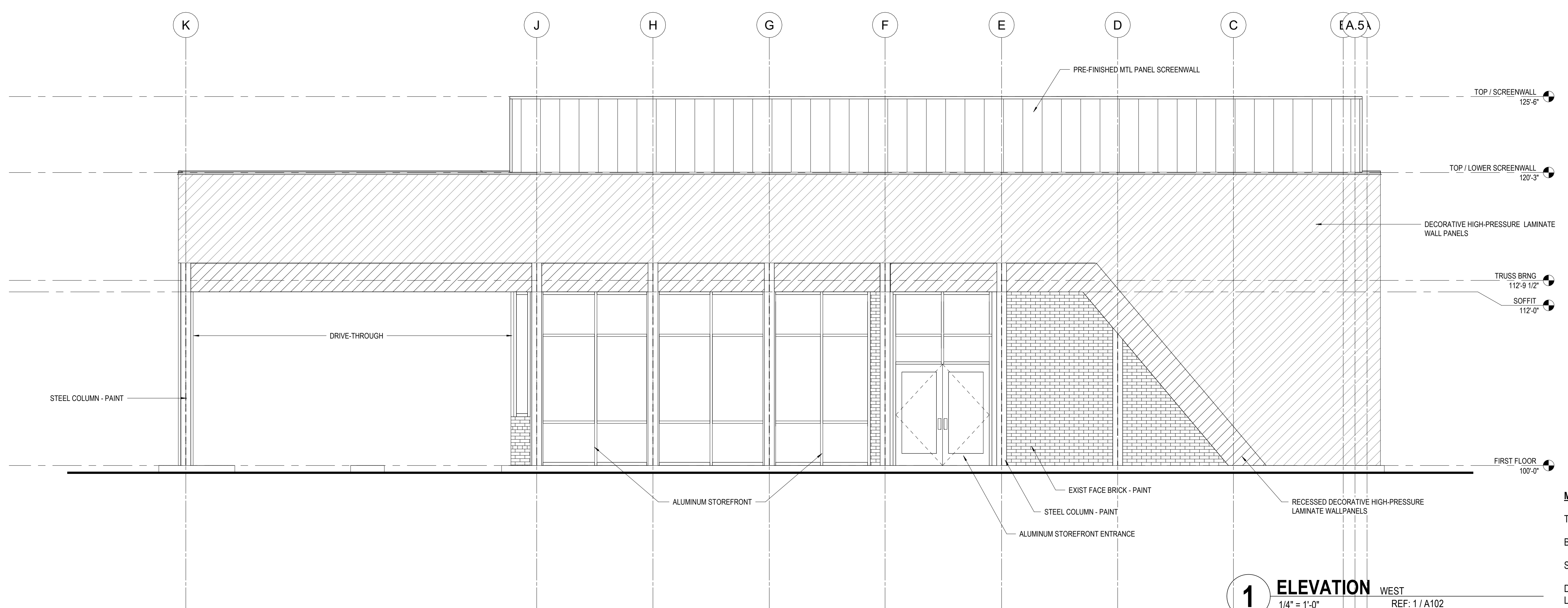
PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: XXXX CHECKED BY: XXXX
	20022
	<b>A301</b>
	FINAL DEVELOPMENT PLAN



**2 ELEVATION** SOUTH  
1/4" = 1'-0" REF: 1 / A102

**MATERIAL QUANTITIES - SOUTH ELEVATION**  
 TOTAL - 1,170 SF  
 BRICK - 298 SF (25.5%)  
 STOREFRONT - 182 SF (15.5%)  
 DECORATIVE HIGH-PRESSURE LAMINATE PANELS - 462 SF (39.5%)  
 METAL SCREENWALL PANELS - 228 SF (19.5%)

**TRANSPARENCY PERCENTAGES AT BUILDING**  
 SOUTH ELEVATION - 182 SF GLAZING / 480 SF = 37.9%



**1 ELEVATION** WEST  
1/4" = 1'-0" REF: 1 / A102

**MATERIAL QUANTITIES - EAST ELEVATION**  
 TOTAL - 1,861 SF  
 BRICK - 248 SF (13.3%)  
 STOREFRONT - 436 SF (23.4%)  
 DECORATIVE HIGH-PRESSURE LAMINATE PANELS - 874 SF (47.0%)  
 METAL SCREENWALL PANELS - 303 SF (16.3%)

**TRANSPARENCY PERCENTAGES AT BUILDING**  
 WEST ELEVATION - 436 SF GLAZING / 684 SF = 63.7%

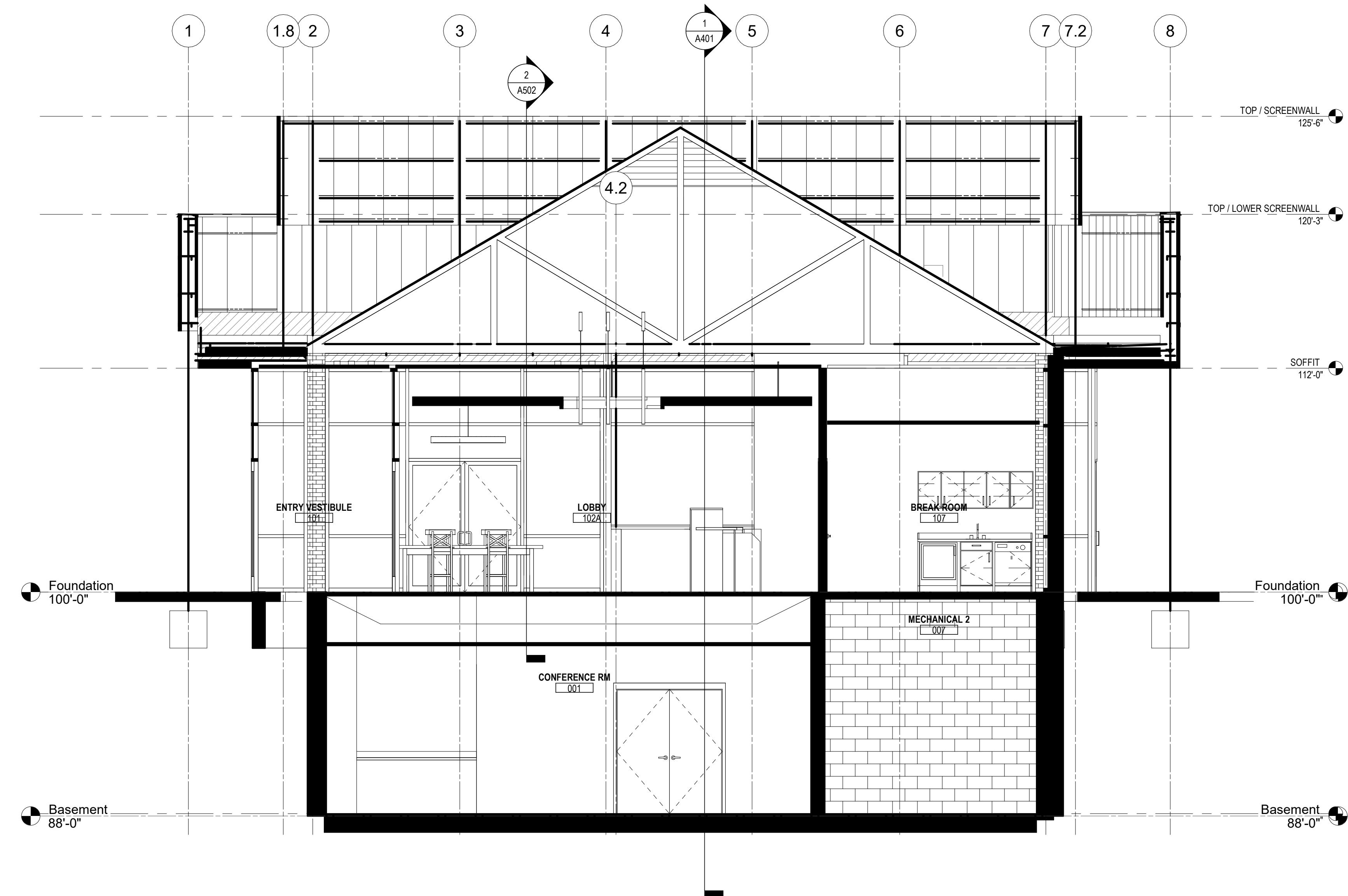
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5500 PRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

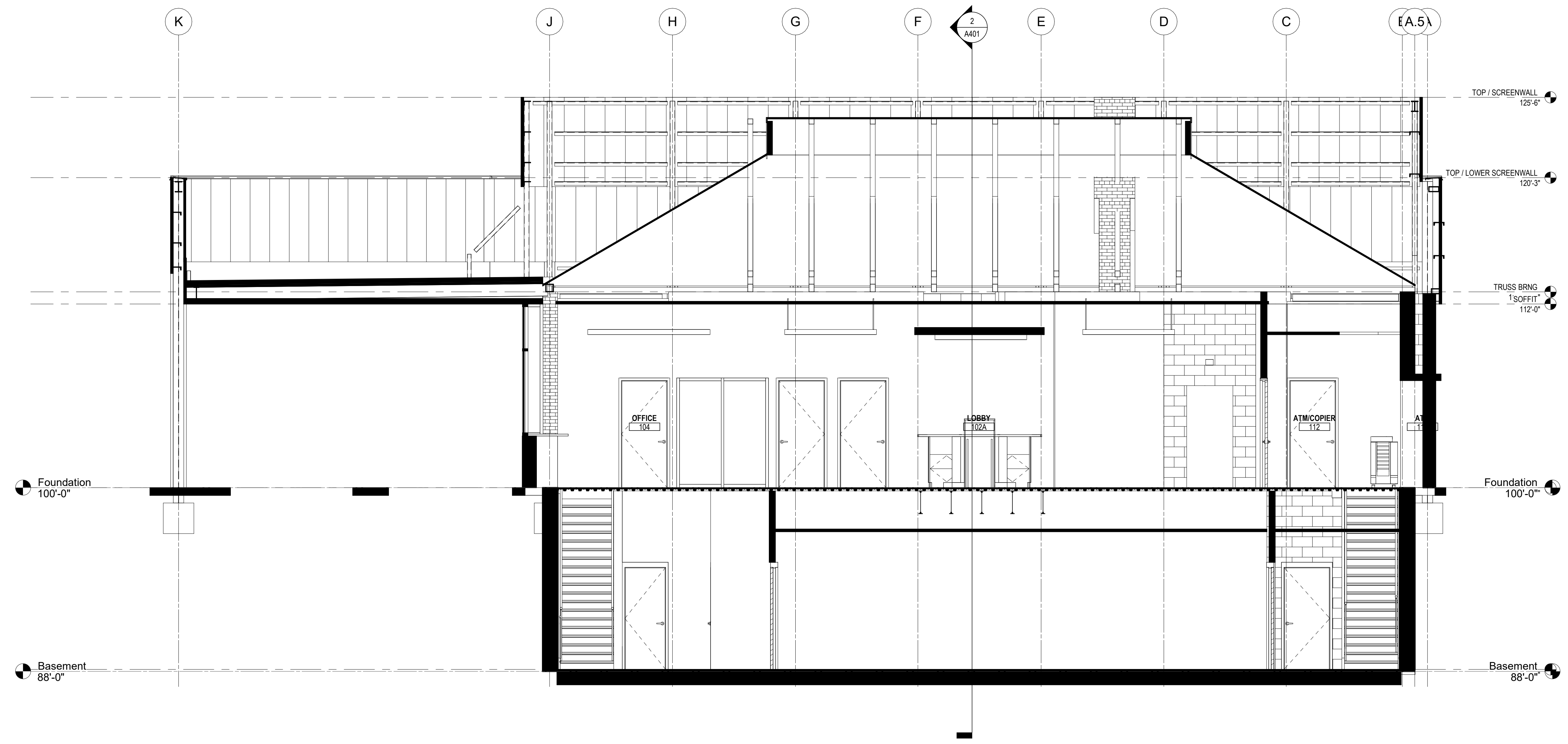
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**EXTERIOR ELEVATIONS - OVERALL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020	
	DRAWN BY: XXXX	CHECKED BY: XXXX
	20022	
	<b>A302</b>	
FINAL DEVELOPMENT PLAN		



**2 EAST-WEST BUILDING SECTION**  
1/4" = 1'-0"



**1 NORTH-SOUTH BUILDING SECTION**  
1/4" = 1'-0"

**GENERAL NOTES - BUILDING SECTIONS**

1. X

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
-----------	--------------

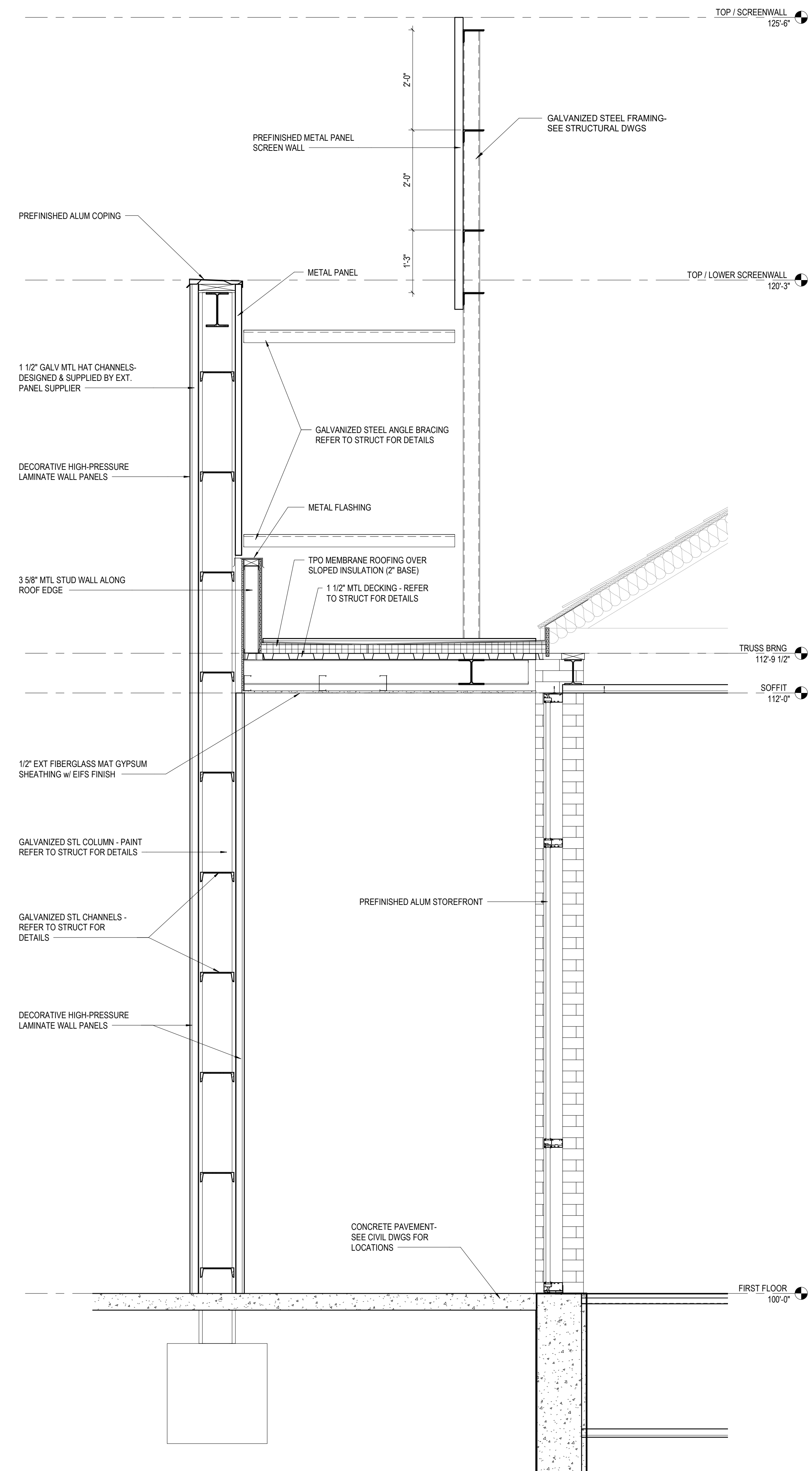
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5500 PRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

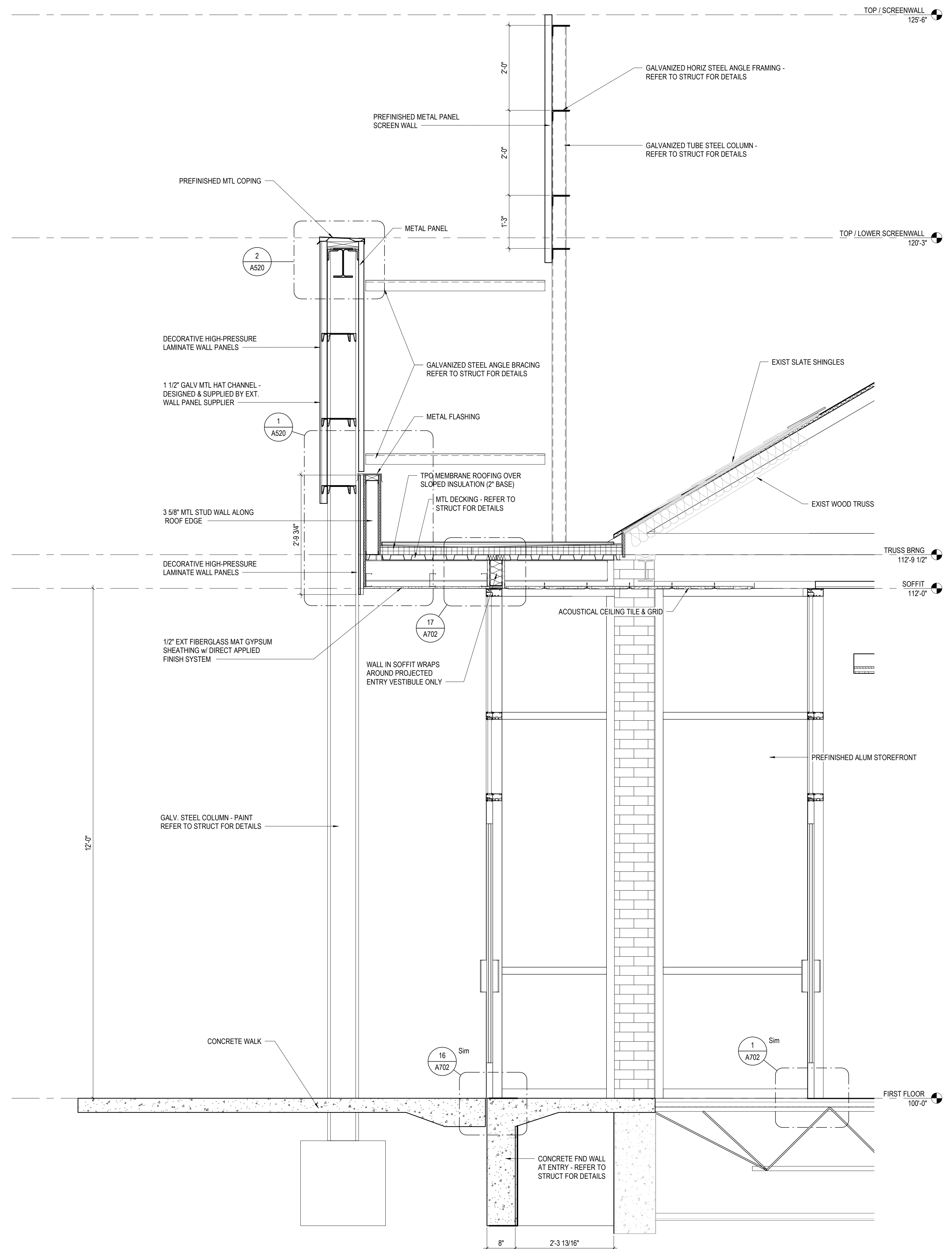
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**BUILDING SECTIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: XXXX CHECKED BY: XXXX
	20022
	<b>A401</b>
FINAL DEVELOPMENT PLAN	



**2 SECTION** WEST DOUBLE WALL  
3/4" = 1'-0" REF: 1 / A10



**1 SECTION** WEST MAIN ENTRY  
3/4" = 1'-0" REF: 1 / A102

**GENERAL NOTES - WALL SECTIONS**

1. X

**KEYNOTE LEGEND**

#	DATE	CHANGE DESCRIPTION

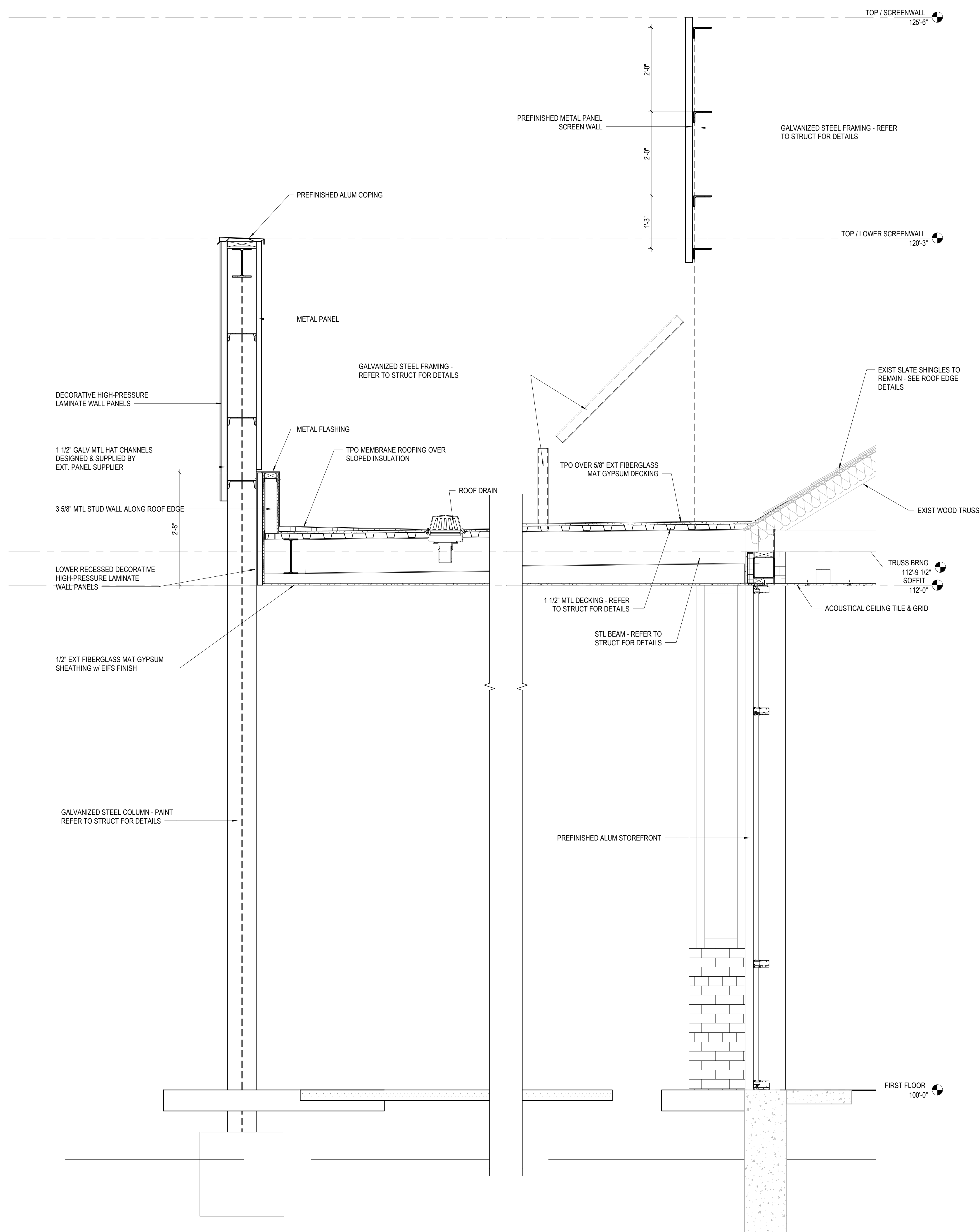
**RENOVATION OF HEARTLAND BANK DUBLIN**  
5300 PRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN** 300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

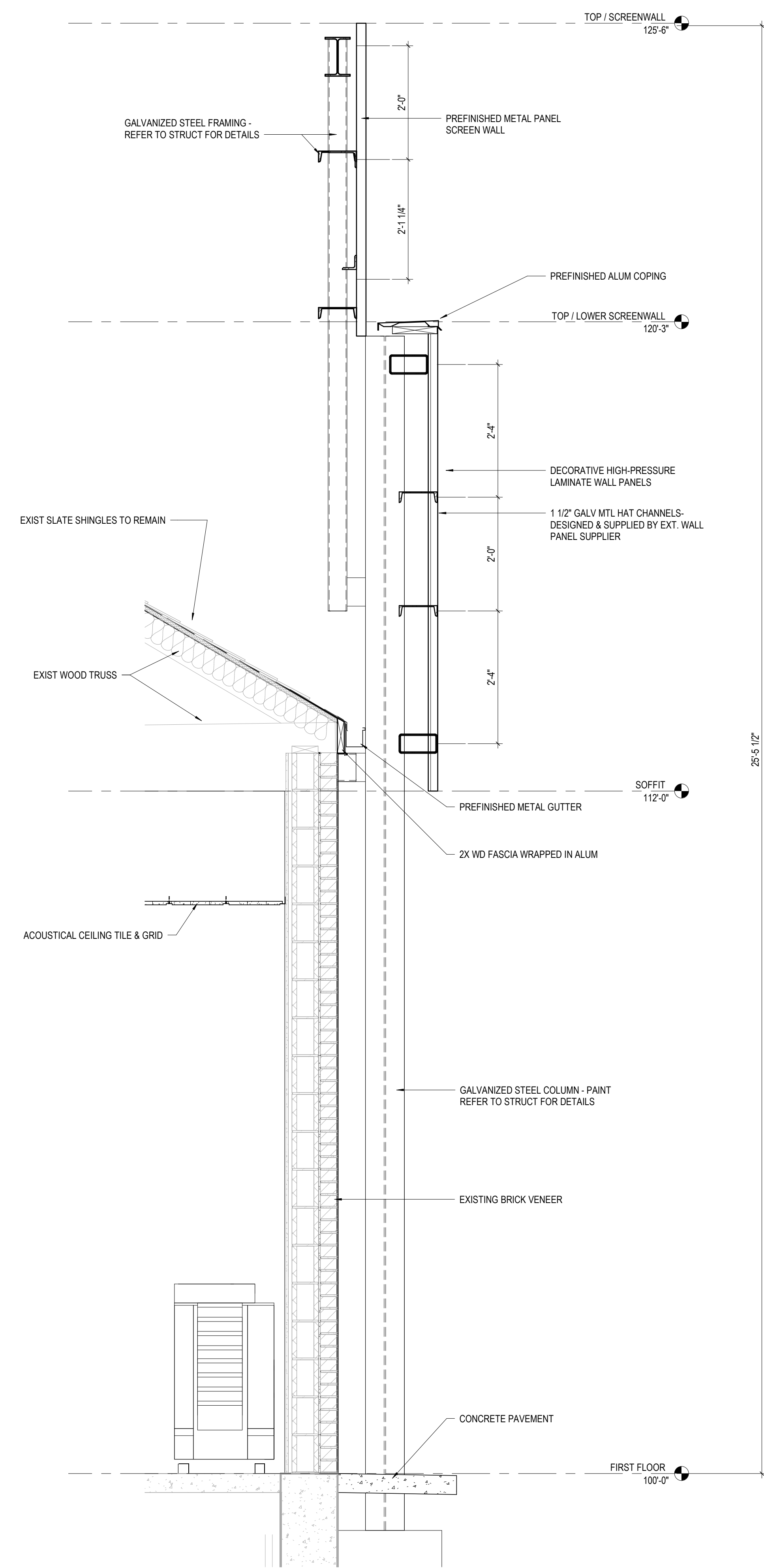
**WALL SECTIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020	DRAWN BY: XXXX	CHECKED BY: XXXX
	20022		
	<b>A501</b>		
	FINAL DEVELOPMENT PLAN		





**2 SECTION** DRIVE-THRU  
 3/4" = 1'-0" REF: 1 / A102



**1 SECTION** SOUTH WALL  
 3/4" = 1'-0" REF: 1 / A102

**GENERAL NOTES - WALL SECTIONS**

1. X

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
-----------	--------------

#	DATE	CHANGE DESCRIPTION

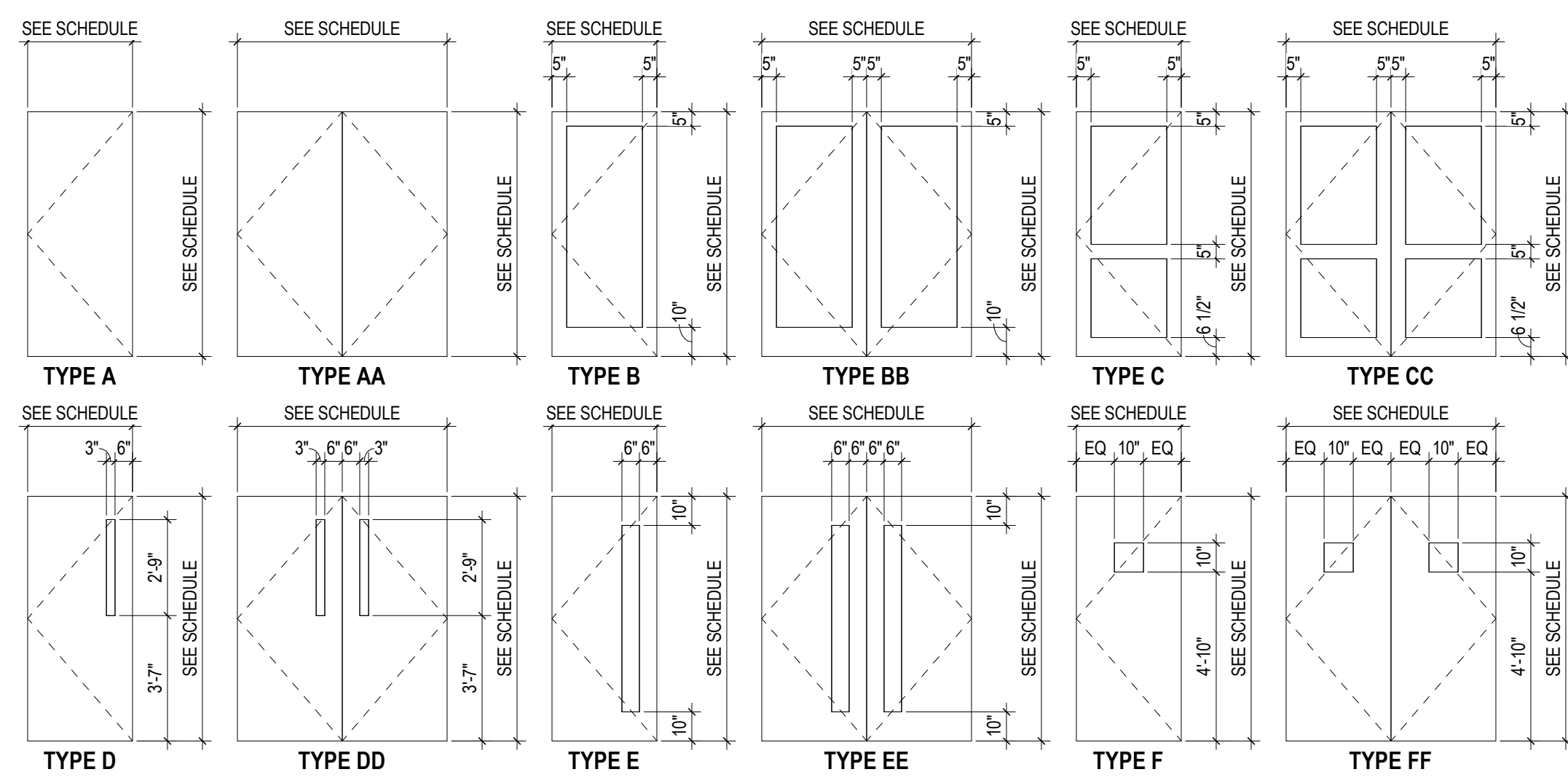
**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6000 PRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

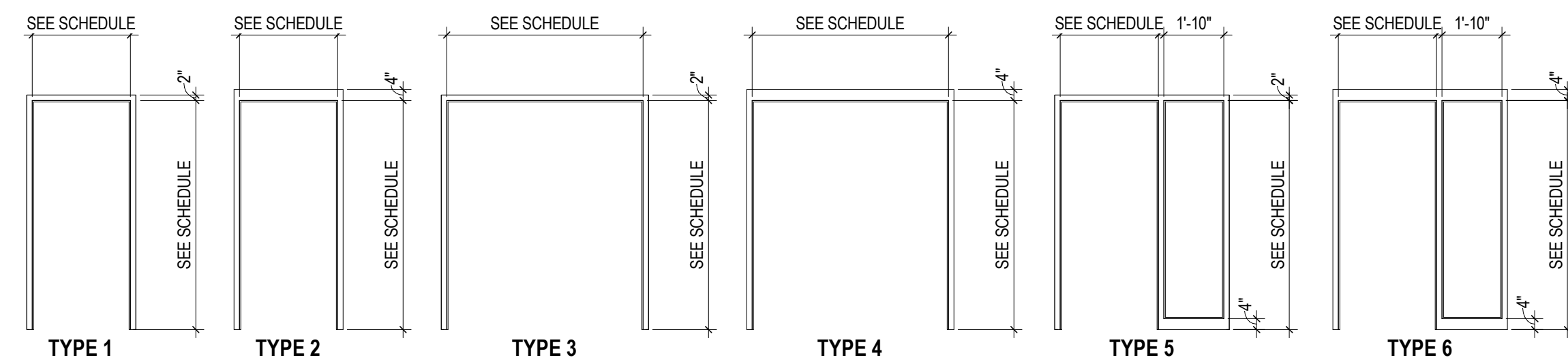
**WALL SECTIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020	DRAWN BY: XXXX	CHECKED BY: XXXX
	20022		
	<b>A502</b>		
	FINAL DEVELOPMENT PLAN		

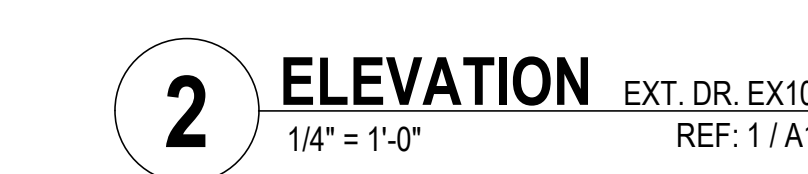
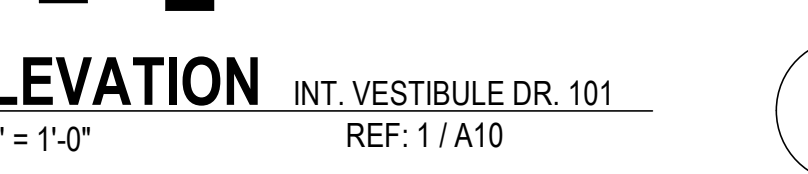
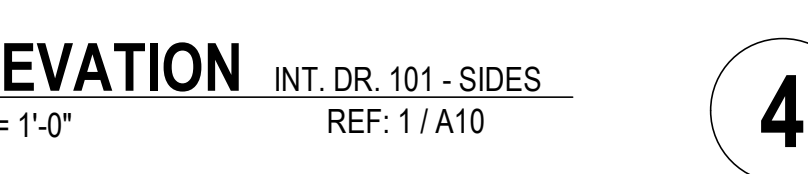
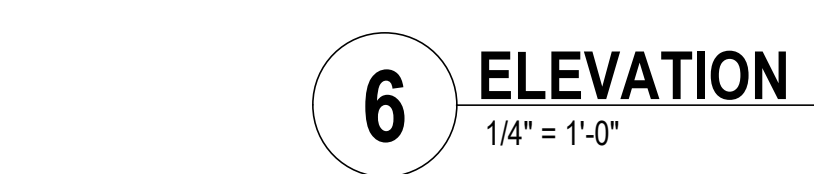
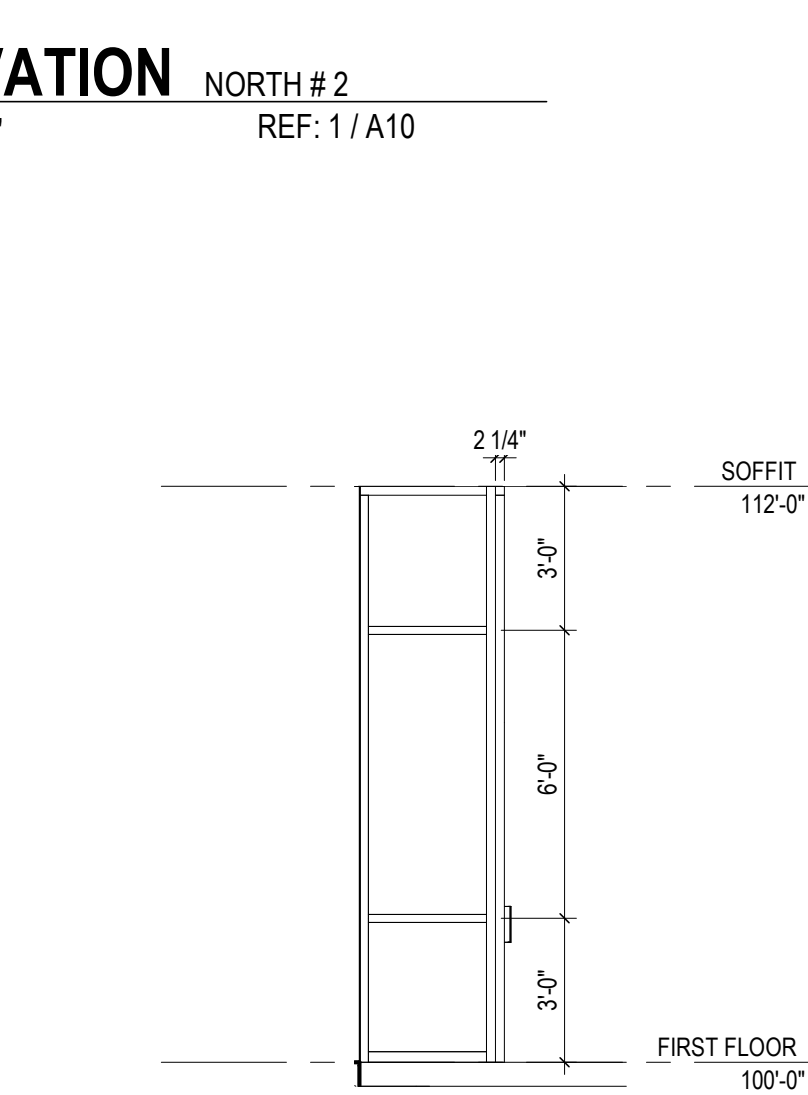
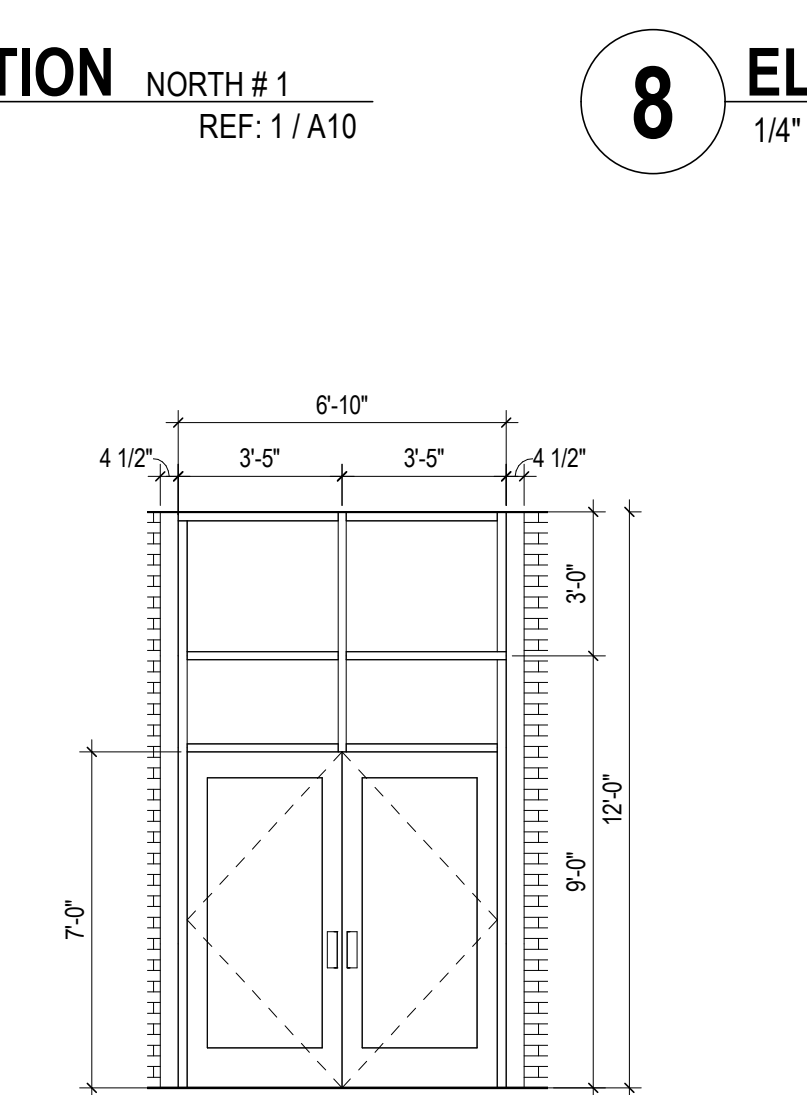
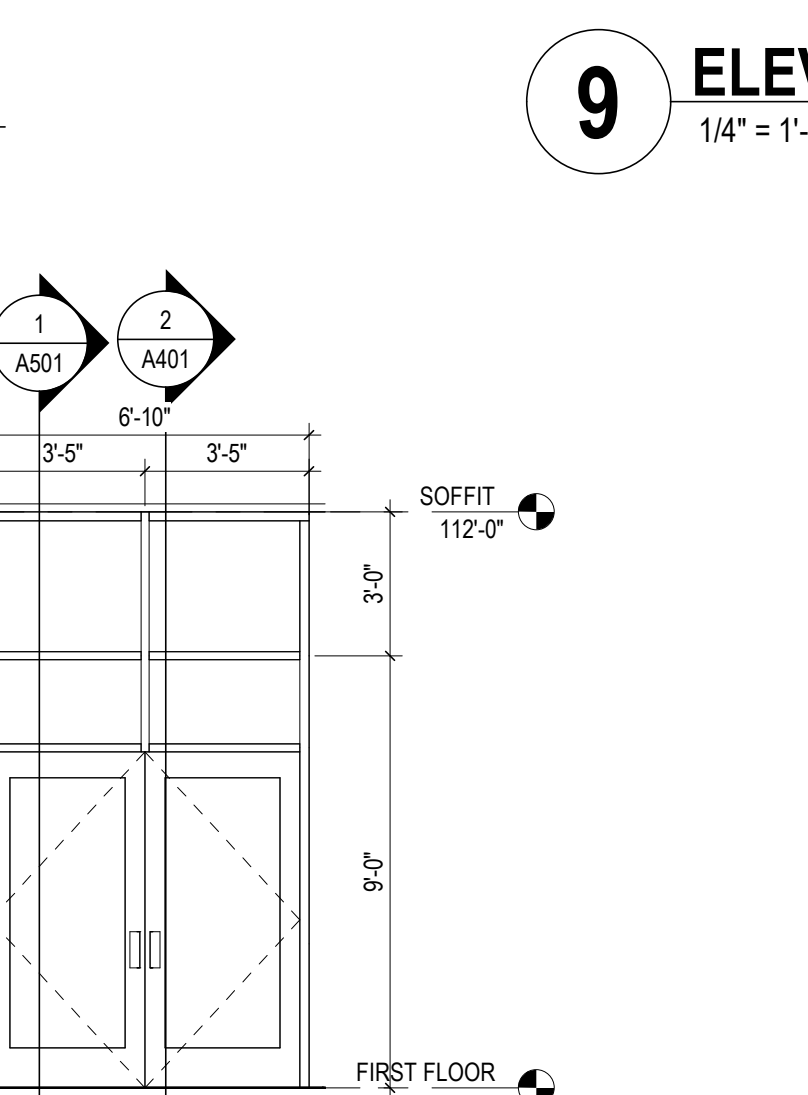
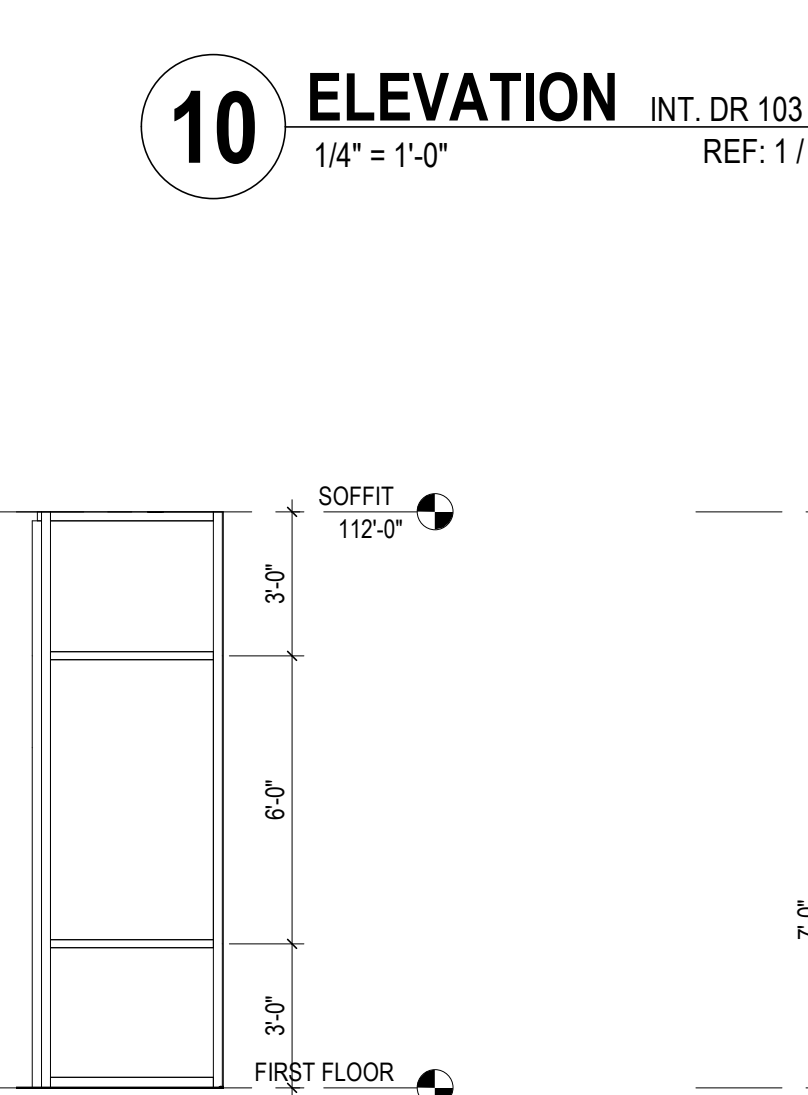
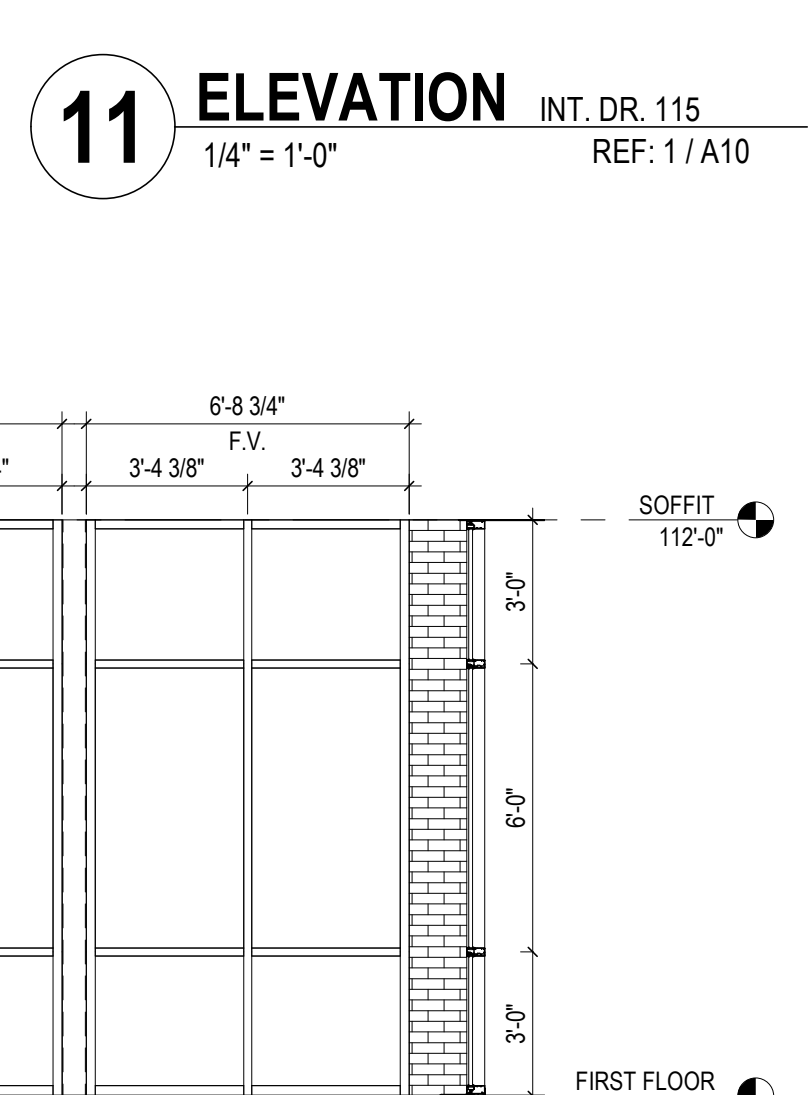
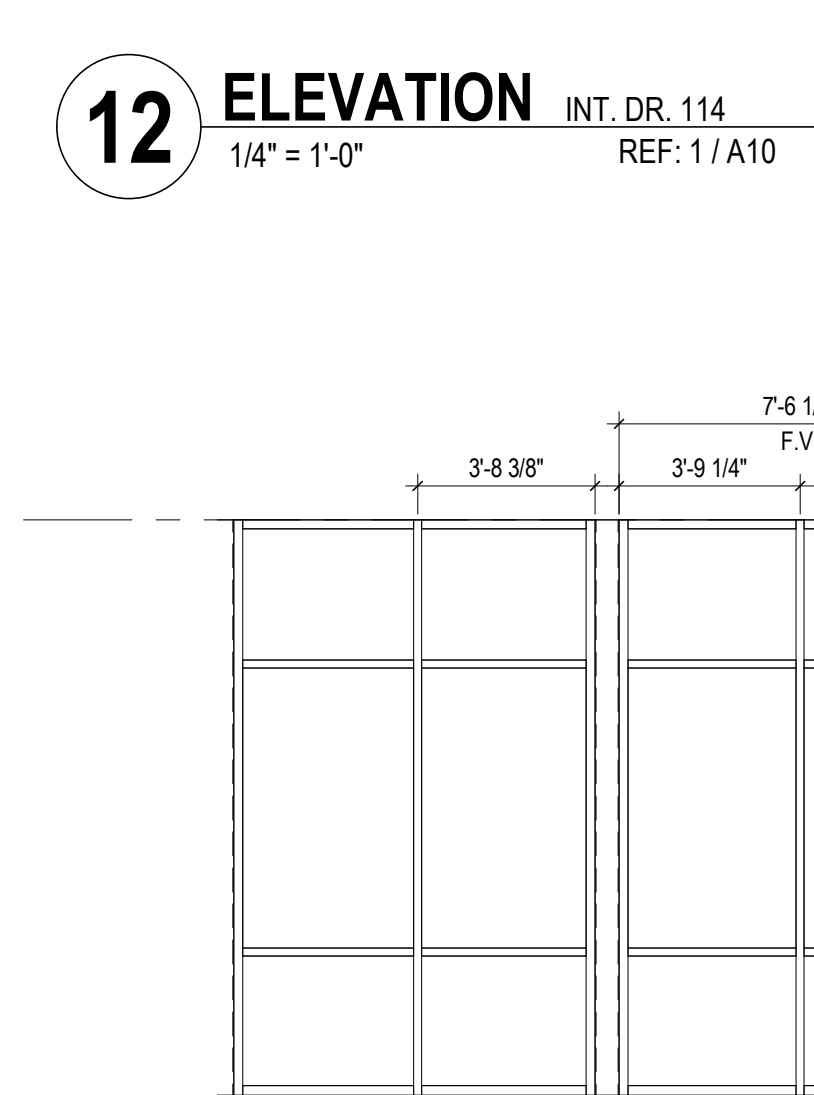
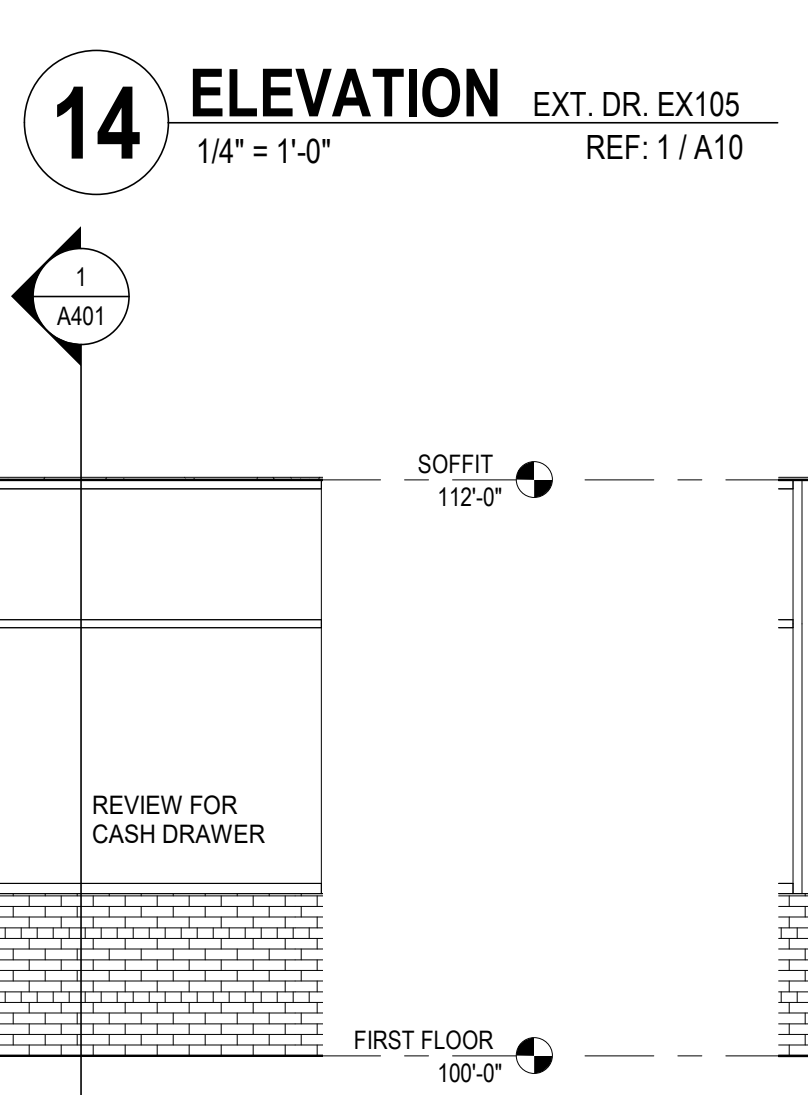
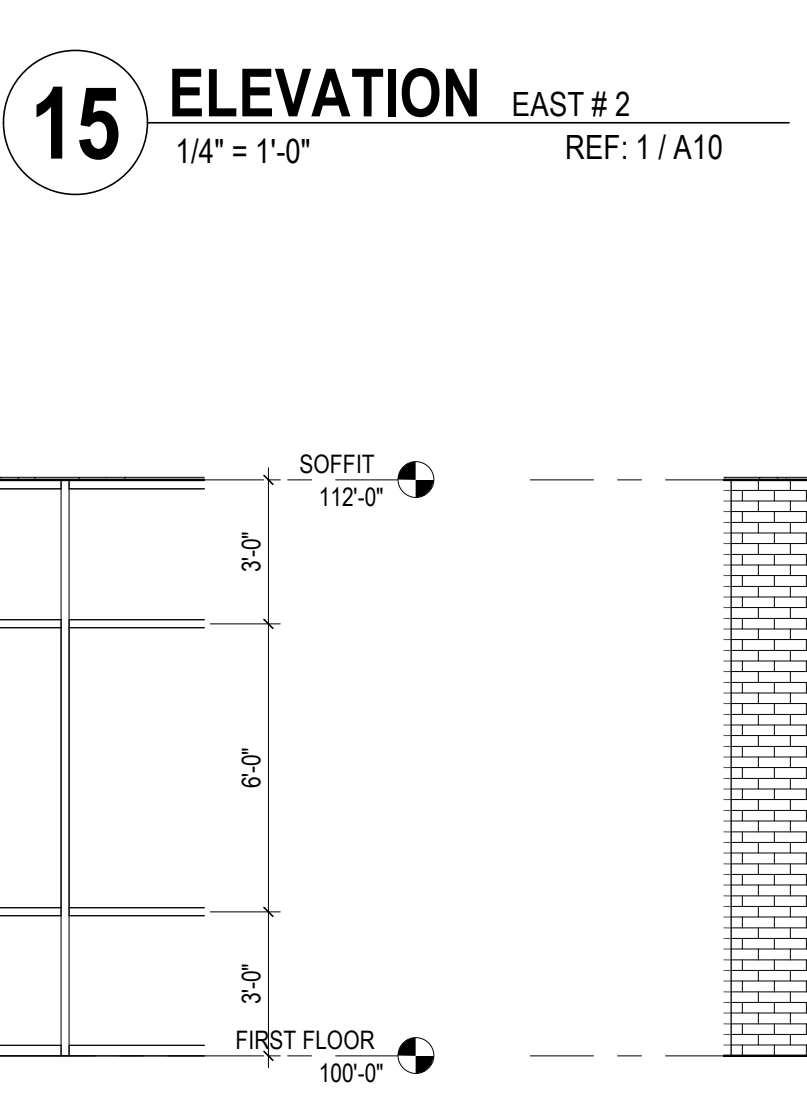
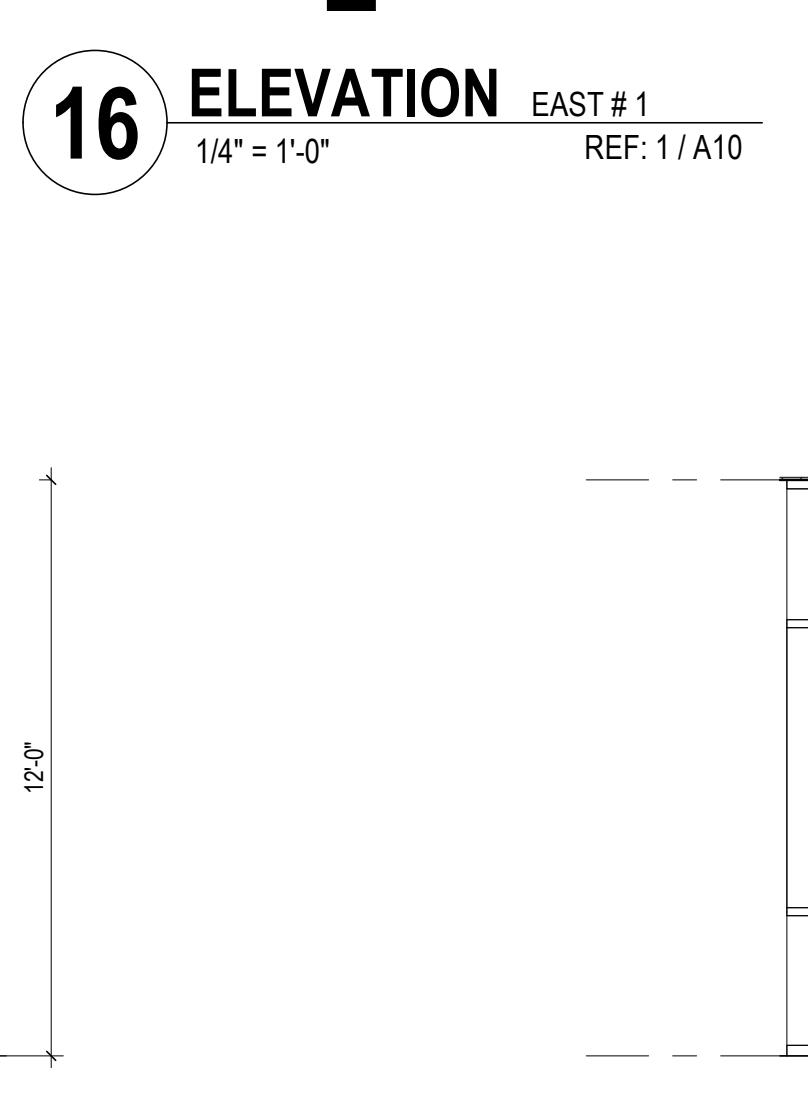
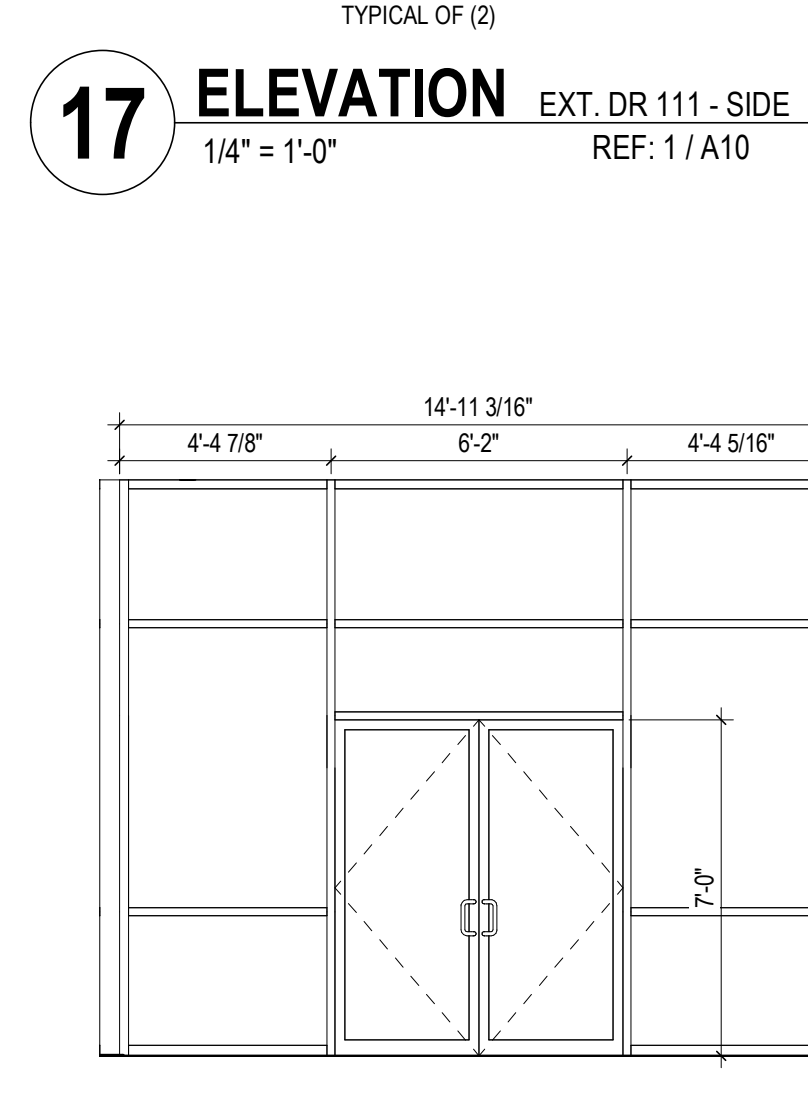
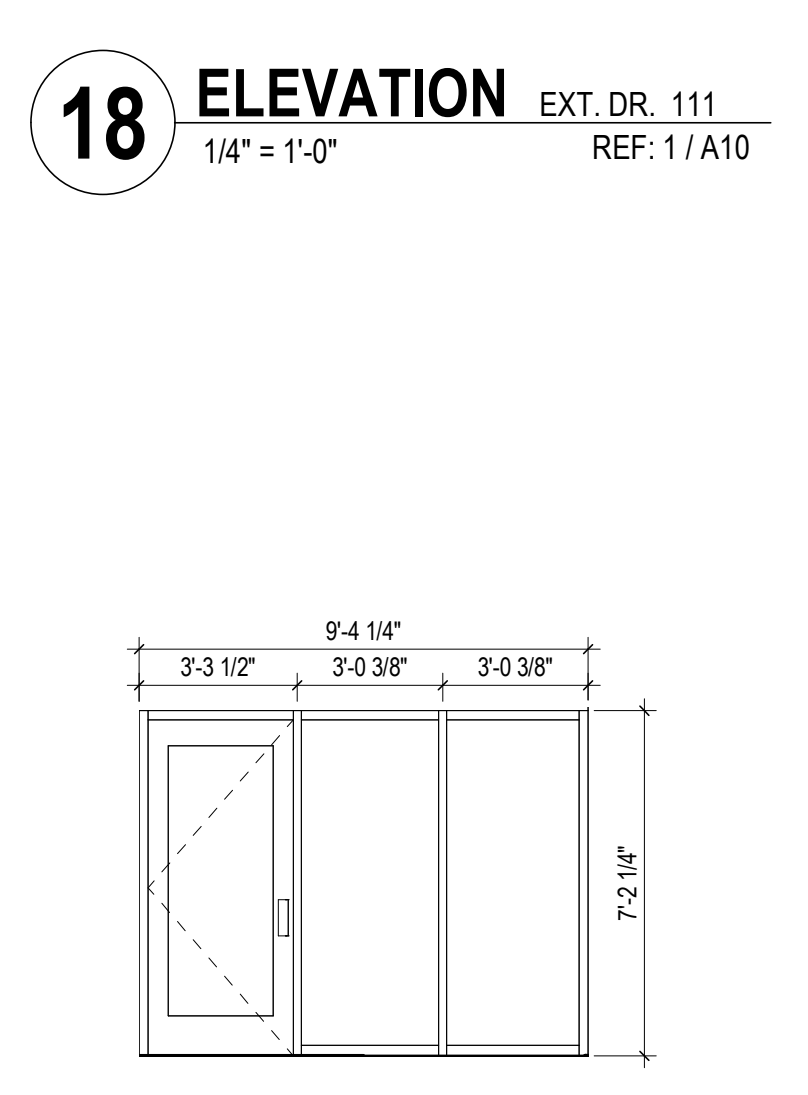
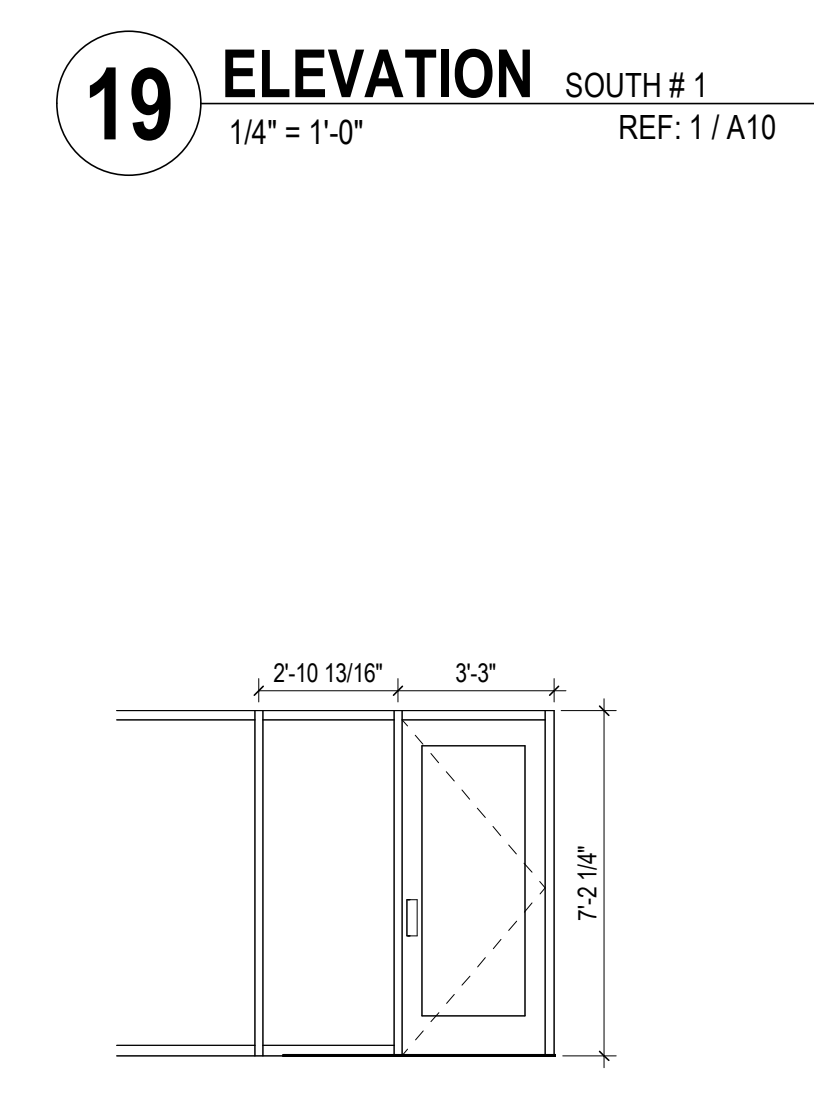
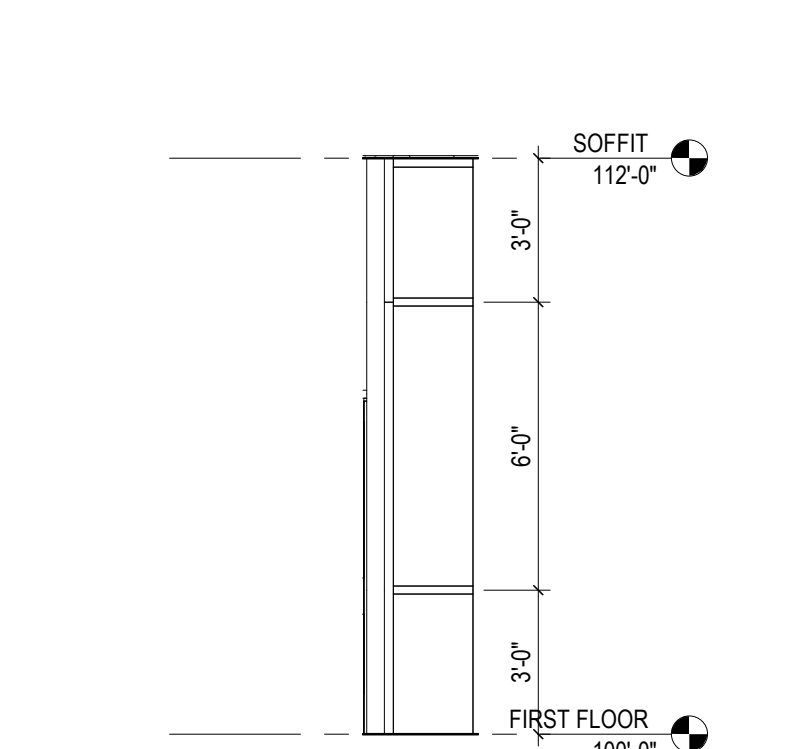
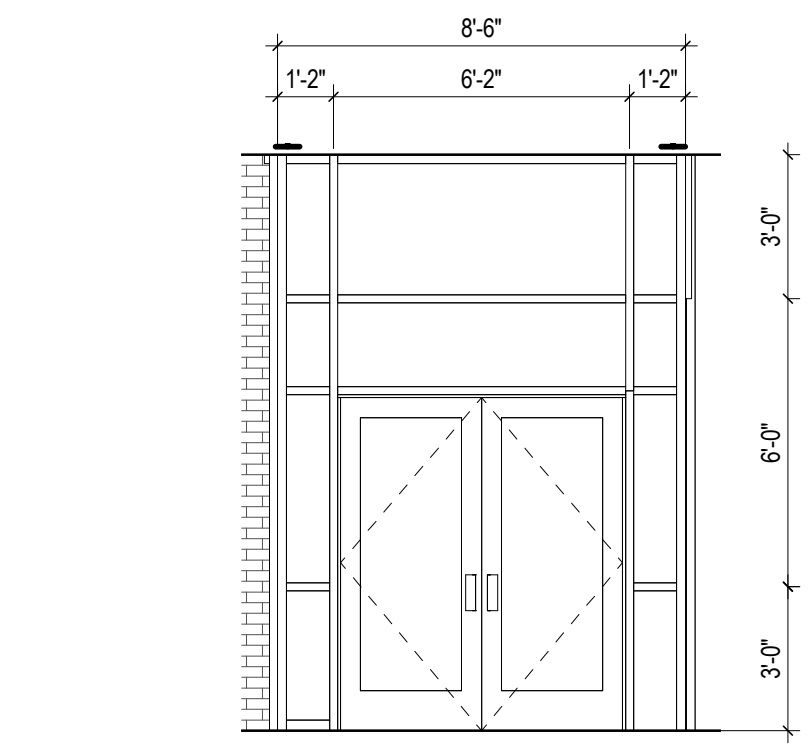
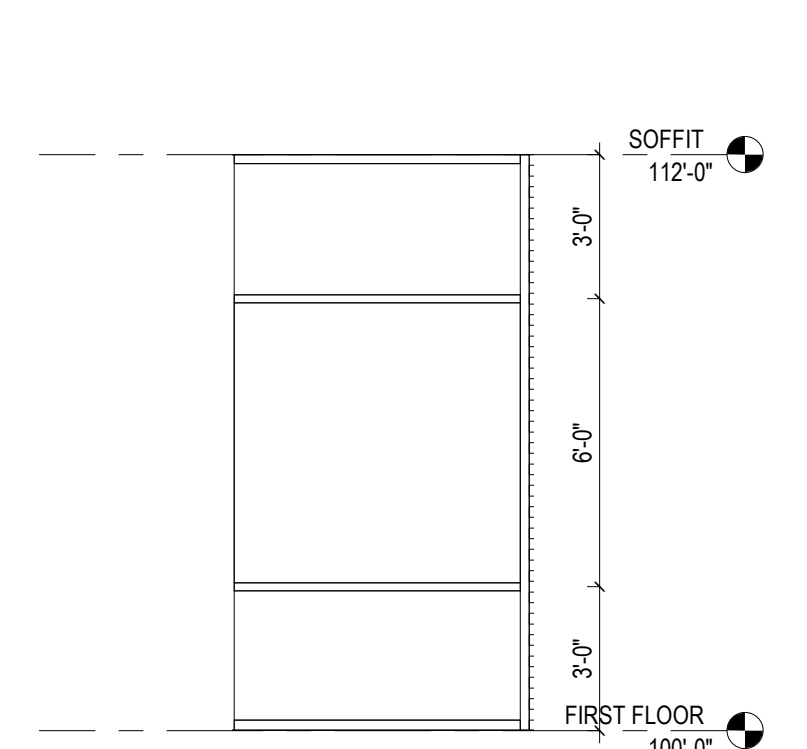
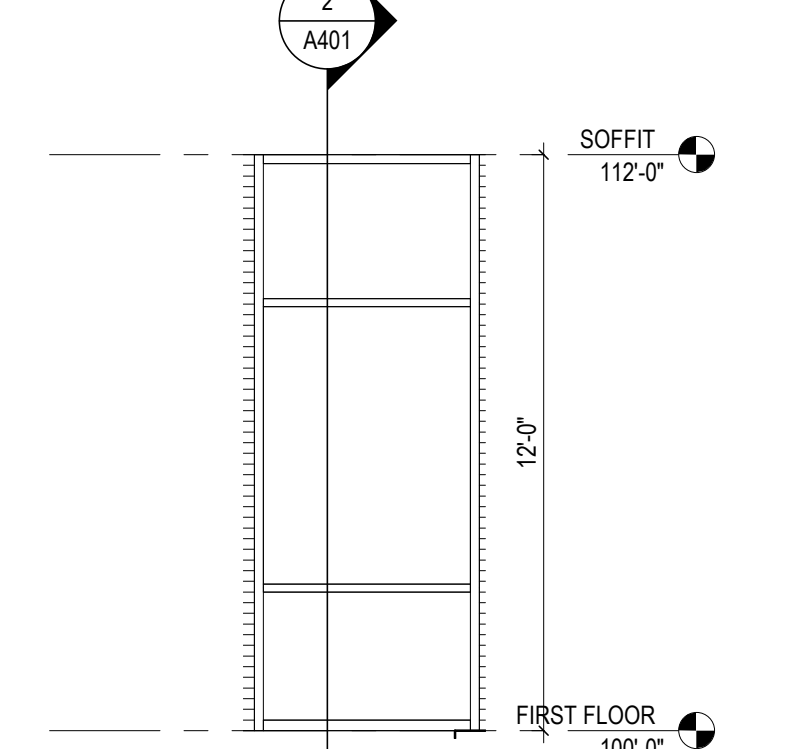
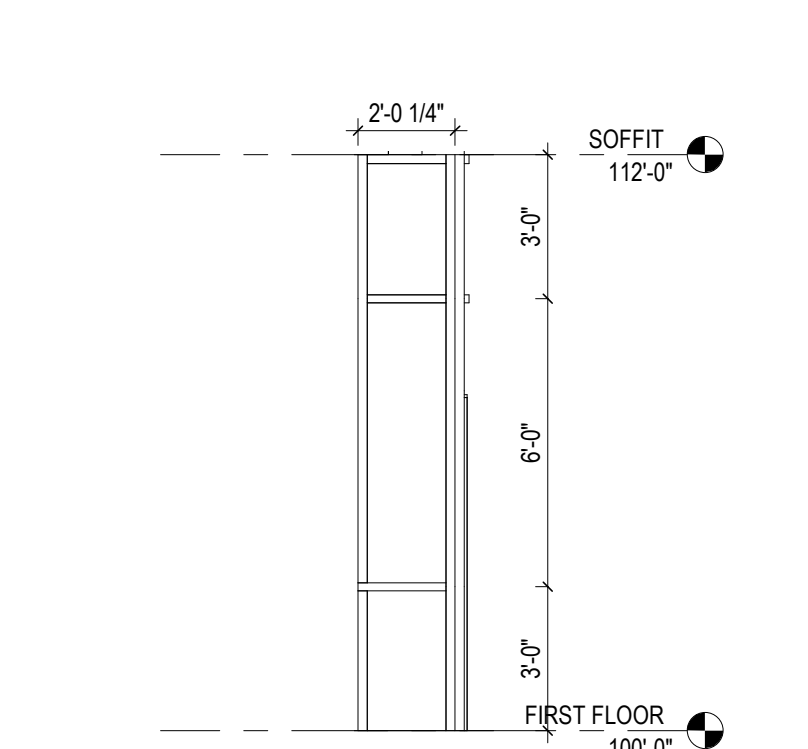
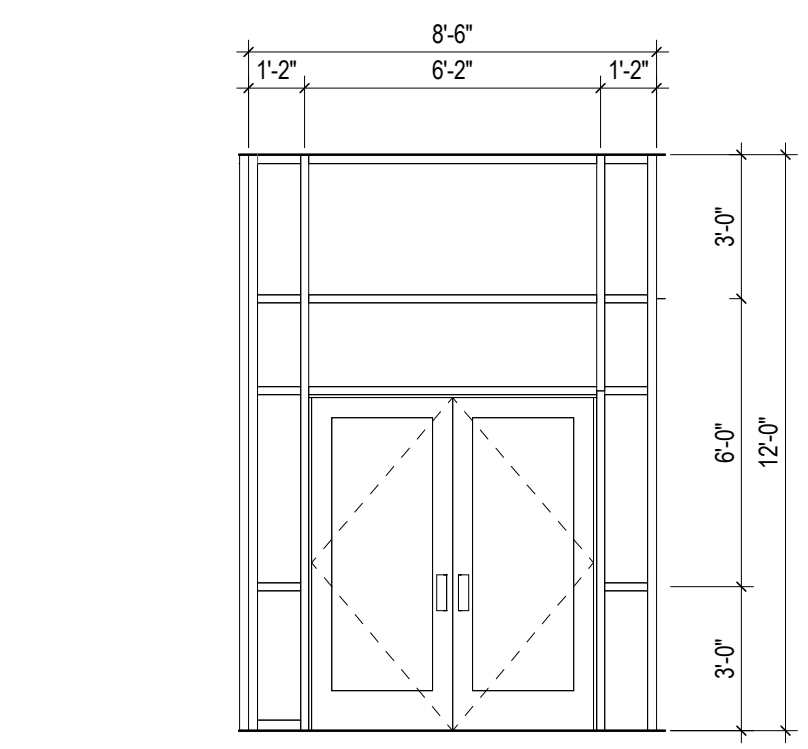
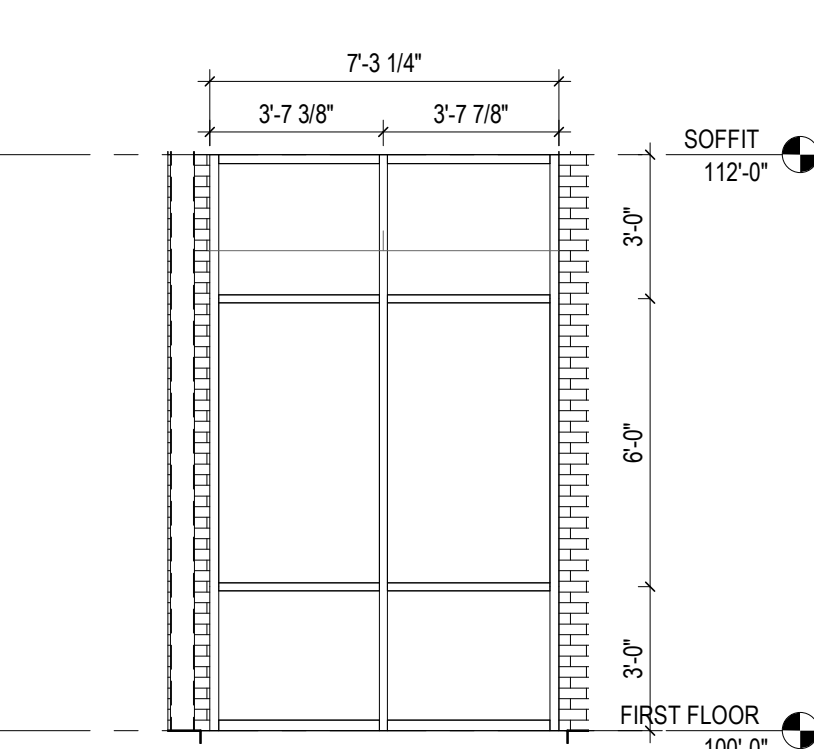
**DOOR PANEL TYPE LEGEND**



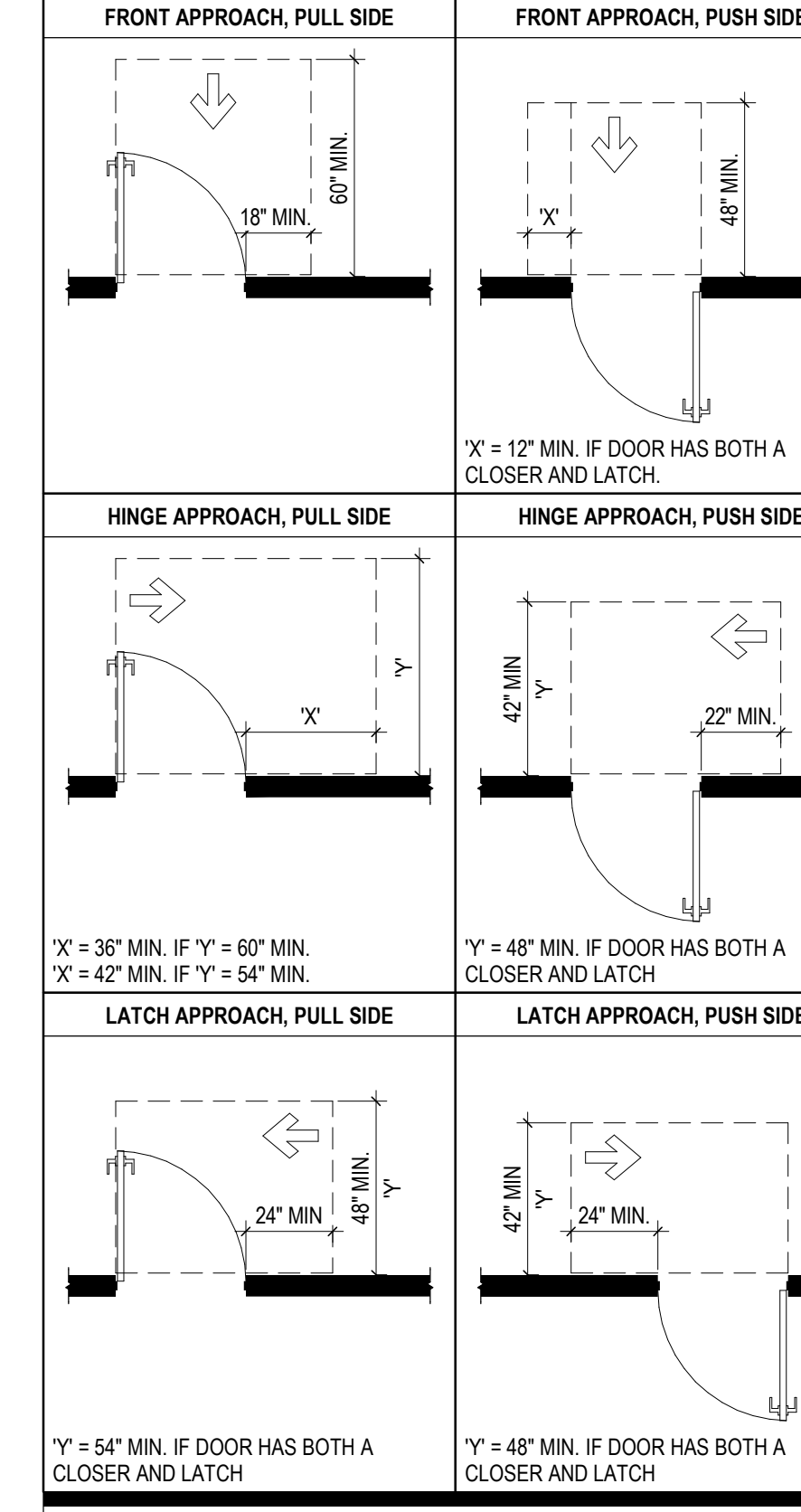
**DOOR FRAME TYPE LEGEND**



DOOR SCHEDULE														
NUMBER	ROOM NAME	DOOR	WIDTH	HEIGHT	MATERIAL	ELEV	FRAME		DETAILS - SHEET AX.XX				REMARKS	
							MATERIAL	ELEV	FIRE RATING	HOW SET	HEAD	JAMB		SILL
31			3'-0"	7'-0"		A	HM	1						
32	STAIR 02		2'-6"	7'-0"		A	HM	1						
101	ENTRY VESTIBULE		6'-5 1/2"	7'-0"										
103			6'-0"	7'-0"	WD		ALUM							
105	OFFICE		3'-0"	7'-0"	WD	A	HM	1						
106	OFFICE		3'-0"	7'-0"	WD	A	HM	1						
107	BREAK ROOM		3'-0"	7'-0"	WD	A	HM	1						
108	STORAGE		2'-6"	7'-0"	WD	A	HM	1						
109	UNISEX RR		3'-0"	7'-0"	WD	A	HM	1						
110														
111	STAIRS		3'-0"	7'-0"		A	HM	1						
112			3'-0"	7'-0"	WD	A	HM	1						
113			12'-0"	5'-11 1/2"	WD	AA	HM	4						
114	OFFICE		2'-11 3/4"	7'-0"	WD		ALUM							
115	MANAGERS OFFICE		3'-4 1/4"	7'-0"	WD		ALUM							
EX105			6'-0"	7'-0"										
EX106	LOBBY		6'-5 1/2"	7'-0"										
EX108	STAIRS		3'-0"	7'-10"		A		1						
EX109	LOBBY		3'-0"	6'-8"		A		1						
EX110	MANAGERS OFFICE		3'-0"	6'-8"		A		1						
EX111			6'-0"	7'-0"										
EX112	OFFICE		2'-6"	7'-10"		A		1						
EX114	OFFICE		2'-6"	7'-10"		A		1						
EX115	STAIRS		3'-0"	7'-10"		A		1						
EX116	ENTRY VESTIBULE		5'-4"	9'-11"		AA	HM							
EX118			5'-11"	7'-0"										
EX120			5'-4"	9'-11"		AA	HM							



**DOOR CLEARANCES**



**GLAZING TYPES**

- GL-1 INTERIOR GLAZING (CLEAR TEMPERED)
- GL-2 INTERIOR GLAZING (CLEAR LAMINATED)
- GL-3 INTERIOR GLAZING (CERAMIC 45 MINUTE)
- GL-4 INTERIOR GLAZING (CERAMIC 60 MINUTE)
- GL-5 INTERIOR GLAZING (CERAMIC 90 MINUTE)
- GL-6 INTERIOR GLAZING (FROSTED)
- GL-7 INTERIOR GLAZING (GRIDDED)

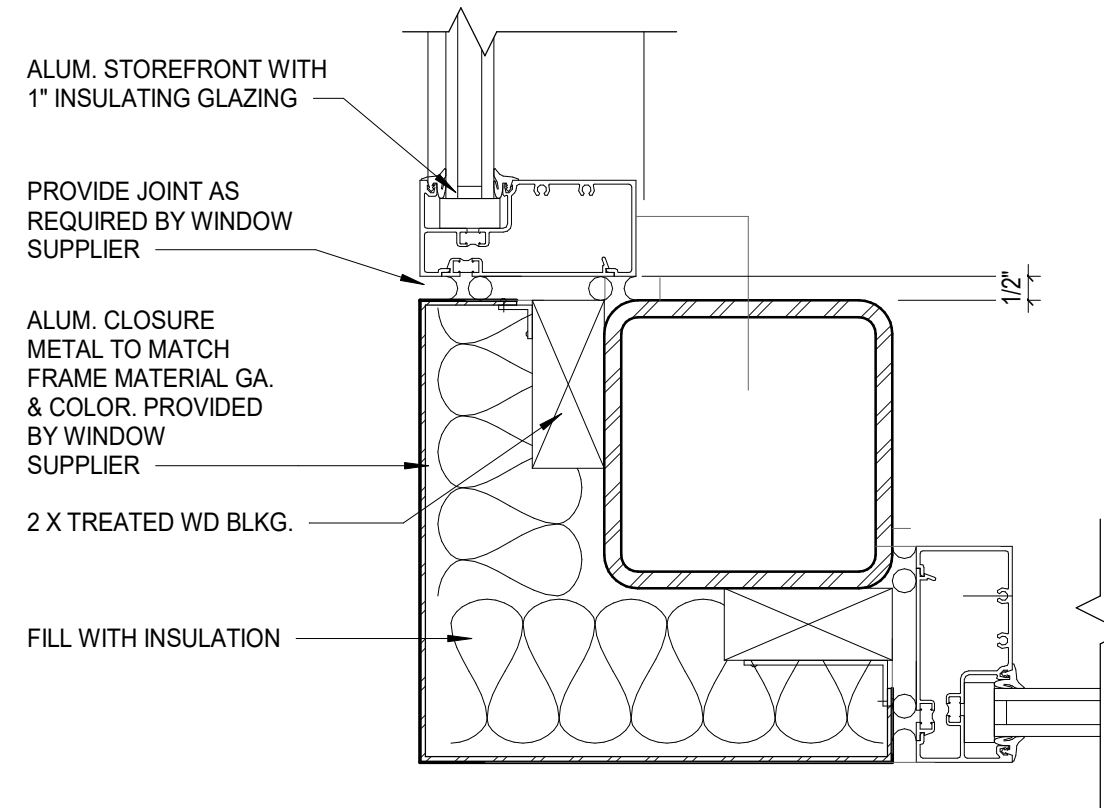
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 PRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

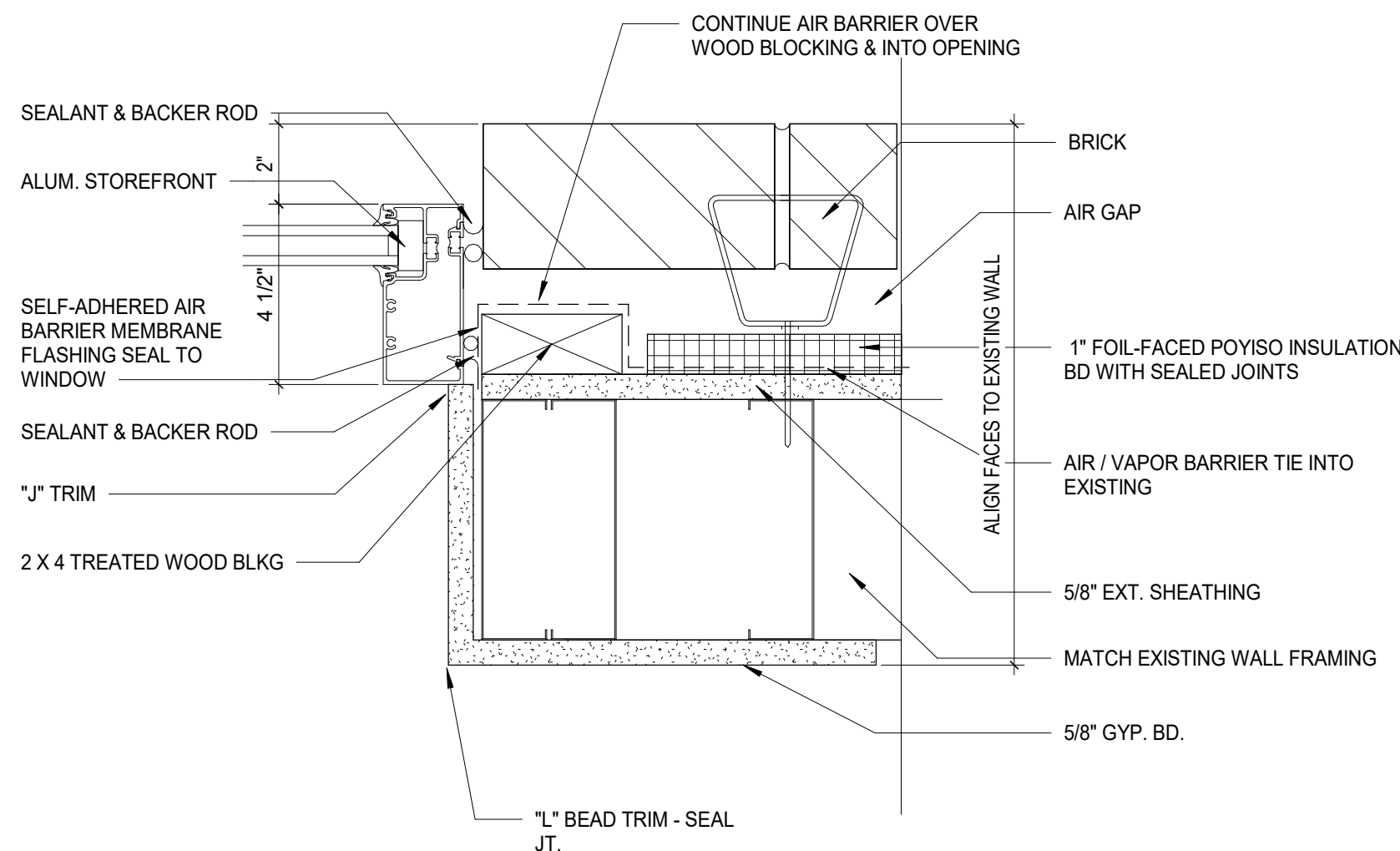
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**DOOR & WINDOW SCHEDULES**

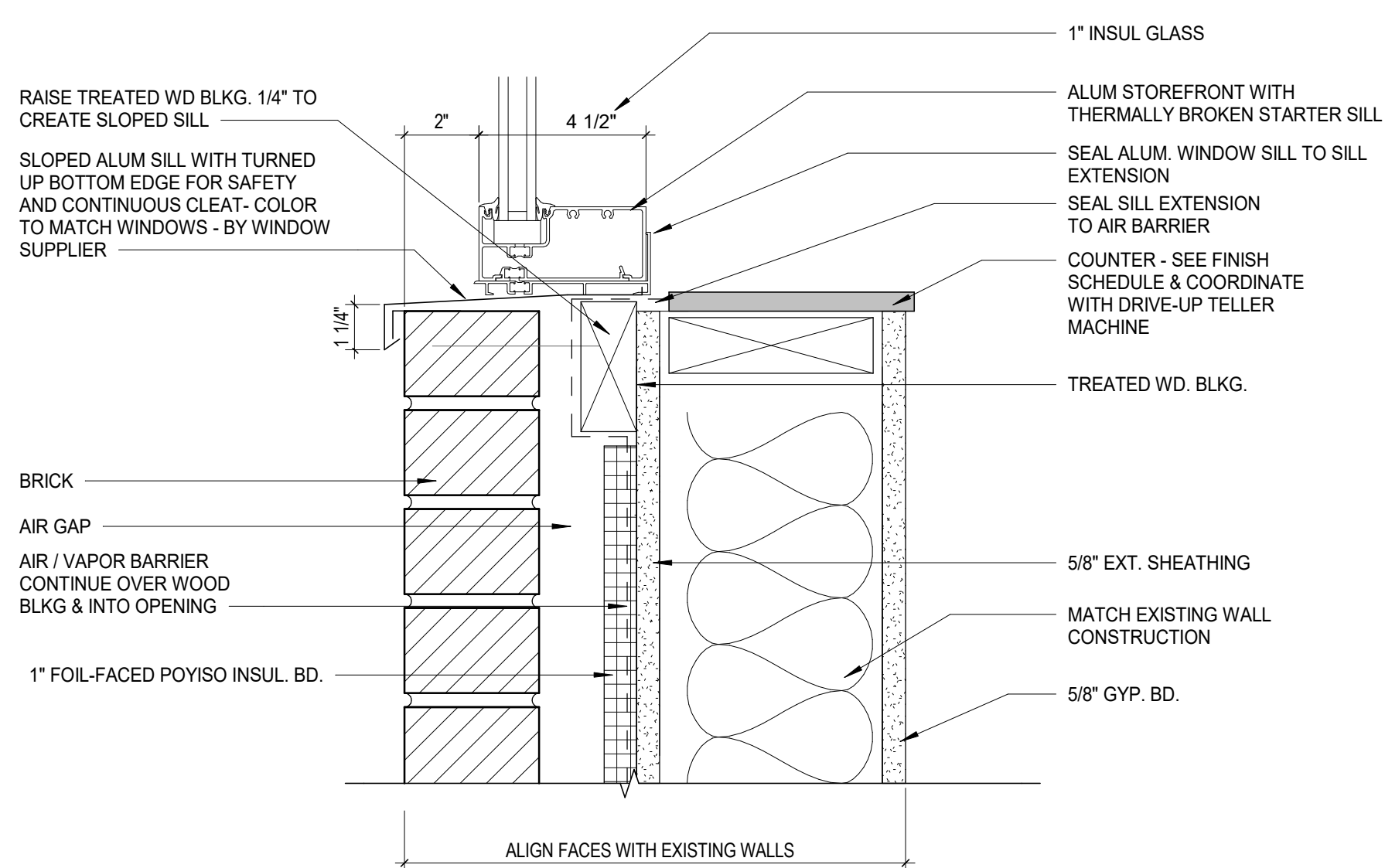
11/30/2020	DRAWN BY: XXXX	CHECKED BY: XXXX
20022		
<b>A701</b>		
FINAL DEVELOPMENT PLAN		



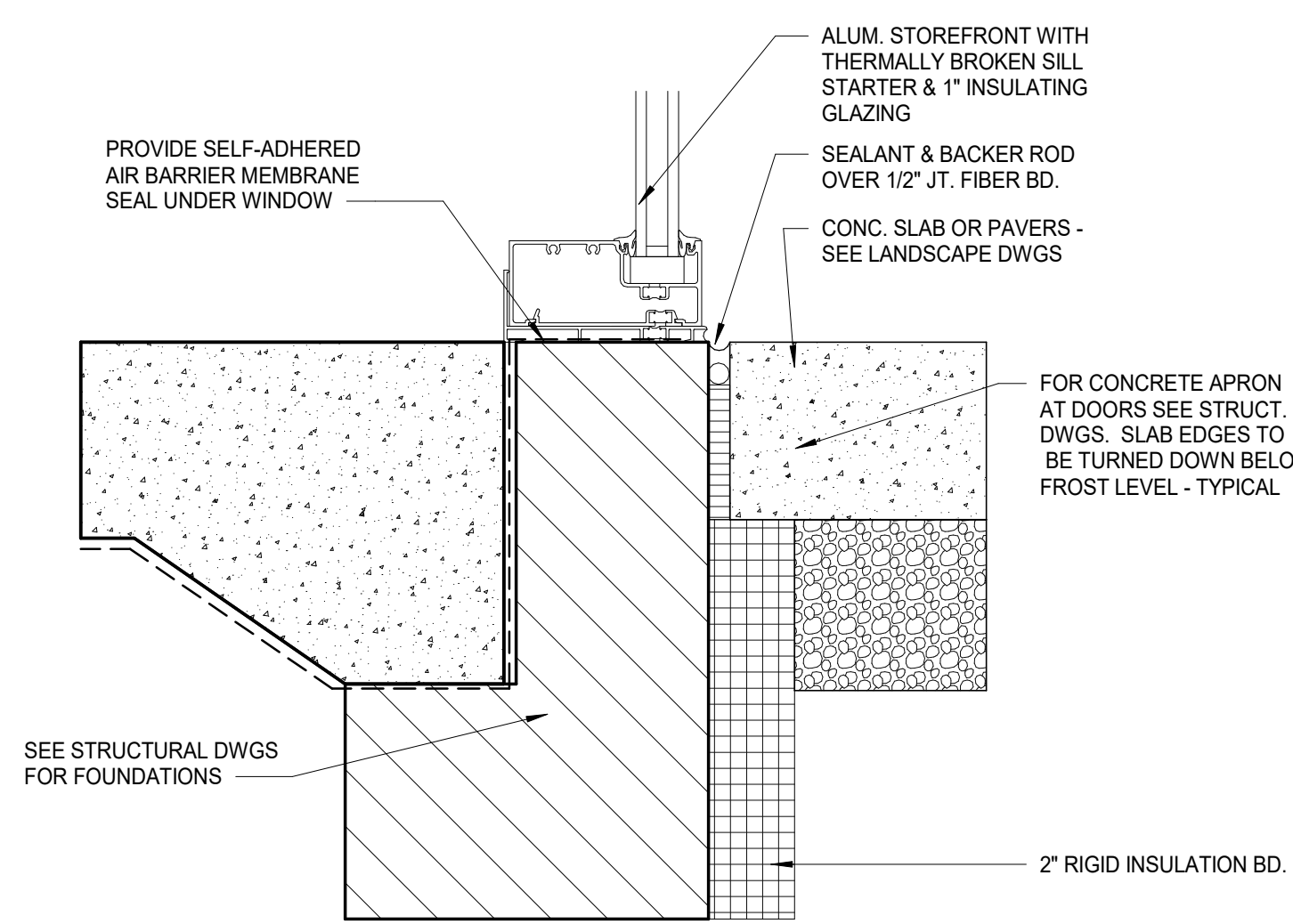
**22** DETAIL S.F. @ CORNER COLUMN  
3" = 1'-0"



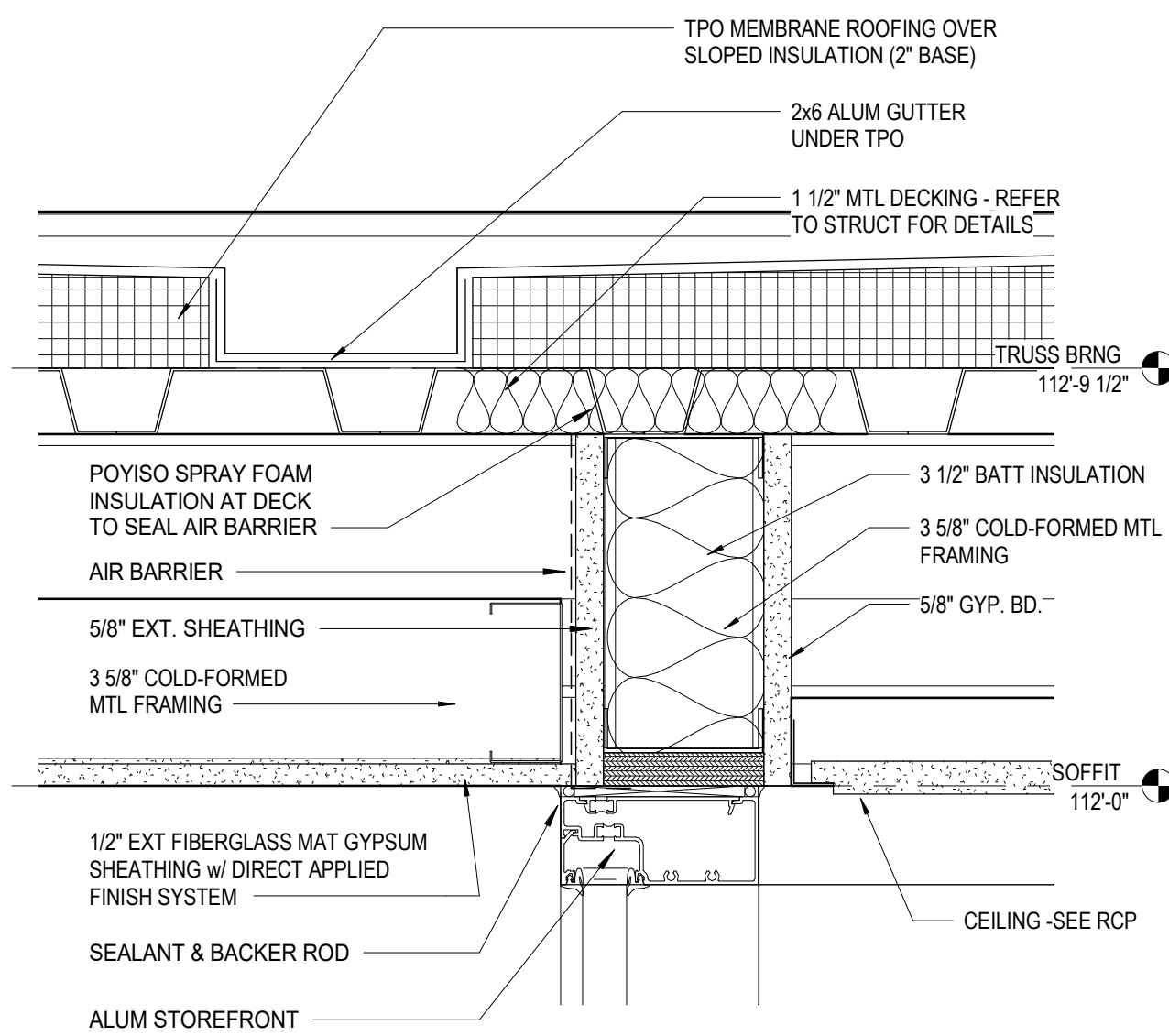
**21** DETAIL S.F. JAMB @ MASONRY  
3" = 1'-0"



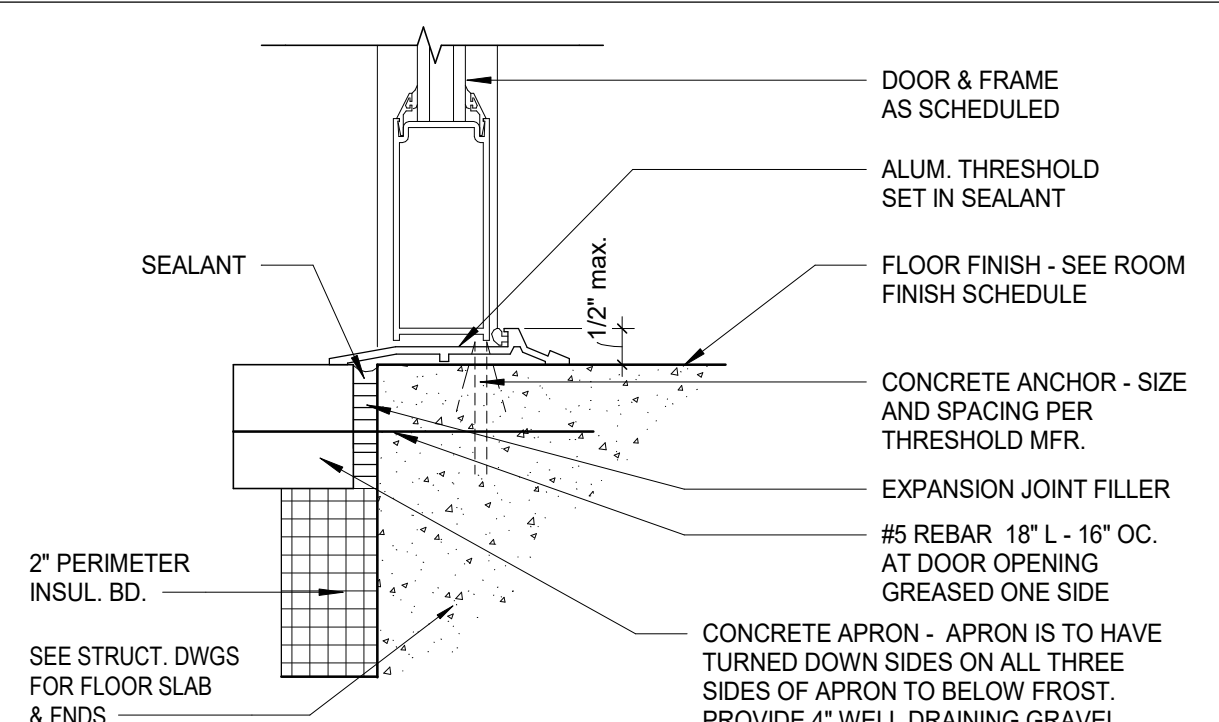
**20** DETAIL S.F. SILL @ MASONRY  
3" = 1'-0"



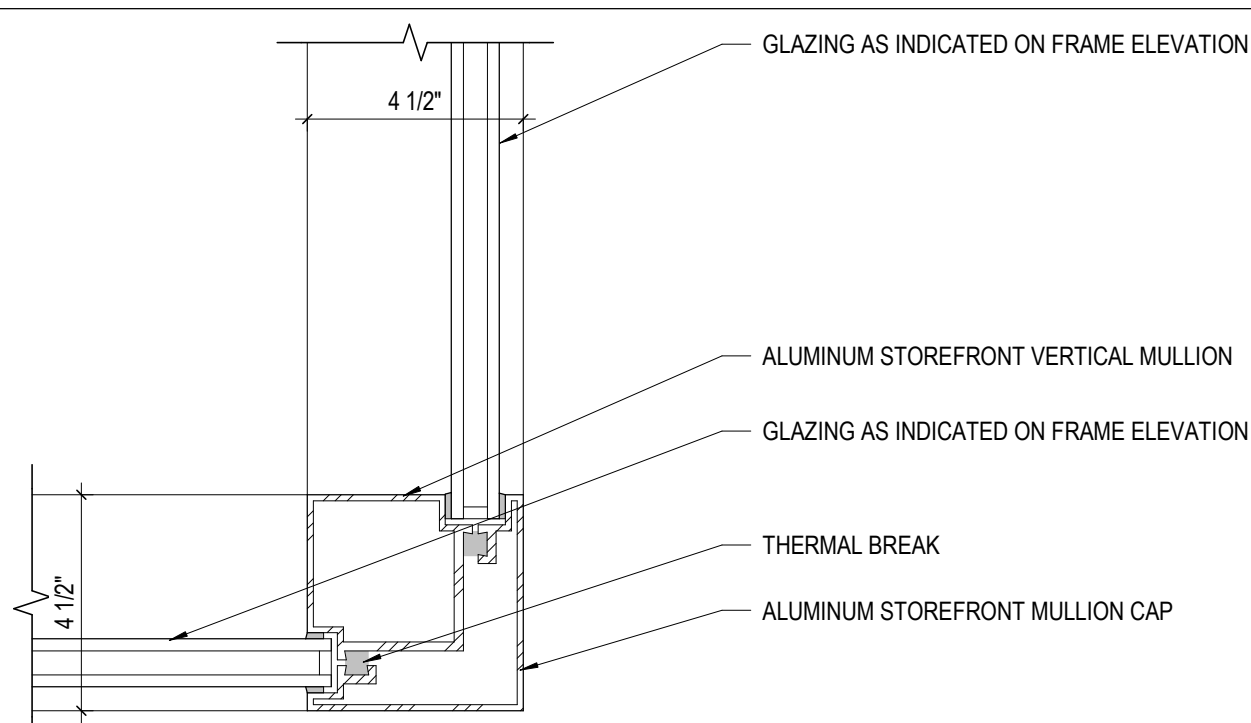
**19** DETAIL S.F. @ CONCRETE FND  
3" = 1'-0"



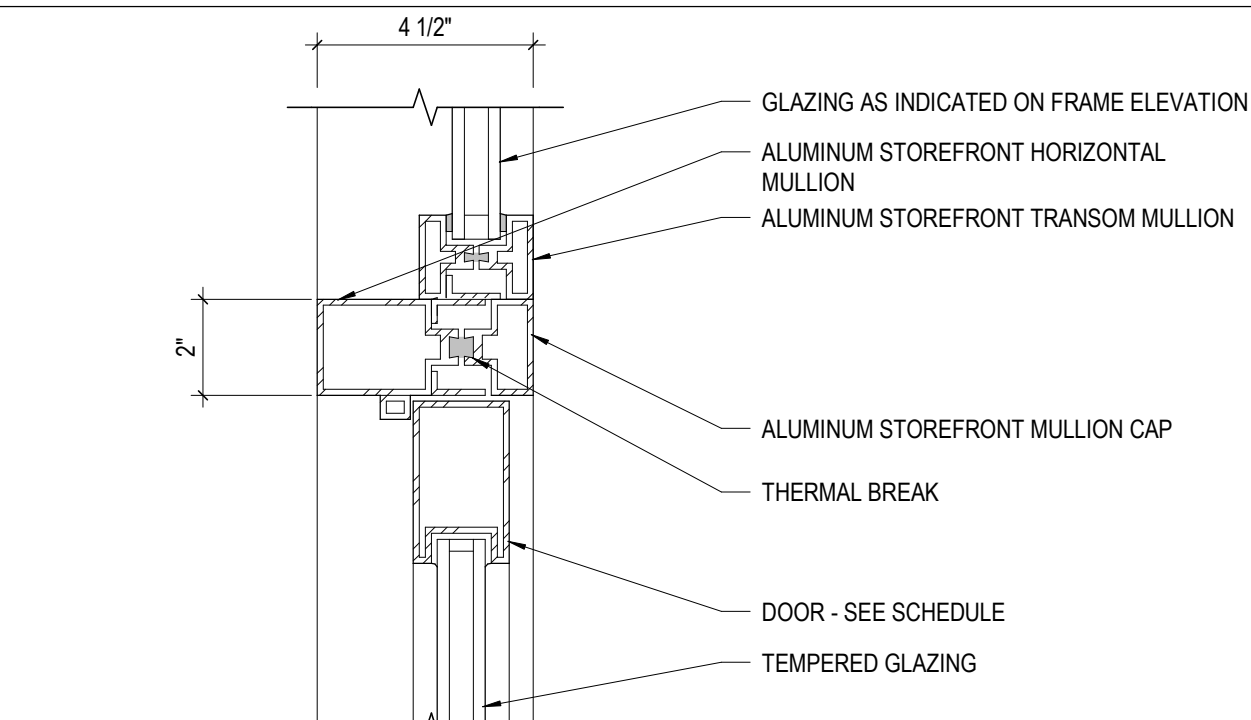
**17** DETAIL WEST MAIN ENTRY - Callout 1  
3" = 1'-0" REF: 1 / A501



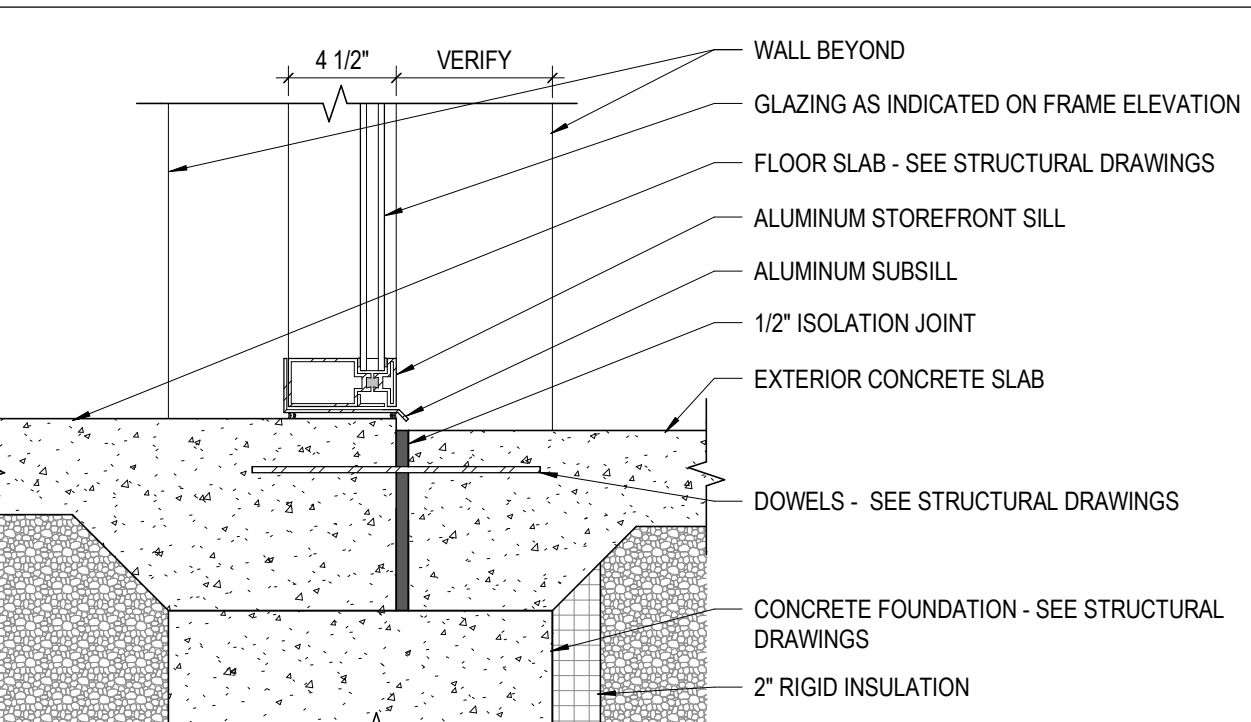
**16** DETAIL EXT. DR. THRESHOLD  
3" = 1'-0" REF: 1 / A501



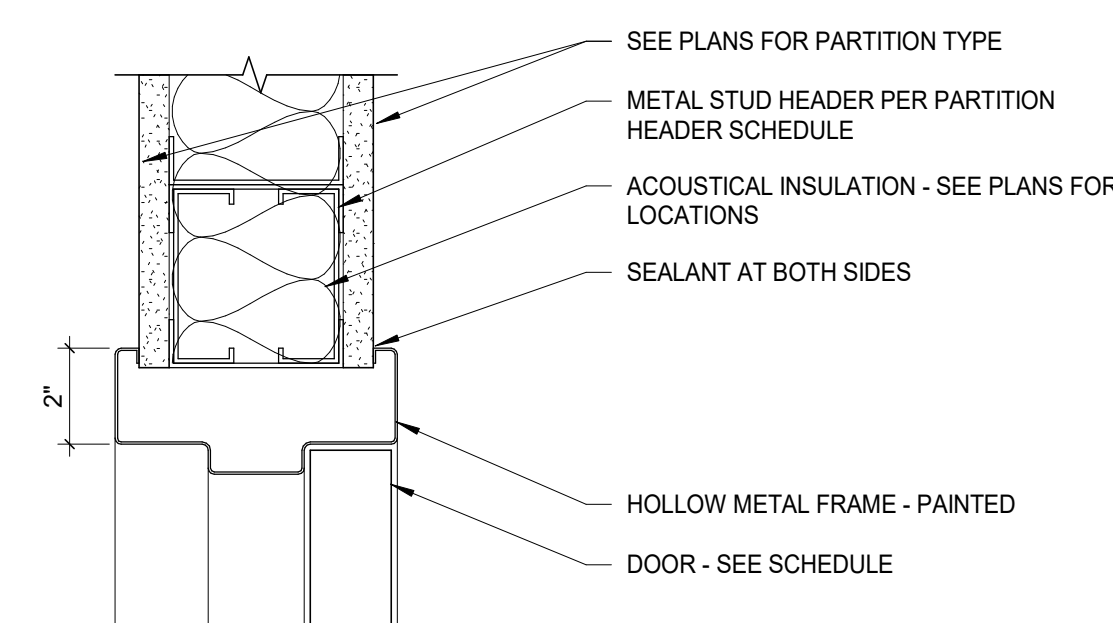
**15** DETAIL STOREFRONT CORNER MULLION  
3" = 1'-0" A70 DE-J - SE 8 OUT CORNER MULLION SQUARE



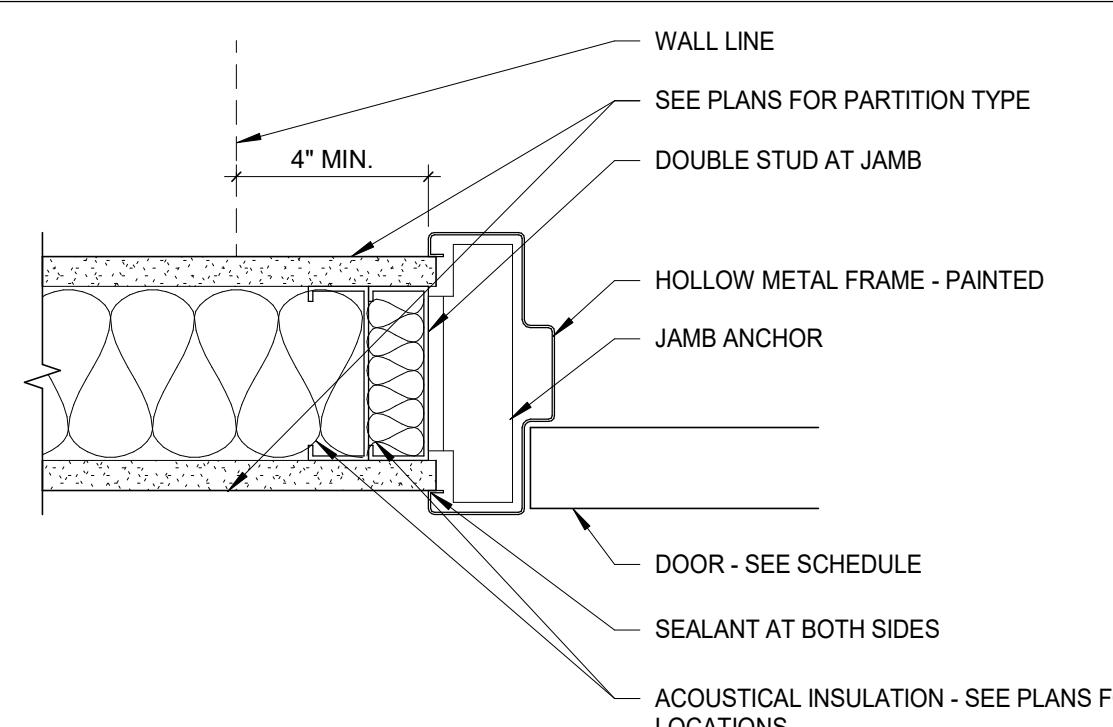
**14** DETAIL STOREFRONT TRANSOM  
3" = 1'-0" A70 DE-T - SE 8 DOOR HEAD



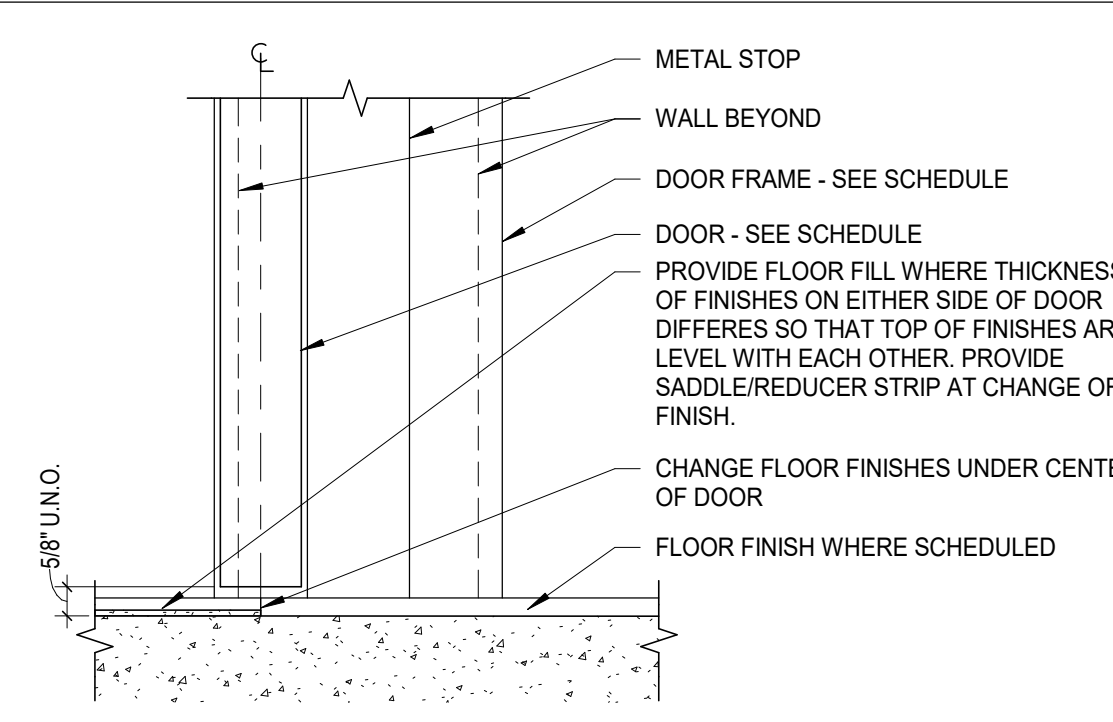
**13** DETAIL STOREFRONT SILL - CONG. FOUND.  
1 1/2" = 1'-0" A70 DE-S - SE 3 SIDELITE EXT INSUL



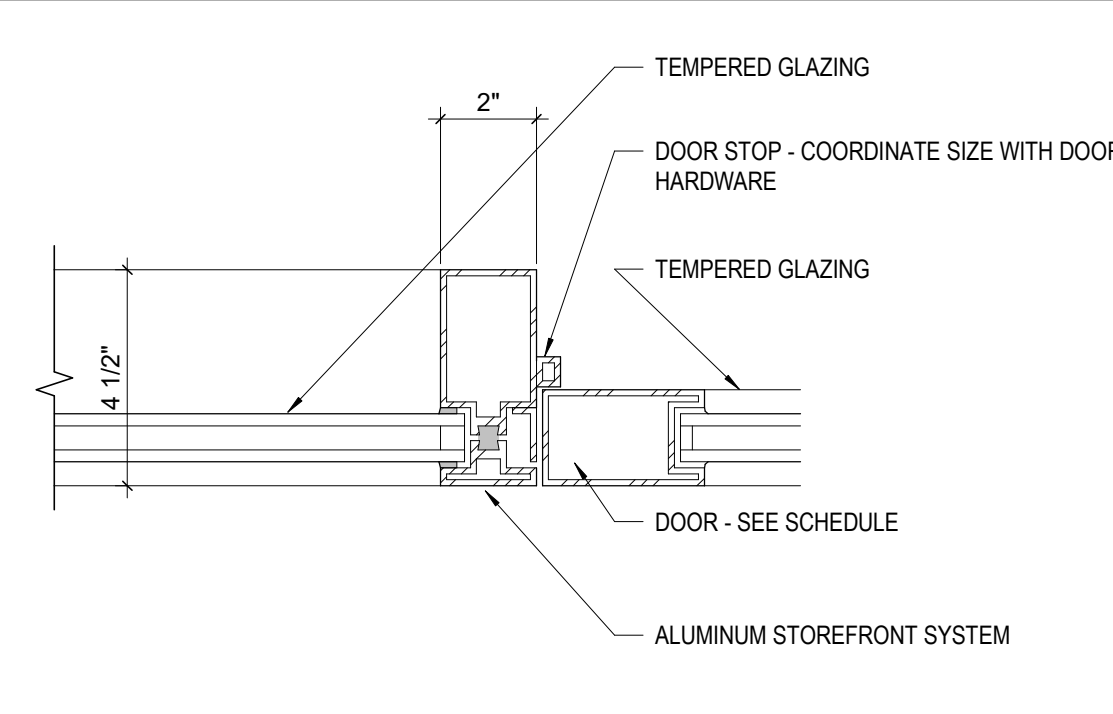
**12** DETAIL H.M. DR. HEAD  
3" = 1'-0"



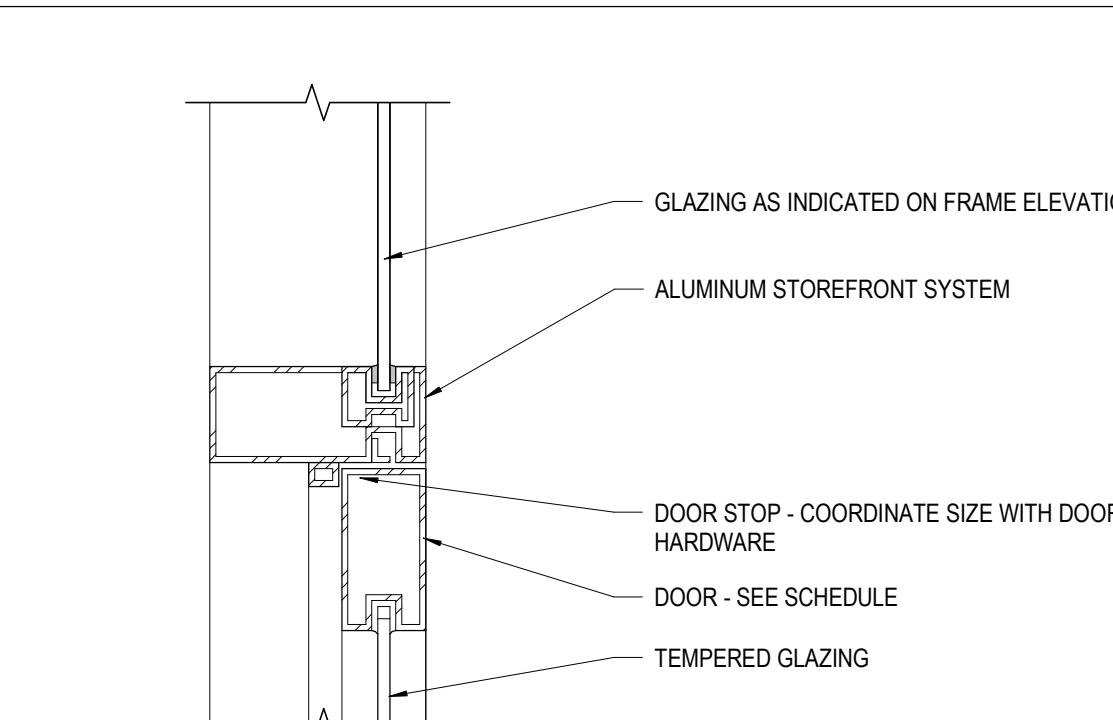
**11** DETAIL H.M. DR. JAMB  
3" = 1'-0"



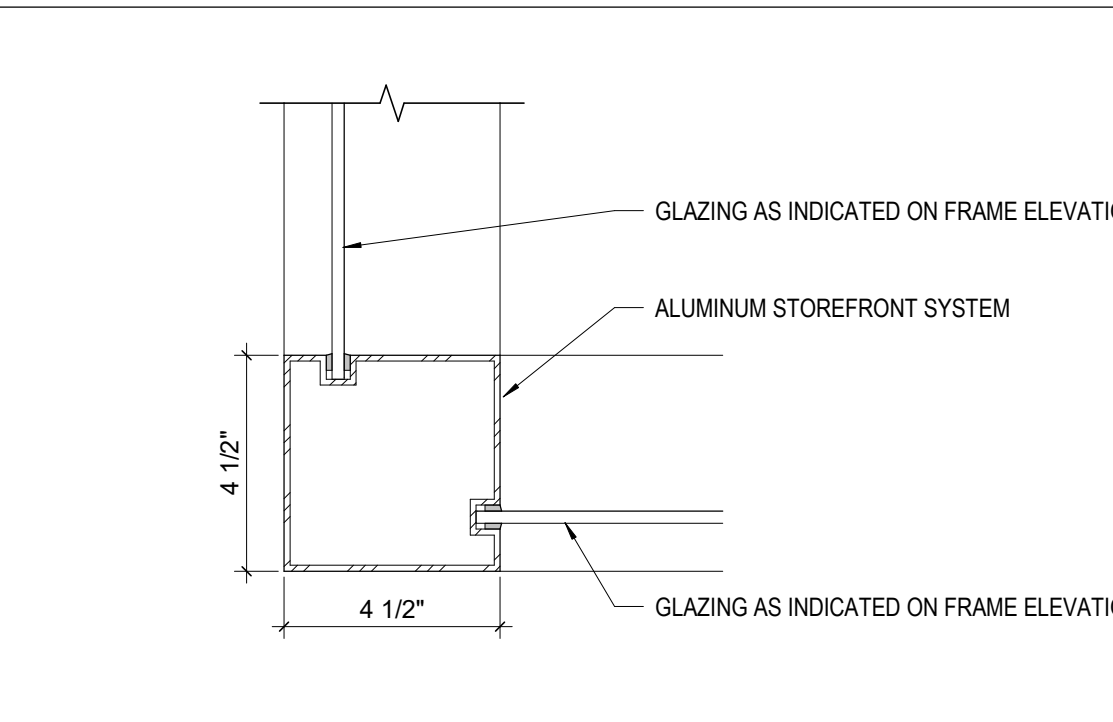
**10** DETAIL H.M. DR. SILL  
3" = 1'-0"



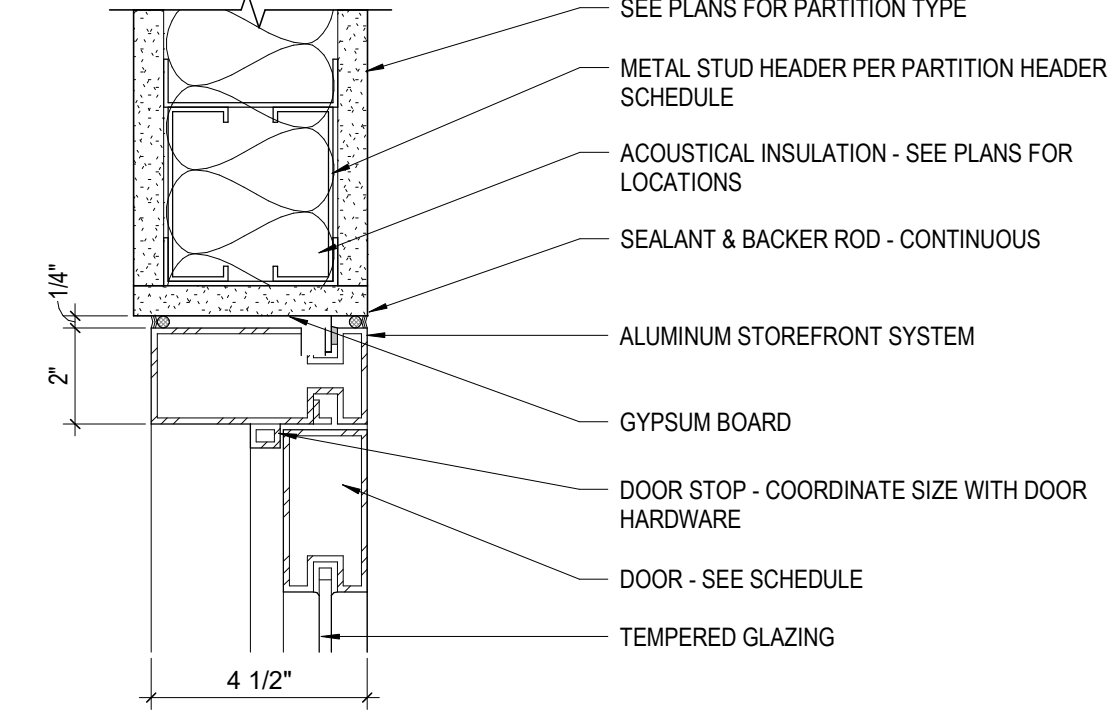
**9** DETAIL STOREFRONT EXT. JAMB W/ SIDELITE  
3" = 1'-0" A70 DI-SE - J 8 W/ SIDELITE



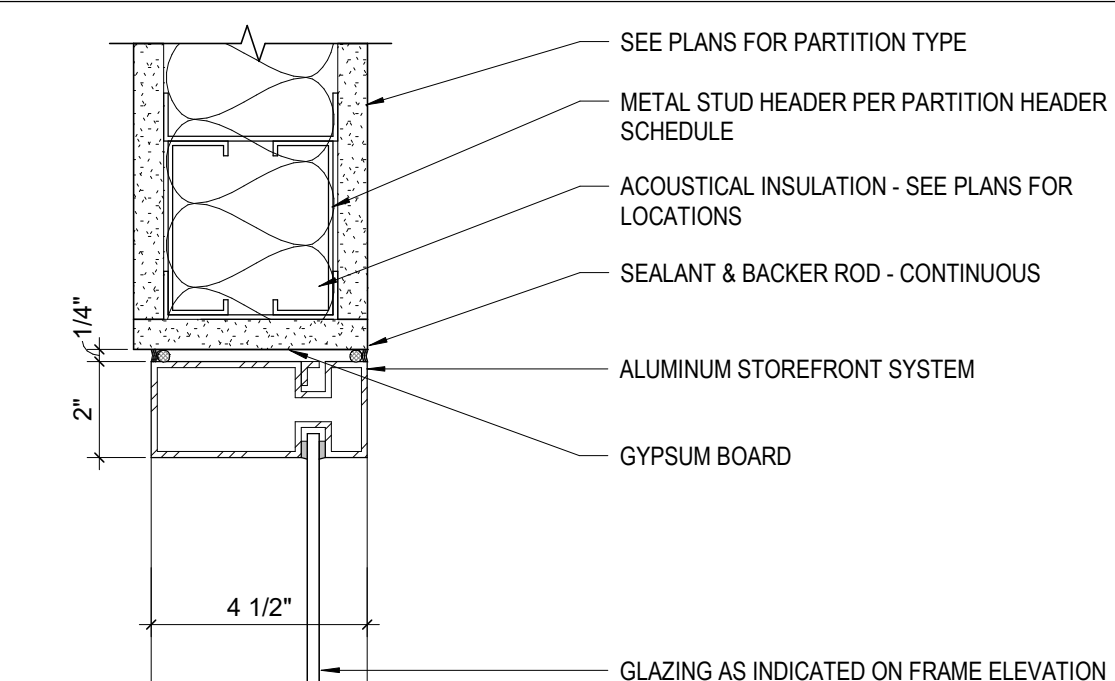
**8** DETAIL @ STOREFRONT TRANSOM HEAD  
3" = 1'-0" A70 DI-SI - T 8 TRANSOM



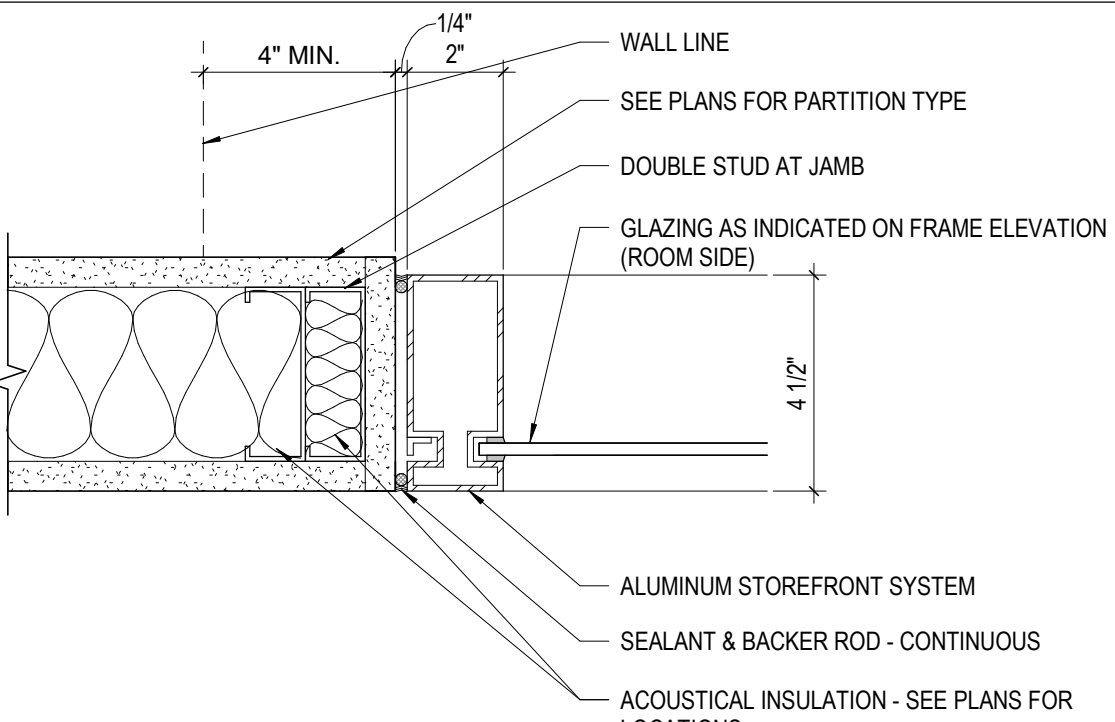
**7** DETAIL STOREFRONT SIDELITE OUT CORNER  
3" = 1'-0" A70 DI-SI - J 8 SQ CORNER



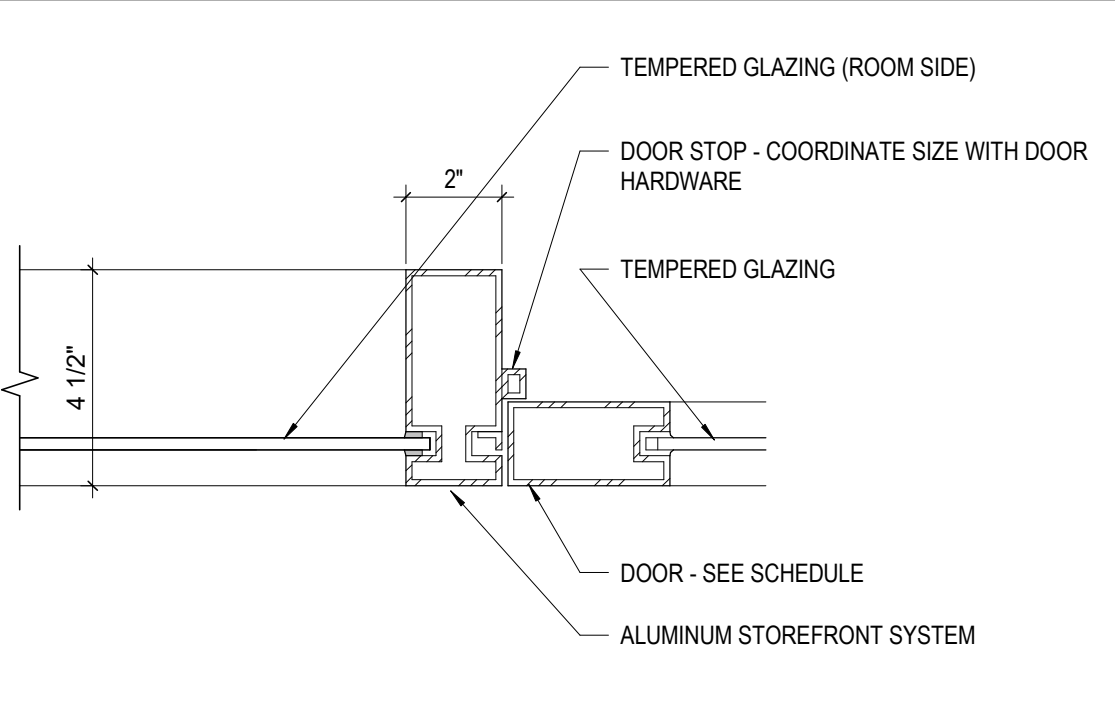
**6** DETAIL INT. STOREFRONT DR. HEAD DETAIL  
3" = 1'-0" A70 DI-SI - H 9 TYP



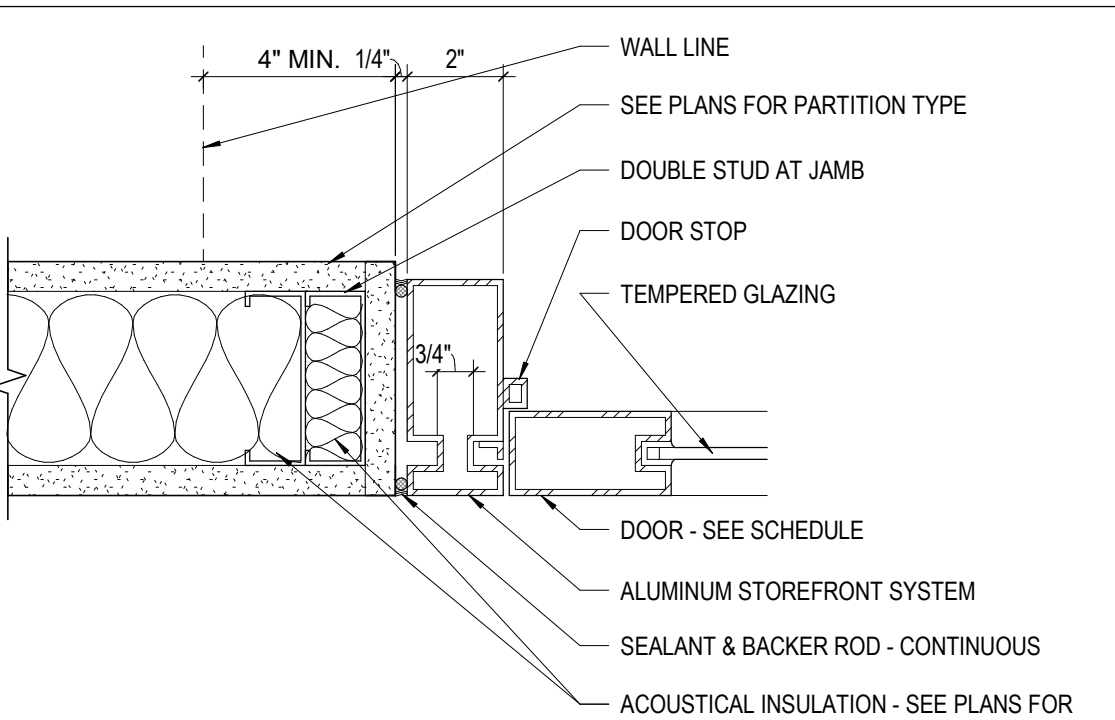
**5** DETAIL INT. STOREFRONT SIDELITE HEAD  
3" = 1'-0" A70 DI-SI - H 9 SIDELITE



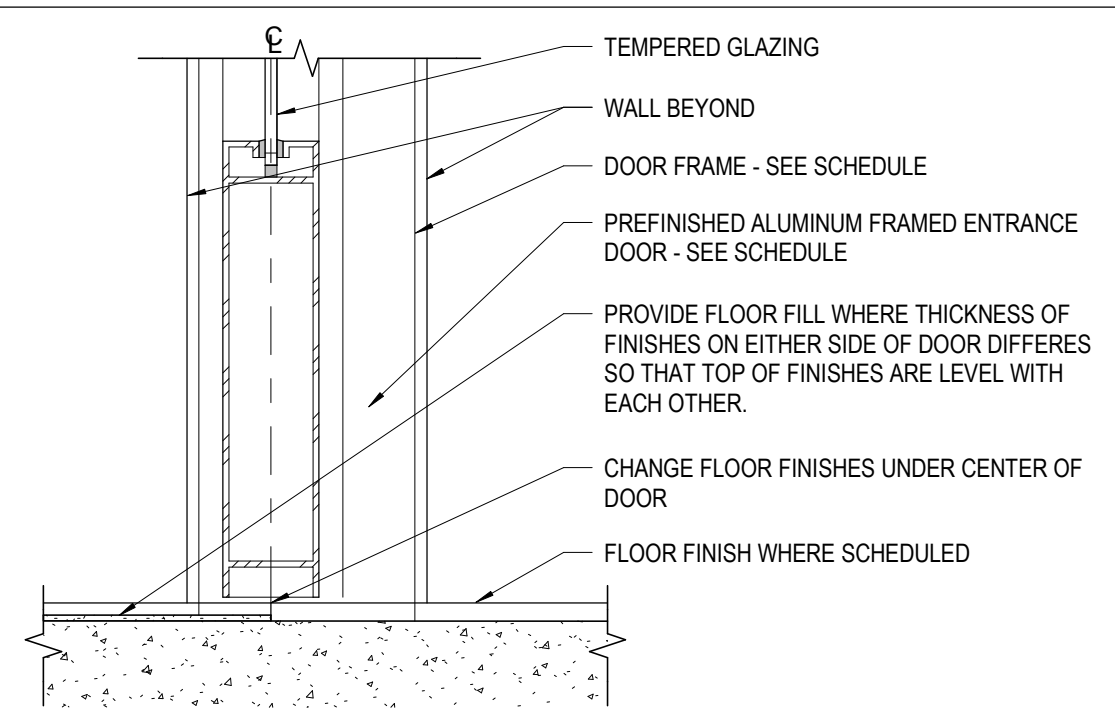
**4** DETAIL INT. STOREFRONT SIDELITE JAMB  
3" = 1'-0" A70 DI-SI - J 9 SIDELITE



**3** DETAIL INT. STOREFRONT DR. JAMB W/ SIDELITE  
3" = 1'-0" A70 DI-SI - J 8 W/ SIDELITE



**2** DETAIL TYP. INT. STOREFRONT DOOR JAMB  
3" = 1'-0" A70 DI-SI - J 9 TYP



**1** DETAIL TYPICAL INTERIOR STOREFRONT DOOR SILL  
3" = 1'-0" REF: 1 / A501 A70 DI-SE - S-SI INT TYP

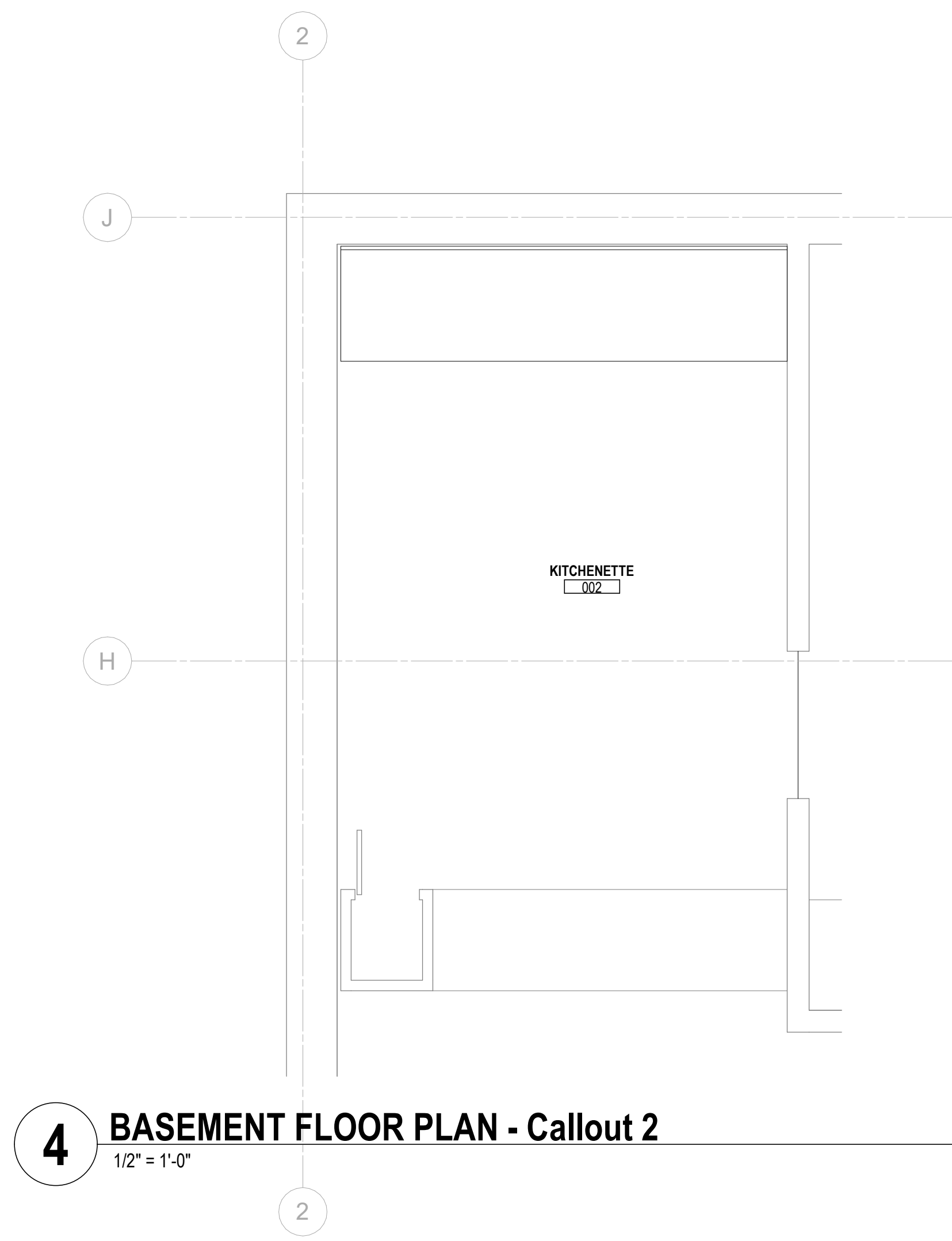
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5303 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

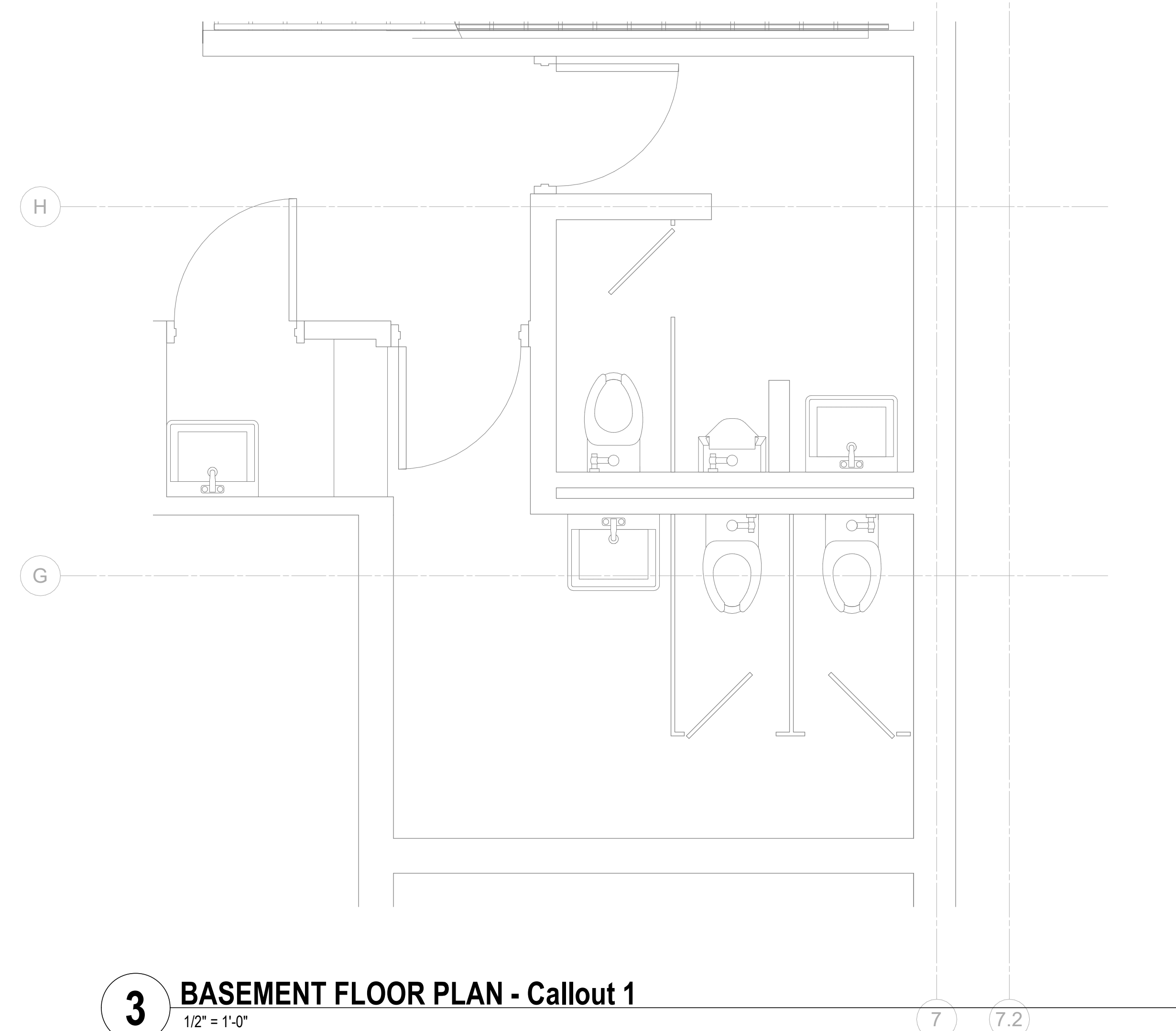
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**DOOR & WINDOW DETAILS**

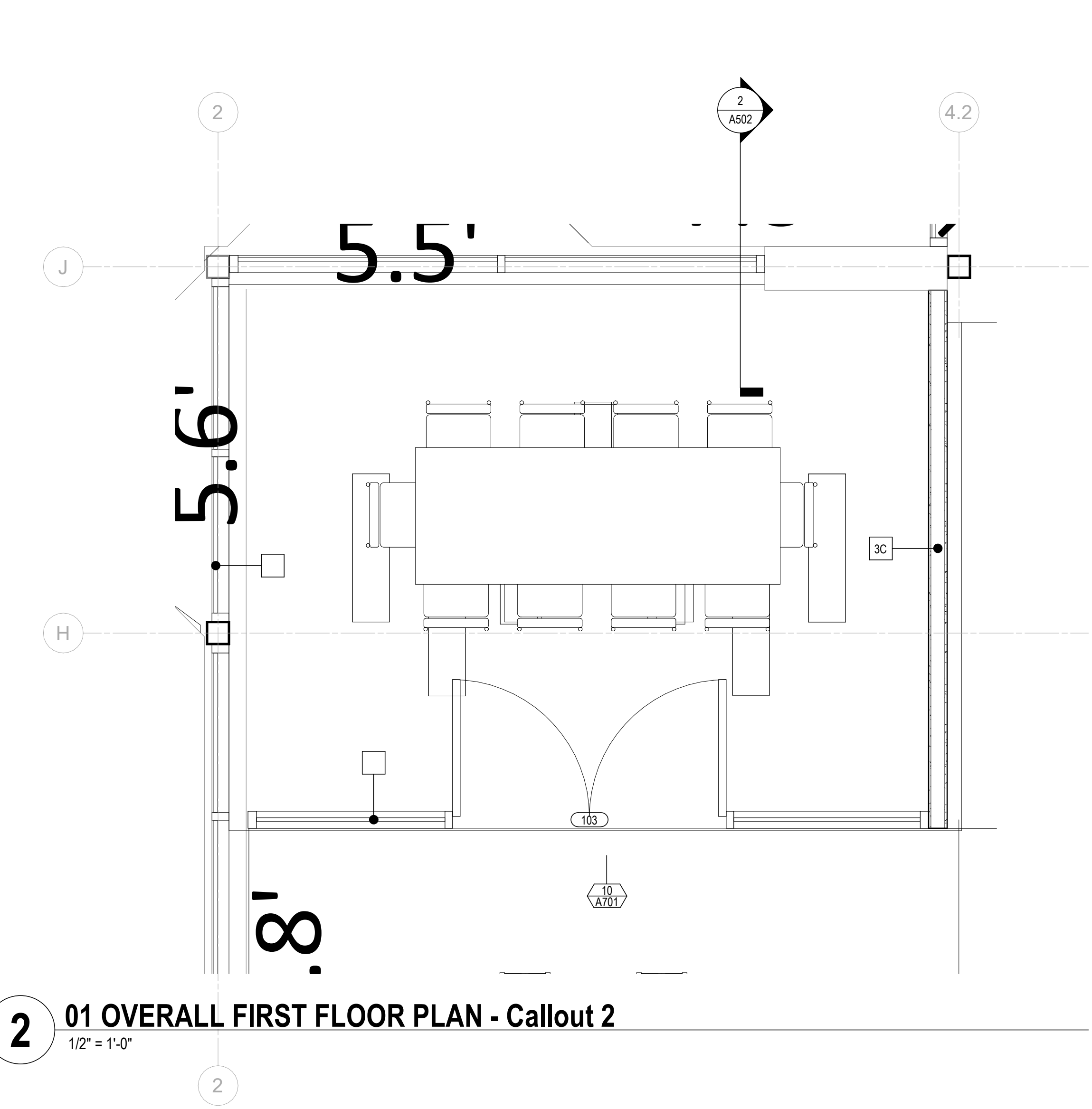
11/30/2020  
DRAWN BY: DCB CHECKED BY: PFP  
20022  
**A702**  
FINAL DEVELOPMENT PLAN



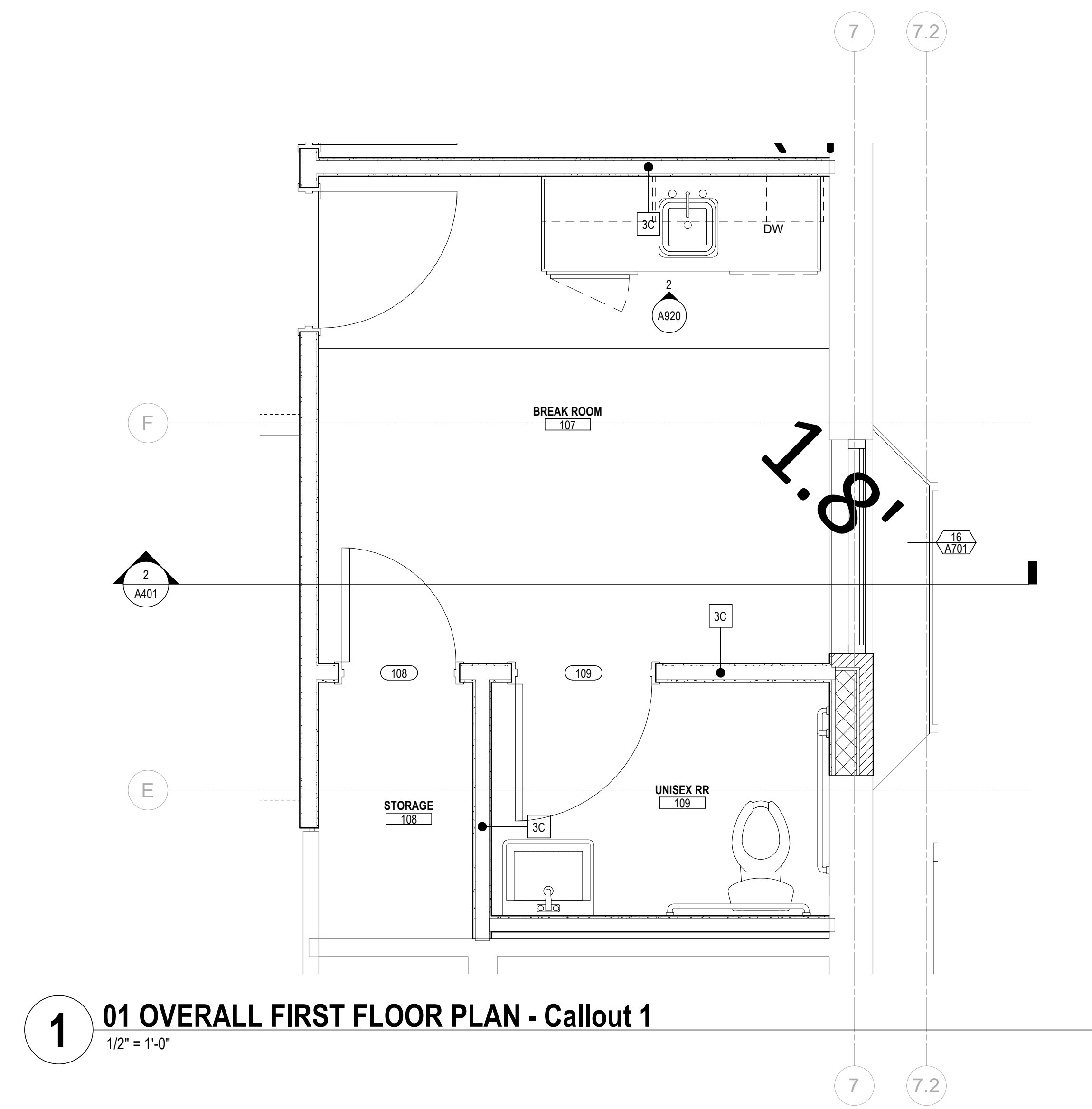
**4 BASEMENT FLOOR PLAN - Callout 2**  
1/2" = 1'-0"



**3 BASEMENT FLOOR PLAN - Callout 1**  
1/2" = 1'-0"



**2 01 OVERALL FIRST FLOOR PLAN - Callout 2**  
1/2" = 1'-0"



**1 01 OVERALL FIRST FLOOR PLAN - Callout 1**  
1/2" = 1'-0"

**GENERAL NOTES - ENLARGED PLANS**

1. X

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
-----------	--------------

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
5500 PRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**ENLARGED PLANS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: XXXX CHECKED BY: XXXX
	20022
	<b>A810</b>
FINAL DEVELOPMENT PLAN	

## FINISH LEGEND

### FLOORS

SC-1 SEALED CONCRETE 1 - SEE SPECS

Luxury Vinyl Tile  
 LVT-1 MOHAWK - LINEATE GRAY

### Porcelain Tile Floor (PTF)

PTF-1: CAESAR ONE CEMENT 30X30 MATTE RECTIFIED USE GT-  
 PTF-2: CAESAR ONE CEMENT 12X24 MATTE RECTIFIED USE GT

### Carpet (CR) \*INSTALL 1/2 OFFSET ASHLAR

CR-1: INTERFACE - HUMAN NATURE COLLECTION - HN850 NICKEL  
 CR-2: INTERFACE - HUMAN NATURE COLLECTION - HN 810 NICKEL  
 CR-3: INTERFACE - HUMAN NATURE COLLECTION - CLEMENTINE  
 CR-4: INTERFACE - HUMAN NATURE COLLECTION - COBALT  
 CR-5: INTERFACE ABOVE BOARD COLOR: BIRCH

### WALKOFF CARPET (WO)

WO-1: SHAW CONTRACT GROUP - STEPPIN OUT - BONJOUR II - COLOR: 31957

### BASE

#### Rubber Base (RB) \*RB-1 ON ALL ROOMS U.N.O.

RB-1: TARKETT - 3" MILLWORK OBLIQUE PROFILE BASE - STRAIGHT: COLOR: MOONROCK

#### Porcelain Tile Base (PTB)

PTB-1 TO MATCH PTF-1

### WALLS

#### Reclaimed Wood Wall and Ceiling - (WD)

WD-1: OLDE WOOD - DISTRESSED COLLECTION - ANTIQUE BARN SIDING - CREME

#### Ceramic Wall Tile (CT)

CT-1: COLOR BY NUMBER - 3X0 WHITE - GT-2  
 CT-2: DALTILE RETRO ROUNDS MOSAIC COBALT BLUE USE GT-3  
 CT-3: DALTILE - SEASON WOOD - COLORBODY PORCELAIN 12X48 - COLOR: SNOW PINE (INSTALL 1/2 OFFSET RUNNING BOND) USE GT-1

\*ALL TILE WALLS TO BE FULL HEIGHT FLOOR TO CEILING, U.N.O.

#### Paint (PT)

\* PAINT ALL WALLS PT-1 U.N.O.  
 PT-1: BENJAMIN MORE: SUPER WHITE PM-1  
 PT-2: SHERWIN WILLIAMS: LAZY GRAY SW624  
 PT-3: BENJAMIN MORE: CHELSEA GRAY

#### Vinyl Wallcovering (WC)

WC-1: DL DODCH - STACY GARCIA HIGHLIGHTS COLOR: COBALT  
 WC-2: MINARHAM - HITCH: COLOR: MIMOSA

### MISCELLANEOUS

#### Plastic Laminate (PL) \*INSTALL PATETRN VERTICAL U.N.O.

PL-1: WILSONART: ASIAN NIGHT  
 PL-2: WILSONART: SHADOW ZEPHYR MATTE FINISH

#### Solid Surface (SS)

SS-1: CORIAN: GLACIER WHITE  
 SS-2: SILESTONE COLOR: WHITE STORM

#### Grout (GT) \*USE GT-1 U.N.O.

GT-1: BOSTIK - COLOR: BUFF H188  
 GT-2: BOSTIK - COLOR: CHAR BLACK H139  
 GT-3: BOSTIK BRIGHT WHITE H177

#### Floor Transition Strip

Schuler/SCHIERE - METAL TRANSITION STRIP BETWEEN PORCELAIN TILE AND CARPET.

#### Corner Guards (CG)

USE STAINLESS STEEL CORNER GUARDS, 8" HIGH PLACED ABOVE WALL BASE.

USE FRY REGLET WALL COVERING CORNER GUARD TRIM @ WALLCOVERING EXTERNAL CORNERS, FULL HEIGHT OF WALL.

## GENERAL NOTES - FINISH PLANS

- STANDARDS AND PROCEDURES FOR THE PREPARATION AND APPLICATION OF INTERIOR FINISHES ARE DEFINED IN THE PROJECT MANUAL. FINISH (SUB) CONTRACTORS ARE REQUIRED TO READ, UNDERSTAND AND FOLLOW ALL RELEVANT SECTIONS OF THE PROJECT MANUAL.
- FINISH MATERIALS ARE LISTED IN THE LEGEND COMPONENT OF THE FINISH SCHEDULE. SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE TWO SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- NO FINISH MATERIAL SUBSTITUTIONS WILL BE ACCEPTED EXCEPT IN THE SPECIFIC CIRCUMSTANCES ENUMERATED IN THE PROJECT MANUAL.
- PAINTED HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE. MATERIAL, FINISH AND COLOR INFORMATION FOR ALL OTHER DOORS AND FRAMES IS CONTAINED IN THE DOOR SCHEDULE AND ITS ASSOCIATED LEGENDS. F WALLS ON OPPOSITE SIDES OF DOOR FRAME ARE DIFFERENT COLORS THE PAINT COLORS SHOULD BE SPLIT AT THE JAMB OF THE FRAME.
- ALL VERTICAL TRANSITIONS BETWEEN DIFFERING WALL FINISHES ARE TO BE MADE AT INSIDE CORNERS (UNLESS NOTED OTHERWISE).
- FLOORING MATERIAL DESIGNATED FOR STAIRS IS TO INCLUDE STAIR AND ALL ASSOCIATED TREADS, RISERS, LANDINGS, ETC. (UNLESS NOTED OTHERWISE).
- PAINT DESIGNATED FOR METAL STAIR COMPONENTS IS TO INCLUDE ALL EXPOSED METAL COMPONENTS ASSOCIATED WITH THE STAIR SYSTEM ITSELF. ALL EXPOSED STRUCTURAL STEEL COMPONENTS SUPPORTING THE STAIR SYSTEM (UNLESS NOTED OTHERWISE), AND ALL EXPOSED METAL COMPONENTS OF THE HANDRAIL AND GUARDRAIL SYSTEMS (UNLESS NOTED OTHERWISE). UNDERSIDES OF STAIR RUNS AND LANDINGS ARE CONSIDERED "EXPOSED" IN ALL SITUATIONS.
- FOR CLARITY, SOME FINISH INFORMATION HAS BEEN PRESENTED GRAPHICALLY IN THE FORM OF FINISH AND FLOORING PLANS. SHOULD THERE BE A DISCREPANCY BETWEEN THE FINISH SCHEDULE AND THESE PLANS, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. FOR THE PURPOSE OF BIDDING, INFORMATION DETAILED ON THE FINISH FLOOR PLANS AND FLOORING PLANS IS TO TAKE PRECEDENCE OVER THE FINISH SCHEDULE UNTIL FURTHER CLARIFICATION CAN BE GIVEN. FOR AREAS NOT SPECIFICALLY DETAILED ON THESE PLANS, THE FINISH SCHEDULE PERTAINS.
- PAINT DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE AFOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
- WHERE RESILIENT BASE IS SPECIFIED (VINYL OR RUBBER) PROVIDE COVE PROFILE BASE AT ALL RESILIENT FLOORS AND STRAIGHT BASE FOR ALL CARPET AREAS (UNLESS OTHERWISE NOTED), HEIGHT AND COLOR TO BE AS INDICATED ON FINISH LEGEND.
- REFER TO REFLECTED CEILING PLANS AND SPECIFICATION MANUAL FOR ALL CEILING MATERIAL AND FINISH INFORMATION.
- ALL DRYWALL SOFFITS TO BE PAINTED FLAT CEILING WHITE UNLESS NOTED OTHERWISE ON CEILING PLANS.
- CERAMIC WALL TILE TO EXTEND FULL WIDTH AND FULL HEIGHT FOR ANY AND ALL SCHEDULED TILED WALLS (UNLESS NOTED OTHERWISE).
- FOR EPOXY OR INTUMESCENT PAINT COLOR REFER TO PAINT SCHEDULE NUMBERS.
- WITHIN FINISH SCHEDULE CELLS, SLASH MARKS INDICATE DIFFERENCES IN FINISH MATERIAL WHILE COMMAS INDICATE DIFFERENCES IN PATTERN OR COLOR WITHIN A SPECIFIC MATERIAL.
- APPROPRIATE METAL OR VINYL TRANSITION STRIPS MUST BE PROVIDED AT ALL FINISH MATERIAL FLOORING CHANGES. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FLOORING TRANSITIONS AND AREAS IN WHICH FLOORING PATTERNS ARE SHOWN. SEE FLOOR FINISH PLANS, DETAILS AND NOTES FOR SPECIFIC INFORMATION.
- WALL PAINT INDICATED FOR CURTAIN WALL LOCATIONS APPLIES TO ALL ASSOCIATED DRYWALL COMPONENTS (CURBS, HEADERS, BULKHEADS, ETC.) AND SHOULD NOT BE INTERPRETED AS APPLYING TO CURTAIN WALL COMPONENTS OR GLASS.
- FLOORING CONTRACTOR(S) IS RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS WITH ALL ANY FLOOR MOUNTED COMPONENTS (RECEPTACLES, ACCESS PANELS, ETC.) SO THAT COMPONENTS ARE INTEGRATED AND FLUSH.

## KEYNOTE LEGEND

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 800 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN** 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

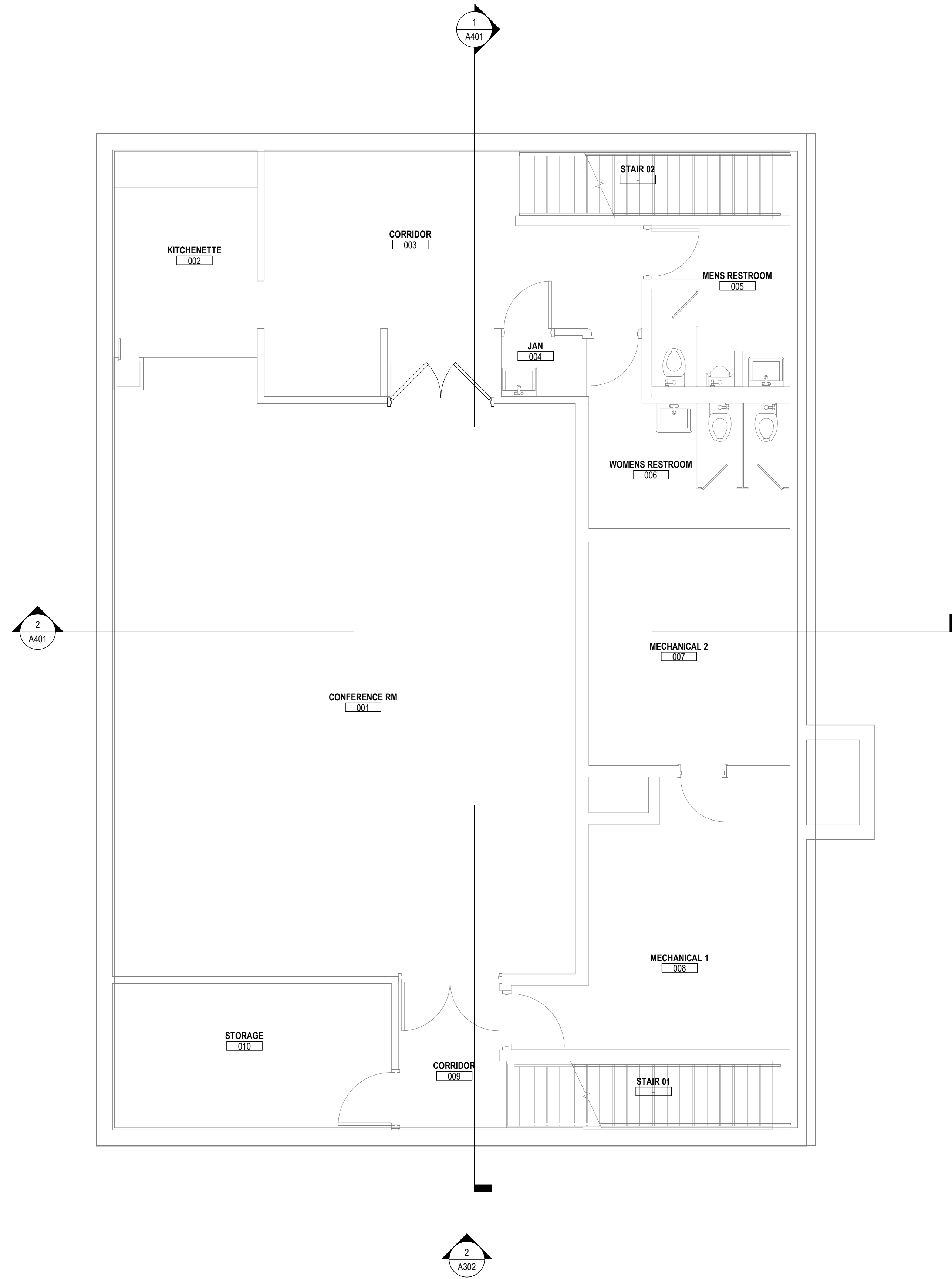
DRAWING TITLE:

## FINISH LEGEND

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020	
	DRAWN BY: xxx	CHECKED BY: xxx
	2022	
<b>A900</b>		
FINAL DEVELOPMENT PLAN		

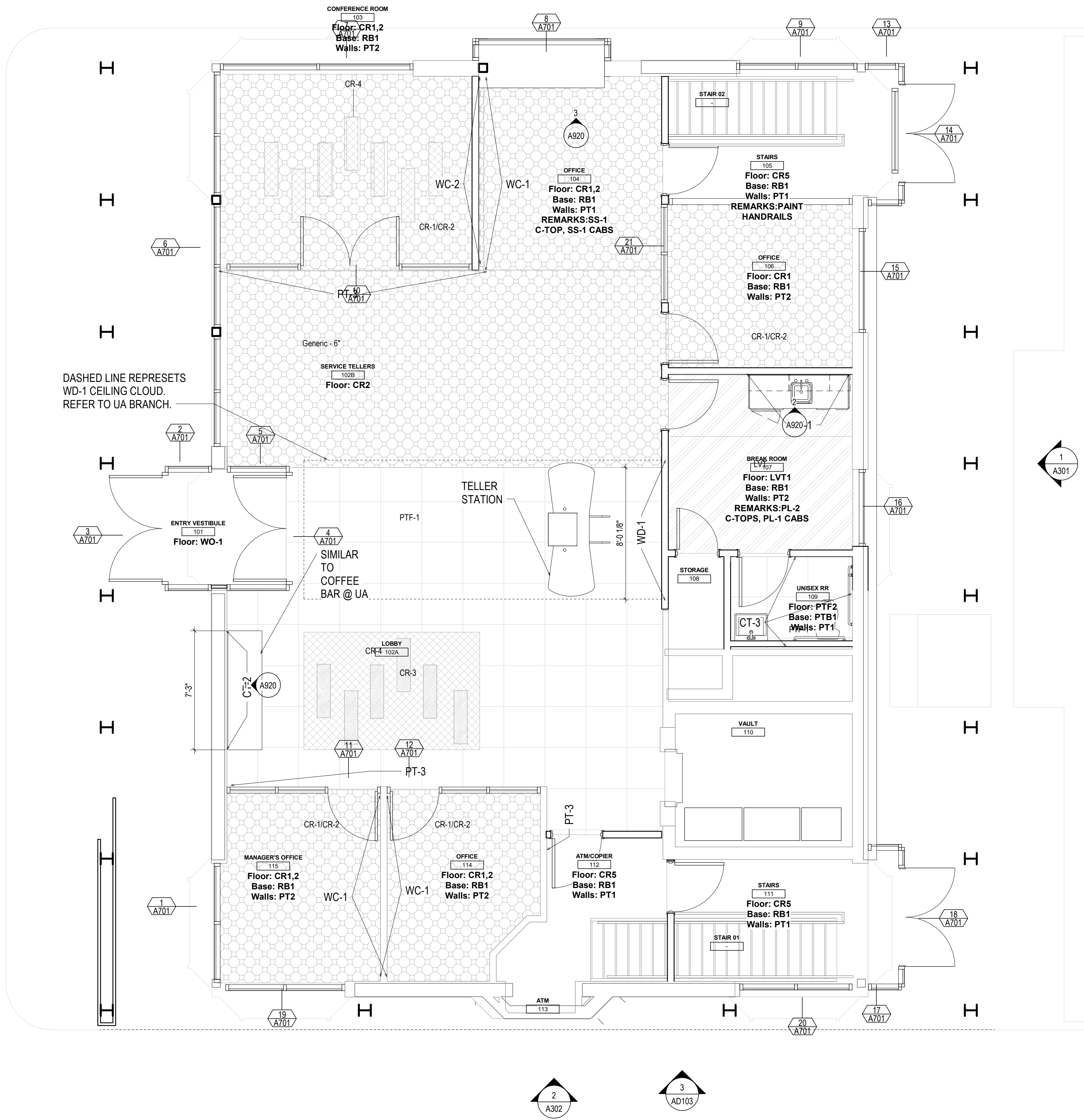
## 2 BASEMENT - FINISH PLAN

1/4" = 1'-0"



## 1 FIRST FLOOR - FINISH PLAN

1/4" = 1'-0"



### GENERAL NOTES - FINISH PLANS

- STANDARDS AND PROCEDURES FOR THE PREPARATION AND APPLICATION OF INTERIOR FINISHES ARE DEFINED IN THE PROJECT MANUAL. FINISH (SUB) CONTRACTORS ARE REQUIRED TO READ, UNDERSTAND AND FOLLOW ALL RELEVANT SECTIONS OF THE PROJECT MANUAL.
- FINISH MATERIALS ARE LISTED IN THE LEGEND COMPONENT OF THE FINISH SCHEDULE. SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE TWO SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- NO FINISH MATERIAL SUBSTITUTIONS WILL BE ACCEPTED EXCEPT IN THE SPECIFIC CIRCUMSTANCES ENUMERATED IN THE PROJECT MANUAL.
- PAINTED HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE. MATERIAL, FINISH AND COLOR INFORMATION FOR ALL OTHER DOORS AND FRAMES IS CONTAINED IN THE DOOR SCHEDULE AND ITS ASSOCIATED LEGENDS. IF WALLS ON OPPOSITE SIDES OF DOOR FRAME ARE DIFFERENT COLORS THE PAINT COLORS SHOULD BE SPLIT AT THE JAMB OF THE FRAME.
- ALL VERTICAL TRANSITIONS BETWEEN DIFFERING WALL FINISHES ARE TO BE MADE AT INSIDE CORNERS (UNLESS NOTED OTHERWISE).
- FLOORING MATERIAL DESIGNATED FOR STAIRS IS TO INCLUDE STAIR AND ALL ASSOCIATED TREADS, RISERS, LANDINGS, ETC. (UNLESS NOTED OTHERWISE).
- PAINT DESIGNATED FOR METAL STAIR COMPONENTS IS TO INCLUDE ALL EXPOSED METAL COMPONENTS ASSOCIATED WITH THE STAIR SYSTEM ITSELF, ALL EXPOSED STRUCTURAL STEEL COMPONENTS SUPPORTING THE STAIR SYSTEM (UNLESS NOTED OTHERWISE), AND ALL EXPOSED METAL COMPONENTS OF THE HANDRAIL AND GUARDRAIL SYSTEMS (UNLESS NOTED OTHERWISE). UNDERSIDES OF STAIR RUNS AND LANDINGS ARE CONSIDERED "EXPOSED" IN ALL SITUATIONS.
- FOR CLARITY, SOME FINISH INFORMATION HAS BEEN PRESENTED GRAPHICALLY IN THE FORM OF FINISH AND FLOORING PLANS. SHOULD THERE BE A DISCREPANCY BETWEEN THE FINISH SCHEDULE AND THESE PLANS, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. FOR THE PURPOSE OF BIDDING, INFORMATION DETAILED ON THE FINISH FLOOR PLANS AND FLOORING PLANS IS TO TAKE PRECEDENCE OVER THE FINISH SCHEDULE UNTIL FURTHER CLARIFICATION CAN BE GIVEN. FOR AREAS NOT SPECIFICALLY DETAILED ON THESE PLANS, THE FINISH SCHEDULE PERTAINS.
- PAINT DESIGNATED FOR EXPOSED OVER-HEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE AFORESAID CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
- WHERE RESILIENT BASE IS SPECIFIED (VINYL OR RUBBER) PROVIDE COVE PROFILE BASE AT ALL RESILIENT FLOORS AND STRAIGHT BASE FOR ALL CARPET AREAS (UNLESS OTHERWISE NOTED). HEIGHT AND COLOR TO BE AS INDICATED ON FINISH LEGEND.
- REFER TO REFLECTED CEILING PLANS AND SPECIFICATION MANUAL FOR ALL CEILING MATERIAL AND FINISH INFORMATION.
- ALL DRYWALL SOFFITS TO BE PAINTED FLAT CEILING WHITE UNLESS NOTED OTHERWISE ON CEILING PLANS.
- CERAMIC WALL TILE TO EXTEND FULL WIDTH AND FULL HEIGHT FOR ANY AND ALL SCHEDULED TILED WALLS (UNLESS NOTED OTHERWISE).
- FOR EPOXY OR INTUMESCENT PAINT COLOR REFER TO PAINT SCHEDULE NUMBERS.
- WITHIN FINISH SCHEDULE CELLS, SLASH MARKS INDICATE DIFFERENCES IN FINISH MATERIAL WHILE COMMAS INDICATE DIFFERENCES IN PATTERN OR COLOR WITHIN A SPECIFIC MATERIAL.
- APPROPRIATE METAL OR VINYL TRANSITION STRIPS MUST BE PROVIDED AT ALL FINISH MATERIAL FLOORING CHANGES. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FLOORING TRANSITIONS AND AREAS IN WHICH FLOORING PATTERNS ARE SHOWN. SEE FLOOR FINISH PLANS, DETAILS AND NOTES FOR SPECIFIC INFORMATION.
- WALL PAINT INDICATED FOR CURTAIN WALL LOCATIONS APPLIES TO ALL ASSOCIATED DRYWALL COMPONENTS (CURBS, HEADERS, BULKHEADS, ETC.) AND SHOULD NOT BE INTERPRETED AS APPLYING TO CURTAIN WALL COMPONENTS OR GLASS.
- FLOORING CONTRACTOR(S) IS RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS WITH ALL ANY FLOOR MOUNTED COMPONENTS (RECEPTACLES, ACCESS PANELS, ETC.) SO THAT COMPONENTS ARE INTEGRATED AND FLUSH.

### KEYNOTE LEGEND

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5200 PRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

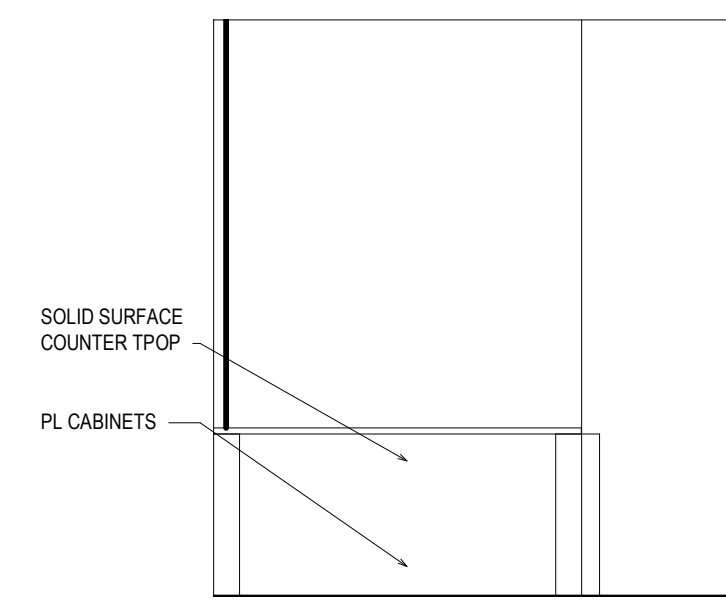
MOODY-NOLAN

DRAWING TITLE:

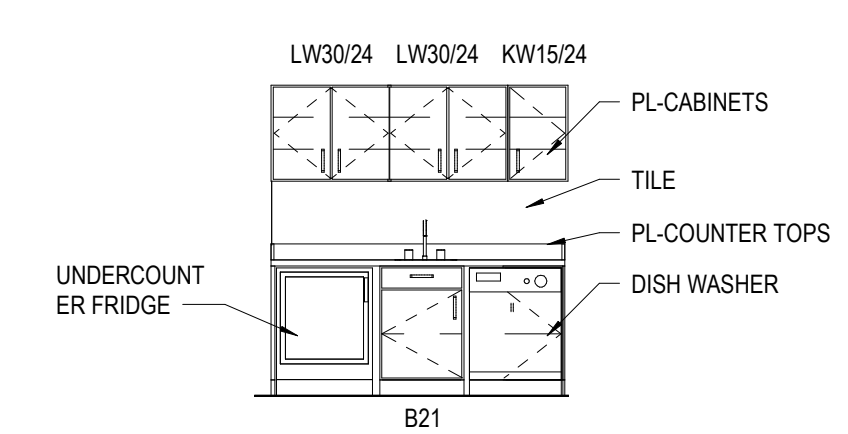
## FIRST FLOOR FINISH PLAN

11/30/2020	
DRAWN BY: xxx	CHECKED BY: xxx
2002	
<b>A901</b>	
FINAL DEVELOPMENT PLAN	

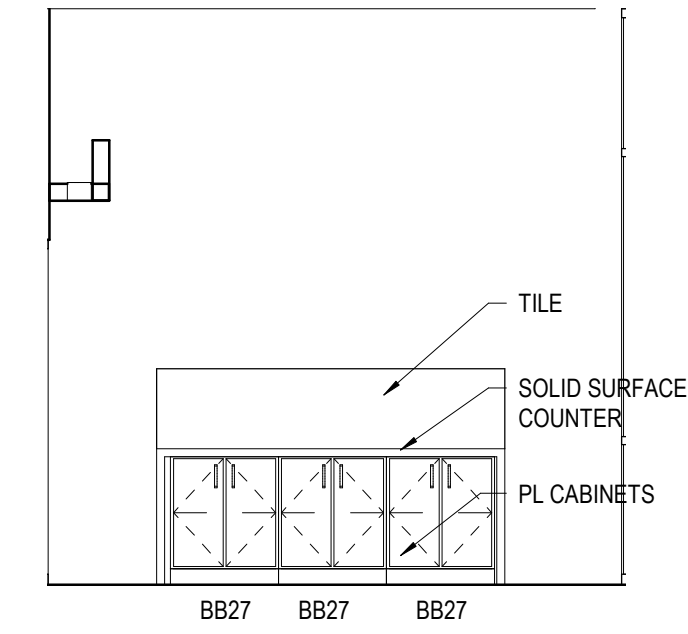
PROGRESS DRAWING NOT FOR CONSTRUCTION



**3** ELEVATION OFFICE  
 1/4" = 1'-0" REF: 1 / A10



**2** ELEVATION BREAKROOM  
 1/4" = 1'-0" REF: 1 / A10



**1** ELEVATION COFFEE BAR  
 1/4" = 1'-0" REF: 1 / A10

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 5000 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

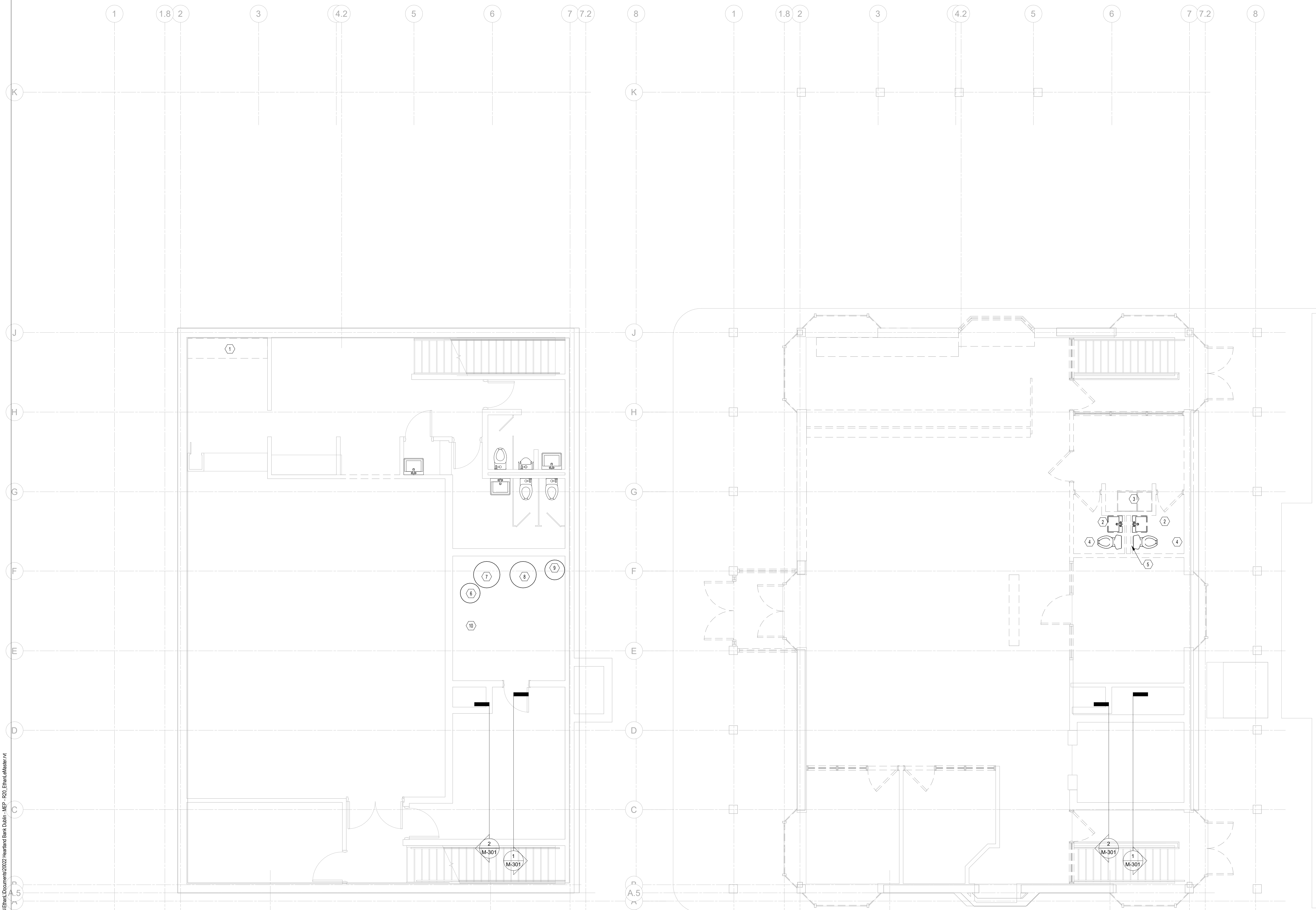
DRAWING TITLE:  
**INTERIOR ELEVATIONS**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: XXXX CHECKED BY: XXXX
	20022
<b>A920</b>	
FINAL DEVELOPMENT PLAN	





- CODED NOTES:**
- EXISTING SINK, FAUCET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER AND SANITARY TO BE CAPPED IN WALL.
  - EXISTING LAVATORY, FAUCET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER, SANITARY AND VENT PIPING BE REMOVED BACK INTO CHASE.
  - EXISTING SINK, FAUCET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER, SANITARY AND VENT PIPING BE REMOVED BACK INTO CHASE.
  - EXISTING WATER CLOSET, TRIM AND ASSOCIATED PIPING TO BE REMOVED. EXISTING HOT & COLD WATER AND VENT PIPING BE REMOVED BACK INTO CHASE. EXISTING SANITARY PIPING TO BE REMOVED TO FLOOR BELOW.
  - EXISTING HOT & COLD WATER AND SANITARY PIPING TO BE REMOVED TO FLOOR BELOW. EXISTING VENT PIPING TO BE REMOVED TO VENT THROUGH ROOF. EXISTING VENT THROUGH ROOF TO REMAIN.
  - EXISTING 40 GALLON GAS-FIRED WATER HEATER TO REMAIN.
  - EXISTING SEWAGE EJECTOR PUMPS, CONTROLS AND LID TO BE REMOVED. EXISTING BASIN TO REMAIN. EXISTING PIPING TO REMAIN.
  - EXISTING SUMP PUMPS, CONTROLS AND LID TO BE REMOVED. EXISTING BASIN TO REMAIN. EXISTING PIPING TO REMAIN.
  - EXISTING ACCUMULATOR TANK AND ASSOCIATED PIPING TO BE REMOVED.
  - EXISTING BOILER BEING REMOVED. DISCONNECT EXISTING GAS LINE AND PROVIDE TEMPORARY CAP.



**1 PLAN** BASEMENT FLOOR PLAN - PLUMBING - DEMOLITION  
1/4" = 1'-0"

**2 PLAN** FIRST FLOOR PLAN - PLUMBING - DEMOLITION  
1/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

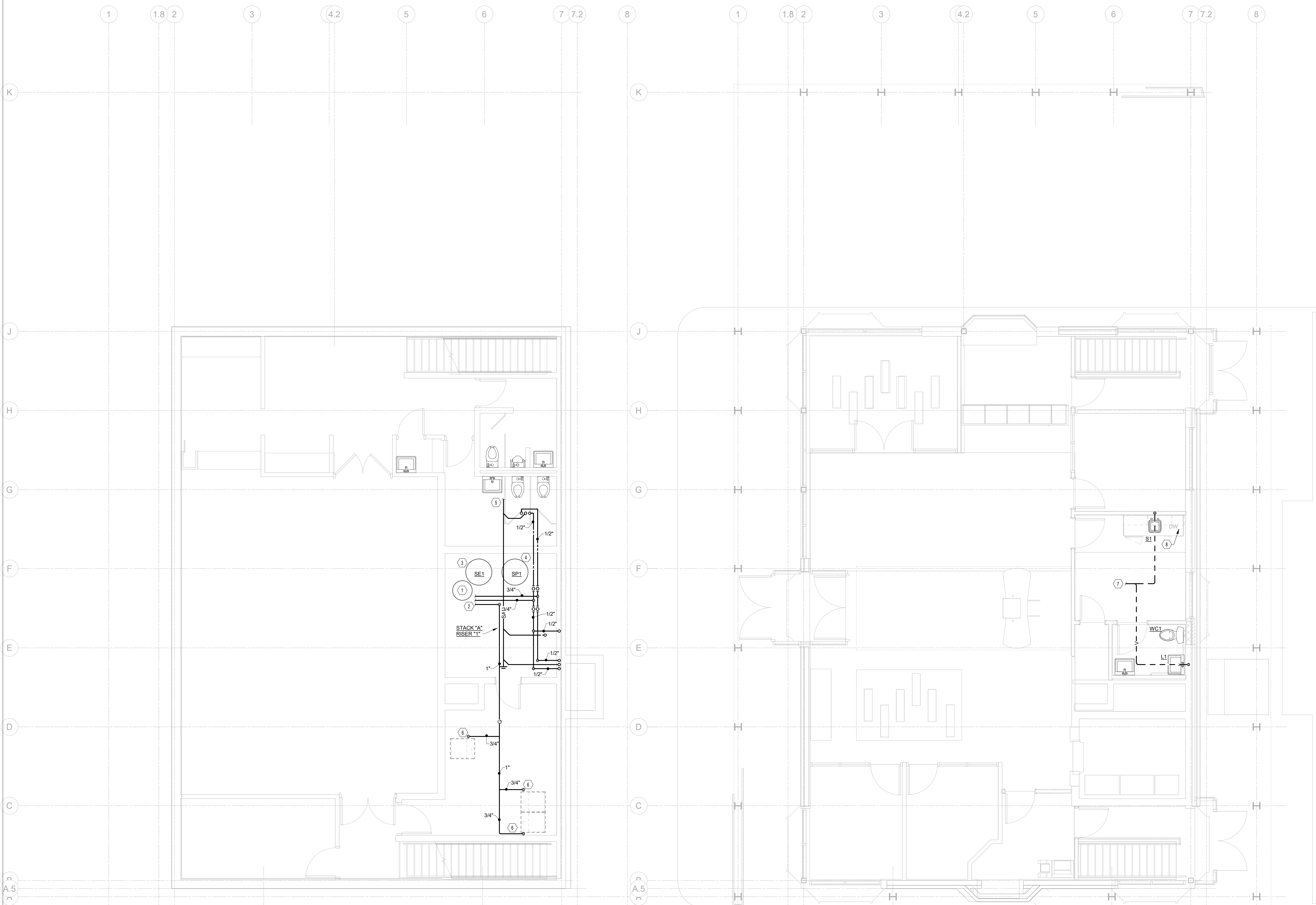
**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**FLOOR PLANS - PLUMBING - DEMOLITION**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker
	20022
<b>PD101</b>	
FINAL DEVELOPMENT PLAN	

- CODED NOTES:**
- EXISTING 40 GALLON GAS-FIRED WATER HEATER TO REMAIN.
  - CONNECT 3/4" HW, 3/4" CW AND 1" G TO EXISTING TO EXISTING 3/4" HW, 3/4" CW AND GAS IN THIS AREA.
  - CONNECT 3" PUMP DISCHARGE TO EXISTING SANITARY PIPING.
  - CONNECT 3" PUMP DISCHARGE TO EXISTING STORM PIPING.
  - CONNECT 4" SAN TO EXISTING 4" SAN IN THIS AREA.
  - CONNECT 3/4" G TO HVAC EQUIPMENT. PROVIDE SHUT-OFF AND DIRT LEG. MAKE FINAL CONNECTION.
  - CONNECT 2" V TO EXISTING VENT IN THIS AREA.
  - EXTEND 1/2" HW FROM SINK SUPPLY TO DISHWASHER. EXTEND DRAIN FROM DISHWASHER TO CONNECTION ABOVE SINK TRAP. MAKE FINAL CONNECTION.



**1 PLAN** BASEMENT FLOOR PLAN - PLUMBING  
 1/4" = 1'-0"

**2 PLAN** FIRST FLOOR PLAN - PLUMBING  
 1/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**FLOOR PLANS - PLUMBING**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
<b>P-101</b>	
FINAL DEVELOPMENT PLAN	

**ABBREVIATIONS**

NOTE: NOT ALL ABBREVIATIONS MAY BE USED.

(A)	EXISTING TO BE ABANDONED
(D)	EXISTING TO BE DEMOLISHED
(E)	EXISTING TO REMAIN
(F)	FUTURE
(R)	EXISTING TO BE RELOCATED
AAV	AUTOMATIC AIR VENT
AFF	ABOVE FINISHED FLOOR
AMB	AMBIENT
APD	AIR PRESSURE DROP
A/E	ARCHITECT/ENGINEER
BAS	BUILDING AUTOMATION SYSTEM
BFP	BACKFLOW PREVENTOR
BLDG	BUILDING
BOB	BOTTOM OF BEAM
BOD	BOTTOM OF DUCT
BOP	BOTTOM OF PIPE
BOS	BOTTOM OF STRUCTURE
CL	CENTER LINE
CO	CLEAN OUT
DB	DRY BULB
DIA	DIAMETER
DN	DOWN
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EFF	EFFICIENCY
EG	ETHYLENE GLYCOL
ESP	EXTERNAL STATIC PRESSURE
EWT	ENTERING WATER TEMPERATURE
EXH	EXHAUST
FPI	FINS PER INCH
GTC	GENERAL TRADES CONTRACTOR
ID	INNER DIAMETER
LAT	LEAVING AIR TEMPERATURE
LWT	LEAVING WATER TEMPERATURE
MFR	MANUFACTURER
N/A	NOT APPLICABLE
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OA	OUTSIDE AIR
OD	OUTSIDE DIAMETER
PD	PRESSURE DROP
PRV	PRESSURE REDUCING VALVE
RA	RETURN AIR
REL	RELIEF AIR
SA	SUPPLY AIR
SCC	SENSIBLE COOLING CAPACITY
SP	STATIC PRESSURE
TCC	TOTAL COOLING CAPACITY
TCP	TEMPERATURE CONTROL PANEL
TSP	TOTAL STATIC PRESSURE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VFD	VARIABLE FREQUENCY DRIVE
WB	WET BULB
WG	WATER GAUGE
WPD	WATER PRESSURE DROP

**SYMBOLS LIST**

NOTE: NOT ALL SYMBOLS MAY BE USED.

LINE STYLES	DUCTWORK
NEW WORK (VISIBLE) ———	SUPPLY/O.A. DUCT RISE (SINGLE LINE)
NEW WORK (HIDDEN) - - - - -	SUPPLY/O.A. DUCT RISE (DOUBLE LINE)
EXISTING WORK (VISIBLE) ———	SUPPLY/O.A. DUCT DROP (SINGLE LINE)
EXISTING WORK (HIDDEN) - - - - -	SUPPLY/O.A. DUCT DROP (DOUBLE LINE)
EXISTING TO BE DEMOLISHED	
FUTURE	
PIPING	
HEATING WATER SUPPLY — HWS	RETURN/EXHAUST RELIEF DUCT RISE (SINGLE LINE)
HEATING WATER RETURN — HWR	RETURN/EXHAUST RELIEF DUCT RISE (DOUBLE LINE)
CHILLED WATER SUPPLY — CWS	RETURN/EXHAUST RELIEF DUCT DROP (SINGLE LINE)
CHILLED WATER RETURN — CWR	RETURN/EXHAUST RELIEF DUCT DROP (DOUBLE LINE)
CONDENSER WATER SUPPLY — CS	RETURN/EXHAUST RELIEF DUCT DROP (SINGLE LINE)
CONDENSER WATER RETURN — CR	RETURN/EXHAUST RELIEF DUCT DROP (DOUBLE LINE)
COOLING COIL CONDENSATE — C	RETURN/EXHAUST RELIEF DUCT DROP (SINGLE LINE)
REFRIGERANT SUCTION — RS	RETURN/EXHAUST RELIEF DUCT DROP (DOUBLE LINE)
REFRIGERANT LIQUID — RL	FLAT OVAL (DROP OR RISE)
HIGH PRESSURE STEAM — HPS(#)	DOUBLE LINE FLEX DUCT
HIGH PRESSURE STEAM CONDENSATE — HPC	SINGLE LINE FLEX DUCT
LOW PRESSURE STEAM — LPS(#)	
LOW PRESSURE STEAM CONDENSATE — LPC	
PUMPED STEAM CONDENSATE — PSC	
PIPING (FITTINGS, VALVES, AND MISCELLANEOUS)	
DROP	ACCESS DOOR
RISE	90 DEGREE FITTING (WITH TURNING VANES)
TEE	DIFFUSER
CAP	WITHOUT FLEX
REDUCER	WITH FLEX
FLOW ARROW	SIDEWALL GRILLE/REGISTER/DIFFUSER
PUMP	WITHOUT FLEX
2-WAY CONTROL VALVE	WITH FLEX
3-WAY CONTROL VALVE	
BUTTERFLY VALVE	GRILLE/REGISTER
BALL VALVE	VOLUME DAMPER
CHECK VALVE	FIRE DAMPER WITH ACCESS DOOR
COMBINATION BALANCE/SHUT-OFF VALVE	SMOKE DAMPER WITH ACCESS DOOR
TRIPLE DUTY VALVE	COMB. FIRE/SMOKE DAMPER WITH ACCESS DOOR
GATE VALVE	BACKDRAFT DAMPER
PLUG VALVE	MOTORIZED DAMPER WITH ACCESS DOOR
GLOBE VALVE	AIR FLOW ARROW
PRESSURE RELIEF VALVE	THERMOSTAT (MOUNT 48" AFF TO CENTER UNO)
PRESSURE REDUCING VALVE	HUMIDISTAT (MOUNT 48" AFF TO CENTER UNO)
STRAINER	MISCELLANEOUS SENSOR
DRAIN VALVE WITH HOSE END ADAPTER	CO SENSOR
UNION	CO2 SENSOR
AUTOMATIC AIR VENT	CONNECT TO EXISTING
MANUAL AIR VENT	TERMINAL BOX
THERMOMETER	WITHOUT REHEAT
PRESSURE GAUGE (WITH STOPCOCK)	WITH REHEAT
PRESSURE/TEMPERATURE TEST PLUG	
FLOW SENSOR	
PRESSURE SENSOR	
TEMPERATURE SENSOR	
STEAM TRAP	
METER	
FLEXIBLE CONNECTION	
HEAT TRACED PIPE	
PIPE ANCHOR	
PIPE GUIDE	
EXPANSION JOINT	

- GENERAL NOTES:
- THESE NOTES APPLY TO ALL DIVISION 23 DRAWINGS.
  - ALL HVAC WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL CODES.
  - CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, FEES, AND PERMITS FOR A COMPLETE INSTALLATION. CONTRACTOR SHALL COMPLY WITH ALL GENERAL CONDITIONS LISTED ON THE ARCHITECTURAL DRAWINGS.
  - IN CASE OF DIFFERENCE BETWEEN BUILDING CODES, SPECIFICATIONS, INDUSTRY STANDARDS, UTILITY COMPANY REGULATIONS, FIRE INSURANCE CARRIER'S REQUIREMENTS, AND CONTRACT DOCUMENTS, THE MOST STRINGENT SHALL GOVERN. PROMPTLY NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DIFFERENCE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE FUNCTIONALITY OF THE HVAC SYSTEM INCLUDING ELECTRICAL AND CONTROL ITEMS ASSOCIATED WITH THE MECHANICAL EQUIPMENT.
  - THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION OF MECHANICAL, PLUMBING, AND EQUIPMENT. DRAWINGS ARE BASED ON "AS-BUILT" DRAWINGS AND LIMITED FIELD OBSERVATIONS. FOR PURPOSES OF CLEARNESS AND LEGIBILITY, SIZE AND LOCATION OF EQUIPMENT ARE SHOWN TO SCALE WHEREVER POSSIBLE.
  - IN THE EVENT OF A CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS THE CONTRACTOR SHALL ADVISE ENGINEER IN WRITING PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH RESTORING, RELOCATING OR EQUIPMENT, SYSTEMS, PIPING, ETC. FROM FAILURE TO PROPERLY COORDINATE INSTALLATION AND NOT ADVISING IN WRITING OF CONFLICT PRIOR TO PURCHASE AND/OR INSTALLATION.
  - NOT ALL EXISTING SYSTEMS ARE SHOWN TO AID DRAWING INTERPRETATION AND CLARITY.
  - CONTRACTOR IS TO MAINTAIN RECORDED "AS-BUILT" INFORMATION ON ALL EXISTING SERVICES UNCOVERED DURING CONSTRUCTION AND ALL NEW SERVICES BEING INSTALLED. "AS-BUILT" DRAWINGS SHALL BE MAINTAINED IN THE FIELD. THE "AS-BUILTS" SHALL CAPTURE INFORMATION ON A CLEARLY MARKED IN COLOR PRINTED COPY OF CONTRACT DRAWING. RECORDED INFORMATION SHALL INCLUDE ROUTING AND INVERT ELEVATIONS. AT THE COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL PROVIDE ELECTRONIC (PDF FORMAT) OF RECORDED "AS-BUILT" INFORMATION TO THE ENGINEER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR START-UP OF ALL EQUIPMENT AND SYSTEMS INSTALLED, MODIFIED, OR REVISED BY THIS WORK PER MANUFACTURER'S REQUIREMENTS AND/OR CONTRACT DOCUMENTS.
  - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL PERFORM A COMPLETE AIR BALANCE FOR ALL EQUIPMENT AND SYSTEMS SHOWN, SCHEDULED OR OTHERWISE IDENTIFIED. CONTRACTOR SHALL INCLUDE TIME IN CONSTRUCTION SCHEDULE TO FULLY TEST AND BALANCE SYSTEMS PRIOR TO OWNER OCCUPANCY TO ASSURE ADJUSTMENTS CAN BE MADE TO MITIGATE COMFORT ISSUES FOR OCCUPANTS POST CONSTRUCTION.
  - UPON COMPLETION OF HVAC SYSTEMS, THE MECHANICAL CONTRACTOR SHALL INSTRUCT THE OWNER IN THE COMPLETE OPERATION OF THE SYSTEMS.
  - PRIOR TO AND DURING CONSTRUCTION, CONTRACTOR SHALL FULLY PROTECT THE AIR HANDLING AND DUCTWORK SYSTEMS. CONTRACTOR SHALL PROTECT EACH RETURN AIR GRILLE OPENING AND RETURN AIR DUCT WITH MINIMUM MERV 8 FILTER MEDIA. AIR HANDLING EQUIPMENT AND DUCTS COVERED WITH DRYWALL/CONSTRUCTION DUST SHALL BE CLEANED AT CONTRACTOR EXPENSE.
  - THE CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT, DUCTWORK, PIPING, VALVES, AND ACCESS LOCATIONS HAVE CLEARANCES IN ACCORDANCE TO THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS FOR FULL ACCESSIBILITY AND OPERATION OF MECHANICAL SYSTEMS.
  - THE CONTRACTOR SHALL PROVIDE ACCESS PANELS, IN WALLS OR CEILING, OR ACCESS DOORS, IN DUCTWORK, AS INDICATED OR REQUIRED FOR ACCESS TO CONCEALED MECHANICAL EQUIPMENT OR DEVICES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SHALL REPAIR ADJACENT EXISTING AND/OR NEW SURFACES, AREAS, AND PROPERTY THAT MAY BE DAMAGED AS A RESULT OF DEMOLITION AND/OR NEW WORK.
  - UNLESS OTHERWISE INDICATED, ALL EQUIPMENT SHALL BE PROVIDED WITH A MINIMUM 4 INCH CONCRETE HOUSEKEEPING PAD SIZED TO SUIT EQUIPMENT.
  - COORDINATE THE LOCATION OF ALL UTILITY CONNECTION POINTS FOR EQUIPMENT WITH OTHER TRADES. COORDINATION INCLUDES ALLOWING PROPER CLEARANCE FOR ELECTRICAL DEVICES FURNISHED WITH EQUIPMENT INCLUDING CONTROLS, DISCONNECTS, VAV POWER CONTROL PANELS, VFD, ETC.
  - REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF CEILING DEVICES, INCLUDING CEILING MOUNTED FANS.
  - COORDINATE CLOSELY WITH OTHER TRADES IN LOCATING AND INSTALLING ALL SYSTEMS ABOVE SUSPENDED CEILINGS. SPECIFICALLY, COORDINATE LAYOUT WITH ELECTRICAL AND PLUMBING CONTRACTORS TO ALLOW SUFFICIENT ROOM FOR RECESSED LIGHT FIXTURES, FIRE SPRINKLER, AND PLUMBING VENTS WHERE APPLICABLE.
  - ANNULAR SPACE OF PIPE, CONDUIT, DUCT, AND OTHER SIMILAR PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE FIRESTOPPED. IN ADDITION, PENETRATIONS THRU 4-HOUR RATED FLOORS SHALL ALSO BE FIRESTOPPED TO RETARD PASSAGE OF FIRE AND SMOKE. REFER TO FIRESTOPPING SPECIFICATION. REFER TO ARCHITECTURAL DRAWINGS FOR CONSTRUCTION, LAYOUT, AND FIRE RATINGS OF FLOORS, WALLS, PARTITIONS, AND OTHER BUILDING ELEMENTS.
  - ALL EXPOSED WIRING SHALL BE RUN IN CONDUIT, EXCEPT WHEN RUNNING THROUGH FINISHED SPACES THAT HAVE CEILING "CLOUDS".
  - THE CONTRACTOR SHALL PROVIDE ALL CUTTING, PATCHING, FINISHING, AND PENETRATIONS REQUIRED BY THE INSTALLATIONS. ALL FLOOR PENETRATIONS SHALL BE PATCHED AND SEALED TO BE WATER TIGHT. CUTTING OF BUILDING CONSTRUCTION MATERIALS SHALL CONFORM TO THE CHARACTERISTICS OF THE PARTICULAR MATERIAL INVOLVED AND SHALL NOT CREATE ANY STRUCTURAL WEAKNESS OR UNSIGHTLY APPEARANCE. REFINISH ANY SURFACE DISTURBED UNDER THIS WORK TO MATCH EXISTING, EXCEPT WHERE REFINISHING OF THAT SURFACE IS INCLUDED UNDER THE GENERAL TRADES CONTRACT.
  - PROVIDE ROOM TEMPERATURE THERMOSTATS FOR ALL UNITS. PREFERRED LOCATIONS ARE SHOWN ON THE PLANS. COORDINATE LOCATION OF THERMOSTATS AND OTHER WALL MOUNTED DEVICES WITH FURNITURE, WALL FRAMING, ELECTRICAL, OUTLETS AND DEVICES, AND TECHNOLOGY OUTLETS AND DEVICES PRIOR TO ROUGH-IN. PROVIDE THERMOSTATS WITH ROOM TEMPERATURE INDICATOR AND WITH SET POINT ADJUSTMENT.
  - ALL ROOF AND DECK PENETRATIONS SHALL BE COMPLETED DONE BY THE GENERAL TRADES CONTRACTOR. COORDINATE EXACT SIZE AND LOCATION WITH ARCHITECT AND STRUCTURAL ENGINEER.
  - COORDINATE EXACT LOCATION OF DIFFUSERS, GRILLES AND REGISTERS WITH AREA SMOKE DETECTORS, LIGHTS, AND ELECTRICAL DEVICES. AIR DEVICES SHALL NOT BE CLOSER THAN 3 FEET FROM AN AREA SMOKE DETECTOR.
  - BRANCH DUCT TO DIFFUSERS SHALL BE SAME SIZE AS DIFFUSER NECK UNLESS NOTED OTHERWISE. FLEXIBLE DUCT CONNECTION TO THE DIFFUSER SHALL BE NO MORE THAN 5 FEET IN LENGTH. FLEXIBLE DUCT SHALL NOT BE USED FOR ELBOW TO DIFFUSER WITH A FLEXFLOW SUPPORT ELBOW.
  - PROVIDE VOLUME DAMPERS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY THE SPECIFICATIONS, AND SHOWN IN TYPICAL DETAILS. LOCATE VOLUME DAMPERS IN ACCESSIBLE LOCATIONS. A VOLUME DAMPER SHALL BE PROVIDED FOR EACH DIFFUSER AND GRILLE IN ORDER TO BALANCE EACH AIR DEVICE INDEPENDENTLY PER SPECIFIED CFM STATED ON DRAWINGS.
  - DUCTWORK DIMENSIONS SHOWN ON DRAWINGS ARE INSIDE CLEAR, UNLESS NOTED OTHERWISE.
  - PROVIDE STRAIGHT INLET AND OUTLET DUCTS PER THE LENGTH THE EQUIPMENT MANUFACTURER RECOMMENDS. FAN INLETS SHALL BE MINIMUM 3 DUCT DIAMETERS OF STRAIGHT DUCT. INSTALL AND SUPPORT MECHANICAL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE FLEXIBLE CONNECTIONS AND VIBRATION ISOLATION FOR VIBRATING EQUIPMENT UNLESS NOTED OTHERWISE.
  - INSTALL AIRFOIL TURNING VANES IN ALL 90 DEGREE ELBOWS EXCEPT TRANSFER DUCTS AND OPEN RETURN AIR BOOTS.
  - CONTRACTOR SHALL COMPLY WITH SMACNA "HVAC DUCT CONSTRUCTION AND STANDARDS" AND OTHER APPLICABLE STANDARDS INCLUDED IN THE SPECIFICATIONS FOR THE CONSTRUCTION AND SUPPORT OF DUCTWORK, UNLESS OTHERWISE NOTED.
  - ALL DUCTS AND PIPES SHALL BE RUN ABOVE CEILING, WHERE NO CEILINGS ARE INSTALLED, INSTALL AS HIGH AS POSSIBLE TO STRUCTURE UNLESS NOTED OTHERWISE. IN GENERAL, KEEP DUCT AND PIPING MAINS NEXT TO UNDERSIDE OF STRUCTURE.
  - CHANGES IN HVAC DUCT AND PIPE ELEVATIONS SHALL BE PROVIDED AND BE COORDINATED WITH OTHER SYSTEMS INCLUDING, BUT NOT LIMITED TO PLUMBING, FIRE PROTECTION, ELECTRICAL, AND BUILDING ELEMENTS SYSTEMS. OFFSET DUCTS INTO JOIST SPACE FOR WHERE SPACE ABOVE CEILING IS NOT SUFFICIENT FOR DUCTS TO CROSS OTHER DUCTS OR WORK OF OTHER CONTRACTORS.
  - DUCTWORK AND PIPING ON DRAWINGS DOES NOT INDICATE ALL REQUIRED OFFSETS AND FITTINGS. INCLUDE THESE OFFSETS AND FITTINGS TO COORDINATE WITH OTHER CONTRACTORS.
  - SECURELY FASTEN ALL PIPING AND DUCTWORK WITHIN STRUCTURES TO THE BUILDING CONSTRUCTION BY MEANS OF HANGERS, SUPPORTS, GUIDES, ANCHORS, AND SWAY BRACES TO MAINTAIN PIPE AND DUCTWORK ALIGNMENT, TO PREVENT SAGGING, AND TO PREVENT NOISE AND EXCESSIVE STRAIN ON PIPING AND DUCTWORK DUE TO MOVEMENT UNDER OPERATING CONDITIONS. SUPPORTS FOR ALL PIPING AND DUCTWORK SHALL BE IN ACCORDANCE WITH LATEST ANSI AND SMACNA STANDARDS.

- CONTRACTOR SHALL PROTECT THE PIPING AND DUCTWORK TO PREVENT ENTRY OF DIRT AND ANY OTHER FOREIGN MATERIAL DURING THE INSTALLATION.
- COLOR CODE AND LABEL PIPING AND DUCTWORK IN ACCORDANCE WITH SPECIFICATIONS.
- PROVIDE FLEXIBLE CONNECTIONS FOR ALL VIBRATING EQUIPMENT.
- INSTALL ALL PIPING IN LOCATIONS AND ELEVATIONS SUCH THAT COILS, TUBES, AND FILTERS CAN BE REMOVED AND REPLACED WITHOUT MAJOR PIPING REMOVAL. LOCATE VALVES IN APPROPRIATE PLACES TO ACCOMMODATE MAINTENANCE. MAINTAIN REQUIRED SERVICE ACCESS SPACE AT EQUIPMENT.
- ARRANGE ALL PIPING WITHIN STRUCTURES NEATLY ALONG WALLS AND/OR IN NEAT, HORIZONTAL GROUPS AND MAINTAIN REQUIRED SLOPES.
- PROVIDE A HANGER NOT MORE THAN 12 INCHES FROM THE POINT OF CHANGE OF DIRECTION OF A PIPE RUN IN BOTH HORIZONTAL AND VERTICAL PLANE.
- ALL WORK, EQUIPMENT AND MATERIALS SHALL BE PROTECTED AT ALL TIMES. ALL DUCT AND PIPE OPENING SHALL BE PROPERLY CAPPED OR PLUGGED DURING INSTALLATION.
- DEMOLITION OF ANY ITEM SHALL INCLUDE ALL ASSOCIATED ITEMS THIS INCLUDES, BUT IS NOT LIMITED TO: SUPPORTS, HANGERS, PADS, FASTENERS, INSERTS, SLEEVES, STRAPS, ATTACHMENTS, LEVELERS, AND ALL OTHER ITEMS FOR A COMPLETE DEMOLITION OF THE ITEM.
- ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
- ALL EQUIPMENT TO BE REUSED OR RETURNED TO THE OWNER SHALL BE REMOVED SO AS TO NOT DAMAGE THE EQUIPMENT. MATERIAL OR AFFECT ITS REUSE. IF ANY EQUIPMENT OR MATERIAL IS DAMAGED BY THE CONTRACTOR, IT SHALL BE REPLACED BY THE CONTRACTOR, WITH NO EXPENSE TO THE OWNER.

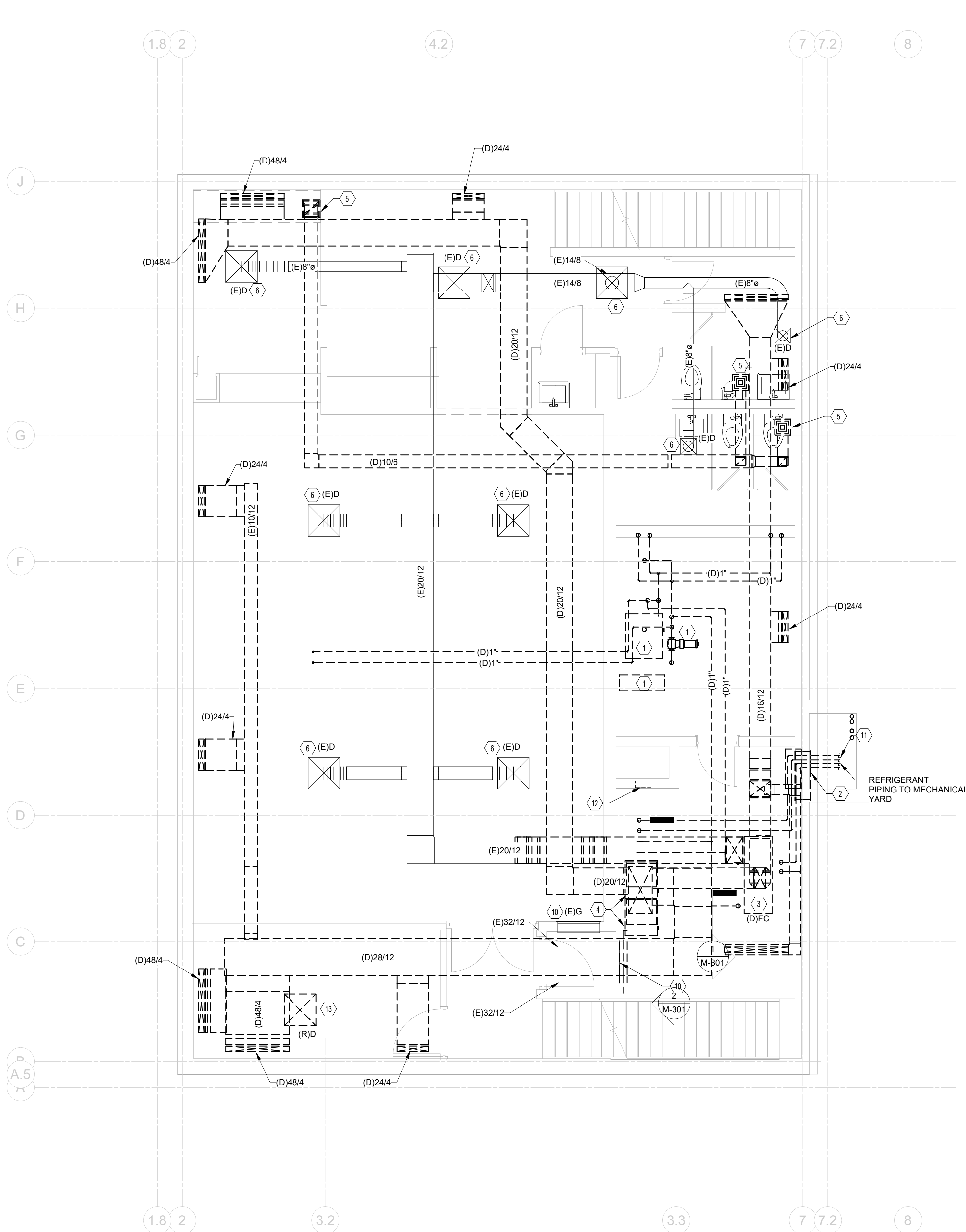
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

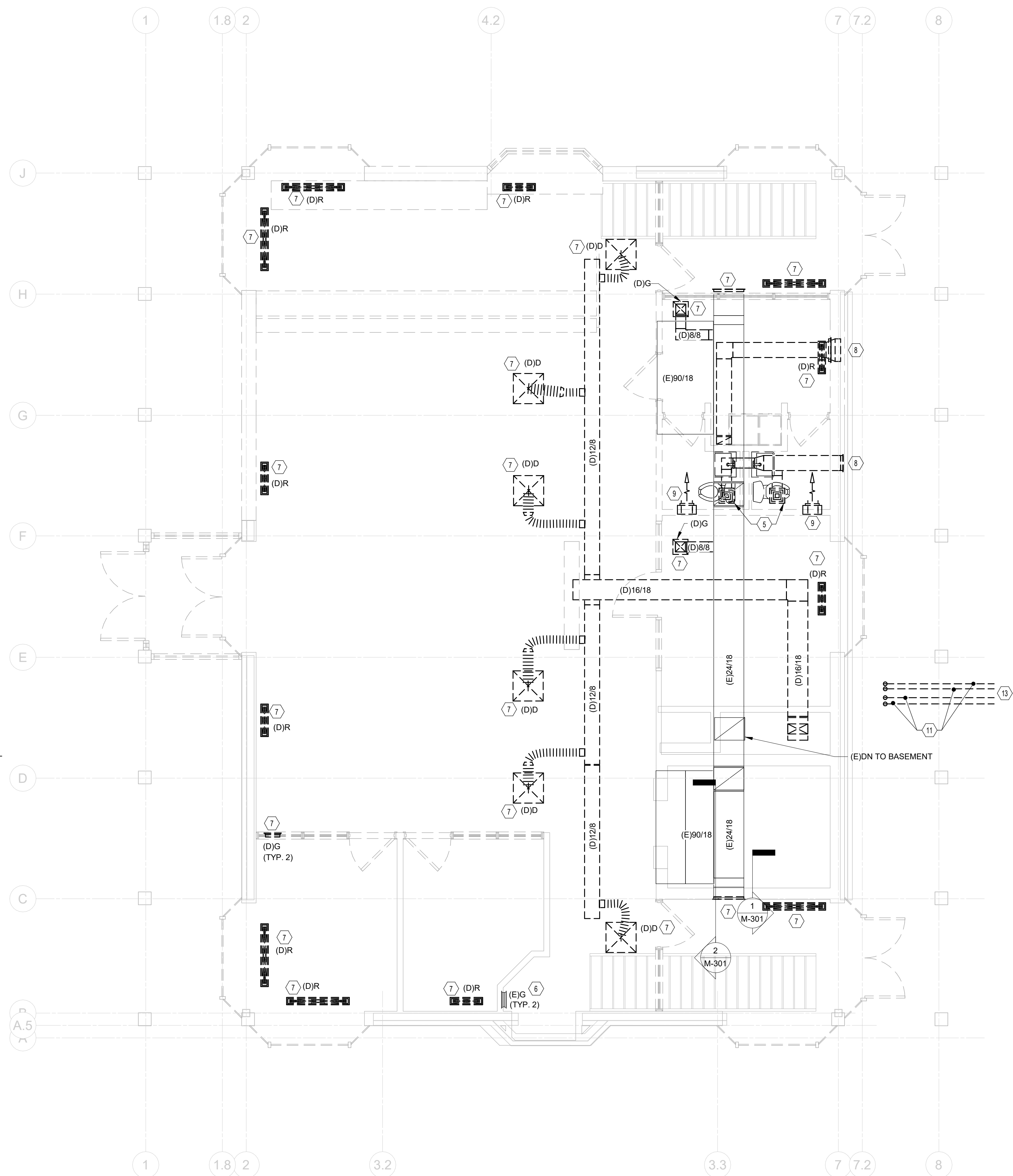
**MOODY-NOLAN** 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**GENERAL INFORMATION - MECHANICAL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
<b>M-001</b>	
FINAL DEVELOPMENT PLAN	



**1 PLAN** BASEMENT FLOOR PLAN - MECHANICAL - DEMOLITION  
 1/4" = 1'-0"



**2 PLAN** FIRST FLOOR PLAN - MECHANICAL - DEMOLITION  
 1/4" = 1'-0"

**CODED NOTES:**

1. DEMOLISH EXISTING BOILER, ASSOCIATED PIPING, IN-LINE PUMP, EXPANSION TANK AND ALL APPURTENANCES COMPLETE.
2. DEMOLISH 6' H X 3' W OUTSIDE AIR LOUVER, DAMPER, AND ASSOCIATED DUCTWORK.
3. DEMOLISH EXISTING FAN COIL UNITS, SUPPORTS, AND ALL APPURTENANCES COMPLETE.
4. EXISTING TWINNED-FURNACES AND ASSOCIATED EVAPORATOR COILS TO BE REMOVED AND SALVAGED. RETURN TO OWNER.
5. DEMOLISH EXISTING RESTROOM CABINET EXHAUST FAN.
6. EXISTING AIR DEVICE TO REMAIN.
7. DEMOLISH EXISTING AIR DEVICE.
8. DEMOLISH EXISTING EXTERIOR SOFFIT EXHAUST VENTS, ASSOCIATED EXHAUST DUCTWORK, AND ALL APPURTENANCES COMPLETE.
9. DEMOLISH EXISTING FINNED-TUBE HEATER AND ALL APPURTENANCES COMPLETE.
10. EXISTING RETURN GRILLE AND ASSOCIATED DUCTWORK TO REMAIN. DEMOLISH ASSOCIATED PNEUMATIC DAMPER.
11. DEMOLISH EXISTING REFRIGERANT PIPING, SUPPORTS, AND ALL APPURTENANCES COMPLETE.
12. DEMOLISH EXISTING HVAC CONTROLS COMPLETE.
13. REFER TO MD401 FOR CONTINUATION.

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

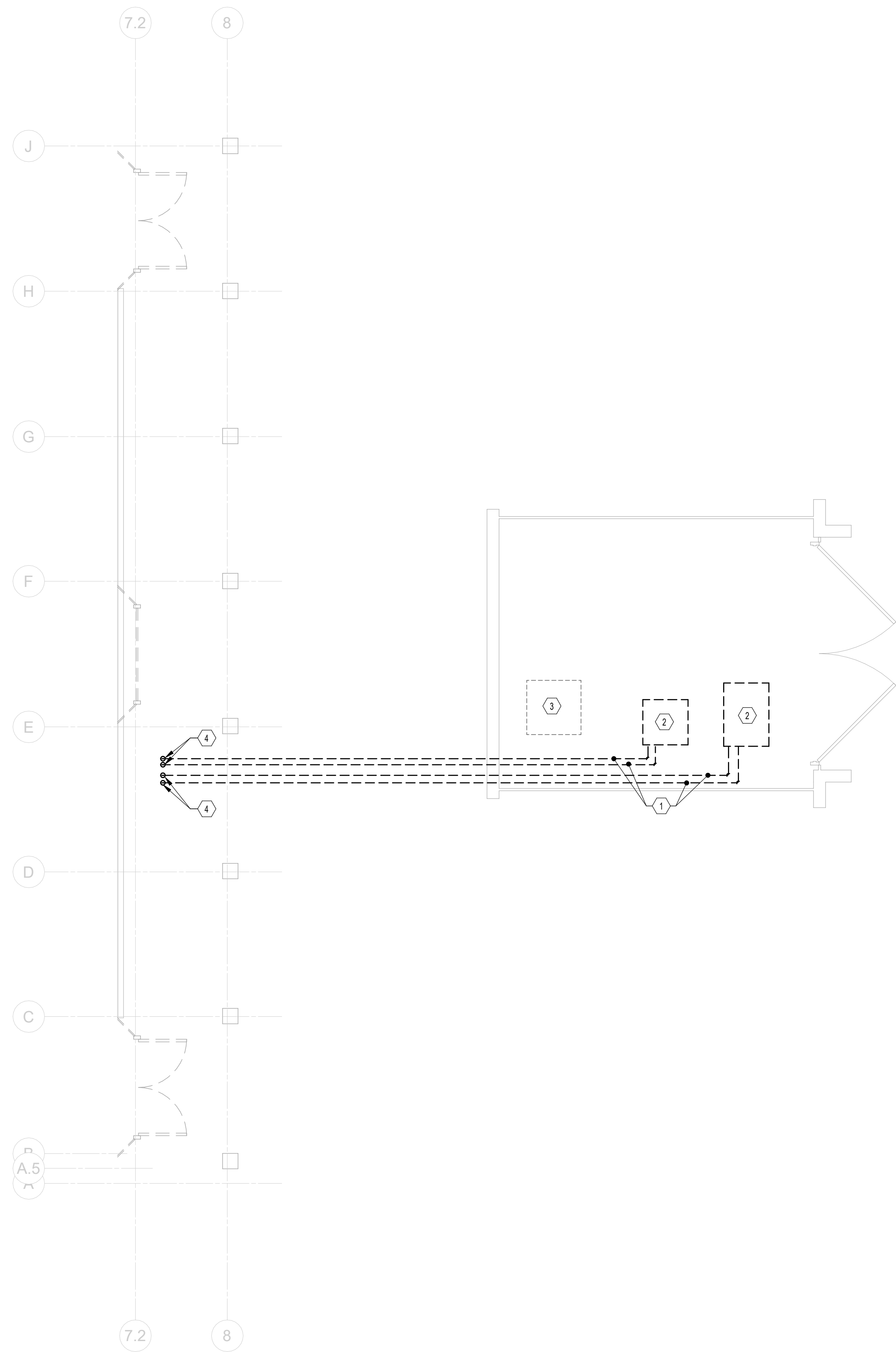
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**FLOOR PLANS - MECHANICAL - DEMOLITION**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>MD101</b>
FINAL DEVELOPMENT PLAN	

**CODED NOTES:**

1. DEMOLISH ABOVE AND BELOW GRADE REFRIGERANT PIPING, SUPPORTS, AND ALL APPURTENANCES COMPLETE.
2. REMOVE EXISTING CONDENSING UNIT AND SALVAGE. RETURN TO OWNER. DEMOLISH EXISTING ASSOCIATED CONCRETE PAD.
3. DEMOLISH EXISTING CONCRETE PAD COMPLETE.
4. REFER TO SHEET MD101 FOR CONTINUATION.



**1 PLAN** EQUIPMENT YARD PLAN - MECHANICAL - DEMOLITION  
1/4" = 1'-0"

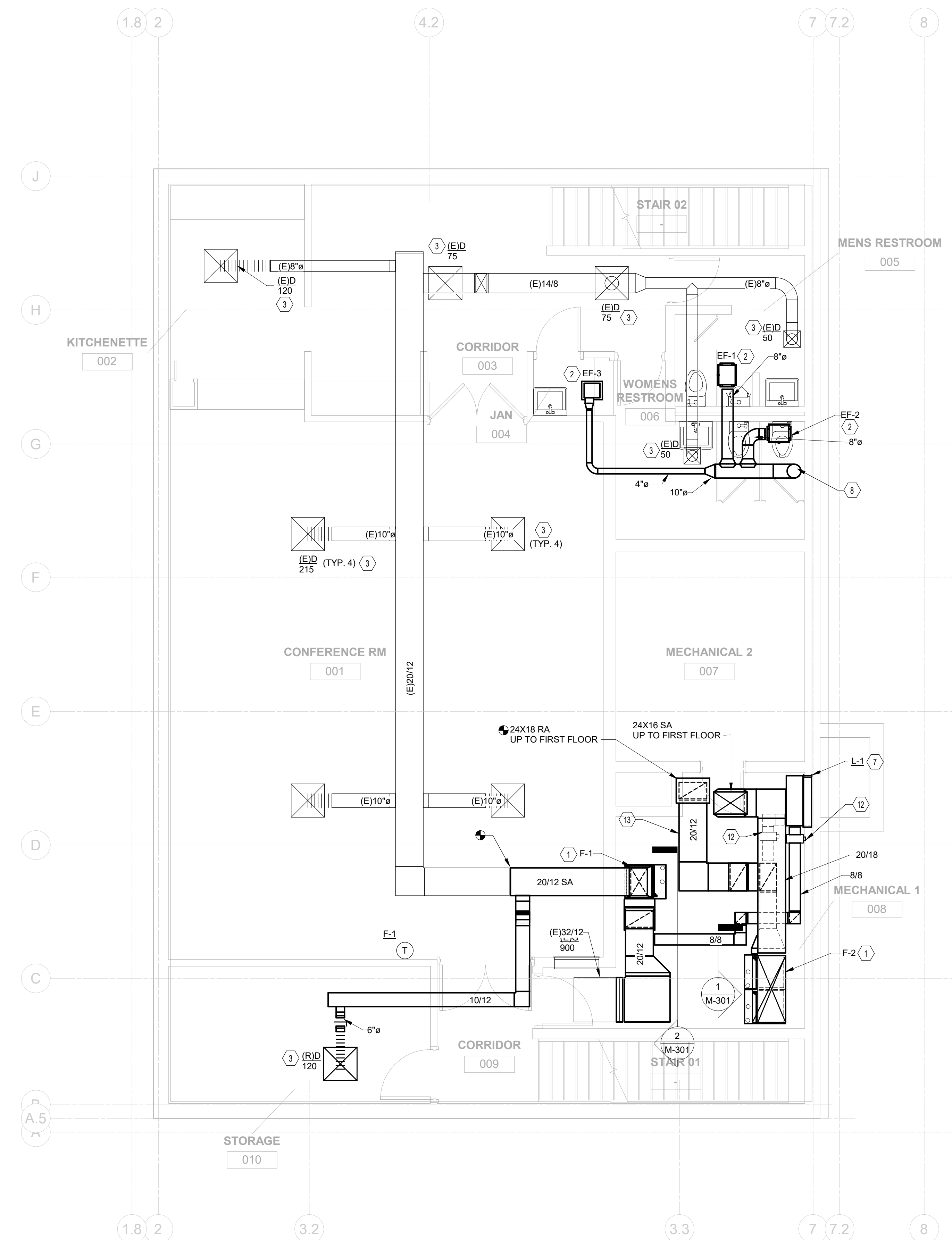
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

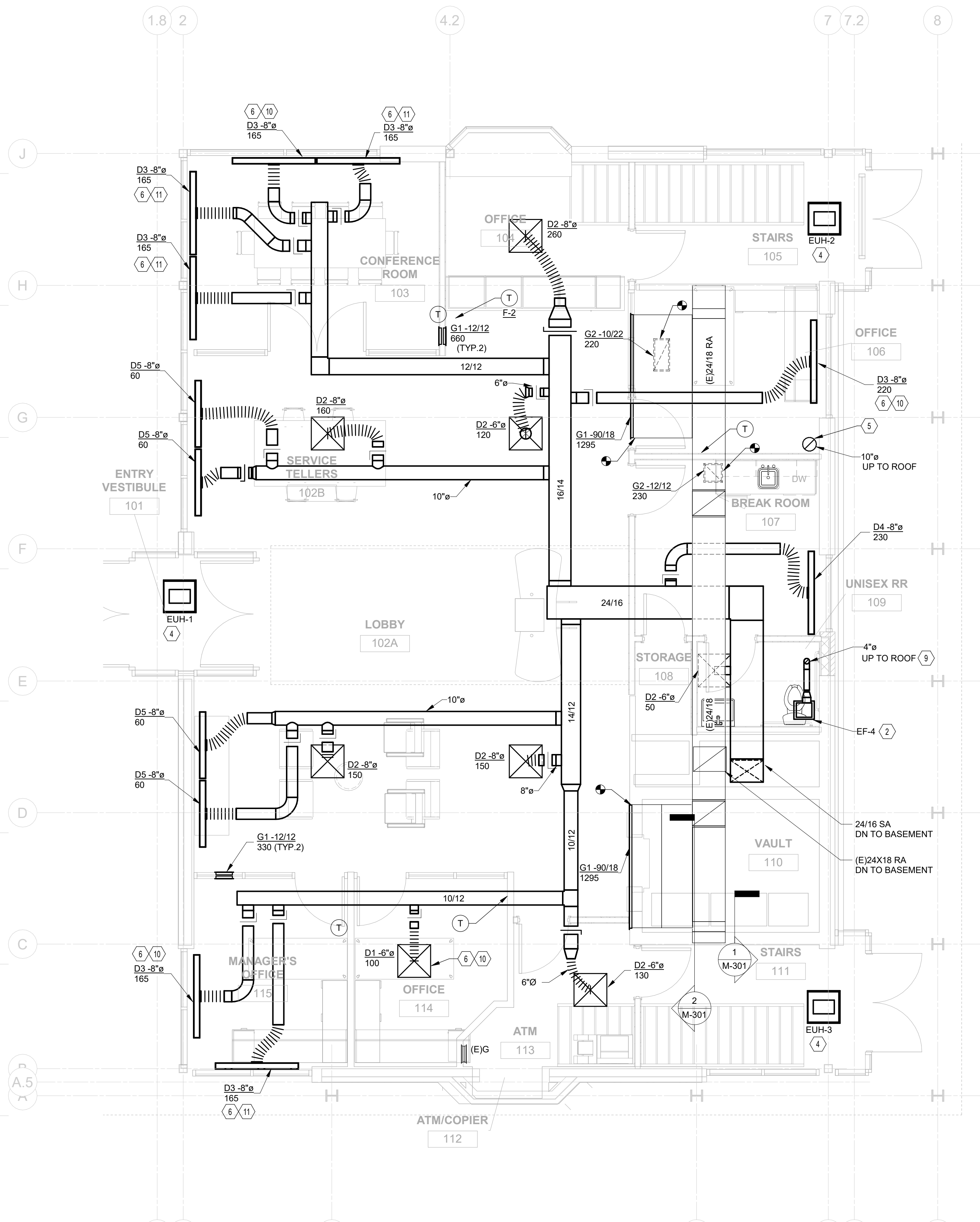
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**ENLARGED PLANS - MECHANICAL - DEMOLITION**

PROGRESS DRAWING NOT FOR CONSTRUCTION	DRAWING TITLE:	
	11/30/2020	CHECKED BY: Checker
	20022	
	<b>MD401</b>	
FINAL DEVELOPMENT PLAN		



**1 PLAN** BASEMENT FLOOR PLAN - MECHANICAL  
1/4" = 1'-0"



**2 PLAN** FIRST FLOOR PLAN - MECHANICAL  
1/4" = 1'-0"

- CODED NOTES:**
1. PROVIDE GAS-FIRED FURNACE AND EVAPORATOR COIL. PROVIDE EQUIPMENT PAD. REFER TO SCHEDULE SHEET FOR MORE INFORMATION. REFER TO DETAILS 4M-501 AND 5M-501.
  2. PROVIDE RESTROOM CABINET EXHAUST FAN. REFER TO SCHEDULE SHEET FOR MORE INFORMATION.
  3. REBALANCE RELOCATED/EXISTING AIR DEVICE TO INDICATED CFM.
  4. PROVIDE CEILING RECESSED ELECTRIC UNIT HEATER. REFER TO SCHEDULE SHEET FOR MORE INFORMATION.
  5. TERMINATE EXHAUST WITH PITCHED ROOF WALL CAP WITH 10"Ø EXTENSION EQUAL TO FAMCO BK10X.
  6. PROVIDED VAV DIFFUSER. REFER TO SCHEDULE SHEET FOR MORE INFORMATION. REFER TO SHEET M-701 FOR CONTROL INFORMATION.
  7. PROVIDE INTAKE AIR LOUVER L-1. PROVIDE SHEET METAL BLANK-OFF PANEL FOR REMAINING WALL OPENING. REFER TO SCHEDULE SHEET FOR MORE INFORMATION.
  8. 10"Ø EXHAUST DUCT UP TO FIRST FLOOR.
  9. TERMINATE EXHAUST DUCT THROUGH ROOF WITH PITCHED ROOF CAP. REFER TO SCHEDULE SHEET FOR MORE INFORMATION.
  10. MASTER VAV DIFFUSER FOR SPACE.
  11. DRONE VAV DIFFUSER FOR SPACE.
  12. PROVIDE 120V MOTORIZED OUTSIDE AIR DAMPER.
  13. DUCT SMOKE DETECTOR.

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN** 300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

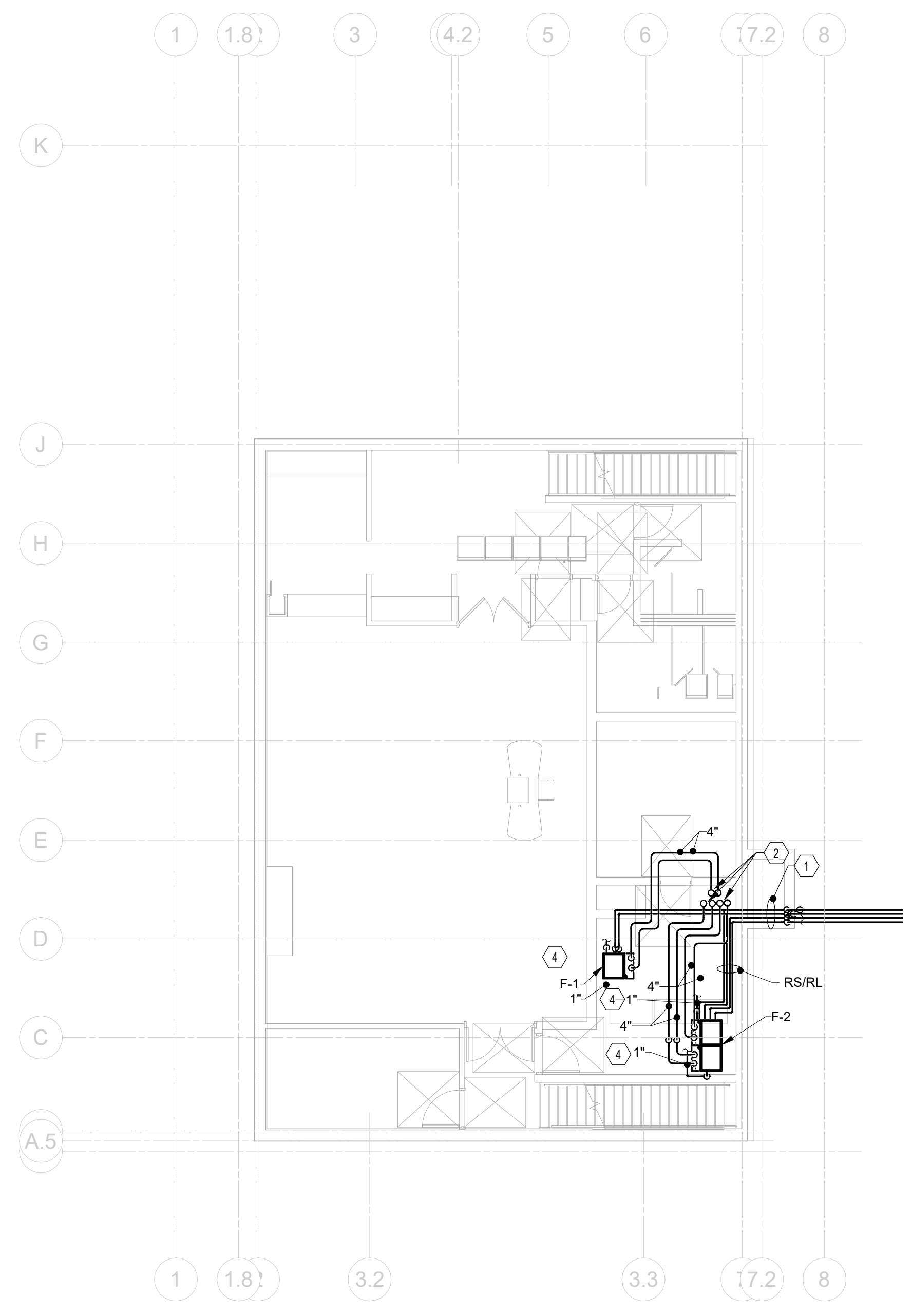
**FLOOR PLANS - HVAC**

11/30/2020  
DRAWN BY: Author CHECKED BY: Checker  
20022  
**M-101**  
FINAL DEVELOPMENT PLAN

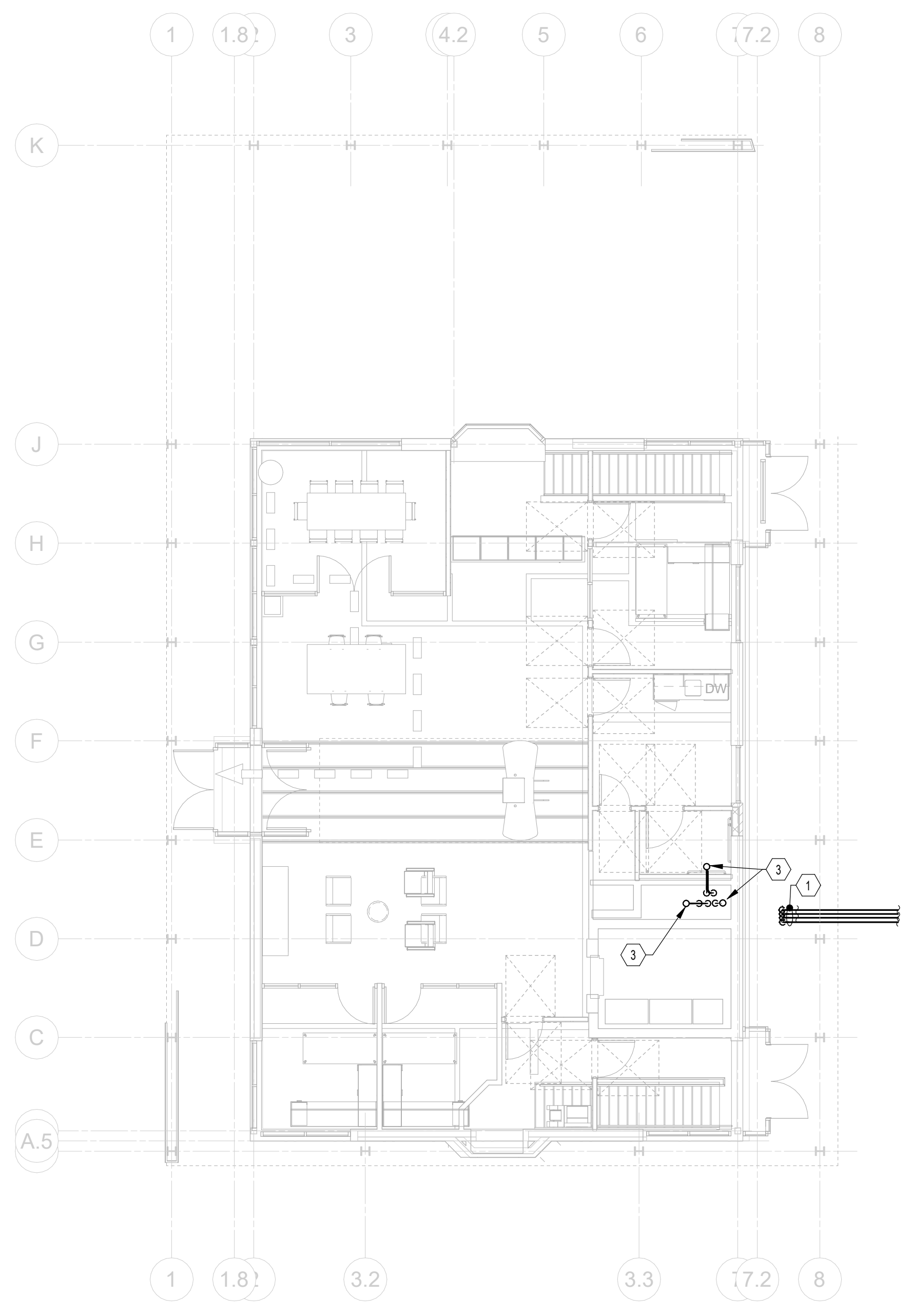
PROGRESS DRAWING NOT FOR CONSTRUCTION

**CODED NOTES:**

- ROUTE REFRIGERANT PIPING FROM INDOOR EVAPORATOR COILS TO AIR-COOLED CONDENSING UNIT. REFRIGERANT PIPING SHALL ROUTE THROUGH INSULATED BLANK OFF PANEL AND INTO EXISTING AREAWELL. SEAL PENETRATIONS THROUGH BLANK OFF PANEL WATERTIGHT. INSTALL PER MANUFACTURERS RECOMMENDATIONS. REFER TO SHEET M-401 FOR CONTINUATION.
- ROUTE COMBUSTION AIR INTAKE/VENT PIPING UP THROUGH EXISTING CHASE.
- TERMINATE COMBUSTION AIR INTAKE/VENT PIPING THROUGH ROOF WITH 4" CONCENTRIC VENT KIT. INSTALL PER MANUFACTURERS RECOMMENDATIONS. REFER TO DETAILS 2/M-502 AND 7/M-502.
- ROUTE 1" CONDENSATE PIPE TO NEAREST FLOOR DRAIN.



**1 PLAN** BASEMENT FLOOR PLAN - HVAC PIPING  
1/8" = 1'-0"



**2 PLAN** FIRST FLOOR PLAN - HVAC PIPING  
1/8" = 1'-0"

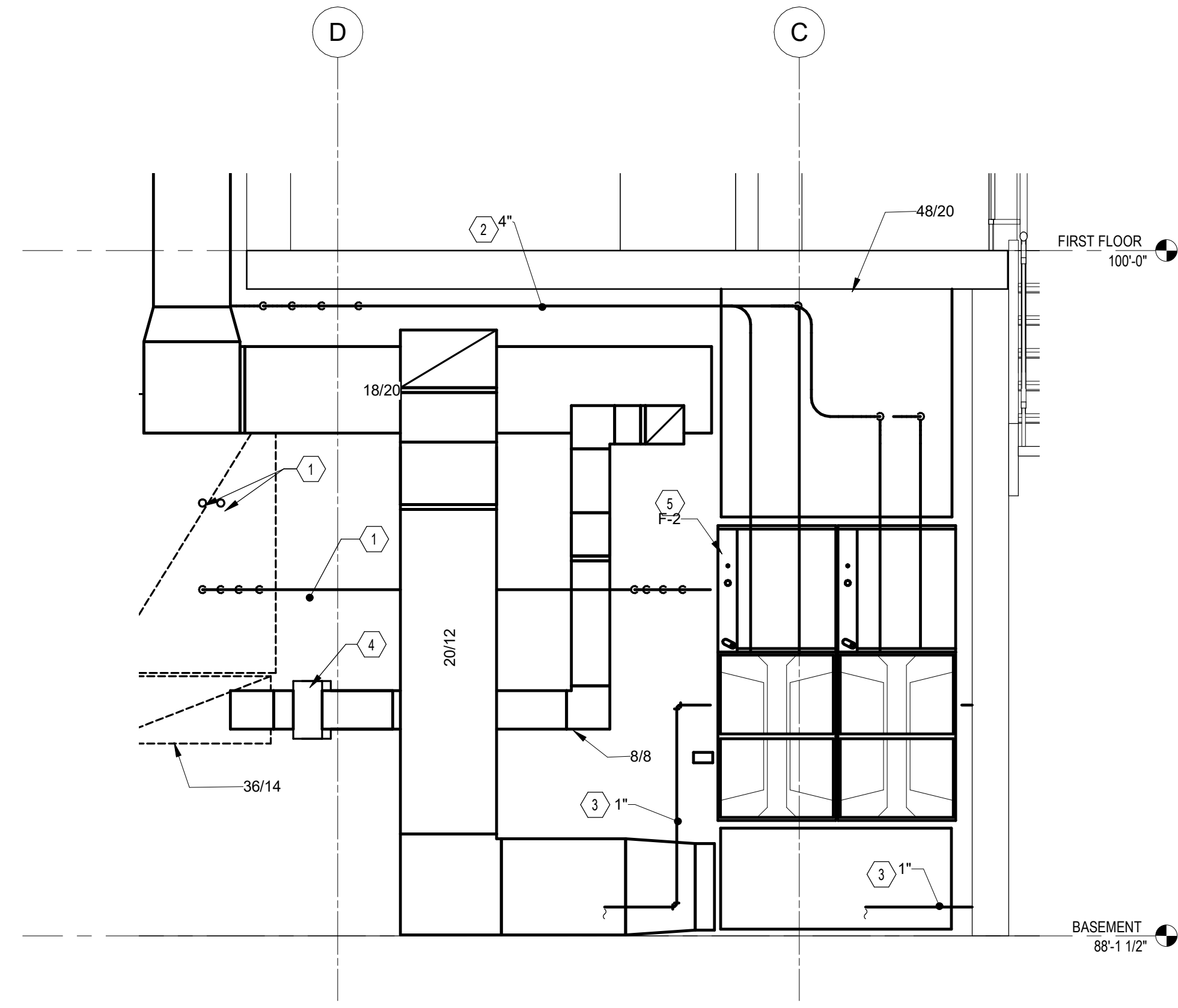
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

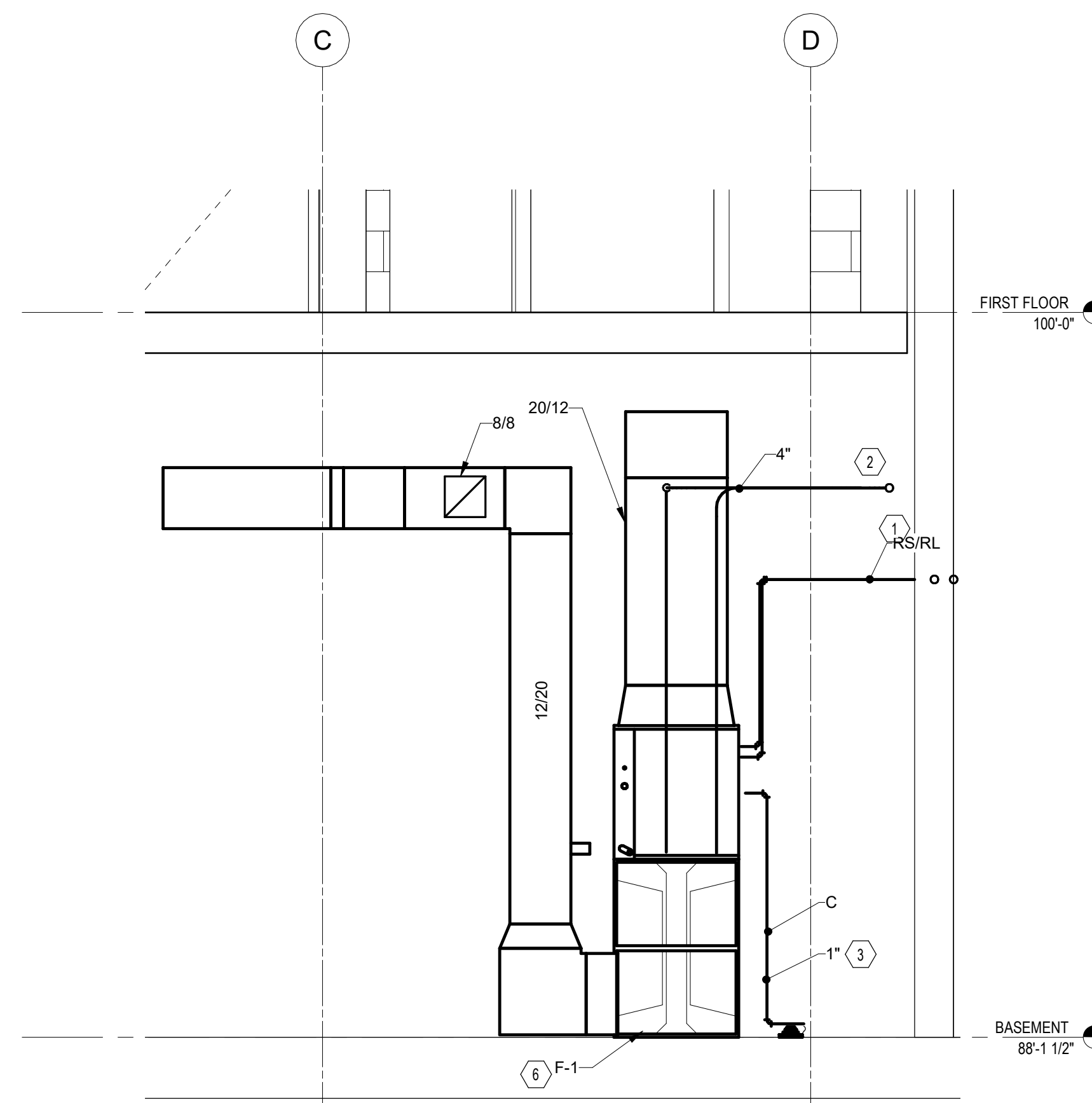
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**FLOOR PLANS - HVAC PIPING**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker
	20022
	<b>M-201</b>
FINAL DEVELOPMENT PLAN	



**1 PLAN** SECTION F-2  
1/2" = 1'-0"



**2 PLAN** SECTION F-1  
1/2" = 1'-0"

**CODED NOTES:**

1. ROUTE REFRIGERANT PIPING FROM INDOOR EVAPORATOR COILS TO AIR-COOLED CONDENSING UNIT. REFER TO SHEET M-201 FOR CONTINUATION.
2. ROUTE COMBUSTION AIR INTAKE/VENT PIPING TO EXISTING CHASE. REFER TO M-201 FOR CONTINUATION.
3. ROUTE 1" CONDENSATE PIPE TO NEAREST FLOOR DRAIN.
4. PROVIDE 120V MOTORIZED OUTSIDE AIR DAMPER.
5. REFER TO DETAIL 5M-501 FOR TWINNED FURNACE CONFIGURATION.
6. REFER TO DETAIL 4M-501 FOR FURNACE CONFIGURATION.

#	DATE	CHANGE DESCRIPTION

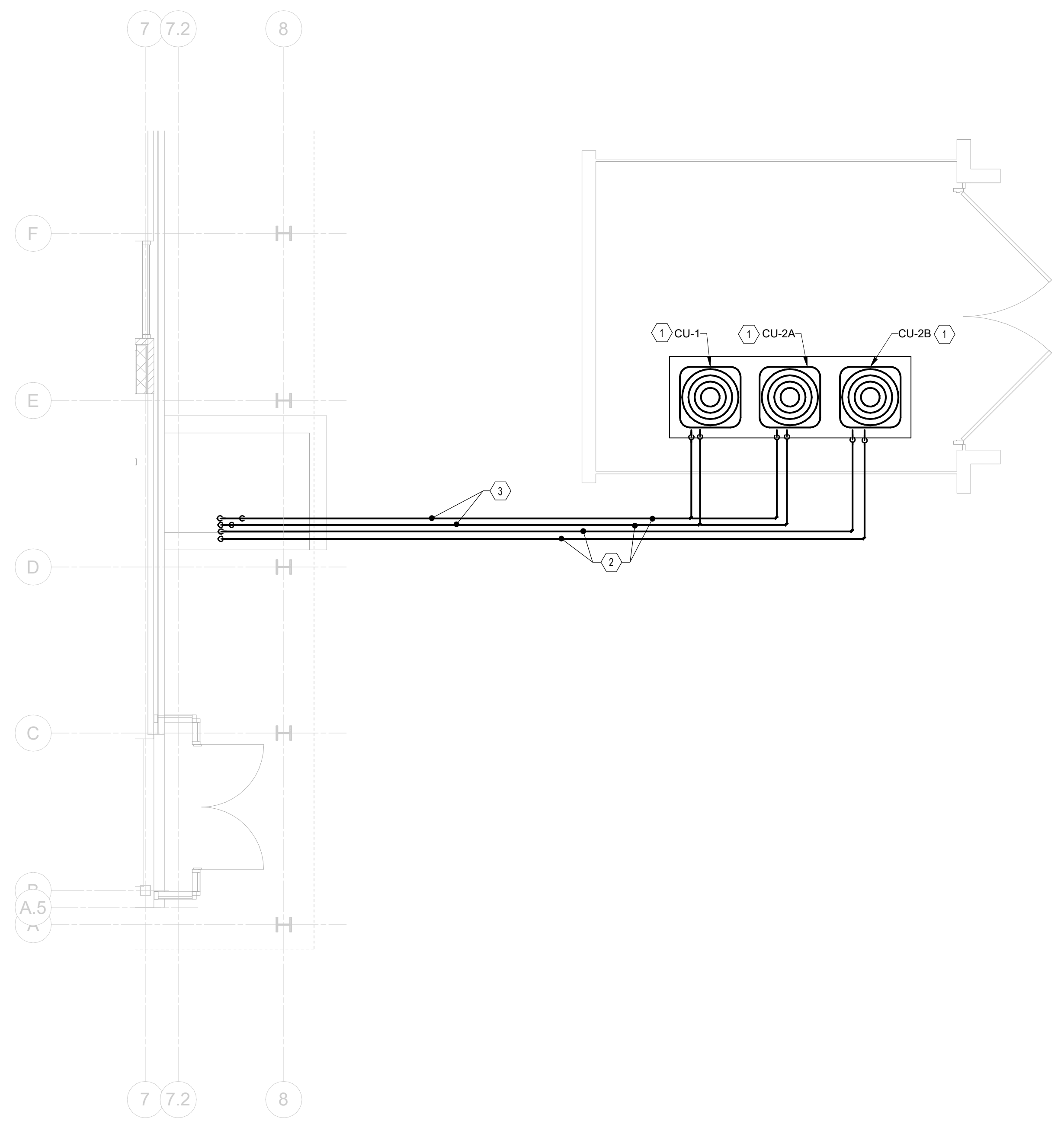
**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**SECTIONS - MECHANICAL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>M-301</b>
	FINAL DEVELOPMENT PLAN





- CODED NOTES:
1. PROVIDE AIR-COOLED CONDENSING UNIT IN MECHANICAL YARD. PROVIDE EXTERIOR EQUIPMENT PAD. REFER TO SCHEDULE SHEET FOR MORE INFORMATION. REFER TO DETAIL 914-902.
  2. ROUTE REFRIGERANT PIPING FROM AIR-COOLED CONDENSING UNIT TO INDOOR EVAPORATOR COILS. INSTALL PER MANUFACTURERS RECOMMENDATIONS. PROVIDE TRENCHING AND EXCAVATION FOR INSTALLATION.
  3. TWO SETS OF REFRIGERANT PIPING STACKED.

**1 PLAN** EQUIPMENT YARD PLAN - MECHANICAL  
1/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**ENLARGED PLANS - MECHANICAL**

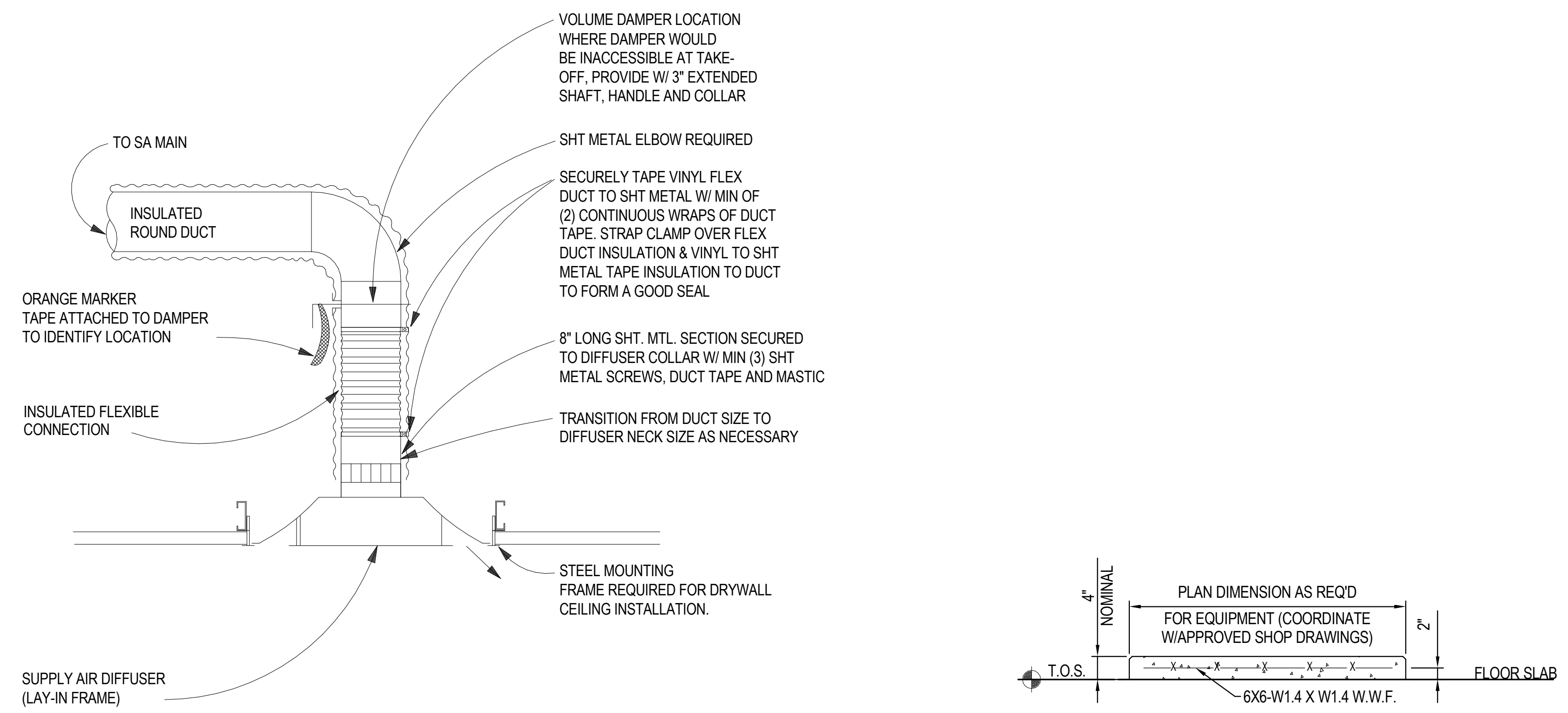
PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>M-401</b>
	FINAL DEVELOPMENT PLAN

DESCRIPTION	DUCTWORK AS SHOWN ON THE PLANS		DETAILED CONSTRUCTION REQUIRED
	DOUBLE LINE DRAWING	SINGLE LINE DRAWING	
DUCT TAKEOFF FROM 2 IN PRESSURE CLASS OR LESS MAIN			
ELBOW AND SPLIT (2 IN PRESSURE CLASS OR LESS DUCTWORK ONLY)			
ELBOW			
SQUARE OR RECTANGULAR RADIUS ELBOW			
UNEQUAL ELBOWS (2 IN PRESSURE CLASS OR LESS DUCTWORK ONLY)			
DUCT TAKEOFF FROM RECTANGULAR 2 IN PRESSURE CLASS OR LESS MAIN WITH BELLMOUTH FITTING			

**NOTES:**

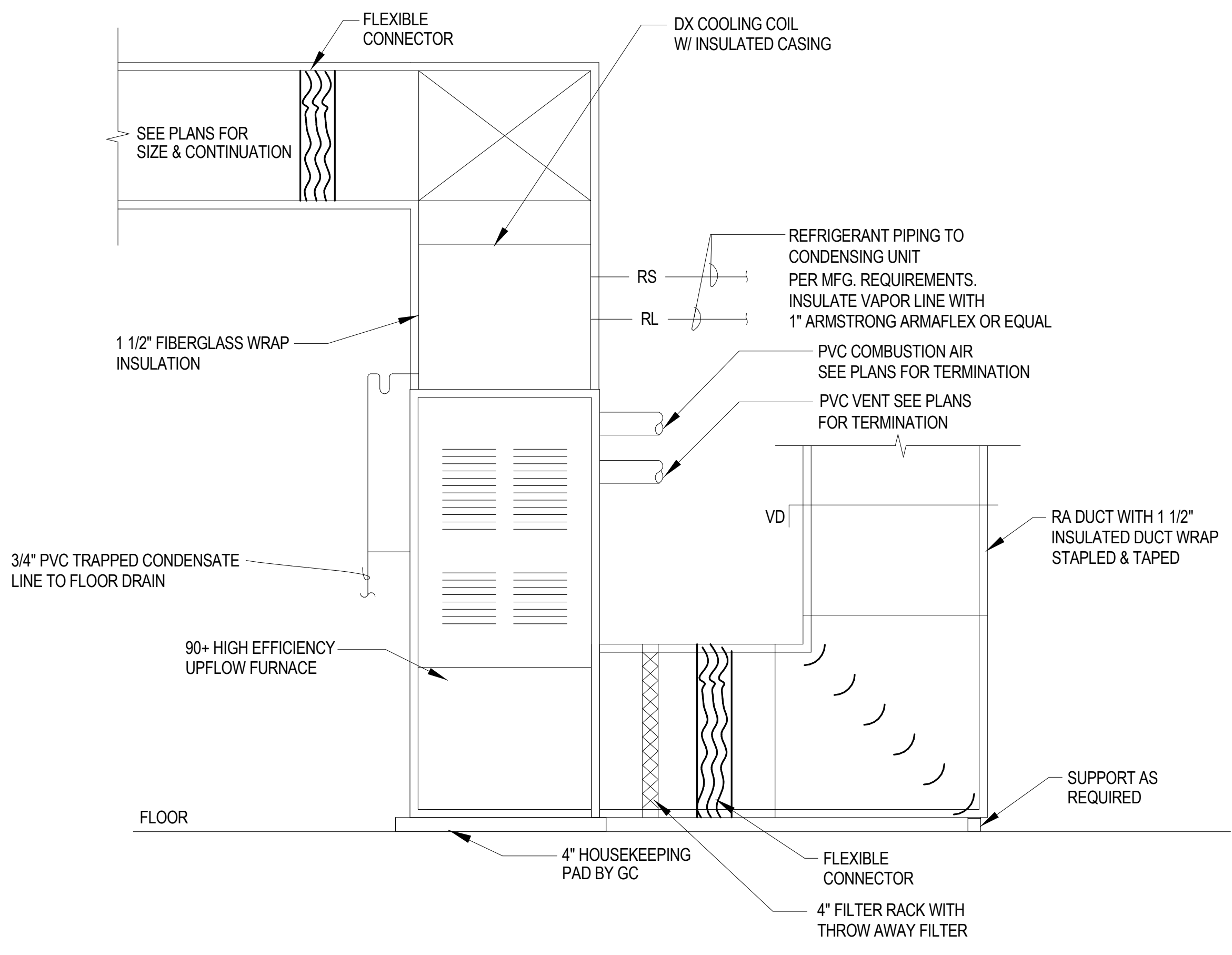
- SUPPLY AND RETURN AIR DUCTWORK SHOWN AS INDICATED TO HAVE TURNING VANES.
- DUCT PRESSURES CLASSES**  
RECTANGULAR DUCT - SUPPLY, RETURN OR EXHAUST TO BE CONSTRUCTED TO MEET SMACNA STANDARDS FOR 2" WG PRESSURE.
- FROM 0 - 35° USE 2 GORE FITTINGS, 35 - 71° USE 3 GORE FITTINGS, 72 - 90° USE 5 GORE FITTINGS. FOR ELBOWS WHICH EXCEED 90°, ADD ONE GORE FOR EACH ADDITIONAL 18° FOR FITTING CONSTRUCTION. NOTE: 90° ELBOW DEPICTED REQUIRES 5 GORE FITTING CONSTRUCTION.

**1** DETAIL DUCT CONSTRUCTION  
NTS

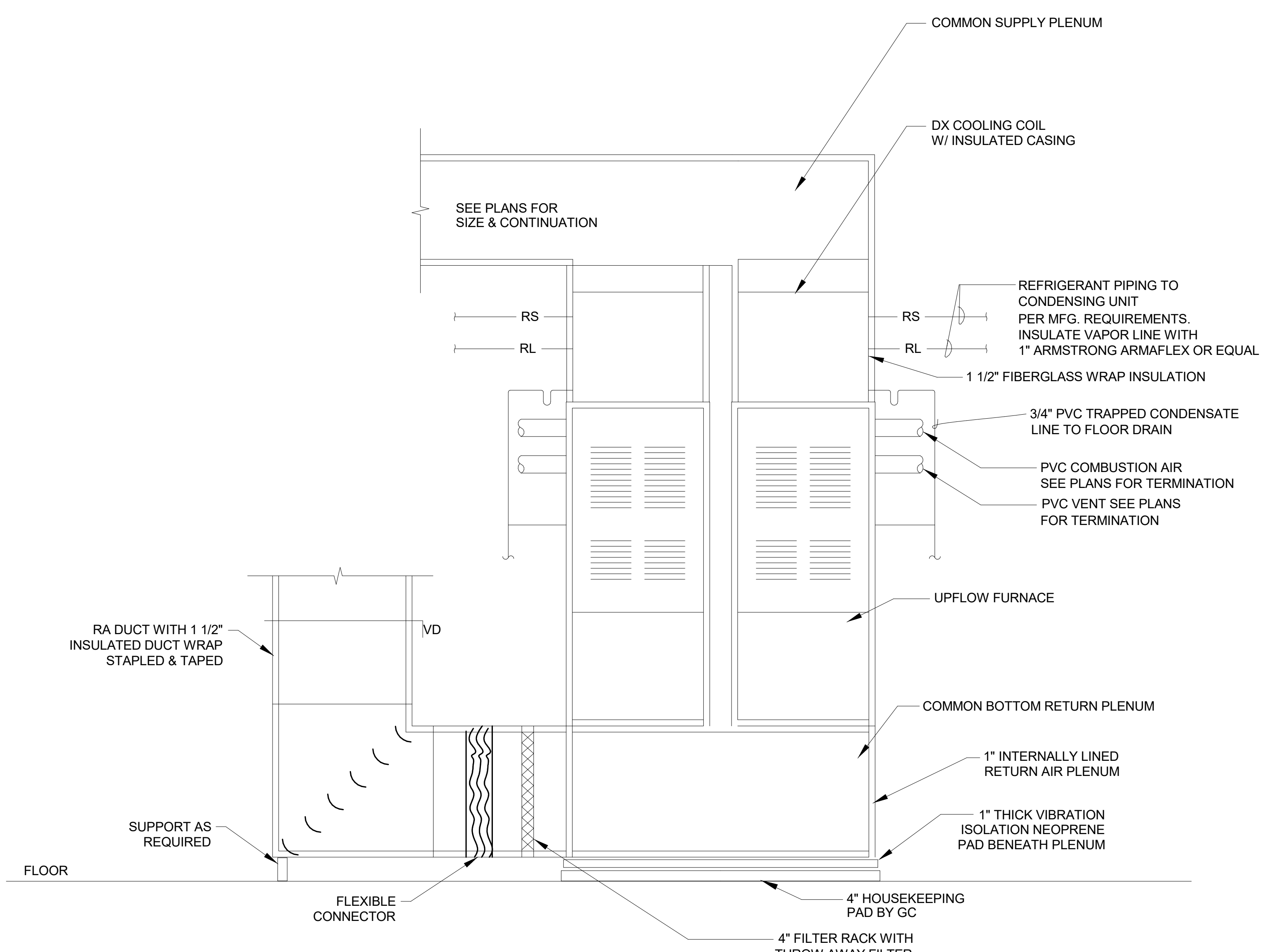


**2** DETAIL DIFFUSER MOUNTING  
NTS

**3** DETAIL INTERIOR EQUIPMENT PAD  
NTS



**4** DETAIL FURNACE (F-1)  
NTS



**5** DETAIL TWINNED FURNACES (F-2)  
NTS

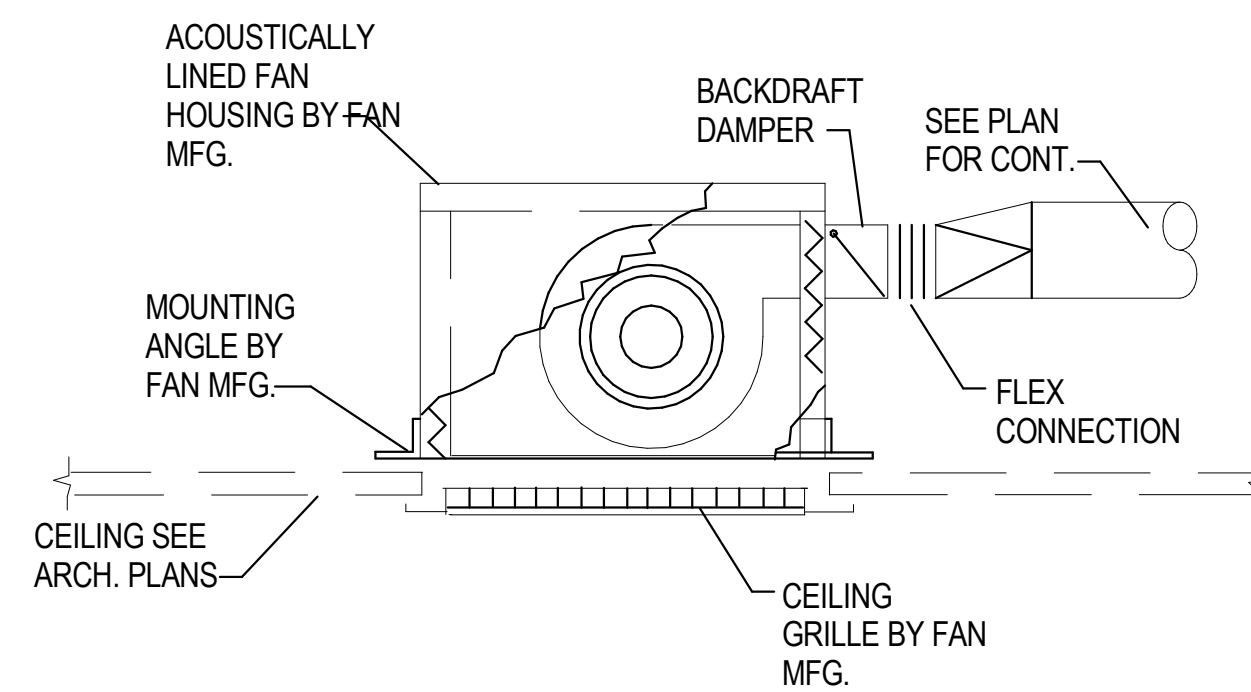
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

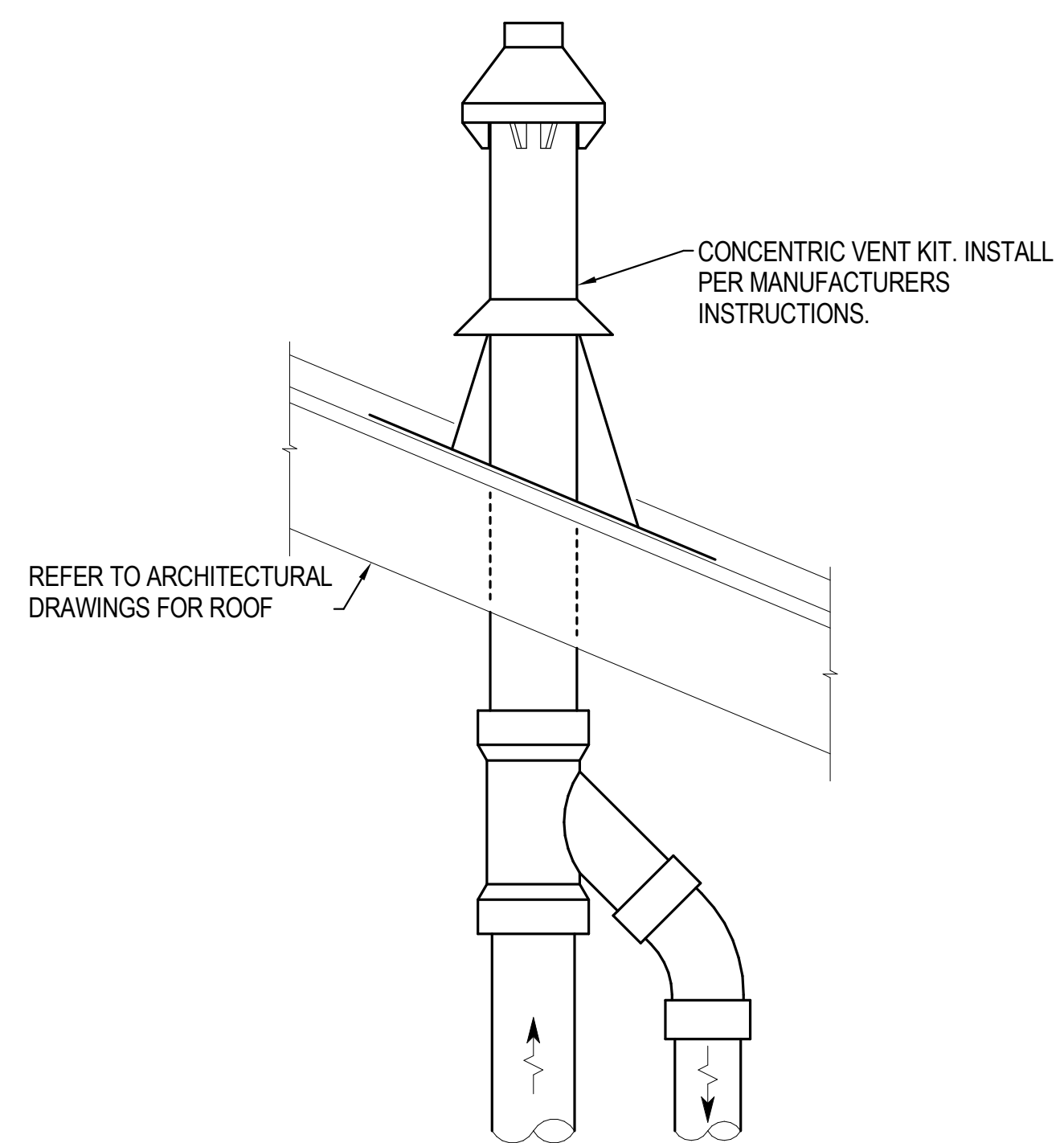
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**DETAILS - MECHANICAL**

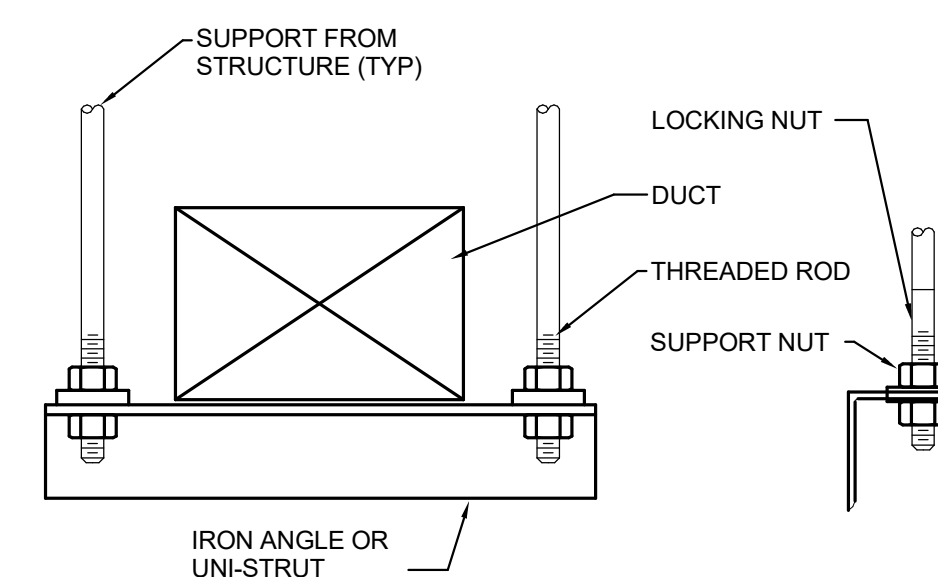
PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
<b>M-501</b>	
FINAL DEVELOPMENT PLAN	



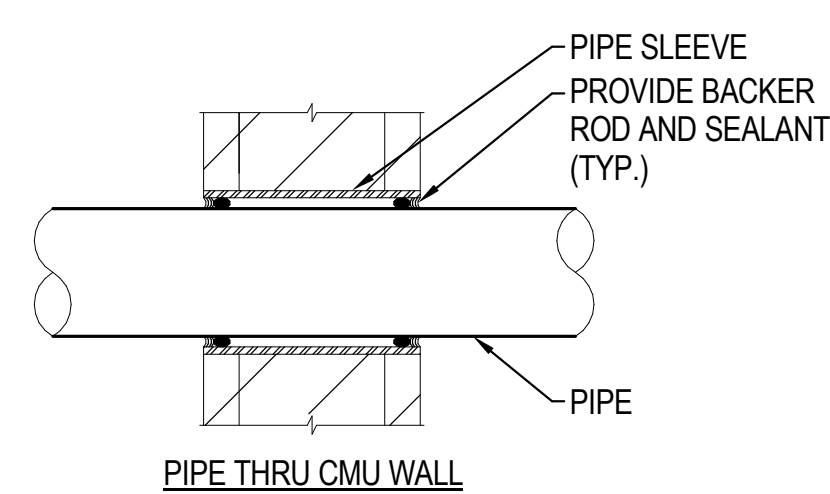
**1** **DETAIL** DETAIL - CEILING MOUNTED EXHAUST FAN  
NTS



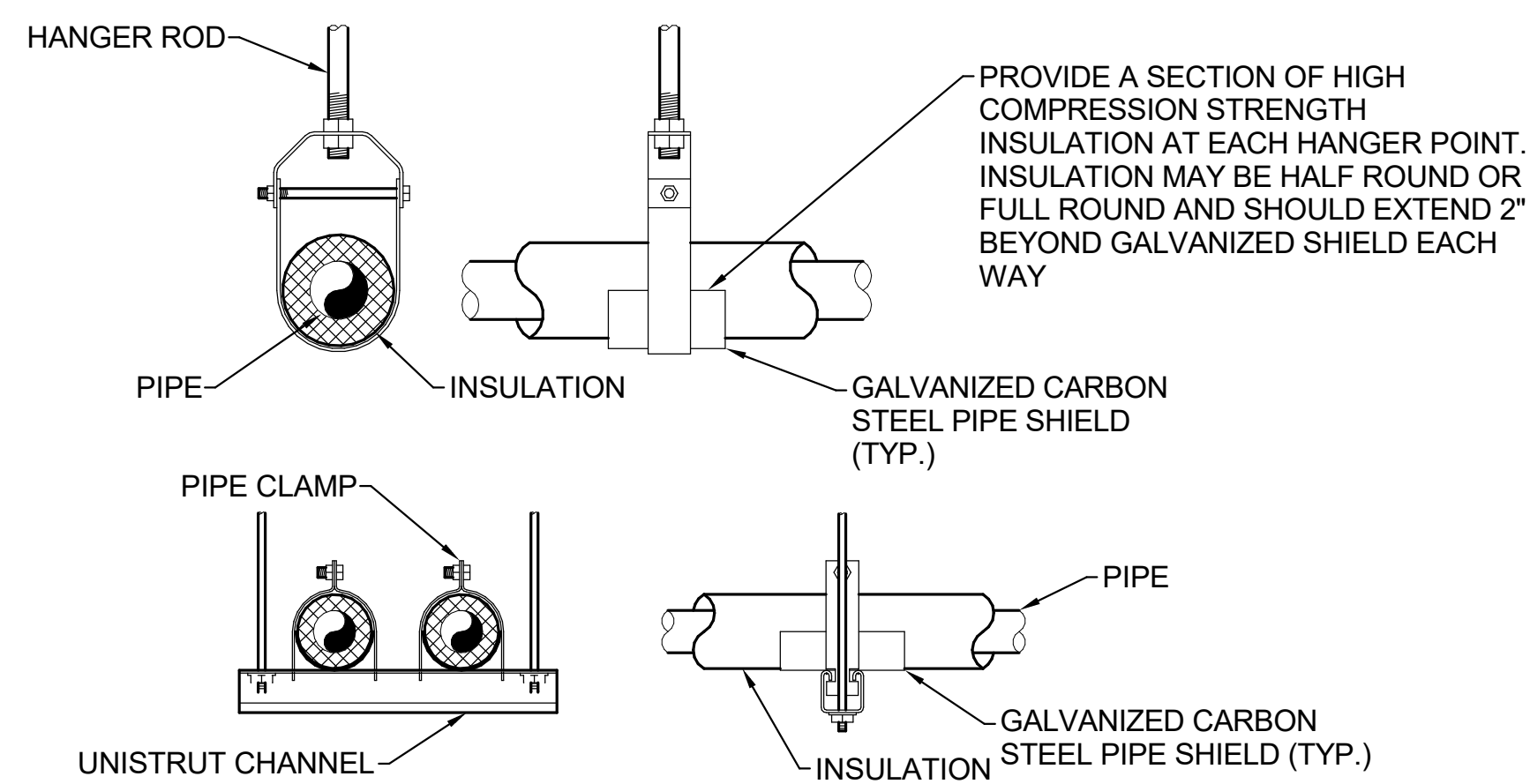
**2** **DETAIL** DETAIL - FURNACE VENTING  
NTS



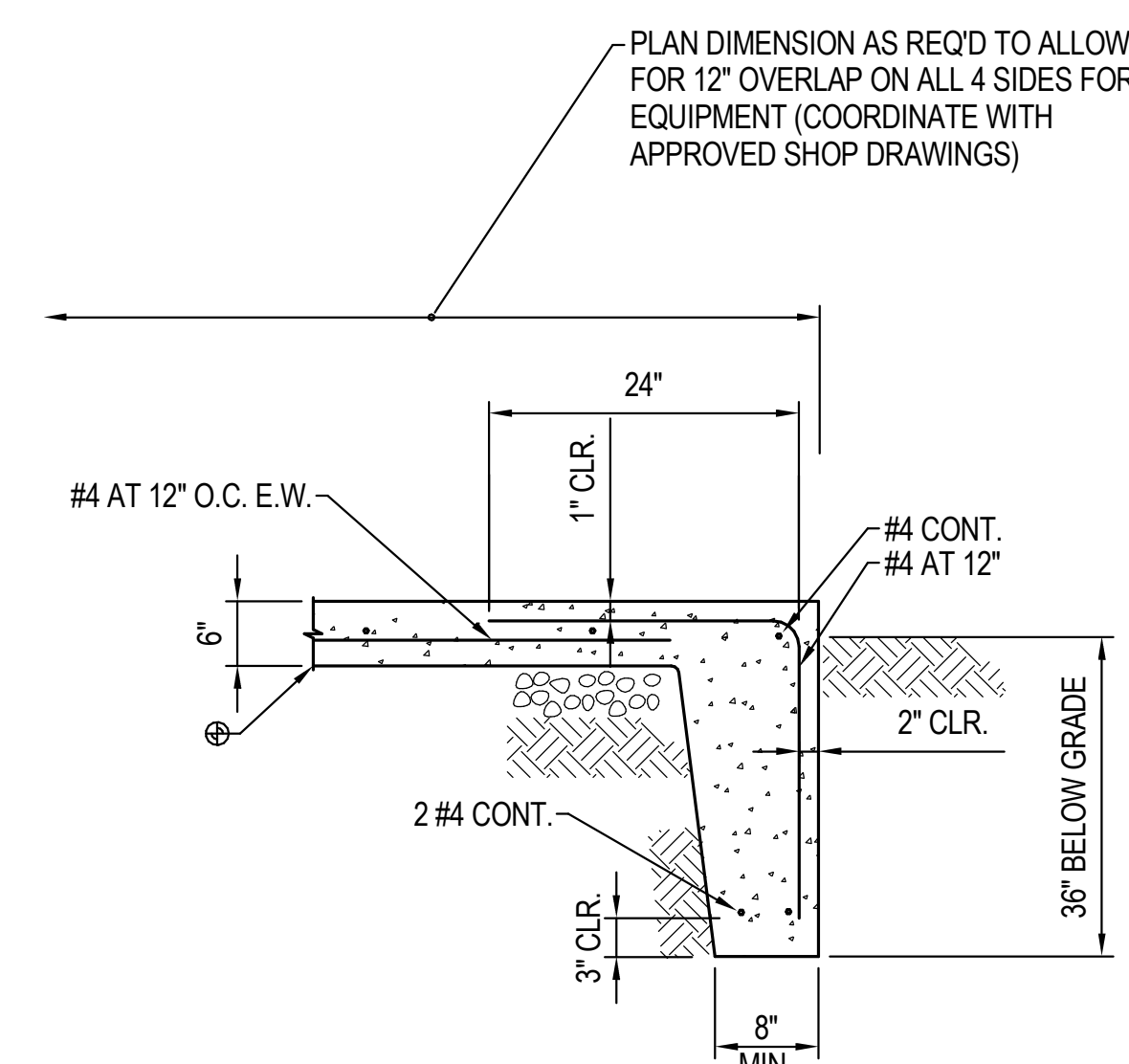
**3** **DETAIL** DETAIL - TYPICAL DUCT SUPPORT  
NTS



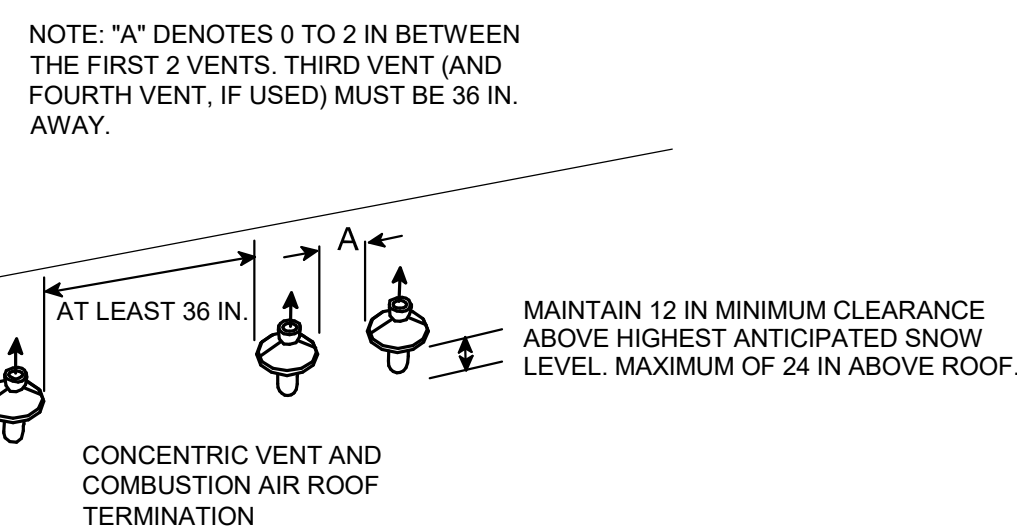
**4** **DETAIL** DETAIL - TYPICAL WALL PENETRATION  
NTS



**5** **DETAIL** DETAIL - TYPICAL PIPE HANGER  
NTS



**6** **DETAIL** DETAIL - EXTERIOR CONCRETE PAD  
NTS



**7** **DETAIL** DETAIL - CONCENTRIC VENT CLEARANCES  
NTS

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN** 300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

**DETAILS - MECHANICAL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>M-502</b>
	FINAL DEVELOPMENT PLAN

NATURAL GAS FURNACES																										
EQUIPMENT BASED ON BRYANT UNLESS NOTED OTHERWISE																										
REFRIGERANT TO BE R-410A																										
FURNACE & BLOWER												COOLING COIL				CONDENSING UNITS							REMARKS			
TAG	SERVICE	MODEL NO.	TYPE	INPUT (MBH)	OUTPUT (MBH)	AFUE %	CFM	MIN VENT AIR CFM	ESP (IN WC)	BLOWER HP	VOLT	PHASE	MODEL NO.	EAT °F		COOLING CAPACITY (MEH)		UNIT TAG	MODEL NO.	MCA	VOLT	PHASE		AHR/ SEER	WEIGHT (LBS)	SOUND POWER (dBA)
														DB	WB	TOTAL	SENSIBLE									
F-1	BASEMENT	926TA66120V24	DIRECT-VENT FIXED-CAPACITY	120	117	96.0	1,400	250	0.5	1	115	1	CNPVP4324ALA	80	67	41.5	31.67	CU-1	113ANAD420N0	23.5	208	1	14.5	188	78	PROGRAMMABLE THERMOSTAT WITH AUTO CHANGE-OVER, CRANKCASE HEATER, FILTER DRIER, LIQUID-LINE SOLENOID VALVE, LOW-AMBIENT CONTROLLER, WINTER START CONTROL, MERV-13 FILTER
F-2	BASEMENT	926TA66120V24	DIRECT-VENT FIXED-CAPACITY	120	117	96.0	1,400	210	0.5	1	115	1	CNPVP4324ALA	80	67	41.5	31.67	CU-2A	113ANAD420N0	23.5	208	1	14.5	188	78	PROGRAMMABLE THERMOSTAT WITH AUTO CHANGE-OVER, CRANKCASE HEATER, FILTER DRIER, LIQUID-LINE SOLENOID VALVE, LOW-AMBIENT CONTROLLER, WINTER START CONTROL, MERV-13 FILTER, TWINNING KIT MODEL KGATW0801HSI
		926TA66120V24	DIRECT-VENT FIXED-CAPACITY	120	117	96.0	1,400																			

**SEQUENCE OF OPERATIONS**

**SPLIT SYSTEM SEQUENCE**

THERE ARE 2 SPLIT SYSTEM SERVING THE BUILDING. EACH SPLIT SYSTEM CONSISTS OF AN INDOOR FURNACE UNIT WITH EVAPORATOR COIL (F-1 THRU F-2) AND AN OUTDOOR CONDENSING UNIT (CU-1, CU-2A, CU-2B).

THE INDOOR FURNACE FAN SPEED SHALL BE CONTROLLED BY THE SPLIT-SYSTEM CONTROLLER'S BUILT-IN CONTROL SYSTEM. AT ANY TIME THE BUILDING IS IN OCCUPIED MODE, THE OUTDOOR AIR DAMPER SHALL OPEN AND THE FAN SHALL OPERATE CONTINUOUSLY.

EACH SPLIT-SYSTEM SHALL CYCLE ITS REFRIGERANT CIRCUIT IN HEATING OR COOLING MODE DEPENDENT UPON SPACE DEMAND FROM THE ZONE SPACE THERMOSTAT TO MAINTAIN SETPOINT (HEATING: 70 DEGREES, ADJUSTABLE; COOLING: 75 DEGREES, ADJUSTABLE).

IF A ZONE FURNACE IS OPERATING IN THE HEATING MODE, THE GAS FURNACE SHALL BE ENABLED AND THE OUTDOOR CONDENSING UNIT SHALL SHUT DOWN. THE GAS FURNACE SHALL MODULATE ITS BURNER DEPENDENT UPON SPACE DEMAND FROM THE ZONE SPACE THERMOSTAT TO MAINTAIN SETPOINT (70 DEGREES, ADJUSTABLE).

THE SPLIT-SYSTEM FACTORY CONTROLLER SHALL OPERATE ON ITS OWN CONTROLS AND SAFETIES. UPON ACTIVATION OF A DUCT MOUNTED SMOKE DETECTOR, THE UNIT SHALL SHUT DOWN.

**ELECTRIC UNIT HEATER SEQUENCE**

RECESSED CEILING MOUNTED ELECTRIC UNIT HEATERS (EUH-1,2,3) SERVE THE VESTIBULE AND STAIRWELL SPACES IN THE BUILDING.

ELECTRIC UNIT HEATER SHALL ACTIVATE UPON A SIGNAL FROM ITS INTEGRAL THERMOSTAT WHEN THE SPACE TEMPERATURE DROPS BELOW SETPOINT (70 DEGREES, ADJUSTABLE).

**JANITOR CLOSET EXHAUST FAN SEQUENCE**

EXHAUST FAN EF-3 SHALL RUN CONTINUOUSLY.

**RESTROOM EXHAUST FAN SEQUENCE (EF-1,2,4)**

EXHAUST FANS EF-1,2, AND 4 SHALL BE TIED INTO THE LIGHT SWITCH. UPON ACTIVATION OF THE LIGHT SWITCH, THE FAN SHALL RUN.

**VAV ZONE DIFFUSER SEQUENCE**

THE VAV ZONE DIFFUSERS SHALL BE CONTROLLED BY A REMOTE THERMOSTAT. CONFERENCE ROOM 103 INCLUDES A MASTER VAV DIFFUSER AND DRONE VAV DIFFUSER. ALL OTHER SPACES WITH ZONE DIFFUSERS ONLY CONSIST OF A MASTER VAV ZONE DIFFUSER.

**SUMMER**

THE VAV ZONE DIFFUSER(S) SHALL BE CONTROLLED BY A DIFFUSER MOUNTED TEMPERATURE SENSOR IN COOLING MODE. A WALL MOUNTED ASSEMBLY WILL PROVIDE SET-POINT ADJUSTMENT.

THE VAV ZONE DIFFUSER(S) SHALL BE NORMALLY FULLY OPEN. UPON A DROP IN SPACE TEMPERATURE BELOW THE COOLING SETPOINT (75°F SUMMER (ADJ.)) THE DAMPER(S) SHALL MODULATE CLOSED UNTIL THE SPACE TEMPERATURE IS SATISFIED. UPON A RISE IN SPACE TEMPERATURE ABOVE THE COOLING SETPOINT (75°F SUMMER (ADJ.)), THE DAMPER(S) SHALL MODULATE OPEN UNTIL THE SPACE TEMPERATURE IS SATISFIED.

**WINTER**

THE VAV ZONE DIFFUSER(S) SHALL BE CONTROLLED BY A WALL MOUNTED ASSEMBLY IN HEATING MODE AND SHALL PROVIDE SET-POINT ADJUSTMENT.

THE VAV ZONE DIFFUSER(S) SHALL BE NORMALLY FULLY OPEN. UPON A RISE IN SPACE TEMPERATURE ABOVE THE HEATING SETPOINT (70°F (ADJ.)) THE DAMPER(S) SHALL MODULATE CLOSED UNTIL THE SPACE TEMPERATURE IS SATISFIED. UPON A DROP IN SPACE TEMPERATURE BELOW THE HEATING SETPOINT (70°F (ADJ.)), THE DAMPER(S) SHALL MODULATE OPEN UNTIL THE SPACE TEMPERATURE IS SATISFIED.

FANS														
FC - FORWARD CURVE														
TAG	LOCATION	SERVICE	FAN TYPE	WHEEL TYPE	CFM	RPM	ESP (IN WC)	MOTOR			MAX SONES	MANUFACTURER AND MODEL	WEIGHT (LBS)	REMARKS
								WATTS	PH	VOLT				
EF-1,2	RESTROOMS	EXHAUST	CENTRIFUGAL	FC	100	784	0.5	24	1	115	3.5	GREENHECK SP-A390-VG	32	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE
EF-3	JAN CLST.	EXHAUST	CENTRIFUGAL	FC	50	935	0.549	6	1	115	2.0	GREENHECK SP-80-VG	12	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE
EF-4	RESTROOM	EXHAUST	CENTRIFUGAL	FC	70	935	0.487	6	1	115	2.0	GREENHECK SP-80-VG	19	PROVIDE WITH DISCONNECT SWITCH, GRAVITY BACKDRAFT DAMPER, ROUND DUCT CONNECTION STANDARD GRILLE, PITCHED ROOF CAP WBUILT-IN BIRDSCREEN

DIFFUSER, REGISTER, AND GRILLES												
TAG	SERVICE	NECK SIZE (IN)	TYPE	DAMPER	FACE SIZE	MATERIAL	FINISH	PATTERN	MANUFACTURER	MODEL NO.	CONTROL POWER (V)	REMARKS
D1	CEILING SUPPLY AIR	SEE PLANS	SQUARE LAY-IN	YES	24x24	STEEL	WHITE	4-WAY	ACCUTHERM	ADV	120	ALL
D2	CEILING SUPPLY AIR	SEE PLANS	SQUARE LAY-IN	NO	24x24	STEEL	WHITE	4-WAY	TITUS	OMNI	-	-
D3	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	YES	-	ALUMINUM	WHITE	2-WAY	ACCUTHERM	ADVL	120	ALL
D4	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	NO	-	ALUMINUM	WHITE	1-WAY	TITUS	ML-38	-	4
D5	CEILING SUPPLY AIR	SEE PLANS	SLOT DIFFUSER LAY-IN	NO	-	ALUMINUM	WHITE	1-WAY	TITUS	ML-38	-	5
G1	RETURN/ TRANSFER AIR	SEE PLANS	GRILLE SURFACE	NO	NECK SIZE +1.75"	STEEL	WHITE	-	TITUS	350RL	-	-
G2	RETURN AIR	SEE PLANS	GRILLE LAY-IN	NO	NECK SIZE +1.75"	STEEL	WHITE	-	TITUS	350RL	-	-

NOTES:  
 1. PROVIDE WITH WALL MOUNTED THERMOSTAT.  
 2. PROVIDE WITH 115V TO 24V (ONBOARD) TRANSFORMER FOR MASTER.  
 3. 2-SLOT, 2-WAY AIRFLOW, 60" LENGTH. PROVIDE WITH INSULATED PLENUM.  
 4. 2-SLOT, 60" LENGTH. PROVIDE WITH TITUS MP9-38 INSULATED PLENUM.  
 5. 2-SLOT, 48" LENGTH. PROVIDE WITH TITUS MP9-38 INSULATED PLENUM.

LOUVER SCHEDULE											
EQUIPMENT BASED ON GREENHECK UNLESS NOTED OTHERWISE											
TAG	MODEL	LOCATION	SERVICE	CFM	TYPE	MATERIAL	DIMENSION HxWxD (IN)	FREE FACE AREA (SF)	MAX SP DROP	FREE AREA VEL (FPM)	REMARKS
L-1	ESD-635	MECH ROOM	INTAKE	460	STATIONARY DRAINABLE	ALUM	14x26x6	1.1	0.03	420	ALL

NOTES: 1. PROVIDE WITH BIRDSCREEN.

ELECTRIC UNIT HEATER SCHEDULE									
EQUIPMENT BASED ON QMARK UNLESS NOTED OTHERWISE									
UNIT DATA				HEATING ELEMENTS					REMARKS
TAG	SERVICE	MODEL	TYPE	CFM	AMPS	TOTAL KW	VOLTS	PHASE	
EUH-1	VESTIBULE 101	CDF-548	RECESSED	300	19.2	4	208	1	ALL
EUH-2	STAIRS 105	CDF-548	RECESSED	300	19.2	4	208	1	ALL
EUH-3	STAIRS 111	CDF-548	RECESSED	300	19.2	4	208	1	ALL

NOTES:  
 1. PROVIDE INTEGRAL THERMOSTAT.  
 2. PROVIDE INTEGRAL DISCONNECT SWITCH.  
 3. PROVIDE RECESSED ENCLOSURE.

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**SCHEDULES - MECHANICAL**

11/30/2020  
 DRAWN BY: Author CHECKED BY: Checker  
 20022  
**M-601**  
 FINAL DEVELOPMENT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION

ABBREVIATIONS	
NOTE: NOT ALL ABBREVIATIONS MAY BE USED.	
(A)	EXISTING TO BE ABANDONED
(D)	EXISTING TO BE DEMOLISHED
(E)	EXISTING TO REMAIN
(F)	FUTURE
(R)	EXISTING TO BE RELOCATED
A	AMPERE
AC	ALTERNATING CURRENT OR AIR CONDITIONER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AIC	AMPS INTERRUPTING CAPACITY
ANNC	ANNUNCIATOR
AWG	AMERICAN WIRE GAUGE
BPS	BOLTED PRESSURE SWITCH
C	CONDUIT
CB	CIRCUIT BREAKER
CCTV	CLOSED CIRCUIT TELEVISION
CKT	CIRCUIT
CM	CONSTRUCTION MANAGER
DC	DIRECT CURRENT
DP	DISTRIBUTION PANELBOARD
DTT	DOUBLE TWIN TUBE
EB	ELECTRONIC BALLAST
EC	ELECTRICAL CONTRACTOR
EM	EMERGENCY
EMT	ELECTRICAL METAL TUBING
EWC	ELECTRIC WATER COOLER
FA	FIRE ALARM
FLA	FULL LOAD AMPS
G	GROUND
GC	GENERAL TRADES CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GEN	GENERATOR
HOA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HPC	HIGH PRESSURE CONTACT SWITCH
HZ	HERTZ
IG	ISOLATED GROUND
IMC	INTERMEDIATE METAL CONDUIT
INCD	INCANDESCENT
KVA	KILOVOLT AMPERE
KW	KILOWATT
LTG	LIGHTING OR LIGHT
LRA	LOCKED ROTOR AMPS
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MLO	MAIN LUGS ONLY
MOCP	MAXIMUM OVERCURRENT PROTECTION
MSB	MAIN SWITCHBOARD
MH	METAL HALIDE
MTS	MANUAL TRANSFER SWITCH
NAC	NOTIFICATION APPLIANCE CIRCUIT
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NF	NON-FUSED
OCC	OCCUPANCY
PA	PUBLIC ADDRESS
PB	PULL BOX OR PUSH BUTTON
PVC	POLYVINYL CHLORIDE (PLASTIC PIPE)
PWR	POWER
RECP	RECEPTACLE
STP	SHIELDED, TWISTED PAIR
TC	TIME CLOCK
TRT	TRIPLE TUBE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UTP	UNSHIELDED, TWISTED PAIR
V	VOLT
W	WATT
WAP	WIRELESS ACCESS POINT
WH	WATTHOUR
WP	WEATHERPROOF, NEMA 3R UNO
XFMR	TRANSFORMER
Z	IMPEDANCE
∅	PHASE

LIGHTING SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	GENERAL PURPOSE LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	GENERAL PURPOSE LUMINAIRE ON EMERGENCY POWER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	GENERAL PURPOSE DUAL BALLAST LUMINAIRE ONE BALLAST ON EMERGENCY POWER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	ROUND LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL WASHER: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL MOUNTED LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL MOUNTED DECORATIVE LUMINAIRE: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	WALL MOUNTED FLOOD LIGHT: REFER TO LUMINAIRE SCHEDULE FOR ADDITIONAL INFORMATION
	TRACK LIGHTING
	TRACK LIGHTING HEAD
	REMOTE HEAD
	STEP LIGHT
	EMERGENCY LIGHT
	EXIT SIGN
	CEILING MOUNTED ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS
	EMERGENCY DUAL FACE ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS
	EXIT SIGN WITH INTEGRAL HEADS
	SWITCH: X=BLANK-SINGLE POLE 20A, TOGGLE; X=S-THREE WAY, X=H-FOUR WAY, X=P-PILOT LIGHT; X=K-KEY, X=MS-MOMENTARY
	PHOTOCELL
	WALL MOUNTED OCCUPANCY SENSOR: X=BLANK-DUAL TECHNOLOGY; X=IR-PASSIVE INFRARED; X=US-ULTRASONIC
	CEILING MOUNTED OCCUPANCY SENSOR: X=BLANK-DUAL TECHNOLOGY; X=IR-PASSIVE INFRARED; X=US-ULTRASONIC
	DIMMER
	POWER PACK
	JUNCTION BOX
	PANELBOARD
	LIGHTING CONTROL PANEL
	LOW VOLTAGE TRANSFORMER

POWER SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	20A DUPLEX RECEPTACLE WITH COVER PLATE: X=TYPE, Y=NON-STANDARD MOUNTING HEIGHT, Z=SPECIAL DESIGNATION, (18" AFF TYPICAL)
	DUPLEX RECEPTACLE ON EMERGENCY CIRCUIT WITH COVER PLATE: X=TYPE, Y=NON-STANDARD MTG HEIGHT, Z=SPECIAL DESIGNATION, (18" AFF TYPICAL)
	FLOOR OR CEILING MOUNTED DUPLEX RECEPTACLE:
	DUPLEX RECEPTACLE: ABOVE COUNTER (48" AFF TYPICAL)
	DOUBLE DUPLEX RECEPTACLE WITH SINGLE COVER PLATE
	SIMPLEX RECEPTACLE WITH COVER PLATE
	WEATHER RESISTANT DUPLEX RECEPTACLE, GROUND FAULT CIRCUIT INTERRUPTING WITH IN-USE COVER
	WALL MOUNTED SPECIAL RECEPTACLE: REFER TO PLANS FOR ADDITIONAL INFORMATION
	FLOOR OR CEILING MOUNTED SPECIAL RECEPTACLE: F=FLOOR, C=CEILING REFER TO PLANS FOR ADDITIONAL INFORMATION
	SURFACE MOUNTED RACEWAY
	STANDARD DISCONNECT SWITCH: X=DISCONNECT SIZE, Y=NUMBER OF POLES
	STANDARD FUSED DISCONNECT SWITCH: X=DISCONNECT SIZE, Y=FUSE SIZE, Z=NUMBER OF POLES
	MOTOR STARTER: X=STARTER SIZE, Y=NUMBER OF POLES
	COMBINATION MOTOR STARTER/DISCONNECT SWITCH: X=STARTER SIZE, Y=FUSE SIZE, Z=NUMBER OF POLES
	MOTOR (BY OTHERS); PROVIDE POWER AS INDICATED
	UTILITY METER
	FRACTIONAL HORSEPOWER MANUAL MOTOR STARTER
	JUNCTION BOX
	TRANSFORMER
	HANDHOLE/POLE BOX: SEE DETAILS FOR ADDITIONAL INFORMATION
	CONTROL PANEL
	SURGE PROTECTIVE DEVICE
	PANELBOARD
	AUTOMATIC TRANSFER SWITCH
	VARIABLE FREQUENCY DRIVE (BY DIVISION 23)
	PUSH BUTTON
	POWER POLE
	CORD REEL
	GROUND ROD
	POKE THROUGH SERVICE FITTING: X=TYPE

TELECOMM SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	WALL MOUNTED DATA OUTLET (18" AFF): X=NUMBER OF OUTLETS
	CEILING MOUNTED DATA OUTLET: C=CEILING
	WALL MOUNTED PHONE/DATA OUTLET (18" AFF): X=NUMBER OF OUTLETS (P=PHONE, D=DATA)
	WIRELESS ACCESS POINT
	POKE THROUGH DEVICE: PROVIDE (1) DUPLEX OUTLET AND (2) CAT6 DATA JACKS, TERMINATE DATA ON PATCH PANEL IN NEAREST IT CLOSET: A=POWER / AV / DATA, B=POWER / DATA
	SURFACE MOUNTED RACEWAY
	CABLE TRAY
	EQUIPMENT RACK
	TELEPHONE TERMINAL BOARD: PLYWOOD BACKBOARD: REFER TO PLANS FOR ACTUAL LENGTHS

SECURITY SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	CAMERA: PTZ=PAN, TILT, AND ZOOM; F=FIXED DIRECTIONAL; D=DOME CAMERA
	ALARM HORN
	CARD READER
	DOOR LATCH
	INTERCOM
	KEY PAD
	LATCH MONITOR
	MONITORING STATION
	MOTION DETECTOR
	TAMPER SWITCH
	POWER SUPPLY
	REQUEST EXIT
	ELECTRIC STRIKE
	PUSH BUTTON
	CCTV EQUIPMENT RACK

PAGING SYMBOLS	
NOTE: NOT ALL SYMBOLS MAY BE USED.	
	MICROPHONE OUTLET
	WALL MOUNTED HORN
	CEILING MOUNTED HORN
	WALL MOUNTED SPEAKER
	CEILING MOUNTED SPEAKER
	VOLUME CONTROL STATION
	EQUIPMENT RACK

DRAWING INDEX	
DWG NO.	SHEET TITLE
E-001	GENERAL INFORMATION - ELECTRICAL
ED10X	FLOOR PLAN - ELECTRICAL - DEMOLITION
E-10X	FLOOR PLAN - LIGHTING
E-20X	FLOOR PLAN - POWER
E-30X	FLOOR PLAN - SYSTEMS
E-40X	ENLARGED PLANS - ELECTRICAL
E-50X	DETAILS - ELECTRICAL
E-60X	SCHEDULES - ELECTRICAL
E-70X	DIAGRAMS - ELECTRICAL

LINE TYPE LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW WORK

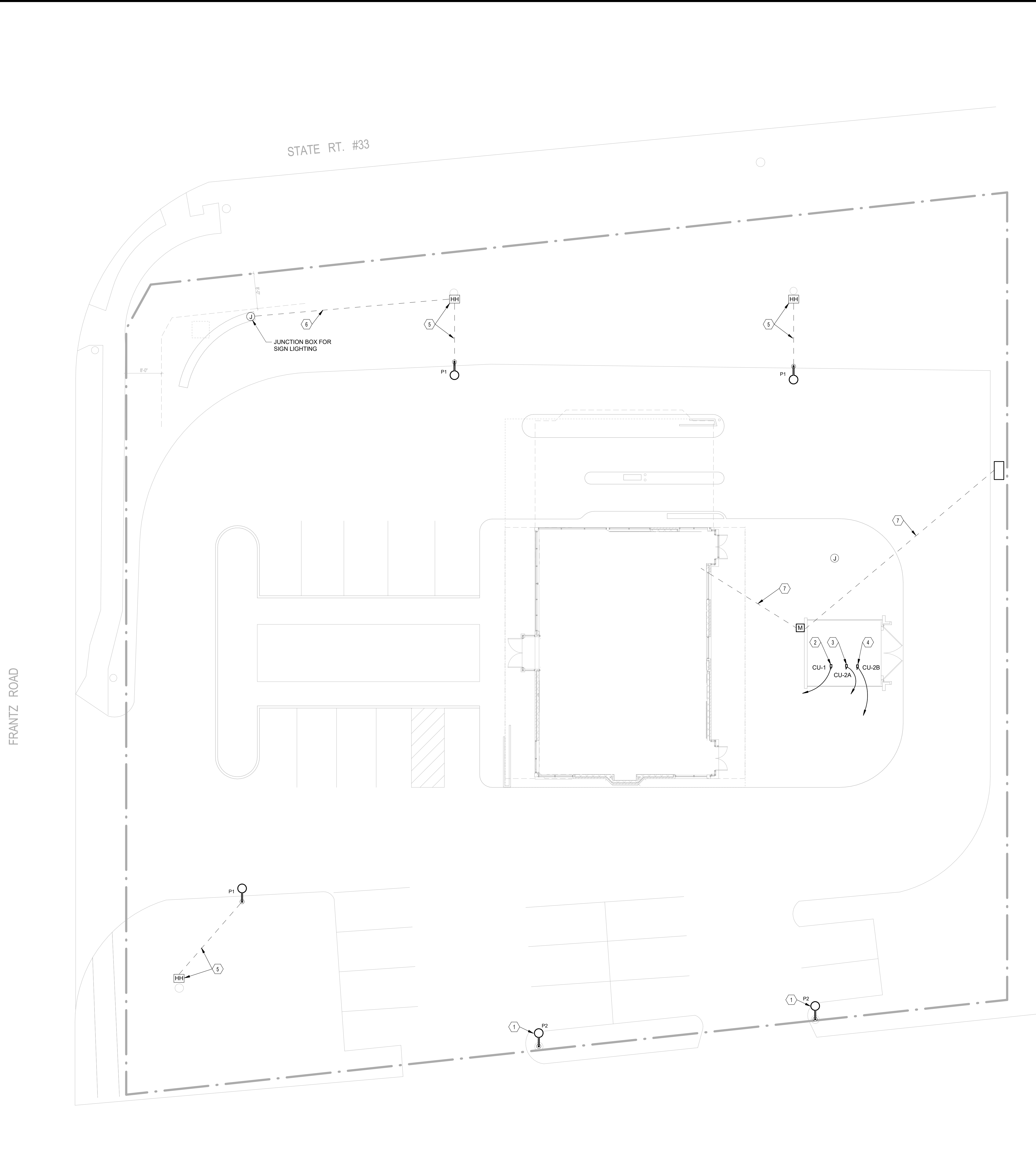
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**GENERAL INFORMATION - ELECTRICAL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
<b>E-001</b>	
FINAL DEVELOPMENT PLAN	



**1** PLAN SITE PLAN - ELECTRICAL  
 1" = 10'-0"

- GENERAL NOTES:**
- A. UNLESS NOTED OTHERWISE, MINIMUM CONDUIT SIZE FOR ALL EXTERIOR INSTALLATIONS SHALL BE 1".
  - B. UNDERGROUND CONDUIT ROUTING SHOWN IS DIAGRAMATIC. CONTRACTOR SHALL CONDUCT UNDERGROUND UTILITY LOCATING AND DETERMINE EXACT ROUTING. CONTRACTOR SHALL ALSO CONTACT "DUPS" NO LESS THAN 7 CALENDAR DAYS PRIOR TO DIGGING.
  - C. COORDINATE ALL SITE WORK WITH OTHER TRADES AND EXISTING UNDERGROUND UTILITIES.
- CODED NOTES:**
- 1. PROVIDE 20' LIGHT POLE AND LUMINAIRE ON EXISTING POLE BASE. EXTEND EXISTING CIRCUIT TO LUMINAIRE.
  - 2. CU-1, 208V, 1PH 23.5A. PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY.
  - 3. CU-2A, 208V, 1PH 23.5A. PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY.
  - 4. CU-2B, 208V, 1PH 23.5A. PROVIDE 30/2 NEMA 3R FUSED DISCONNECT. PROVIDE UNISTRUT SUPPORT AS NECESSARY.
  - 5. DEMOLISH EXISTING POLE LIGHT AND BASE. PROVIDE HANDHOLE. INTERCEPT CIRCUIT, MATCH WIRE SIZE, MAKE JUNCTIONS AND EXTEND TO NEW LIGHT POLE.
  - 6. EXTEND EXISTING LIGHTING CIRCUIT FROM HANDHOLE TO SIGN LIGHTING.
  - 7. CONDUIT IN CONCRETE ENCASEMENT FOR SERVICE ENTRANCE. REFER TO ONE LINE DIAGRAM AND DETAILS FOR ADDITIONAL REQUIREMENTS.

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

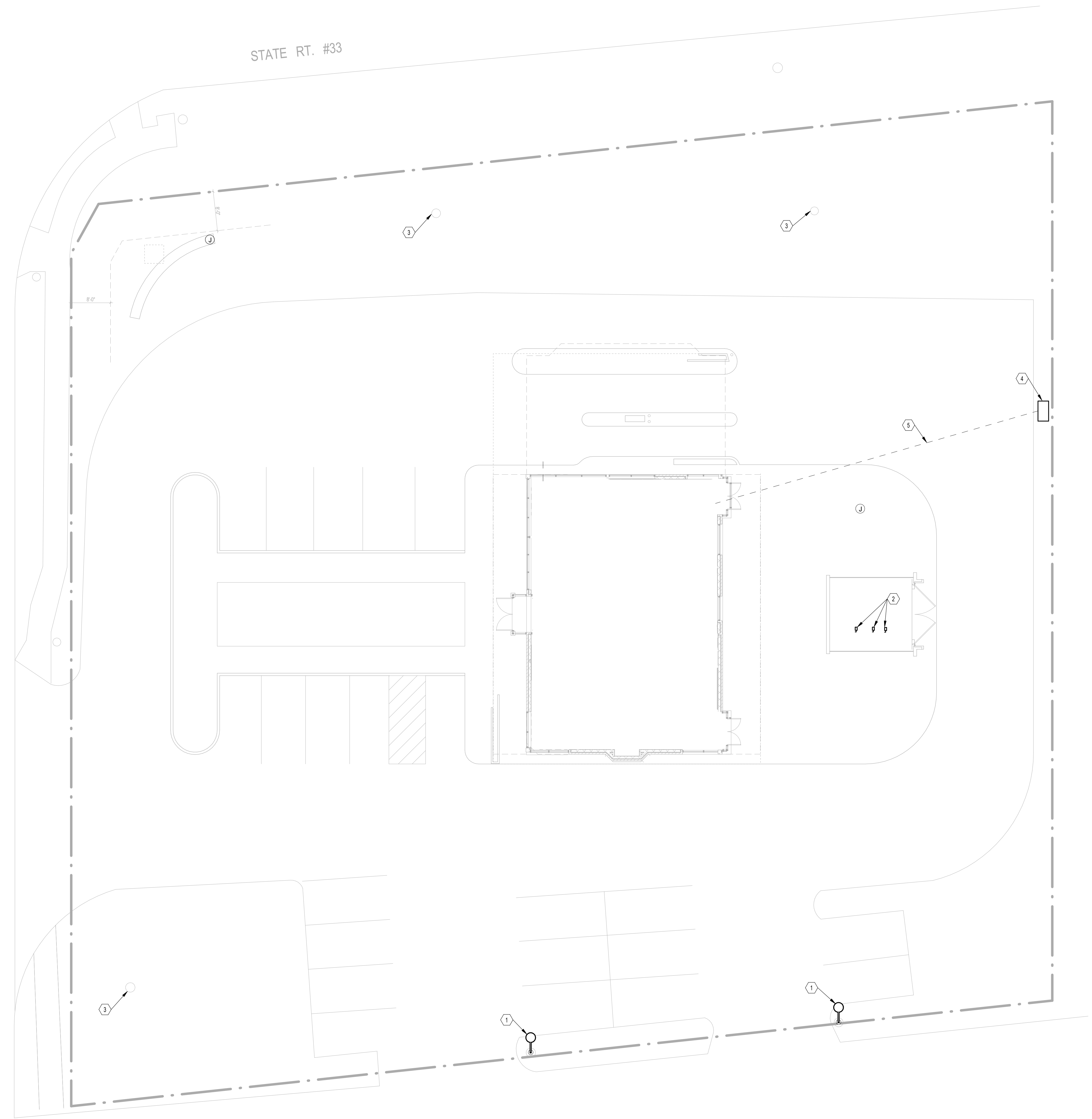
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**SITE PLAN - ELECTRICAL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020 DRAWN BY: Author    CHECKED BY: Checker
	2022
	<b>ES-100</b>
	FINAL DEVELOPMENT PLAN

FRANTZ ROAD

STATE RT. #33



**1** PLAN SITE PLAN - ELECTRICAL DEMOLITION  
1" = 10'-0"

- CODED NOTES:**
1. DEMOLISH EXISTING LUMINAIRE AND LIGHT POLE. EXISTING BASE AND CIRCUITING TO REMAIN FOR REUSE.
  2. POWER CONNECTION TO CONDENSING UNIT. DISCONNECT SWITCH AND CONDUCTORS TO BE DEMOLISHED BACK TO SOURCE.
  3. DEMOLISH EXISTING POLE LIGHT AND BASE. PROVIDE HANDHOLE TO INTERCEPT CIRCUIT REFER TO NEW WORK PLAN FOR ADDITIONAL REQUIREMENTS.
  4. EXISTING UTILITY TRANSFORMER
  5. EXISTING SECONDARY CONDUIT TO BE ABANDONED IN PLACE.

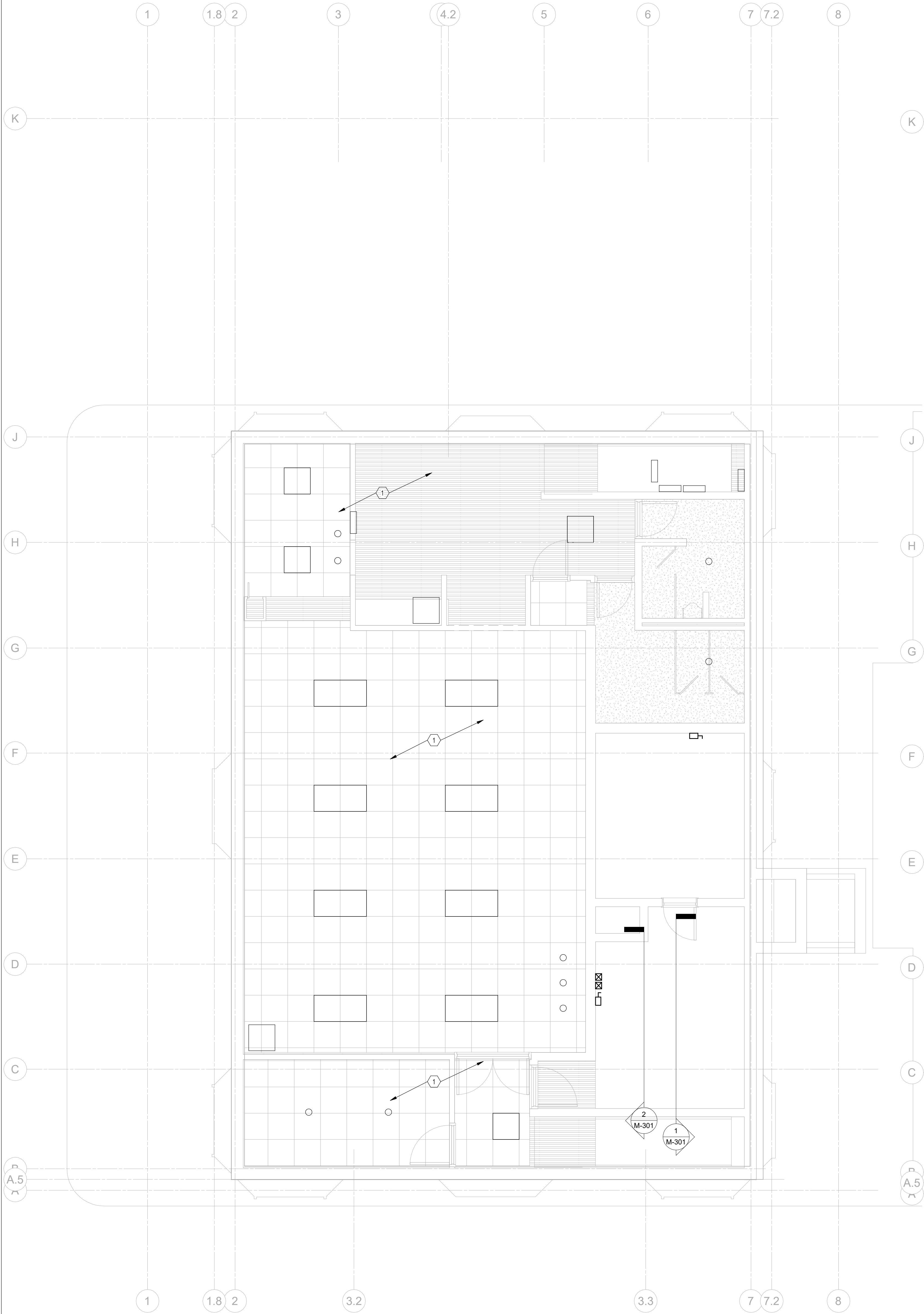
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

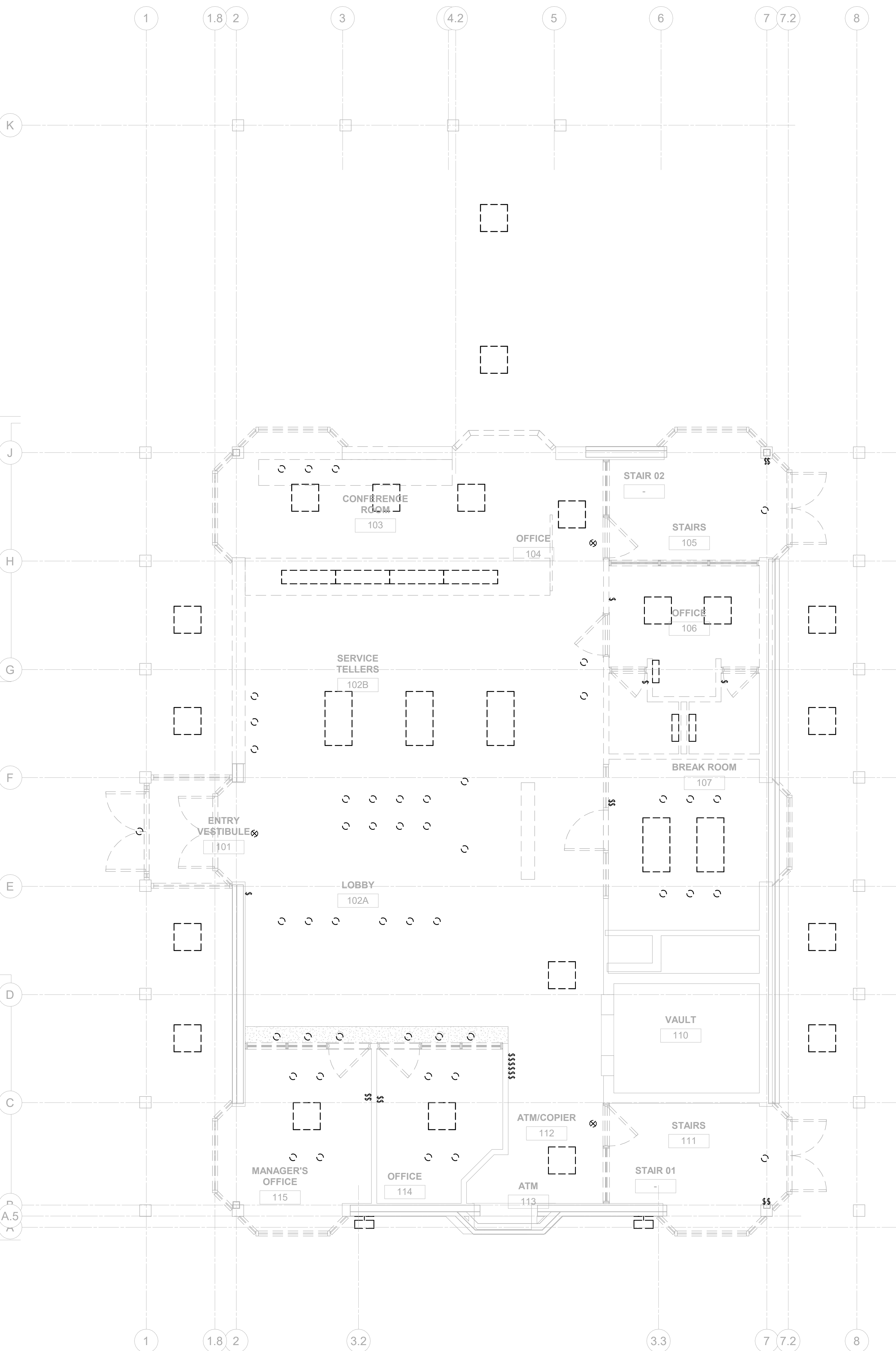
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**SITE PLAN - ELECTRICAL - DEMOLITION**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>ED-100</b>
	FINAL DEVELOPMENT PLAN



**2 PLAN** BASEMENT CEILING PLAN - ELECTRICAL - DEMOLITION  
 1/4" = 1'-0"



**1 PLAN** FIRST FLOOR CEILING PLAN - LIGHTING - DEMOLITION  
 1/4" = 1'-0"

- GENERAL NOTES:**
- A. UNLESS NOTED OTHERWISE ALL 1ST FLOOR INTERIOR LUMINAIRES AND CONTROLS SHALL BE DEMOLISHED.
  - B. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND REPRESENT AN APPROXIMATION OF INITIAL CONDITIONS. INFORMATION PROVIDED IS BASED ON THE BEST AVAILABLE DATA. ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXTENT OF THE NEW WORK PRIOR TO CONSTRUCTION.
  - C. ENSURE THAT ALL LIGHTING FIXTURES AND WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPERATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH CIRCUITING AS REQUIRED TO MAINTAIN SERVICE.
  - D. ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH STATE, LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
  - E. UNLESS NOTED OTHERWISE, ALL CONDUCTORS OF DEMOLISHED DEVICES AND EQUIPMENT THAT ARE NOT INDICATED FOR REUSE SHALL BE COMPLETELY REMOVED BACK TO SOURCE.
- CODED NOTES:**
- 1. PROVIDE ONE FOR ONE REPLACEMENT OF LUMINAIRES IN BASEMENT WHERE AFFECTED BY MECHANICAL WORK. MAINTAIN EXISTING CONTROLS. PROVIDE CHANGES COMPLETE PER ROOM MODIFIED.

#	DATE	CHANGE DESCRIPTION

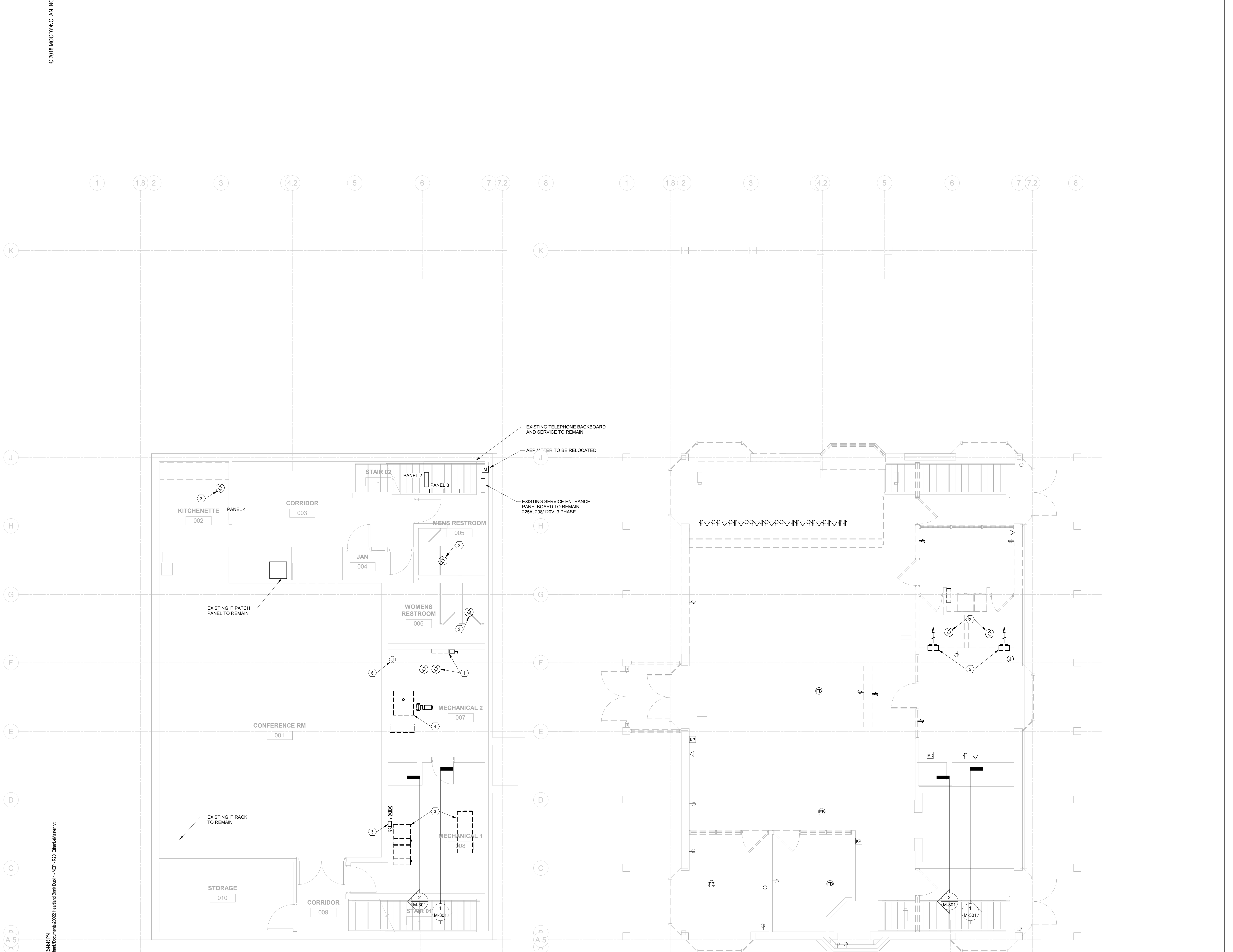
**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR HEARTLAND BANK

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**FLOOR PLANS - LIGHTING - DEMOLITION**

PROGRESS DRAWING NOT FOR CONSTRUCTION	DRAWN BY: Author	CHECKED BY: Checker
	11/30/2020	
	20022	
<b>ED-101</b>		
FINAL DEVELOPMENT PLAN		





**1 PLAN** BASEMENT FLOOR PLAN - ELECTRICAL - DEMOLITION  
1/4" = 1'-0"

**2 PLAN** FIRST FLOOR PLAN - ELECTRICAL - DEMOLITION  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND REPRESENT AN APPROXIMATION OF INITIAL CONDITIONS. INFORMATION PROVIDED IS BASED ON THE BEST AVAILABLE DATA. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF THE NEW WORK PRIOR TO CONSTRUCTION.
- B. ENSURE THAT ALL WIRING DEVICES IN ADJACENT SPACES AND BASEMENT REMAIN OPERATIONAL DURING DEMOLITION AND AFTER RENOVATION IS COMPLETED. PROVIDE NEW BRANCH CIRCUITING AS REQUIRED TO MAINTAIN SERVICE.
- C. ALL EQUIPMENT TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH STATE, LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS.
- D. UNLESS NOTED OTHERWISE, ALL CONDUCTORS OF DEMOLISHED DEVICES AND EQUIPMENT THAT ARE NOT INDICATED FOR REUSE SHALL BE COMPLETELY REMOVED BACK TO SOURCE.

**CODED NOTES:**

- 1. POWER CONNECTION TO SEWAGE EJECTOR PUMP AND SUMP PUMP TO BE DEMOLISHED. DEMOLISH EXISTING CONTROL PANEL AND ASSOCIATED HARDWARE. MAINTAIN AND PROTECT EXISTING CIRCUITS FOR USE WITH NEW PUMPS.
- 2. POWER CONNECTION TO EXHAUST FAN TO BE DEMOLISHED.
- 3. POWER CONNECTION TO FURNACE AND ASSOCIATED HARDWARE TO BE DEMOLISHED.
- 4. POWER CONNECTION TO BOILER AND ASSOCIATED HARDWARE TO BE DEMOLISHED.
- 5. POWER CONNECTION TO UNIT HEATER TO BE DEMOLISHED.
- 6. WATER HEATER TO REMAIN.

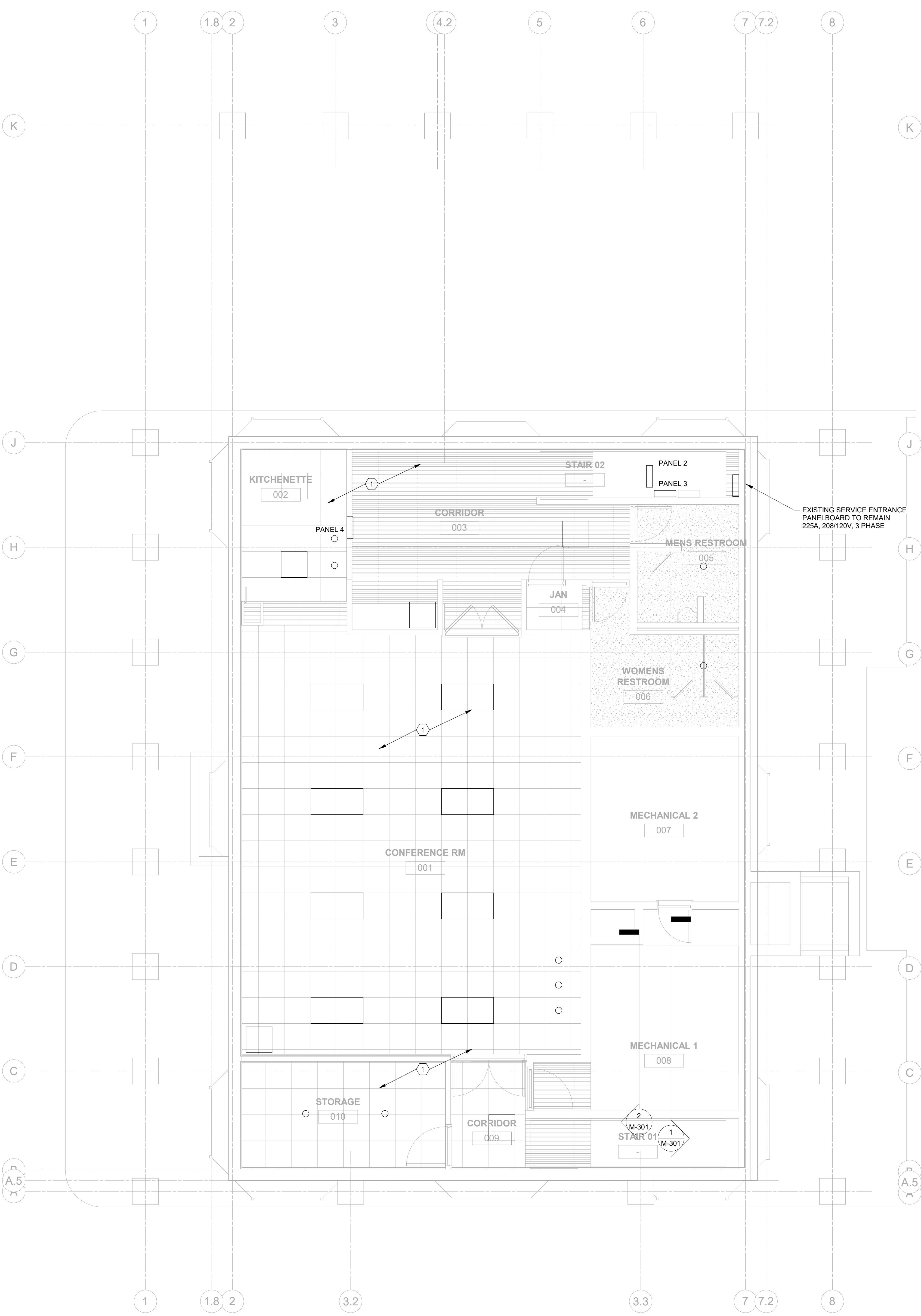
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

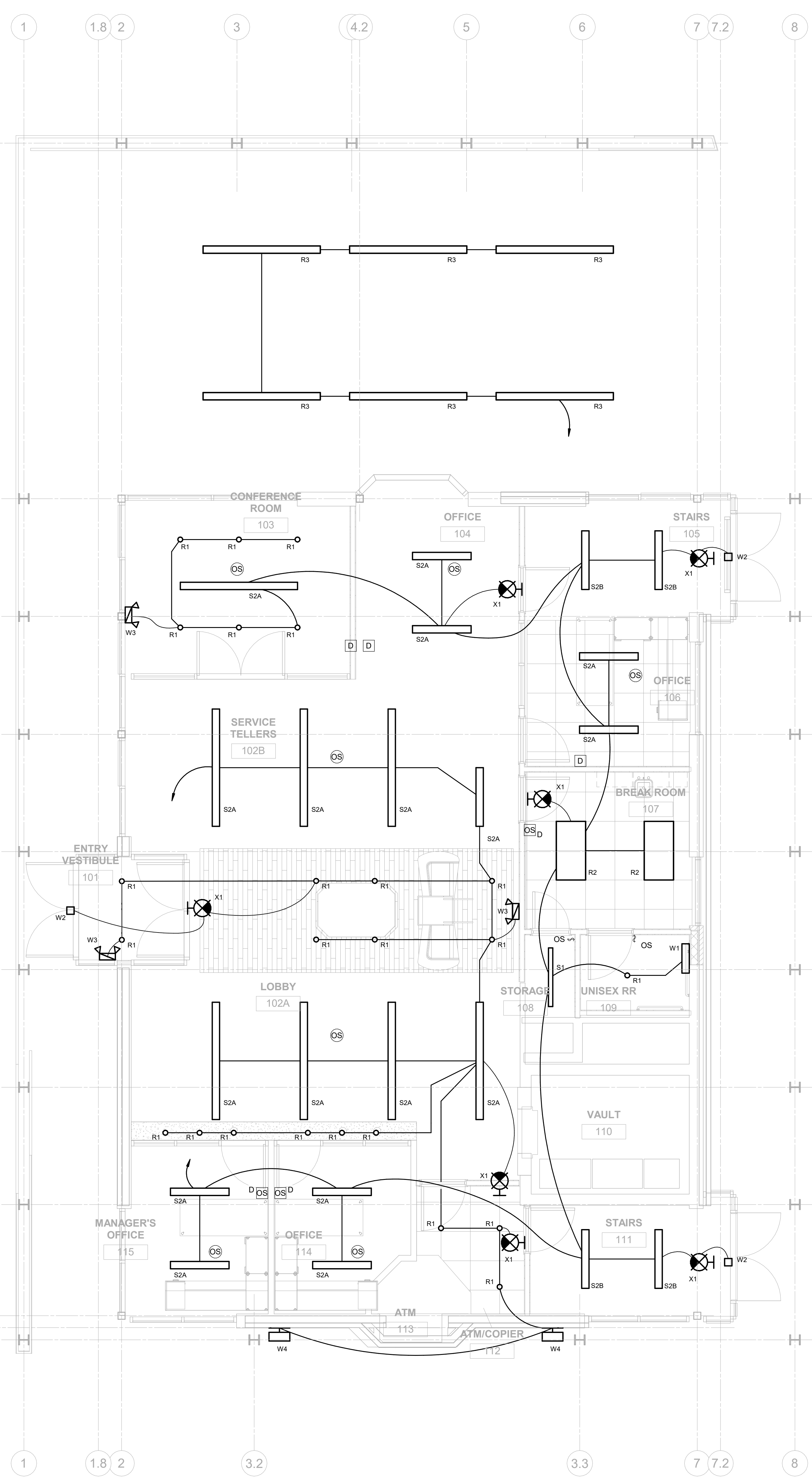
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**FLOOR PLANS - POWER/SYSTEMS - DEMOLITION**

DRAWING TITLE: **FLOOR PLANS - POWER/SYSTEMS - DEMOLITION**  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 11/30/2020  
 20022  
**ED-201**  
 FINAL DEVELOPMENT PLAN



**1 PLAN** BASEMENT CEILING PLAN - LIGHTING  
 1/4" = 1'-0"



**2 PLAN** FIRST FLOOR CEILING PLAN - LIGHTING  
 1/4" = 1'-0"

- GENERAL NOTES:**
- A. COORDINATE EXACT LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING PLAN AND HVAC PLANS PRIOR TO ROUGH-IN TO AVOID CONFLICTS.
  - B. CONTRACTOR SHALL FIELD VERIFY EXISTING PANEL CIRCUITING FOR CIRCUIT MODIFICATIONS SHOWN. MAINTAIN CIRCUITRY CONTINUITY FOR DOWNSTREAM DEVICES.
  - C. POWER PACKS AND SLAVE PACKS ARE NOT SHOWN FOR CLARITY. POWER PACKS AND SLAVE PACKS SHALL BE LOCATED WITHIN EACH ROOM ABOVE CEILING ADJACENT TO THE ENTRY DOOR.
  - D. NO SHARED NEUTRALS - EACH NEW CIRCUIT SHALL HAVE DEDICATED NEUTRAL CONDUCTOR.
  - E. PROVIDE ALL MOUNTING HARDWARE PER MANUFACTURER'S WRITTEN INSTRUCTIONS TO SUPPORT LUMINAIRES. CONTRACTOR TO VERIFY MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH-IN. LUMINAIRES SHALL NOT BE SUPPORTED BY CEILINGS.
  - F. STRAIGHT LINES INDICATE LUMINAIRES CIRCUITED TO COMMON CONTROLS. ARCHED LINES INDICATE A COMMON BRANCH CIRCUIT BUT SEPARATE CONTROLS.
  - G. EMERGENCY EGRESS LIGHTING, EXIT SIGNS AND NIGHT LIGHTS SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING OR CONTROLS WITH A MINIMUM OF #12 CONDUCTORS.

- CODED NOTES:**
- 1. PROVIDE ONE FOR ONE REPLACEMENT OF LUMINAIRES IN BASEMENT WHERE AFFECTED BY MECHANICAL WORK. MAINTAIN EXISTING CONTROLS. PROVIDE CHANGES COMPLETE PER ROOM MODIFIED.

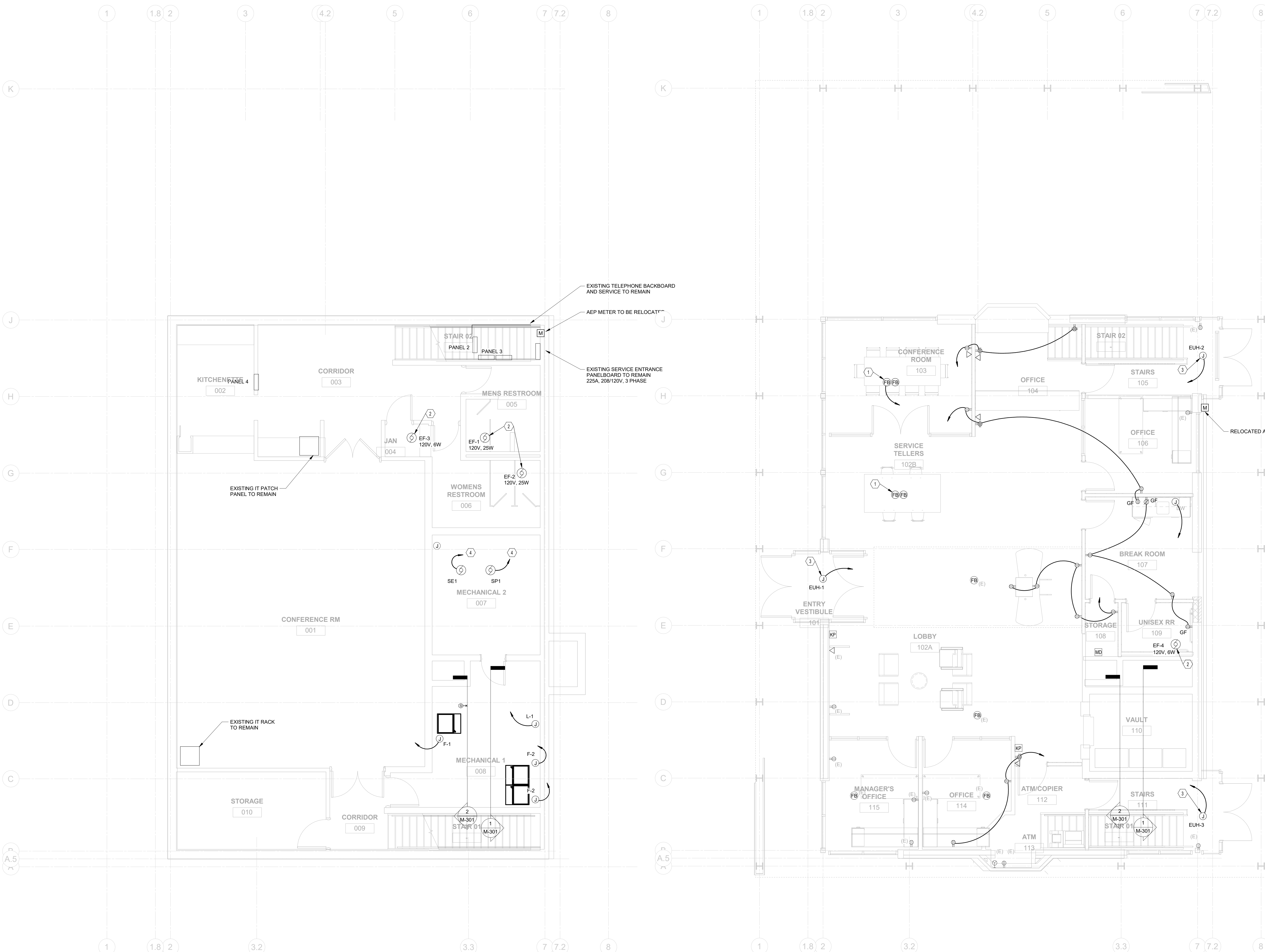
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

DRAWING TITLE:  
**FLOOR PLANS - LIGHTING**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020 DRAWN BY: Author CHECKED BY: Checker 20022 <b>E-101</b> FINAL DEVELOPMENT PLAN
---------------------------------------	--



**1 PLAN** BASEMENT FLOOR PLAN - ELECTRICAL  
 1/4" = 1'-0"

**2 PLAN** FIRST FLOOR PLAN - ELECTRICAL  
 1/4" = 1'-0"

- GENERAL NOTES:**
- A. UNLESS NOTED OTHERWISE NO ELECTRICAL WORK ANTICIPATED IN BASEMENT.
- CODED NOTES:**
1. PROVIDE POKE THRU RECEPTACLE AND DATA OUTLET.
  2. EXHAUST FAN 120V FRACTIONAL HP WITH INTEGRAL DISCONNECT. FAN SHALL BE CIRCUITED AND CONTROLLED WITH LIGHTS SERVING THE SPACE.
  3. ELECTRIC UNIT HEATER, 208V SINGLE PHASE 19.2A WITH INTEGRAL DISCONNECT.
  4. UTILIZE EXISTING CIRCUIT RETAINED FROM DEMOLITION PHASE TO SERVE NEW EQUIPMENT. INTERCEPT CIRCUIT, MATCH WIRE SIZE, MAKE JUNCTIONS AND EXTEND TO NEW EQUIPMENT AS NECESSARY.

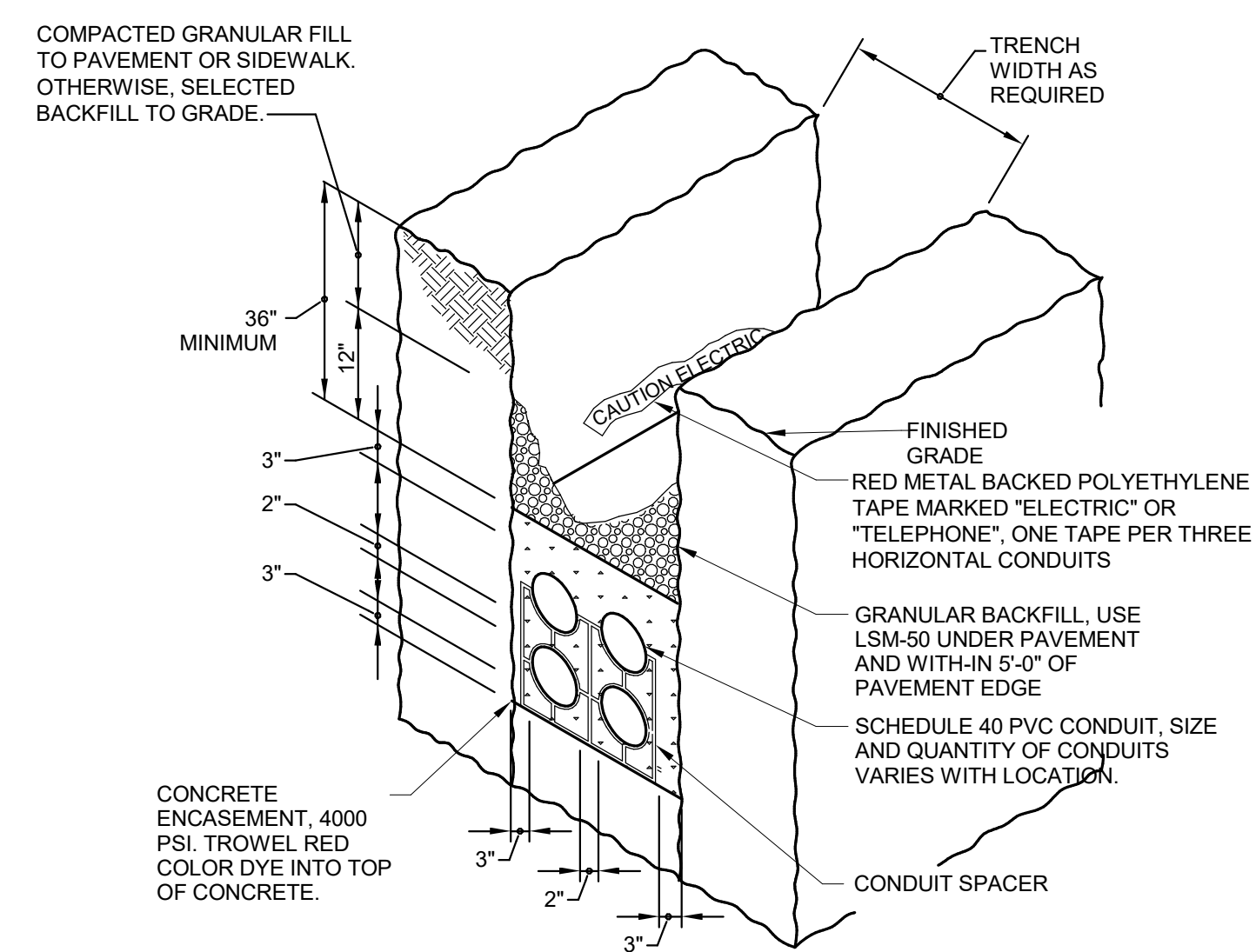
#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
 6500 FRANTZ ROAD  
 DUBLIN, OH 43017  
 FOR  
**HEARTLAND BANK**

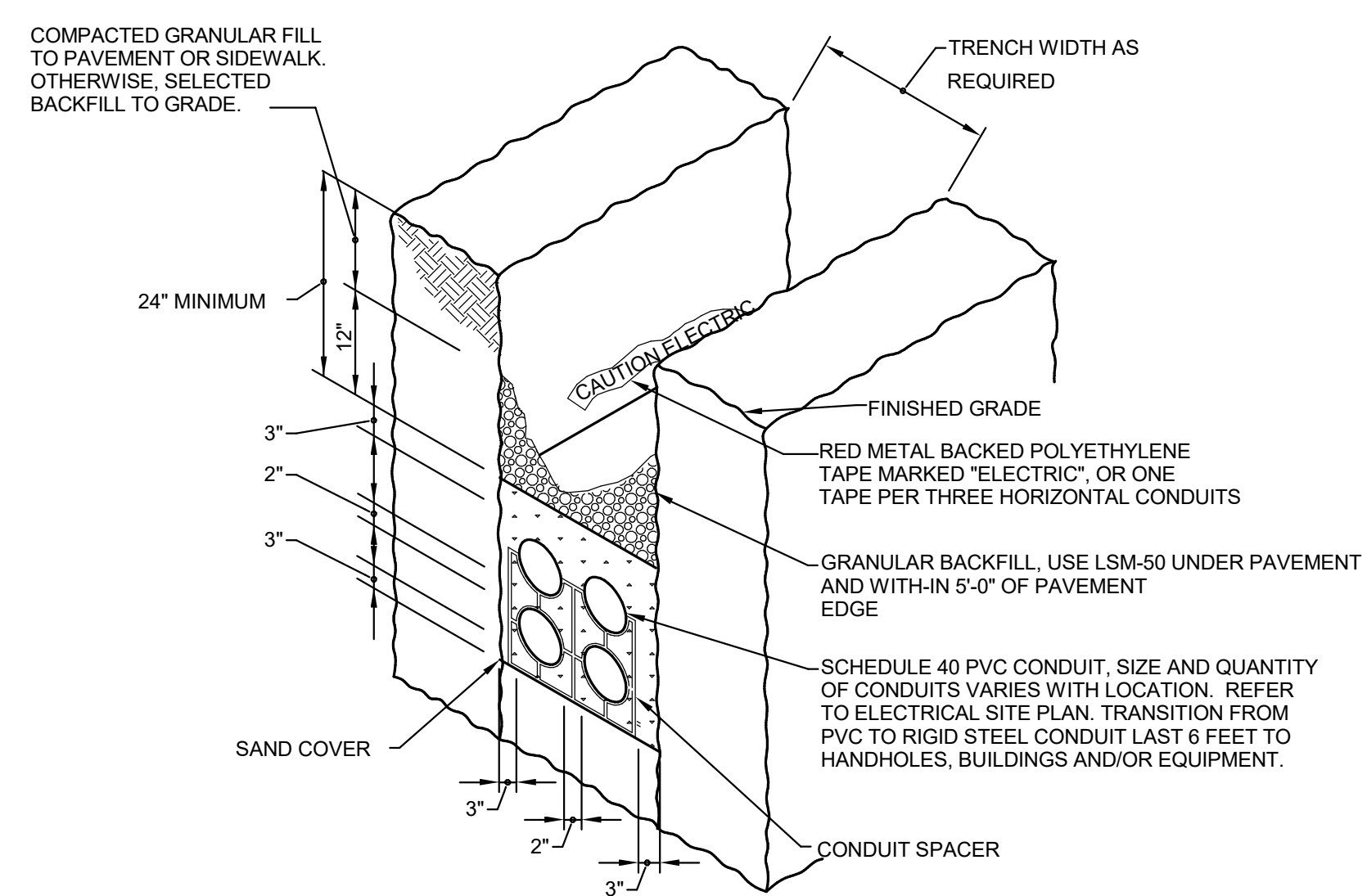
**MOODY-NOLAN**  
 300 SPRUCE STREET  
 SUITE 300  
 COLUMBUS, OHIO 43215  
 PHONE: (614) 461-4664  
 FAX: (614) 280-8881

**FLOOR PLANS - POWER/SYSTEMS**

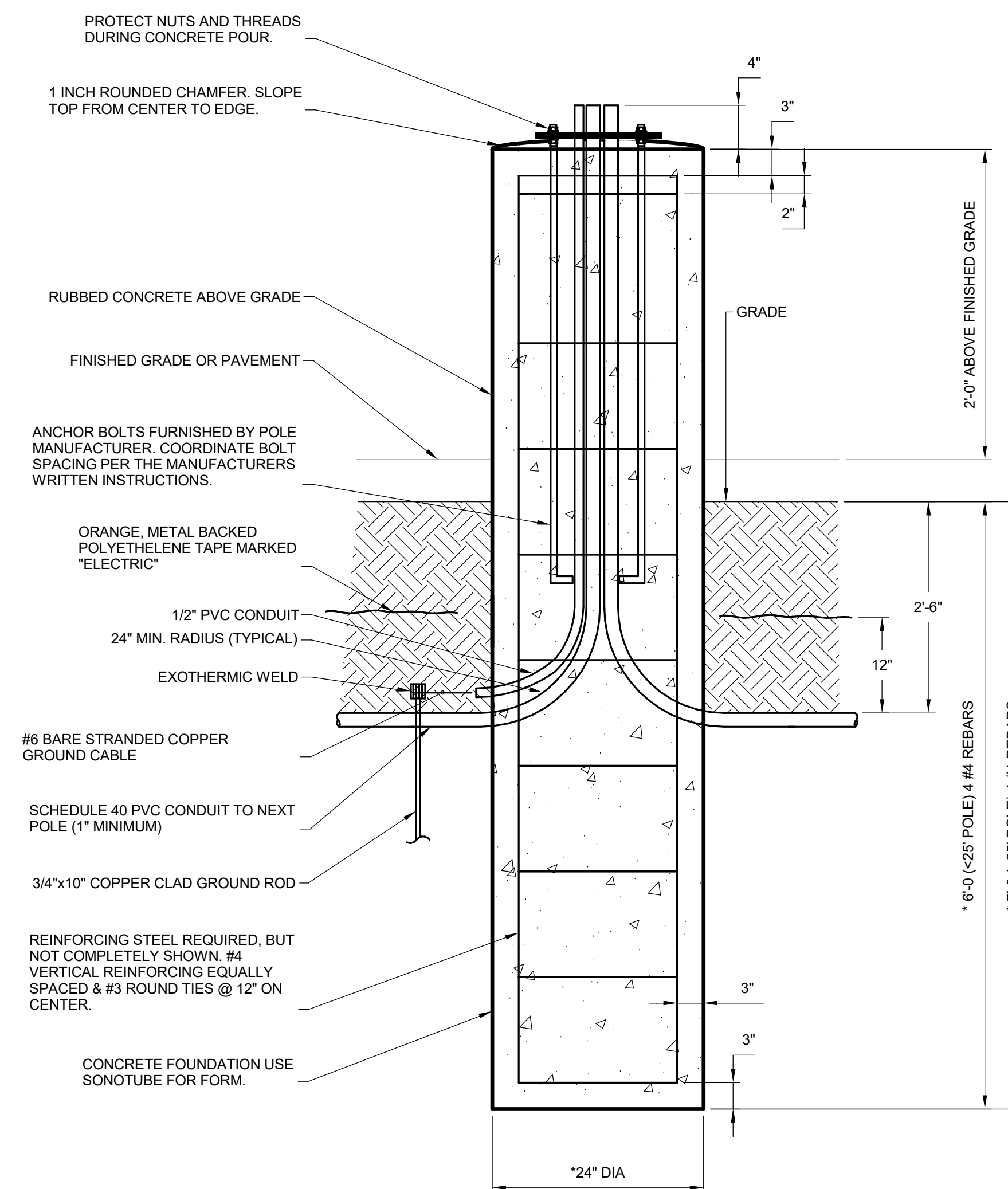
PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>E-201</b>
FINAL DEVELOPMENT PLAN	



**1** **DETAIL - CONCRETE ENCASED CONDUIT**  
NTS



**2** **DETAIL - DIRECT BURIED CONDUIT**  
NTS



**3** **DETAIL - CONCRETE POLE BASE**  
NTS

#	DATE	CHANGE DESCRIPTION

**RENOVATION OF HEARTLAND BANK DUBLIN**  
6500 FRANTZ ROAD  
DUBLIN, OH 43017  
FOR  
**HEARTLAND BANK**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**DETAILS ELECTRICAL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author    CHECKED BY: Checker
	20022
	<b>E-501</b>
FINAL DEVELOPMENT PLAN	

**Panel:**

Location: STAIR 02 -  
Supply From: MOUNTING: Recessed  
Enclosure: Type 1

Volts: 120/208 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 100 A  
MCB Rating: 225 A

CK T	Circuit Description	Trip	Pole s	A	B	C	Pole s	Trip	Circuit Description	CK T
1	(E) UPS	20 A	1	0.0	0.0		1	20 A	(E) EXISTING LOAD	2
3	(E) WEST WALL #1	20 A	1							4
5	(E) SOUTH WALL #2	20 A	1							6
7	(E) WEST WALL #2	20 A	1	0.0	0.0		1	20 A	(E) EAST WALL #2	8
9	SPARE	20 A	1							10
11	(E) IRRIGATION TIMER	20 A	1							12
13	(E) SOUTH WALL #1	20 A	1	0.0	0.0		1	20 A	SPARE	14
15	SPARE	20 A	1							16
17	SPACE	--	--							18
19	SPACE	--	--							20
21	SPACE	--	--							22
23	SPACE	--	--							24
<b>Total Load:</b>				0.0 kVA	0.0 kVA	0.0 kVA				
<b>Total...</b>				0 A	0 A	0 A				
<b>Conn. Load:</b>										
<b>Demand Load:</b>										
<b>Demand...</b>										

**Panel: PANEL 2**

Location: STAIR 02 -  
Supply From: MOUNTING: Recessed  
Enclosure: Type 1

Volts: 120/208 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 100 A  
MCB Rating: 225 A

CK T	Circuit Description	Trip	Pole s	A	B	C	Pole s	Trip	Circuit Description	CK T
1	(E) UPS	30 A	1	0.0	0.0					2
3	(E) WEST WALL #1	20 A	1							4
5	(E) SOUTH WALL #2	20 A	1							6
7	(E) WEST WALL #2	20 A	1	0.0	0.0		3	30 A	(E) SORTER	8
9	SPARE	20 A	1							10
11	(E) IRRIGATION TIMER	20 A	1							12
13	(E) SOUTH WALL #1	20 A	1	0.0	0.0		1	20 A	(E) EAST WALL #3	14
15	SPARE	20 A	1							16
17	SPACE	--	--							18
19	SPACE	--	--							20
21	SPACE	--	--							22
23	SPACE	--	--							24
<b>Total Load:</b>				0.0 kVA	0.0 kVA	0.0 kVA				
<b>Total...</b>				0 A	0 A	0 A				
<b>Conn. Load:</b>										
<b>Demand Load:</b>										
<b>Demand...</b>										

**Panel: PANEL 3**

Location: STAIR 02 -  
Supply From: MOUNTING: Recessed  
Enclosure: Type 1

Volts: 120/208 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 100 A  
MCB Rating: 225 A

CK T	Circuit Description	Trip	Pole s	A	B	C	Pole s	Trip	Circuit Description	CK T
1	(E) MAIN UPS	20 A	2	0.0	0.0					2
3	SPACE	--	--							4
5	SPACE	--	--							6
7	SPACE	--	--							8
<b>Total Load:</b>				0.0 kVA	0.0 kVA	0.0 kVA				
<b>Total...</b>				0 A	0 A	0 A				
<b>Conn. Load:</b>										
<b>Demand Load:</b>										
<b>Demand...</b>										

**Panel: PANEL 4**

Location: KITCHENETTE 002  
Supply From: MOUNTING: Recessed  
Enclosure: Type 1

Volts: 120/208 Wye  
Phases: 3  
Wires: 4

A.I.C. Rating:  
Mains Type:  
Mains Rating: 100 A  
MCB Rating: 100 A

CK T	Circuit Description	Trip	Pole s	A	B	C	Pole s	Trip	Circuit Description	CK T
1	(E) LTG DRIVE THRU	20 A	1	0.0	0.0					2
3	SPARE	20 A	1							4
5	(E) RECEPT DRIVE THRU	20 A	1							6
7	(E) LTG CANOPY	20 A	1	0.0	0.0		1	20 A	(E) RECEPT DRIVE THRU	8
9	(E) LANE RTS (TWIN)	20 A	1							10
11	(E) LANE RTS	20 A	1							12
13	(E) LANE RTS	30 A	1	0.0	0.0		1	20 A	(E) RECEPT/DY...	14
15	(E) LTG EXTERIOR	20 A	1							16
17	(E) LTG EXTERIOR	20 A	1							18
19	(E) LTG SIGN	20 A	1	0.0	0.0		1	20 A	(E) RECEPT DRIVE THRU	20
<b>Total Load:</b>				0.0 kVA	0.0 kVA	0.0 kVA				
<b>Total...</b>				0 A	0 A	0 A				
<b>Conn. Load:</b>										
<b>Demand Load:</b>										
<b>Demand...</b>										

**LUMINAIRE SCHEDULE**

TYPE	DIMENSIONS	MOUNTING	CONSTRUCTION AND FINISH	DESCRIPTION AND OPTIONS	LAMPS	DRIVER(S)	VOLTAGE/OAD	APPROVED MANUFACTURER(S)	
P1			20" SQUARE STEEL POLE (BRONZE)	AREA LIGHT TYPE 3 DISTRIBUTION	4000K	ELECTRONIC 0-10V DRIVER	120/277V 52W	LITHONIA RSX1	
P2			20" SQUARE STEEL POLE (BRONZE)	AREA LIGHT TYPE 4 DISTRIBUTION	4000K	ELECTRONIC 0-10V DRIVER	120/277V 52W	LITHONIA RSX1	
R1	4" DIA x 6" DEEP		RECESSED GRID OR DRYWALL	COLD ROLLED FORMED STEEL, FLAT ACRYLIC LENS	RECESSED DOWN LIGHT MEDIUM DISTRIBUTION	INTEGRAL 4000K 2000 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 18W	GOTHAM EVO4
R2	2"x4" MAX 5.25" DEEP		RECESSED CEILING GRID	STEEL FORMED STEEL, ACRYLIC DIFFUSER	RECESSED TROFFER	INTEGRAL 4000K 4300 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 40W	LITHONIA EPANL
R3	6" X 8" MAX 5.25" DEEP		RECESSED	EXTRUDED ALUMINUM BODY WITH MICROPRISMATIC ACRYLIC LENS	RECESSED LINEAR WET LISTED	INTEGRAL 4000K 375LU/FT	ELECTRONIC 0-10V DRIVER	120/277V 6W/FT	MARK S1LD
S1	6" X 4' 6" DEEP		SUSPENDED	COLD ROLLED FORMED STEEL, FLAT ACRYLIC LENS	LINEAR INDUSTRIAL	INTEGRAL 4000K 4000 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 40W	LITHONIA CLX
S2A	6" X LENGTH AS SHOWN ON DRAWINGS		SUSPENDED	EXTRUDED ALUMINUM BODY WITH MICROPRISMATIC ACRYLIC LENS	LINEAR SUSPENDED DIRECT/INDIRECT	INTEGRAL 4000K 375LU/FT	ELECTRONIC 0-10V DRIVER	120/277V 6W/FT	MARK S1LD
S2B	6" X 4'		SUSPENDED	EXTRUDED ALUMINUM BODY WITH MICROPRISMATIC ACRYLIC LENS	LINEAR SUSPENDED DIRECT/INDIRECT INTEGRAL MOTION SENSOR AND 90 MINUTE BATTERY BACKUP	INTEGRAL 4000K 375LU/FT	ELECTRONIC 0-10V DRIVER	120/277V 6W/FT	MARK S1LD
W1	6" X 2'		SURFACE/WALL	STEEL FORMED STEEL, ACRYLIC DIFFUSER	VANITY LIGHT	INTEGRAL 4000K 1200 LUMENS	ELECTRONIC 0-10v DRIVER	120/277V 18W	ACCESS 62518
W2			SURFACE/WALL	THERMOPLASTIC	REMOTE HEAD WEATHERPROOF	4000K	N/A	9.6V 3W	LITHONIA ERE-GY-SGL-WP-SQ-M12
W3	12.6" X 9.1" X 1.9" DEEP		SURFACE/WALL	LOW PROFILE, THERMOPLASTIC HOUSING, INJECTION-MOLDED	EMERGENCY WALL PACK DUAL HEAD, 90 MINUTE BATTERY	4000K	N/A	120/277V 1.5W	LITHONIA ELMILT
W4	8" X 11" X 3" DEEP		SURFACE/WALL	DIE CAST ALUMINUM HOUSING	WALL PACK INTEGRAL PHOTOCELL	INTEGRAL 4000K 2900 LUMENS	ELECTRONIC 0-10V DRIVER	120/277V 24W	LITHONIA WPX1 LED P2 40K
X1	10.75" X 13" 4" DEEP		UNIVERSAL SURFACE CEILING/WALL	THERMOPLASTIC	UNIVERSAL MOUNT EXIT INTEGRAL EMERGENCY LIGHT BAR NICAD BATTERY	LED	N/A	120/277V 1.5W	LITHONIA ECBR

#	DATE	CHANGE DESCRIPTION



DRAWING TITLE:

**SCHEDULES - ELECTRICAL**

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/30/2020
	DRAWN BY: Author CHECKED BY: Checker
	20022
	<b>E-601</b>
	FINAL DEVELOPMENT PLAN



**CATEGORY**  
Stone Gallery

Connecticut Whiteline Granite is a rustic textural granite featuring a blend of grays, blues and tans and highlighted with its characteristic white lines.

