

METROCENTER
PB 55 PR 849
THE PRUDENTIAL INSURANCE COMPANY OF AMERICA
4

Ex. 21' Sanitary Sewer
138.15'
3 65° 58' 43" W

N 06° 37' 26" E 380.72'

PINNEY ROAD

N 65° 53' 37" E 167.35'

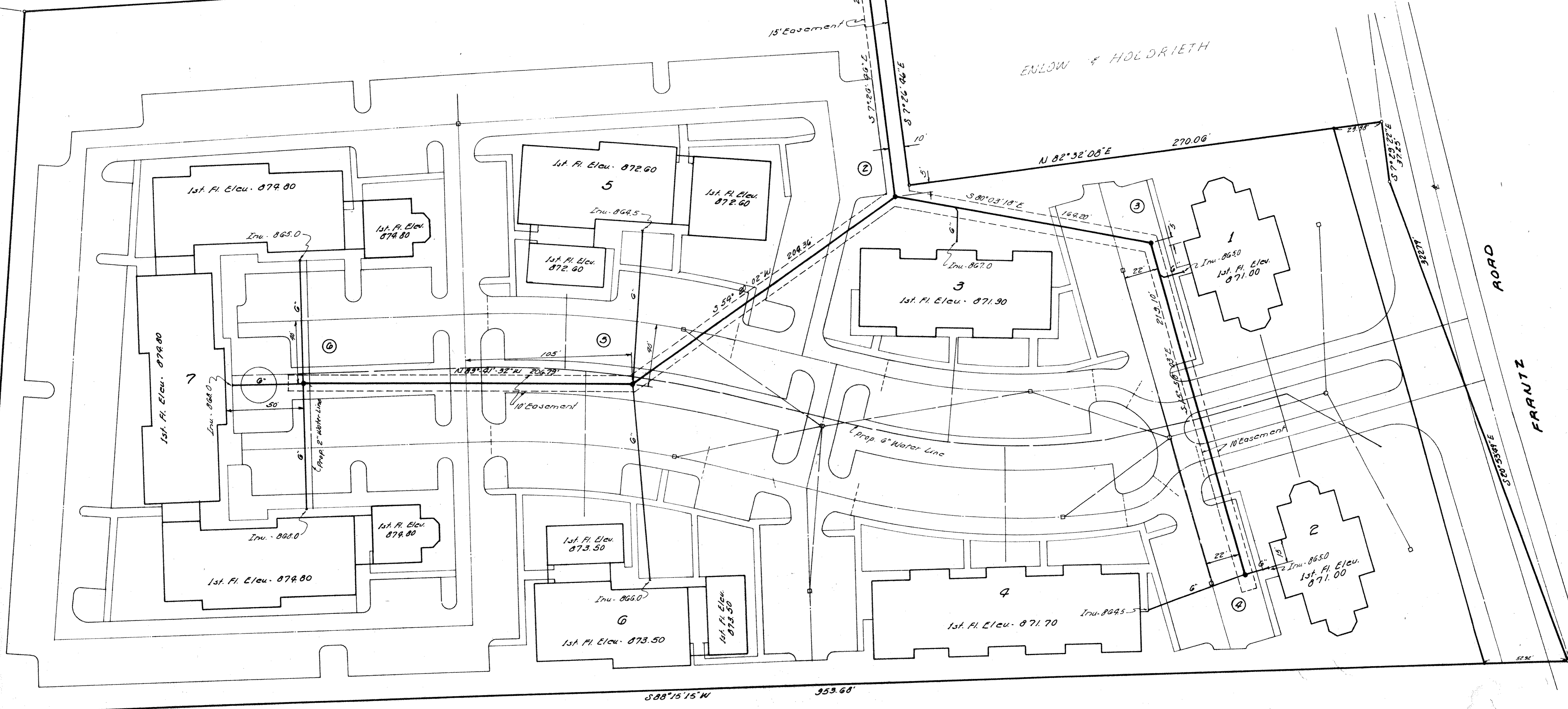
229.60'
202.08'
15' Easement

ENLOW & HOLDRIETH

N 02° 32' 08" E 270.06'

THE CORPORATE CENTER, INC.
N 3° 51' 28" E 990.78'

FRANTZ ROAD
S 20° 53' 47" E



PARKWAY PROFESSIONAL CONDOMINIUM

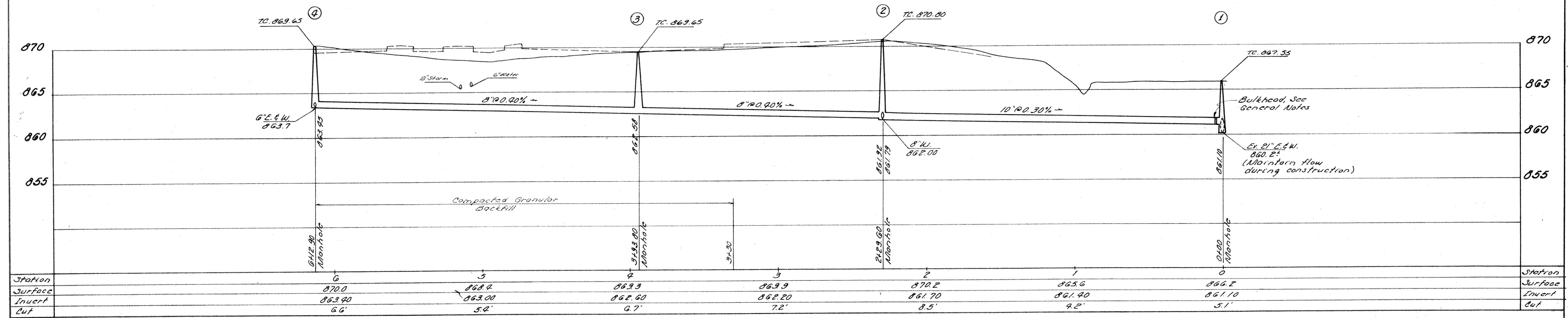
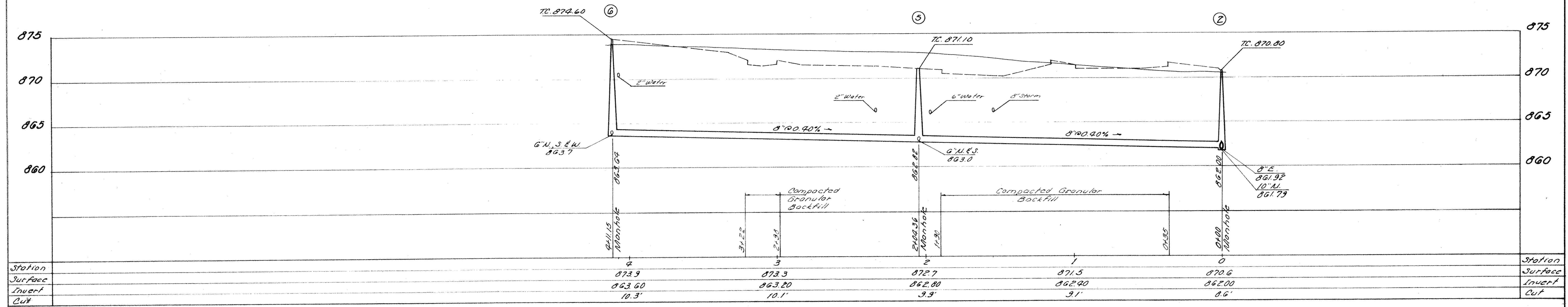
DUBLIN TECH MART COMPANY

SANITARY SEWER IMPROVEMENT
for
MILLENIUM

BAUER, DAVIDSON & MERCHANT, INC.
CONSULTING ENGINEERS
2607 1/2 North High Street
Columbus, Ohio
Scale: 1" = 30'
March 1986

SALE-ORIGINAUSE DUBLIN

FINAL DEVELOPMENT PLAN SHEET 3/7



SANITARY SEWER IMPROVEMENT
for
MILLENNIUM

BAUER, DAVIDSON & MERCHANT, INC.
CONSULTING ENGINEERS
2607 1/2 North High Street
Columbus, Ohio
Scale: Horiz. 1" = 30'
Vert. 1" = 3'
March, 1986

SAW - ORIGINALS @ DUBLIN

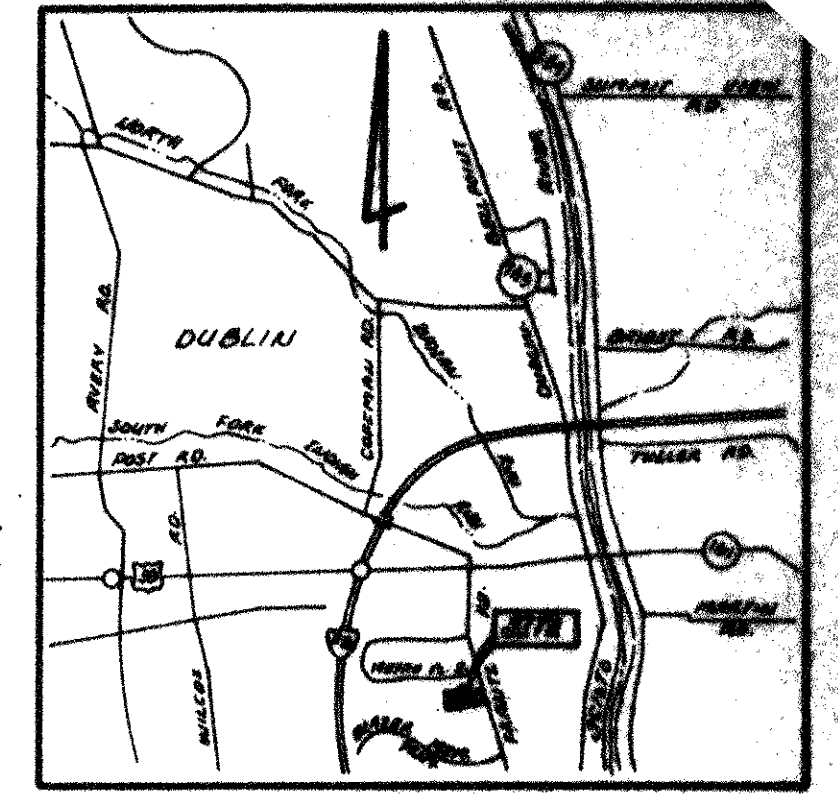
BENCH MARKS

Franklin County V-20
 Brass plate in C.M. at intersection of Pinney Rd. and Frantz Rd., 41.5 feet W. of centerline of Frantz Rd. southbound lanes, 28.3 ft. S.W. of T/Pole No. 321A 285, 78 ft. S. of E. of Pinney Rd., 0.5 E. of a W.P. 1 ft. deep, access thru a large diameter plastic pipe. Elev. 864.460

Franklin County V-21
 Brass plate in C.M. at junction of S.R. 161 and Frantz Rd., in front of the Ohio Federal Bank, 78.5 ft. N. of E. of Bank exit Dr., 63.8 ft. S. of E. of S.R. 161 eastbound lanes, 56.7 ft. E. of E. of Frantz Rd., 12.7 ft. S.W. of concrete base for bank sign, 2 ft. N. of a W.P. Elev. 865.590

PP 253

Situated in the State of Ohio, County of Franklin, Village of Dublin, being in Virginia Military Survey No. 2419, containing 8.337 acres of land, more or less, 7.116 acres of said 8.337 acres being out of that 7.833 acre tract of land described in the deed to Mary A. Windle et al, of record in Deed Book 3705, Page 23, and 0.821 acres of said 8.337 acres being out of that 0.804 acre tract of land described in the deed to Mary A. Windle, of record in the Recorder's Office, Franklin County, Ohio.



LOCATION MAP
 Scale: 1" = 1 Mile



BUILDING & PARKING DATA

	AREA	O.A. LENGTH	O.A. WIDTH	PARKING REQUIRED	AS BUILT * PARKING
Building 1 (1 story)	4000 SF	98'	58'	16	19 *
Building 2 (1 story)	4000 SF	98'	58'	16	19 *
Building 3 (1 story)	5760 SF	126'	55'	23	23
Building 4 (1 story)	8060 SF	170'	55'	33	33
Building 5 (2 story)	16,120 SF	134'	116'	64	64
Building 6 (2 story)	13,820 SF	134'	92'	56	56
Building 7 (2 story)	41,470 SF	278'	188'	165	165
				373 Total	379 *



SURVEYOR'S CERTIFICATE

We do hereby certify that we have surveyed the subject premises and prepared the attached plat. All dimensions are shown in feet and decimal parts thereof. Dimensions shown along curved lines are shown in arc measurements. All points are marked by the following symbols:

BAUER, DAVIDSON & MERCHANT, INC.
 CONSULTING ENGINEERS
 by William W. Markauf 4-4-86
 Registered Surveyor

Total acreage of the area (within solid heavy boundary) of this Final Development Plan is 8.337 acres.

"AS BUILT" PARKING
BOUNDARY MAP AND
SITE DIMENSION PLAN
 for
MILLENNIUM

APPROVED BY PLANNING COMMISSION
Bruce H. Warner 4/9/86
 Engineer Village of Dublin, Ohio
Ronald W. Taylor 4/15/86
 Chairman Planning Commission Village of Dublin, Ohio

* Revised 1-13-87
 Revised 1-21-87

BAUER, DAVIDSON & MERCHANT, INC.
 CONSULTING ENGINEERS
 2607 1/2 N. HIGH STREET
 COLUMBUS, OHIO
 SCALE: 1" = 30'
 March, 1986

FINAL DEVELOPMENT PLAN SHEET 1/7

- (A) 1-30° 41' 27" R=40 T=16.85 Ch=31.06' L=31.90'
- (B) 1-37° 21' 45" R=20 T=13.56 Ch=25.69' L=26.15'
- (C) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (D) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (E) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (F) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (G) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (H) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (I) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (J) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (K) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (L) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (M) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (N) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (O) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (P) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (Q) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (R) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (S) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (T) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (U) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (V) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (W) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (X) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (Y) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'
- (Z) 1-37° 09' 49" R=20 T=13.56 Ch=25.69' L=26.15'

THE CORPORATE CENTER, INC.

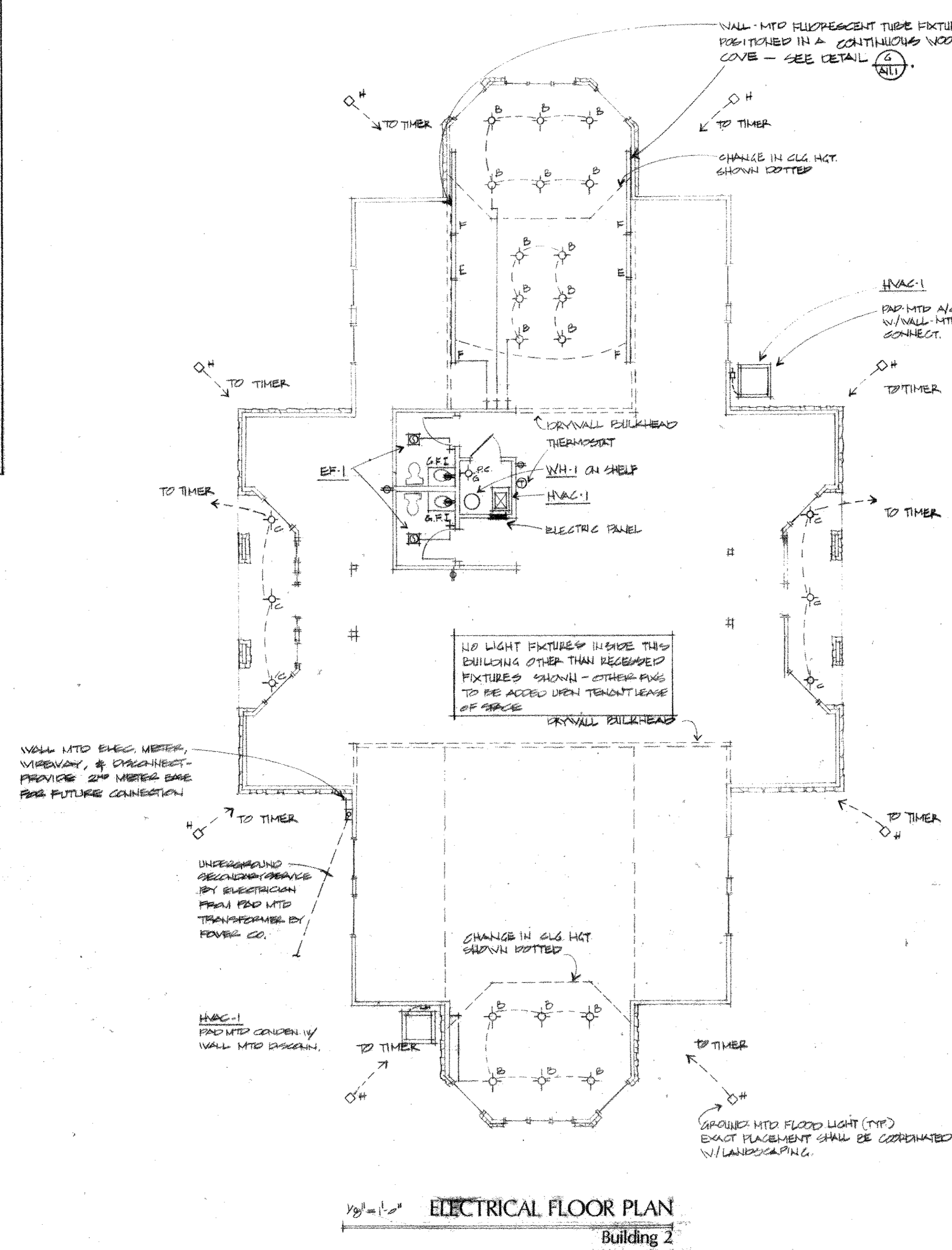
VILLAGE OF DUBLIN
 Point of Beginning
 600' to Street
 1/2-inch Solid Iron Pin

ELECTRICAL SYMBOLS LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	Surface Incandescent		Toggle Switch - Single
	Exhaust Fan		Toggle Switch - 3 Way
	Exhaust Fan/Light Combo		Toggle Switch - 4 Way
	Junction Box		Safety Switch/Disconnect
	Lamp Holder w/ Pull Switch		Communications Special Outlet
	Exit Light Outlet		Fire Alarm Pull Station
	Duplex Receptacle		Fire Alarm Speaker
	Duplex Receptacle (Waterproof)		Fire Alarm Bell
	Duplex Receptacle (Split Wiring)		Emergency Light
	Special Voltage Outlet		Thermostat
	GFI Protected Circuit		TV Jack
	Clock Hanger Receptacle		Smoke Detector
	Floor Duplex Outlet		Radiant Heater
	Floor Telephone Jack		Motor
	Telephone Outlet/Jack		Electric Panel
	Public Telephone		

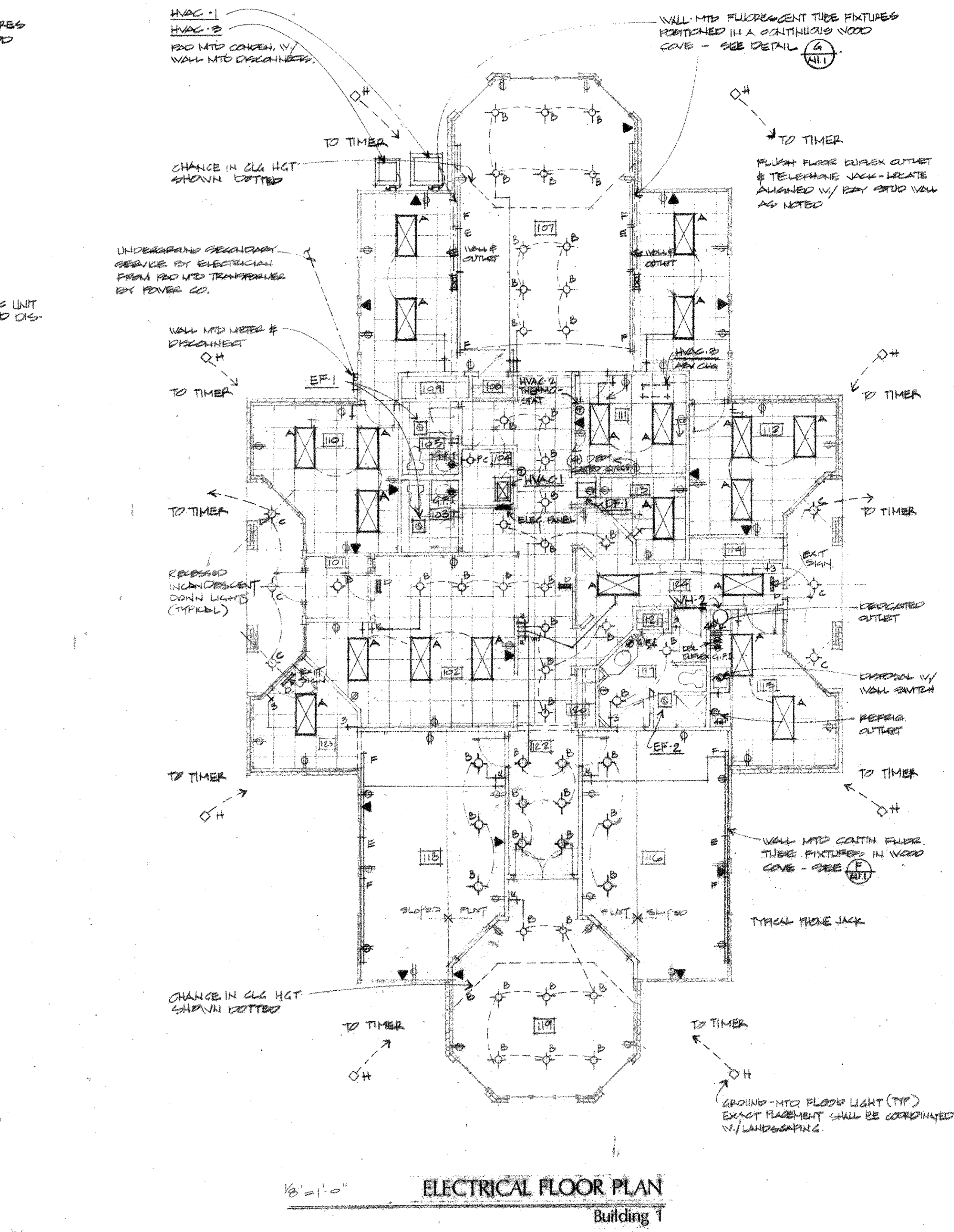
- GENERAL ELECTRICAL NOTES**
- All electrical work shall conform to the National Electric Code, current edition.
 - Electrical contractor shall tabulate loads from all new work and verify that electric service, panels, breakers, and wire are properly sized to handle loads. Electrical contractor shall supply and install all fixtures, junction boxes, outlets, switches and wiring shown on the drawings and needed for a complete job.
 - Electrical contractor shall install service to all new equipment only from approved shop drawings of such equipment, which shows and dimensions all connection points. Submit shop drawings showing all new panels, circuiting, breakers, etc. to Architect for approval.
 - Direct burial PVC conduit may be substituted for under slab work if installed according to NEC and approved by local authorities having jurisdiction. Sweep elbows penetrating the slab shall be steel. No PVC conduit of any type shall be installed penetrating the slab or above slab.
 - Service entrance cable sizes are based on aluminum. All other wire sizes are based on copper. Aluminum wire may be substituted for copper from transformer to main switchgear if approved by local power co. Feeder wire and conduit from switchgear to power panels may be changed to aluminum if resized in accordance with N. E. C.
 - All exit lights shall be battery-pack type exit lights, and shall be wired into a power circuit ahead of any switching.
 - Wiring run thru masonry shall be in conduit, installed as the masonry is laid up. Wiring may be run in the wall insulation space and may be Romex type if approved by code. Underground wiring shall be direct burial type.
 - Electrical contractor shall co-ordinate telephone system installation at outlet locations shown on plans, and provide all labor and materials not supplied by the telephone company, but needed for a complete job.
 - All light fixtures shall be as noted on the plans and cut sheets shall be submitted to the Architect for approval prior to ordering the fixtures.
 - Electrical contractor shall test all wiring for continuity and grounds before fixture installation, and shall then test the entire system in the presence of the Architect upon completion to ensure the absence of short circuits and grounds.
 - All electric panels exposed to view shall have the covers and doors painted with semi-gloss paint to match adjacent walls, as specified under the painting specification.
 - All duplex outlets and communication junction boxes shall be at 12" above the floor unless noted otherwise. Outlets shall not be located in the same stud space on opposite sides of a common wall.

LIGHT FIXTURE SCHEDULE

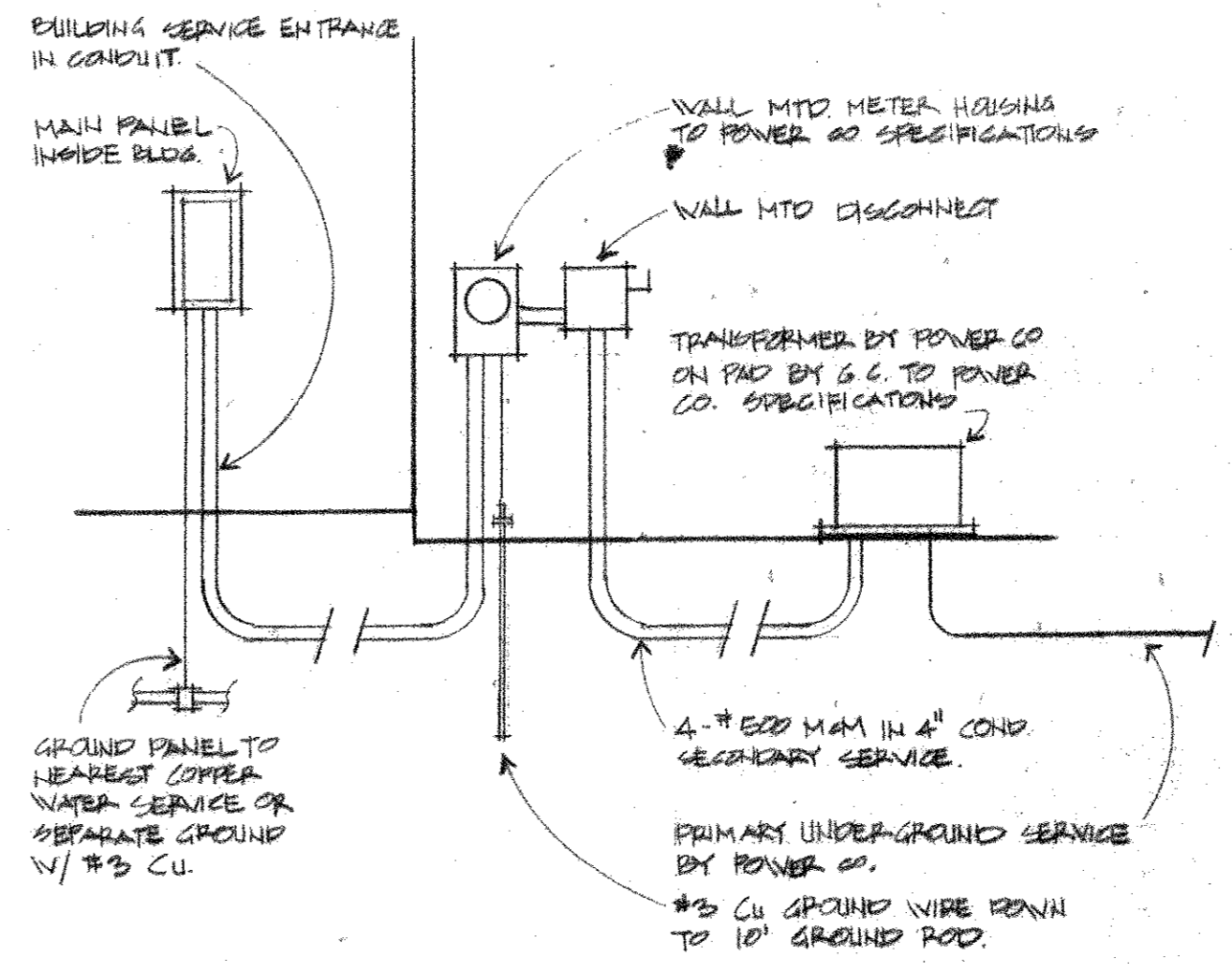
Mark	Description
A	2 x 4 Fluorescent lay-in
B	Recessed incandescent can downlight (interior)
C	Recessed incand. can downlight, lamp location (ext)
D	Exit light, ceiling mounted, w/ reserve battery power
E	4' L bare fluorescent tube, mounted in cove
F	8' L bare fluorescent tube, mounted in cove
G	Porcelain pull chain w/ incandescent lamp
H	Exterior ground mounted spot, Lucalux lamp



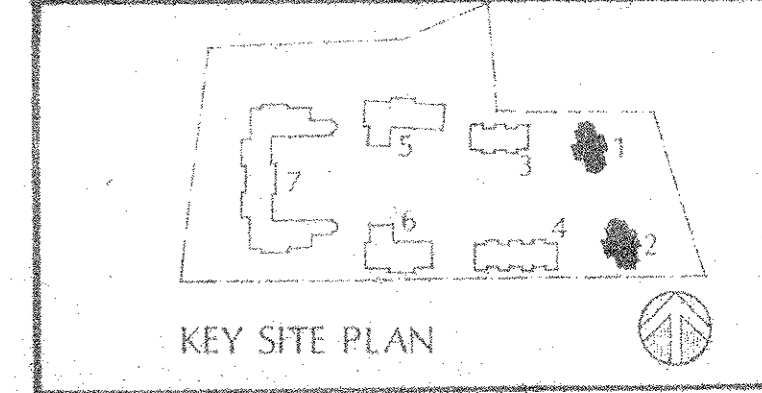
1/8" = 1'-0" ELECTRICAL FLOOR PLAN Building 2



1/8" = 1'-0" ELECTRICAL FLOOR PLAN Building 1



Power Riser Diagram

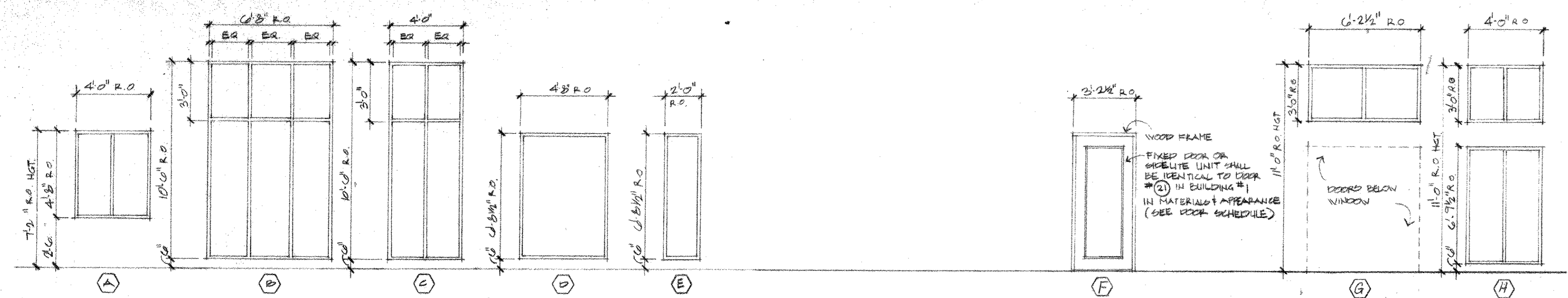


KEY SITE PLAN

JESTER, JONES and FELTHAM ARCHITECTS / PLANNERS
The Kelly House, 247 North Prospect Street, Marion, Ohio 43302 614-382-6840
Columbus Office: 3933 Donnybone Blvd., Columbus, Ohio 43220 614-761-1707

MILLENNIUM
Dublin, Ohio
Frantz Rd.

JUNE 21, 1988



WOOD WINDOW NOTES
(for Buildings 1 & 2)

1. Typical fixed window units shall be Manufacturer's standard wood frame, 4 1/2" (nom) with 1" insulating tempered glass. All glazing shall conform to the requirements of IRC 1609.2 Part 2.01. Submit evidence of compliance to owner. Glazing material shall be min 1/4" thick per lite.
2. Wood frames & sash to have factory finish (clad or special coated) on exterior surfaces; bare wood, prepared for staining and varnishing on interior surfaces.
3. Exterior light of glazing to be tinted cool grey.
4. Submit complete shop drawings and specifications for all windows.

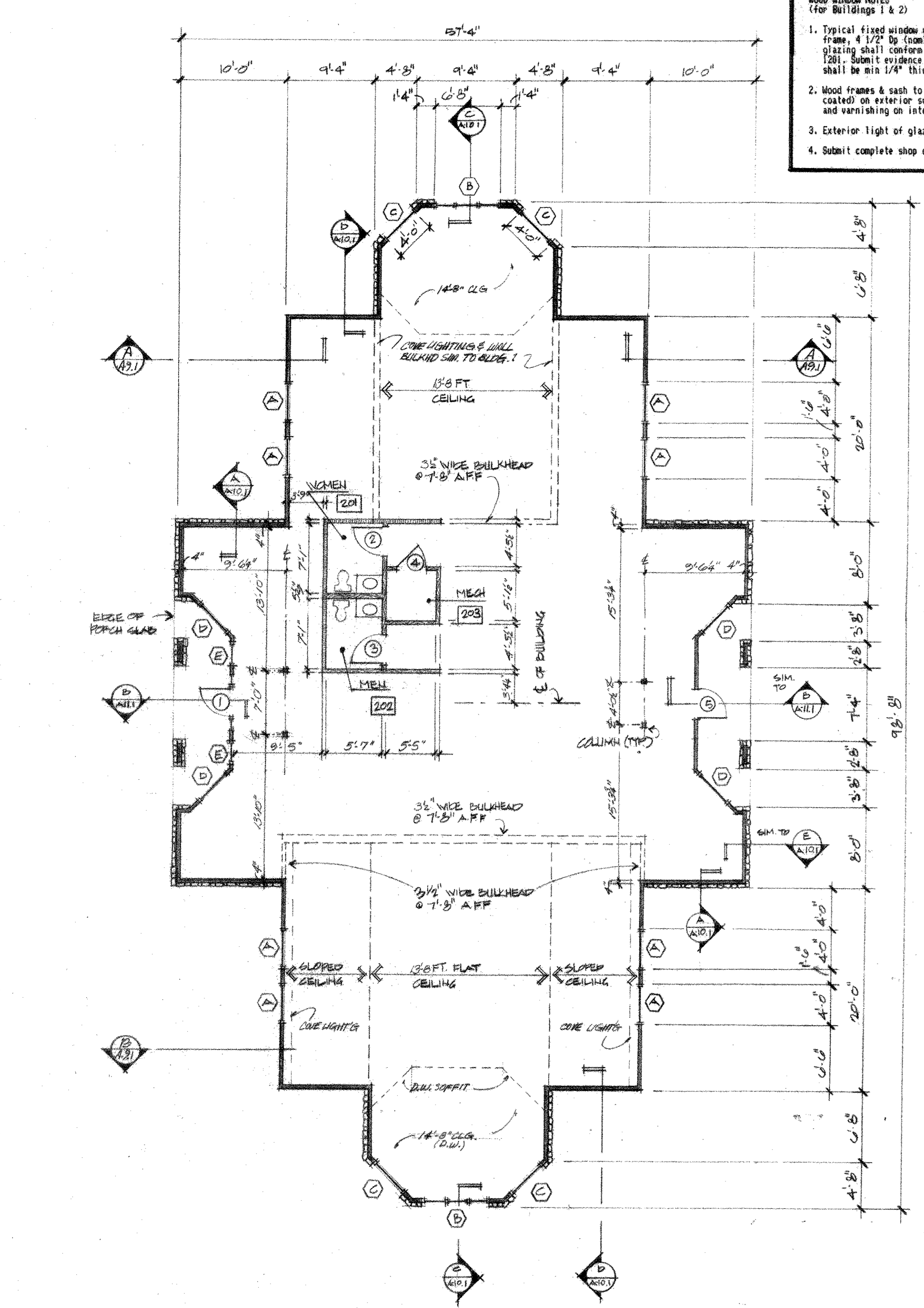
WINDOW ELEVATIONS

ROOM TREATMENT SCHEDULE

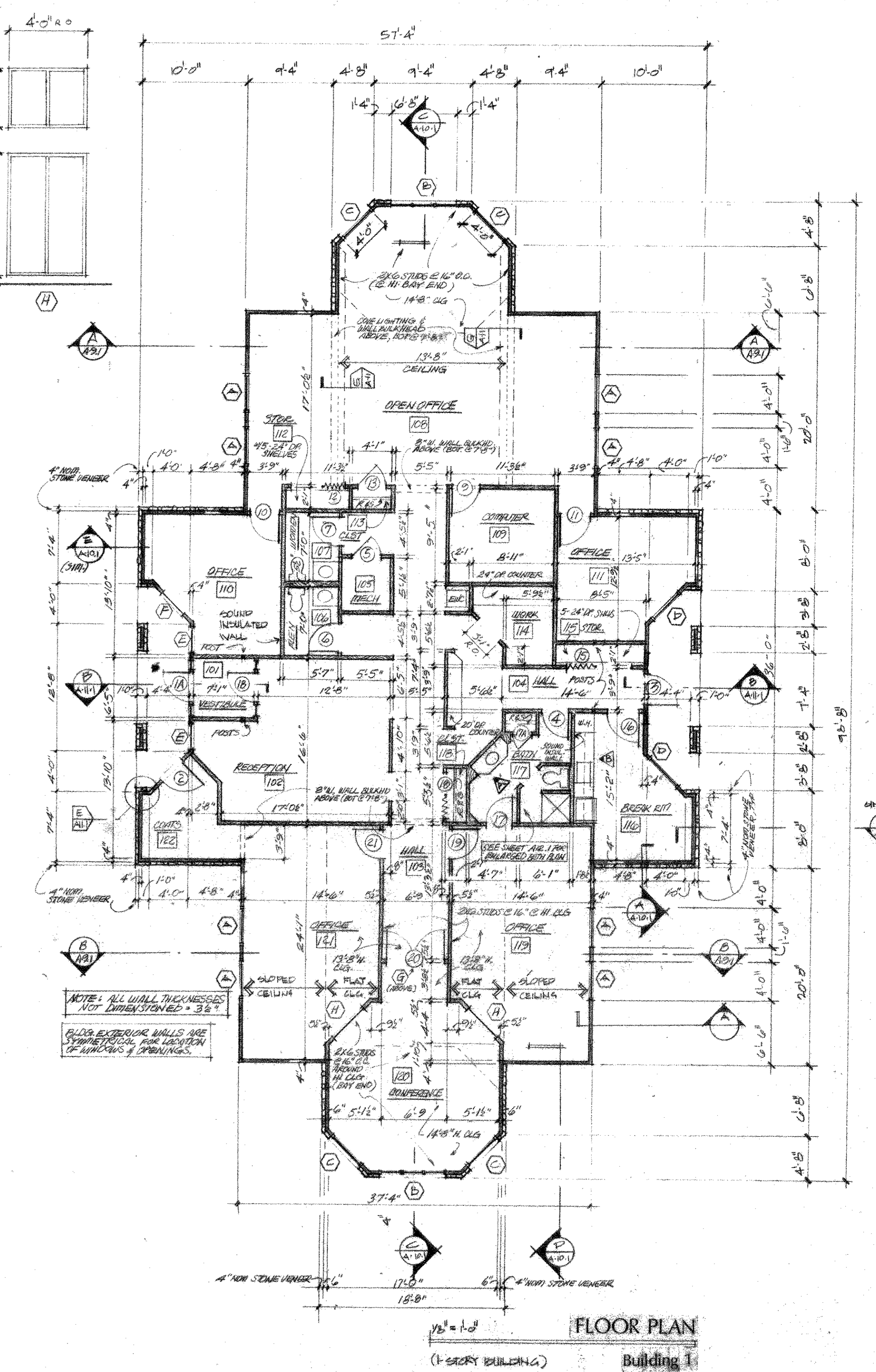
RM NUM	NAME	FLOOR	BASE	WALLS	CEILING (HGT)
Building 1:					
101	Vestibule	Carpet	Cer Tile "A"	Vinyl W.C. Acoust.	(8'-0")
102	Reception	Carpet	Cer Tile "A"	Vinyl W.C. Acoust.	(8'-0")
103	Hall	Carpet	Cer Tile "A"	Vinyl W.C. Acoust.	(8'-0")
104	Hall	Carpet	Cer Tile "A"	Vinyl W.C. Acoust.	(8'-0")
105	Mechanical	Carpet	Cer Tile "A"	Vinyl W.C. Acoust.	(8'-0")
106	Mens Rm	Carpet	Cer Tile "B"	Vinyl W.C. Acoust.	(8'-0")
107	Women's Rm	Carpet	Cer Tile "B"	Vinyl W.C. Acoust.	(8'-0")
108	Open Office	Carpet	Cer Tile "B"	Vinyl W.C. Acoust.	(8'-0")
109	Computer	Carpet	Cer Tile "B"	Vinyl W.C. Acoust.	(8'-0")
110	Office	Carpet	Cer Tile "B"	Vinyl W.C. Acoust.	(8'-0")
111	Office	Carpet	Cer Tile "B"	Vinyl W.C. Acoust.	(8'-0")
112	Stor Clst	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
113	Coat Clst	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
114	Work Rm	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
115	Stor Clst	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
116	Break Rm	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
117	Bath Rm	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
117A	Coat Clst	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
118	Coat Clst	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
119	Office	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
120	Conference	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
121	Office	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")
Building 2:					
203	Mechanical	Vinyl Tile	Vinyl	Vinyl W.C.	DM-PAINT (8'-0")
202	Mens Rm	Carpet	Cer Tile "B"	Vinyl W.C.	DM-PAINT (8'-0")
201	Women's Rm	Carpet	Cer Tile "B"	Vinyl W.C.	DM-PAINT (8'-0")
204	Open Office	Carpet	Cer Tile "B"	DM-PAINT	Acoust. (8'-0")

FINISH NOTES:
Buildings 1 & 2:

1. CERAMIC TILE - nom. 4 x 4 floor units; core base units; provide bullnose edge units for exposed edge conditions. Thin set system on slab. Types "A" & "B", in designated locations on floor plan.
2. ACUSTICAL LAY-IN CEILING - 2 x 2, recessed edge, off-white panels; matching color Tee suspension system. Ceiling at 8'-0" AFF, typical.
3. INTERIOR WOOD TRIM - Red Oak; profiles for base and wood door & window casings as detailed on Sheet A-7.1; 1 x 3 wood window stools.
4. PAINT - Exterior Wood: 2 coats opaque wood stain (Olympic as standard).
Color "A" for siding, "B" for trim.
Exterior Doors: filler, stain & 2 coats satin polyurethane finish.
Windows: Exterior Sides primed & 2 coats opaque stain, Type "B" (Trim Color). Interior Sides same as interior wood trim.
Interior Wood Trim, Doors, Shelving: filler, stain & 2 coats satin varnish.
Interior Drywall: primer & 2 coats flat latex.
Drywall Ceilings: smooth finish, flat ceiling white.
5. CABINETRY - Base & Wall Cabinets, Countertop as per interior elevations on Sheet A-7.1.
6. SHELVING - Full length rod & shelf in closets with "R" & "S" noted, 5 shelves, 26" Dp, full length in all storage areas noted. All shelves 3/4" premium finish plywood, with let-in hardwood edges; continuous support at back & side wall and intermediate supports at 24" OC at front. Finish shelving as per interior wood trim.
7. HANDICAP TOILET REQUIREMENTS -
WATER CLOSETS - Provide wall mounted GRAB BARS 42" Lg at 33" AFF with front of bar 24" in front of the water closet & 24" Lg bar at 33" AFF centered behind toilet. Bar shall have a 1-1/2" clearance to the wall. WATER CLOSET SEAT shall be between 16" to 19" above the floor. Trap shall not extend in front of, or be flush with, the lip of the bowl.
LABORATORY - Top of laboratory shall be a maximum of 32" AFF. An unobstructed knee clearance, a minimum of 27" H X 9" deep from the face of the laboratory shall be provided. An unobstructed toe clearance, a minimum of 9" H X 9" Dp from the laboratory wall, shall also be provided.
MISCELLANEOUS - Any shelf, disposal unit, or the lower edge of a mirror shall not be more than 38" AFF. A towel dispenser, sanitary napkin dispenser or electric hand dryer shall not be more than 48" AFF.
8. UTILITIES - Mechanical Room, equipped with the main HVAC unit for the building, the main electrical panel, a 5 gal. water heater and 24 x 24 Service Sink. The mechanical room shall also be equipped with a limited area sprinkler system, consisting of a single sprinkler head taken off the domestic water supply line.



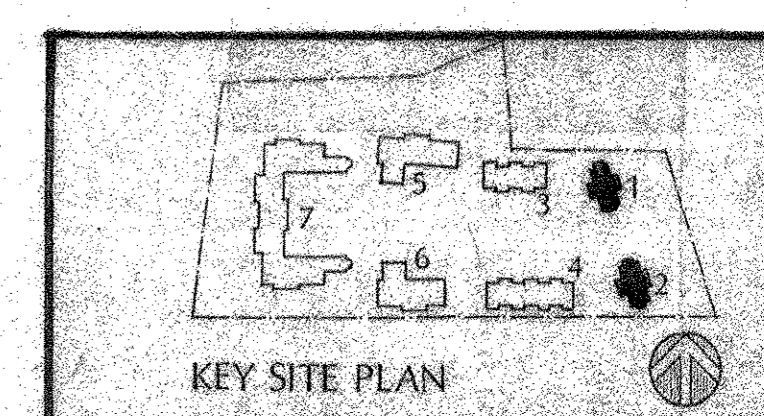
FLOOR PLAN
(1-STORY BUILDING)
Building 2

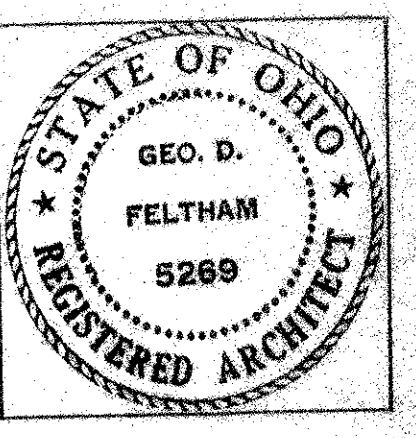


FLOOR PLAN
(1-STORY BUILDING)
Building 1

MATERIALS LEGEND

- 24 Stds at 16" o.c. - exterior, sheathed and insulated; with storm-door - see wall sections for attachment details & exterior elevations for special cladding.
- 24 Stds at 16" o.c. - exterior, sheathed and insulated; with storm-door - see wall sections for attachment details & exterior elevations for trimwork locations.
- 24 Stds at 16" o.c. - exterior separation wall - (1) fire rated assembly to underside of roof sheathing - sound insulated.
- 24 Stds at 16" o.c. - 1/2" masonry interior partition.



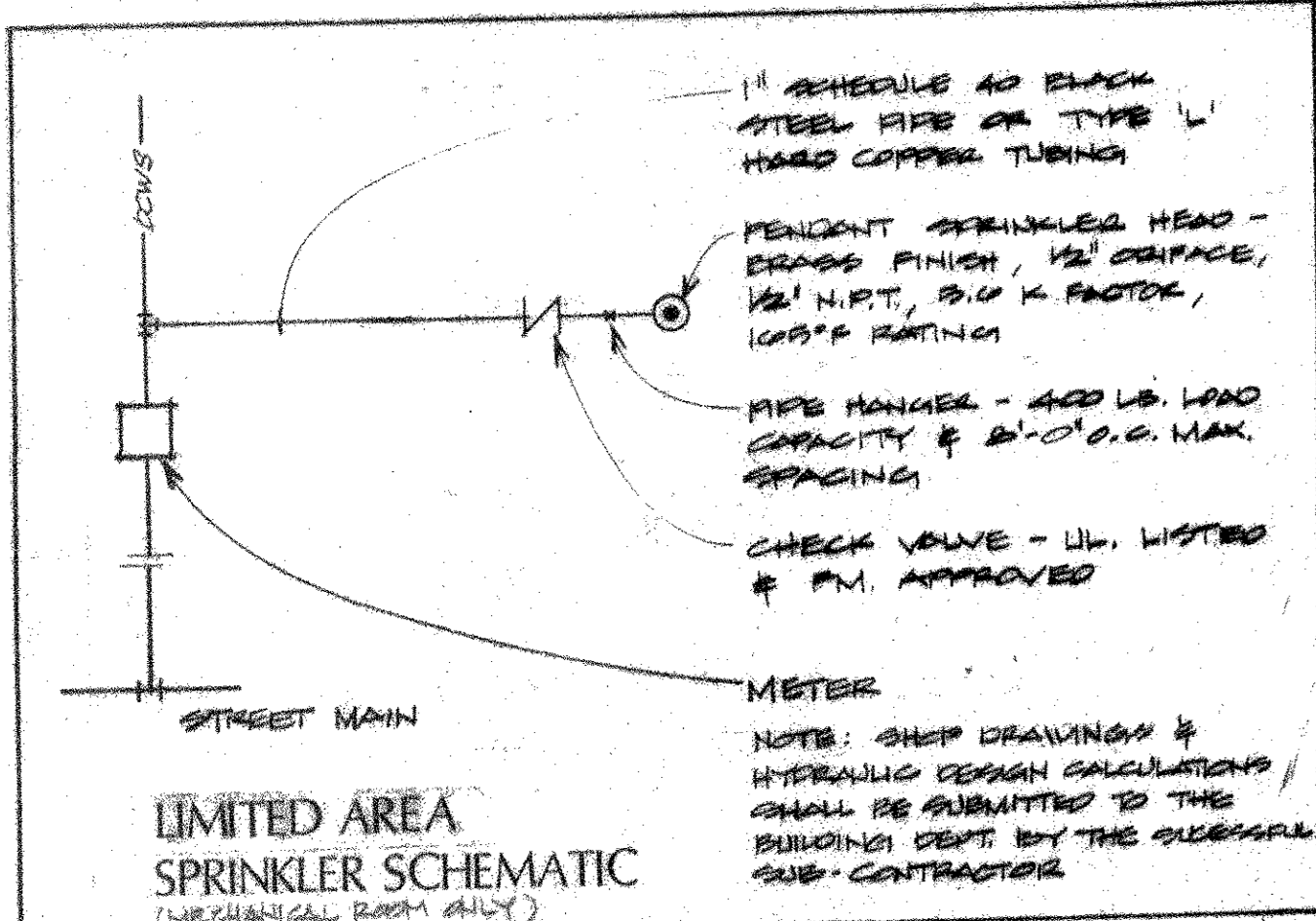


GENERAL PLUMBING NOTES

- All new work shall conform to current Ohio Building Code, National Plumbing Code, Ohio Sanitary Code, County Board of Health regulations, and any other applicable codes or requirements. Plumbing contractor shall verify all existing utilities, acquire and pay for all permits, certificates, and inspections, and perform all work for installation of gas, water, and sewer utilities.
- Co-ordinate all work with other trades through the general contractor, and notify the architect of any major installation changes.
- Provide steel sleeves where pipe penetrates masonry, and pack sleeves at completion of work. Copper piping penetrating poured-in-place concrete shall be wrapped in Armaflex at all penetrations.
- Tag all valves for domestic cold water, domestic hot water, and sprinkler lines.
- Plumbing fixtures and trim shown on the drawings shall be as selected by the Owner; cut-sheets with color chart shall be submitted to the Architect for approval.
- All floor drains in concrete shall be set 1" below slab level. Concrete contractor shall slope floor to drains.
- All hose bibbs shall be vacuum breaker type (1/2" stem minimum). All hose bibbs shall have shut-off inside building as shown.
- All hot and cold water supply lines shall be run concealed in chases or walls provided except as specifically noted as exposed piping.
- Wrap all exposed hot and cold water lines w/ min. 1/2" Armaflex pipe insulation and tape all joints.
- Provide unions and upstream shut-off valve at pumps, water heaters, water meter, and other items of equipment which can be removed or replaced.
- Limited area sprinkler system shall meet all requirements of current Ohio Building Code, State Fire Marshal, State Fire Code, NFPA-13, and NFPA-101. Contractor shall be responsible for securing and paying for permit prior to system installation.

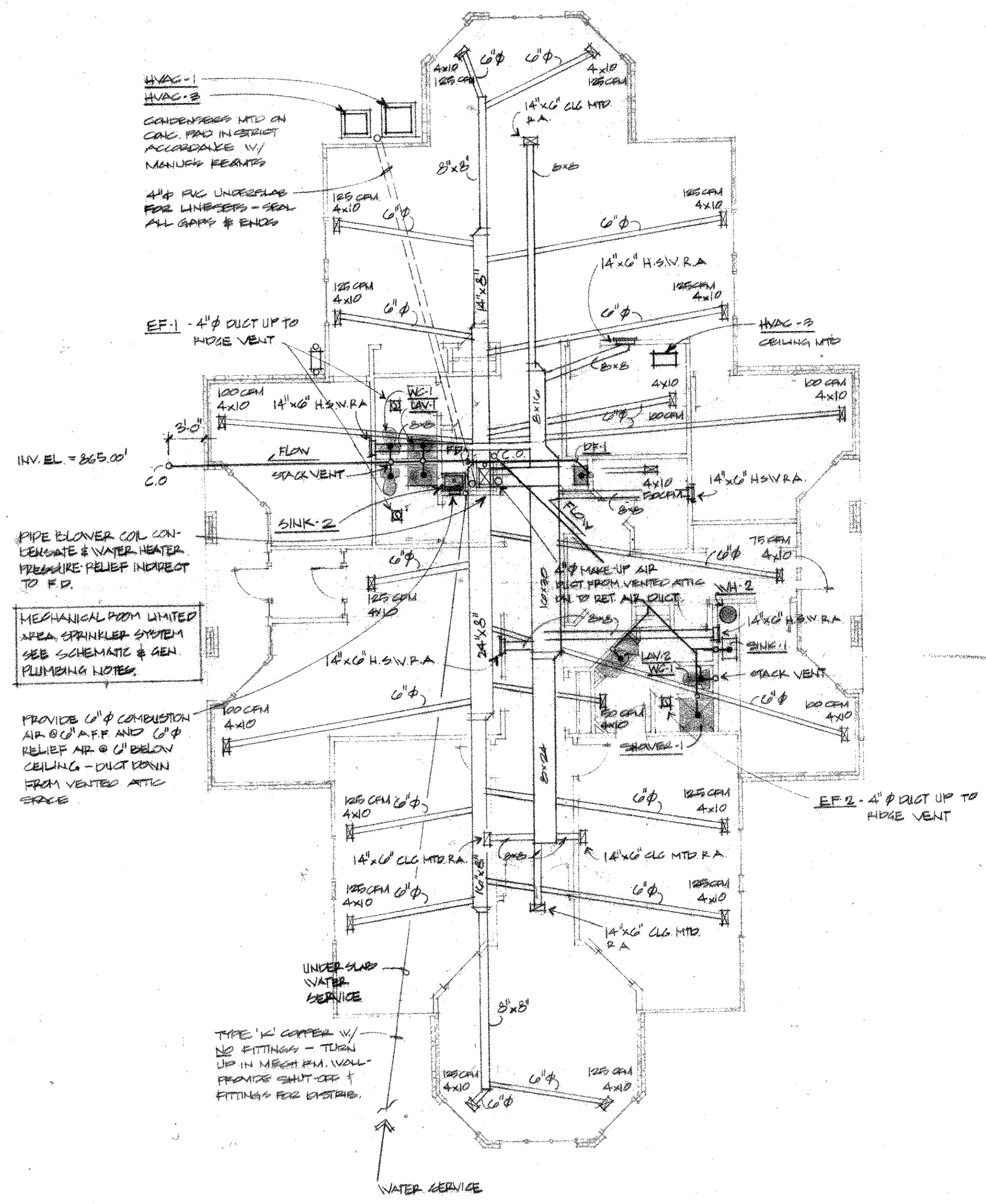
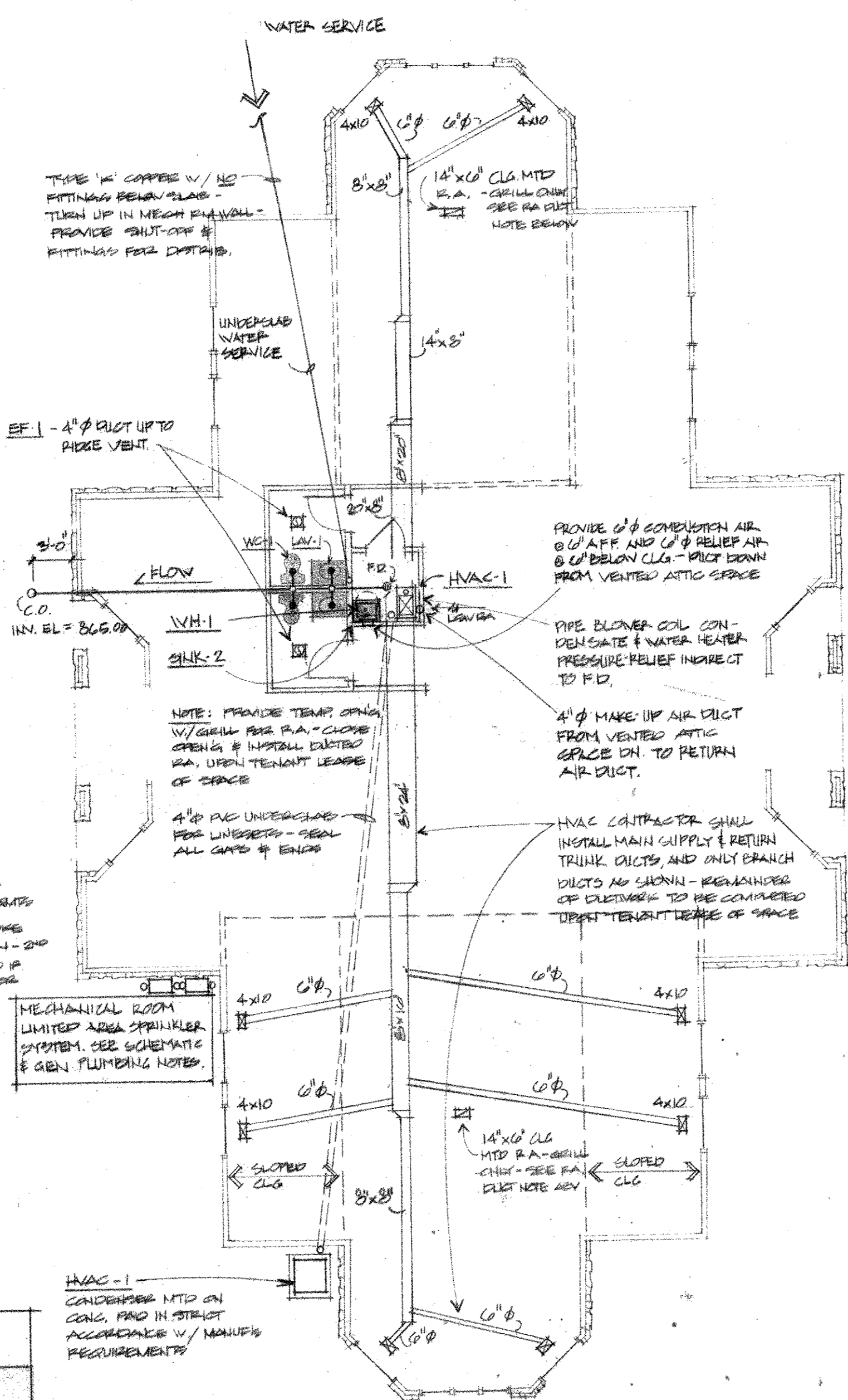
GENERAL HVAC NOTES

- Heating system shown is schematic, and some minor adjustments of ductwork and equipment will be made during installation. Co-ordinate all work with other trades through the general contractor, and notify the architect of any major installation changes or if structural members are obstructing duct runs.
- Heating contractor shall be responsible for balancing the system after installation, and upon turn-over to the Owner, shall remove, clean, and replace washable filters in all equipment.
- Heating contractor shall submit shop drawings to the Architect for approval, showing all equipment, diffusers, connections, ductwork, and manufacturer's installation requirements and recommendations.
- Isolation sleeves shall be provided between SR and BR duct connections to blower-coil units, and blower-coil shall be set on rubber vibration isolation pads to prevent vibration transmission to the building.
- All seams in ducts shall be taped after mechanical connection, unless seams are tight with no air leakage.
- All exterior wall louvers, grilles, and roof jacks shall be painted to match adjacent materials.
- Locate thermostats as shown on the drawings, of the type with set-screw to prevent temperature changing by anyone other than the Owner's maintenance personnel.
- Electrical characteristics of all equipment shall be provided to the electrical contractor in a timely manner so that hook-ups may be made without delay to the progress of the job.
- All pad-mounted condensers shall be mounted off the ground and away from all obstructions in strict accordance with the manufacturer's recommendations.



GOOD METER LOCATIONS - COORD W/ AND CO. REBAR

NOTE: PROVIDE 1/2" CAP NIPPLE FOR FUTURE CONNECTION - 2ND FLOOR - 1/2" DIVIDED PER (2) TENANTS



HEATING EQUIPMENT SCHEDULE

EF-1 - Broan model no. 678 fan-light combination, 50 cfm, 2.5 specs; mount as shown on drawings and run 4" round duct to ridge vent.

EF-2 - Broan model 635 heater-fan-light combination, 70cfm, 2.5 specs; mount as shown on drawings and run 4" round duct to ridge vent.

HVAC-1 - Bryant 150,000 btuh input gas-fired furnace w/ high efficiency burner and electronic pilot ignition, matched with Bryant 5-ton condenser and 5-ton evaporator coil.

HVAC-2 - Bryant 80,000 btuh input gas-fired furnace w/ high efficiency burner and electronic pilot ignition, matched with Bryant 2-ton condenser and 2-ton evaporator coil.

HVAC-3 - Sanyo split-system air conditioning system, tailored and sized to cool and maintain constant temperature for computer room equipment. Locate blower in attic space, and pad mount condenser as shown.

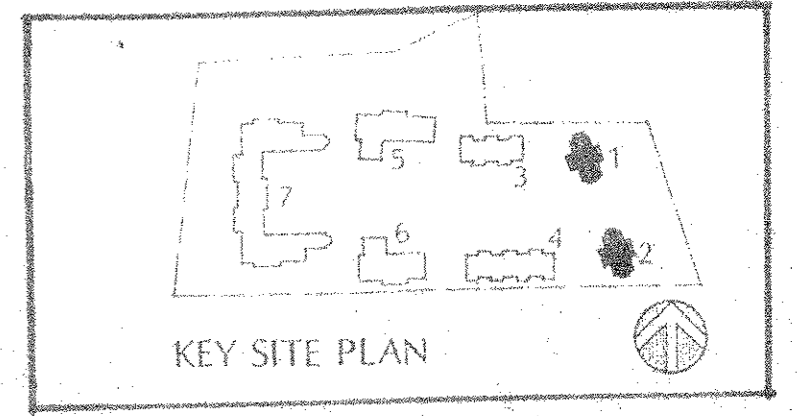
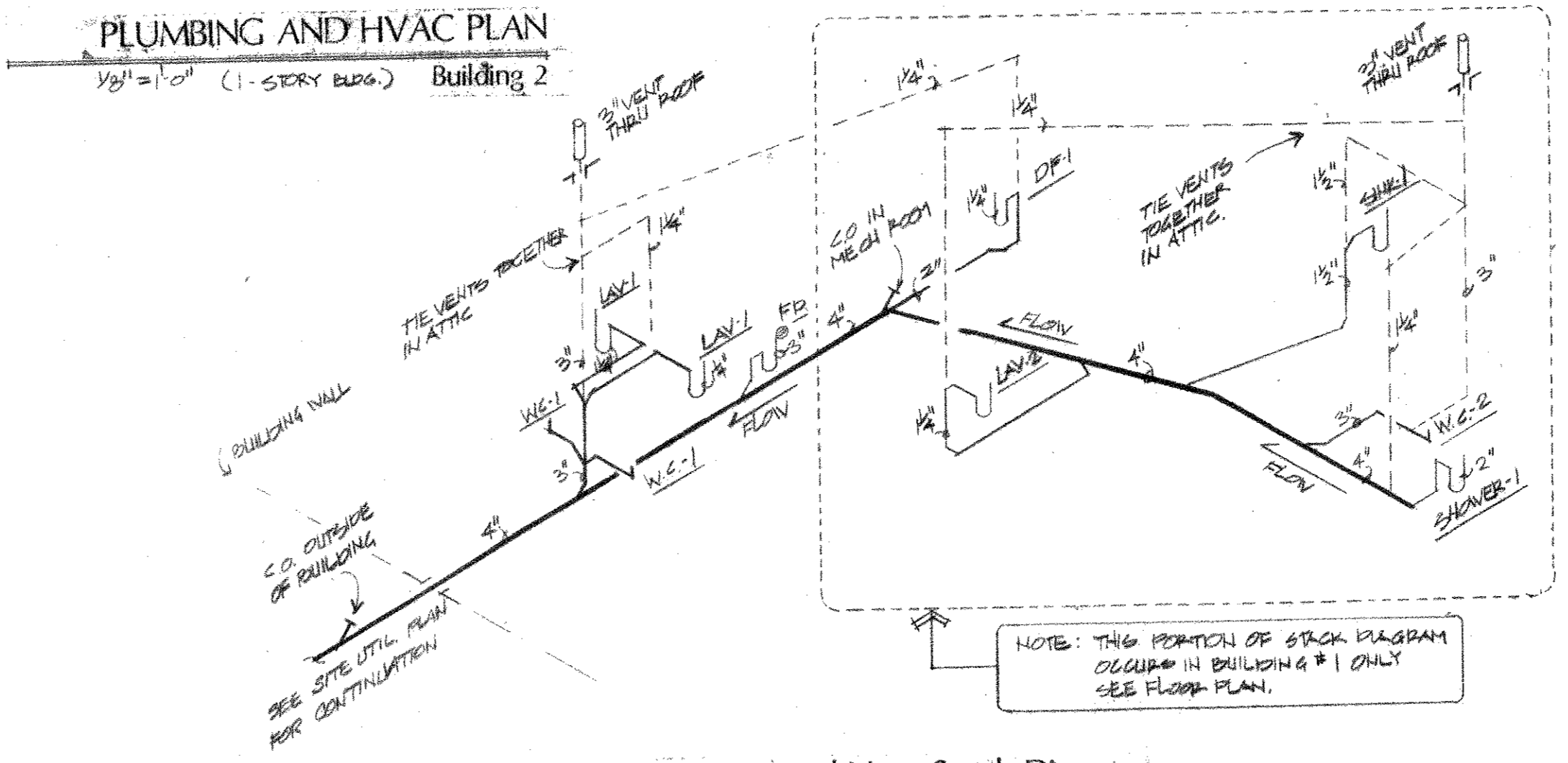
LINESETS Linesets shall be precharged type, length to suit installation locations of equipment. Install underslab in 4" PVC pipe; coordinate location with plumbing, and seal both ends after lineset installation and final check of system operation.

HEATING EQUIPMENT NOTES

DUCTWORK All ductwork above ceiling shall be insulated with ein 1" of foil-faced insulation, or ducts may be constructed of "Ductboard" of sizes shown on the drawings. Supply and return ductwork shall be installed below ceiling joints or trusses in areas which receive acoustical ceilings, and shall be installed on top of ceiling joints or truss bottom chord in areas which receive drywall ceilings.

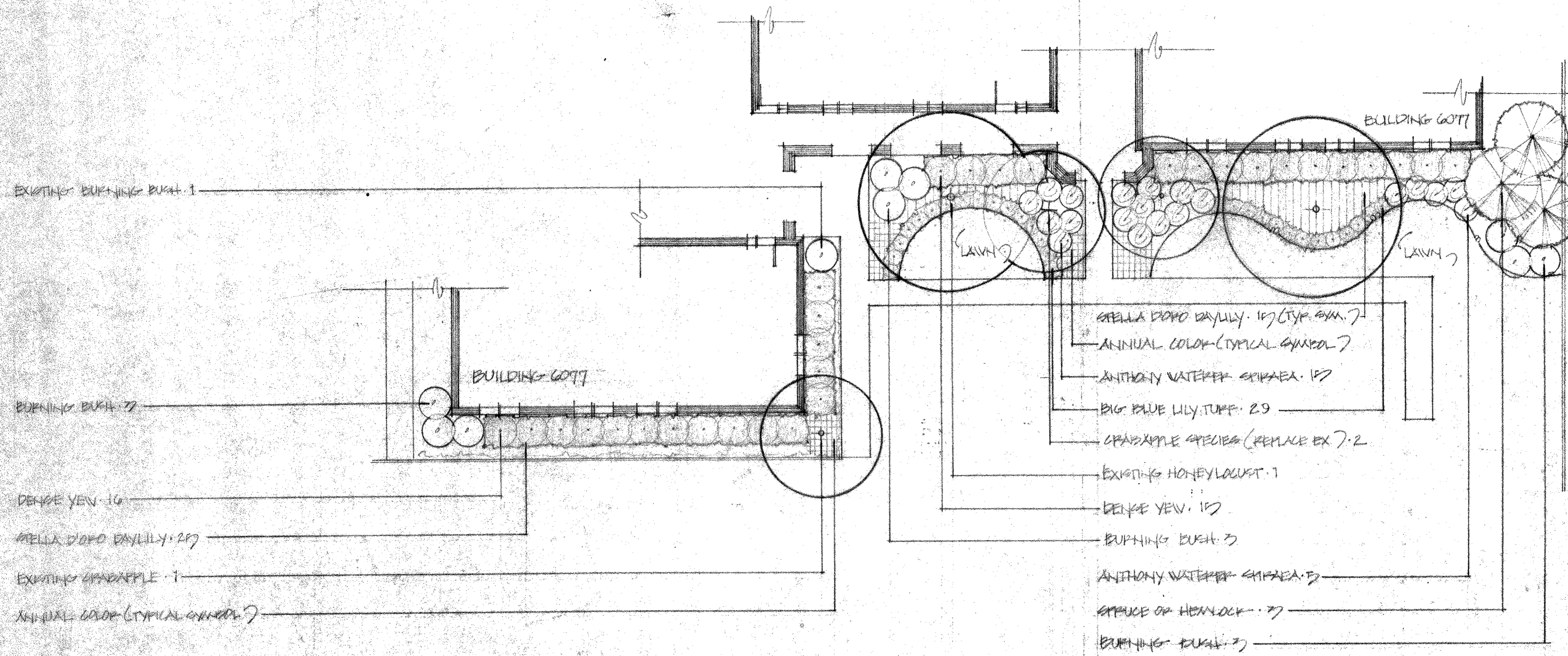
VENTS Vents shall be 6" Class 18" type for combination furnace and water heater, and 4" for furnace only installation. Duct all bath exhaust to attic ridge vent. Install make-up air duct from 4" wall cap on outside wall and connect into return-air plenum. Install high and low combustion and relief air vents in mechanical room, typical as noted on plan.

DIFFUSERS and GRILLES Supply registers shall be 4 x 10 located as shown. Return air registers shall be 30 x 20, low side wall type, located as shown. Position ceiling diffusers in center of acoustic tile nearest to the location shown on plan.



JESTER, JONES and FELTHAM ARCHITECTS / PLANNERS
The Kelly House, 247 North Prospect Street, Marion, Ohio 43302, 614-982-6840
Columbus Office: 2933 Donnylane Blvd., Columbus, Ohio 43220, 614-761-7170

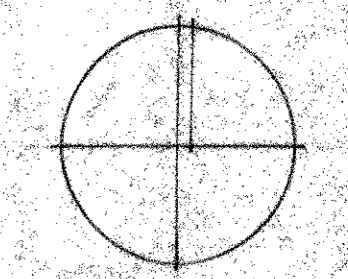
MILLENNIUM
Dublin, Ohio
Frantz Rd.



Buckeye Landscape
 Services
 2885 BELLINGWAY ROAD • WORTHINGTON, OHIO 43085 • (614) 888-1393

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF BUCKEYE LANDSCAPE SERVICES, INC. AND SHALL NOT BE REPRODUCED, TRANSFERRED, OR OTHERWISE USED WITHOUT THEIR WRITTEN PERMISSION.

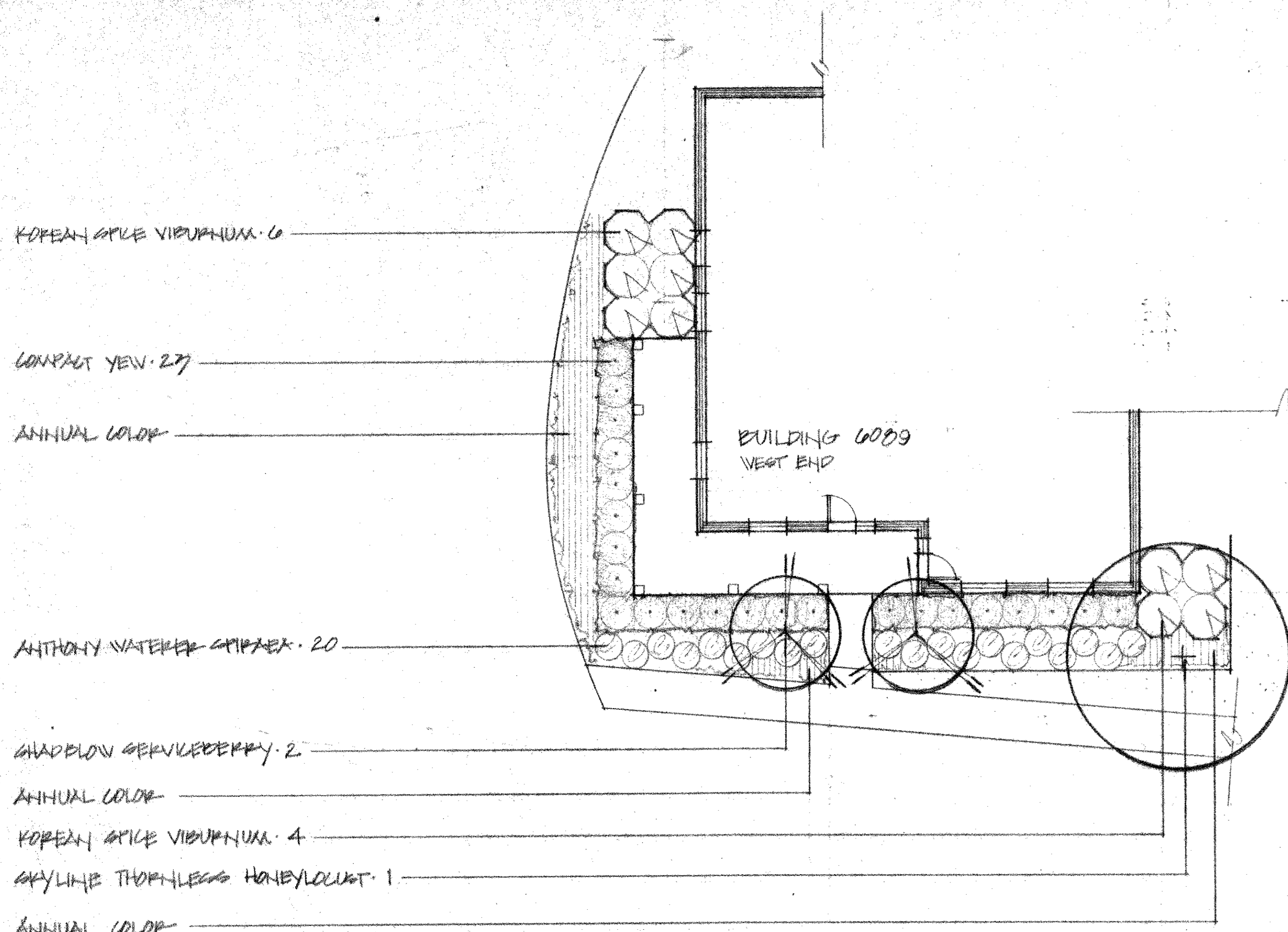
REVISIONS



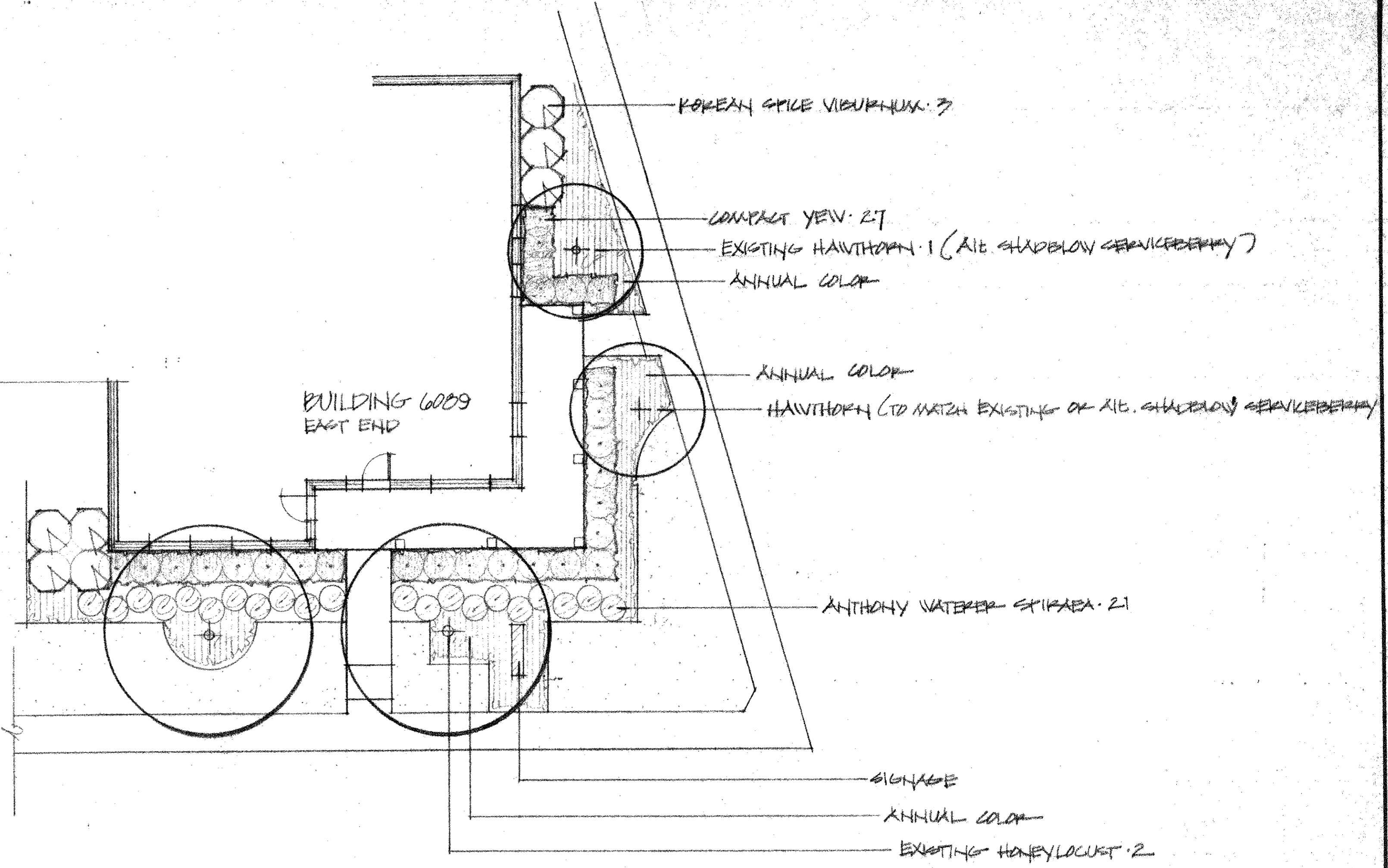
SCALE: 1" = 10'

PROJECT NO.
 DATE: 12 MAY 90
 DRAWN BY: LAURA MURPHY
 SHEET

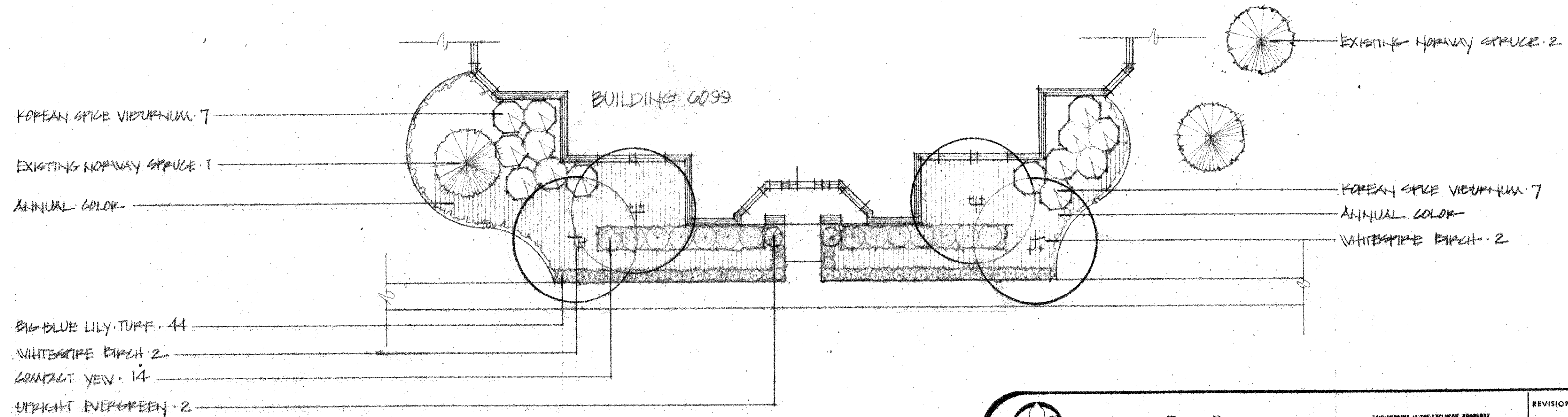
MILLENNIUM



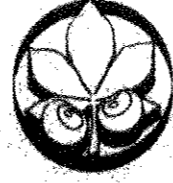
BUILDING 6089
SCALE: 1" = 10'



* EXISTING NORWAY SPRUCE TO BE TRANSPLANTED



BUILDING 6099
SCALE: 1" = 10'



Buckeye Landscape
Services
2385 BILLSLEY ROAD - WORTHINGTON, OHIO 43085 • (614) 889-1383

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REVISIONS

PROJECT NO.
171-90
DATE
12 AUG 90
DRAWN BY
LAURA MURPHY
SHEET

MILLENNIUM

FOREVER PINK HYDRANGEA 5
 VARDAR VALLEY BOXWOOD 22
 RHODODENDRON SPECIES 20

SWEETBAY MAGNOLIA 3
 ANNUAL COLOR (TYPICAL)
 RHODODENDRON SPECIES 2

COMPACT YEW 15
 SHADBLON SERVICEBERRY 3
 STELLA D'ORO DAYLILY 30

BUILDING 6067

COMPACT YEW 15

ANTHONY WATERER SPIRAEA 8
 COMPACT YEW 7
 CLIMBING ROSE 2

ANTHONY WATERER SPIRAEA 25
 BRIGHT STAR CONEFLOWER 30
 STELLA D'ORO DAYLILY 60
 SAUKER MAGNOLIA 5
 AUTUMN JOY SEDUM 50

BIG BLUE LILY TURF 66
 ANNUAL COLOR (TYPICAL)

RHODODENDRON SPECIES 4
 BIG BLUE LILY TURF 20

VARDAR VALLEY BOXWOOD 27
 FOREVER PINK HYDRANGEA 6
 STELLA D'ORO DAYLILY 25

SWEETBAY MAGNOLIA 2
 AUTUMN JOY SEDUM 20
 KOREAN SPICE VIBURNUM 7
 EXISTING HONEYLOCUST

BUILDING 6059

BUILDING 6065
 PLANT MATERIALS MIRROR BUILDING 6059

BUILDINGS: 6059, 6067, 6065
 SCALE: 1" = 10'

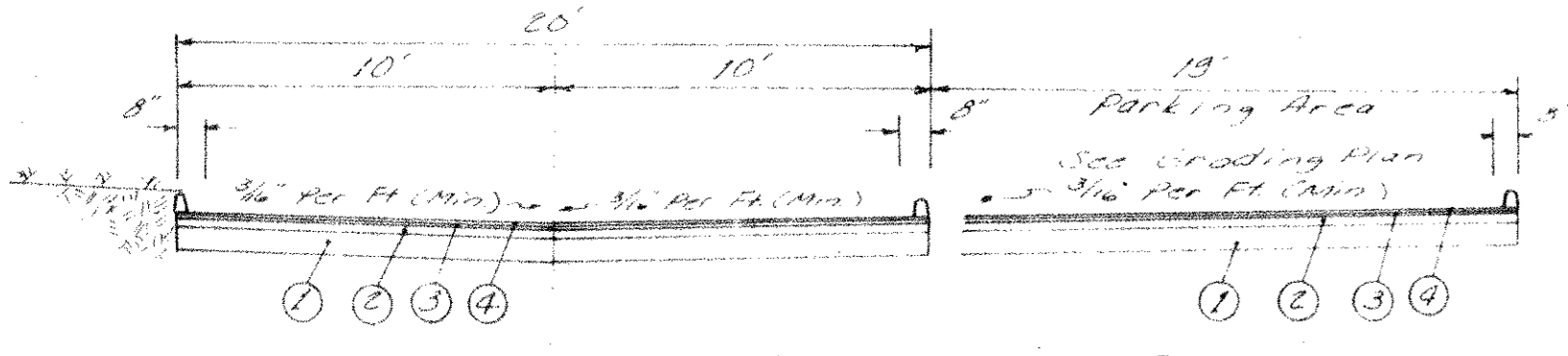
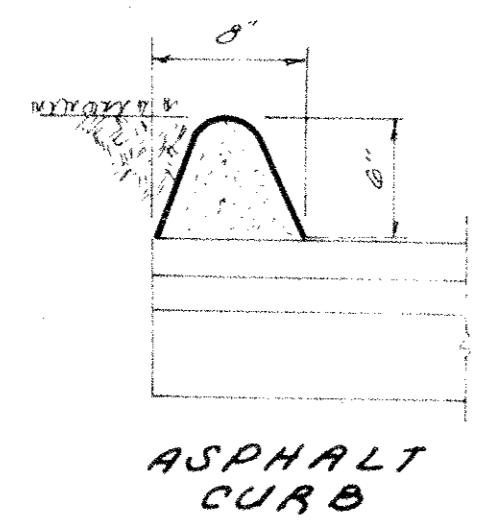
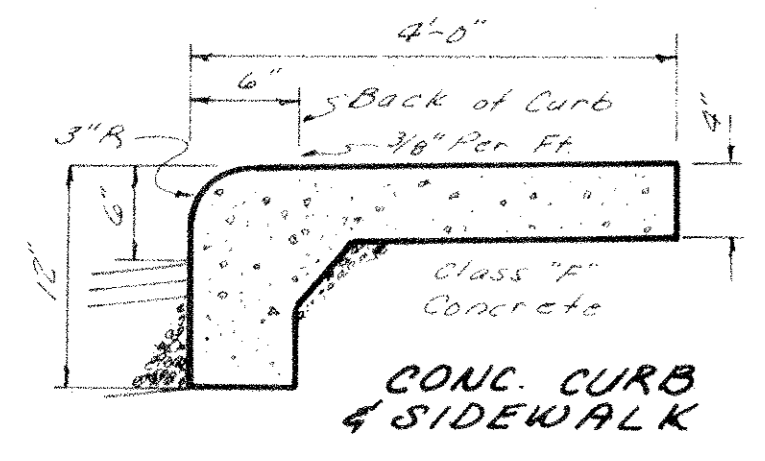
Buckeye Landscape
 Services
 2585 BILLINGSLEY ROAD - WORTHINGTON, OHIO 43085 - (614) 891-1383

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 OF BUCKEYE LANDSCAPE SERVICES, INC. AND
 SHALL NOT BE REPRODUCED, TRANSFERRED, OR
 OTHERWISE USED WITHOUT THEIR WRITTEN
 PERMISSION.

REVISIONS

PROJECT NO.
171-98
 DATE
12 AUG 98
 DRAWN BY
LAURA MURPHY
 SHEET

MILLENNIUM



- TYPICAL PAVEMENT SECTION**
- ① 6" Compacted Stone Size #2, Item 703
 - ② 3" Compacted Stone Size #20, Item 911
 - ③ 1 1/2" Asphalt Concrete, Item 907
 - ④ 1 1/2" Asphalt Concrete, Item 902

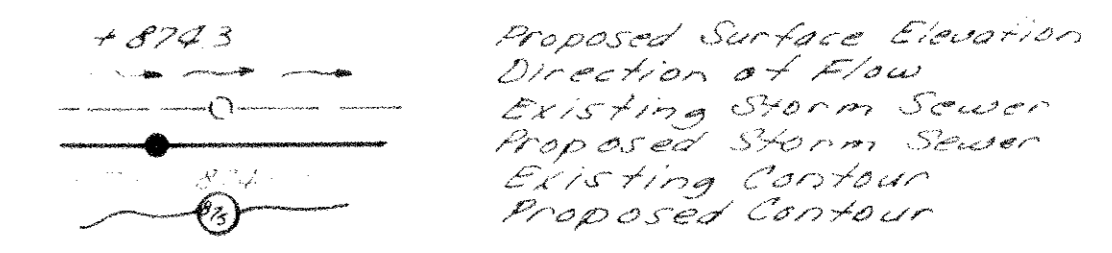
ESTIMATE OF QUANTITIES			
ITEM	QUANTITY	UNIT	DESCRIPTION
17	631	L.F.	8" Storm Sewer - PVC SDR 35
17	546	L.F.	10" Storm Sewer, C76 CL. III
17	128	L.F.	12" Storm Sewer, C76 CL. III
18	14	Ea	Std 2-28 Catch Basin
18	1	Ea	Manhole Type "B"
Special	5.1	CY	Masonry (End Wall) HW-1
	2430	CY	Rock Channel Protection Type C with filter

* 10 L.F. 6" Perforated Underdrain Pipe, Flintkote Orangeburg or approved equal laid out of bottom of catch basins @ 1% with upstream pipe ends plugged. #57 Aggregate shall extend from a point 4" below the underdrain pipe to the bottom of the pavement base for the length of the underdrain. The perforated pipe shall be protected from heavy traffic after installation. (Include cost at above in price for underdrains)

GENERAL NOTES

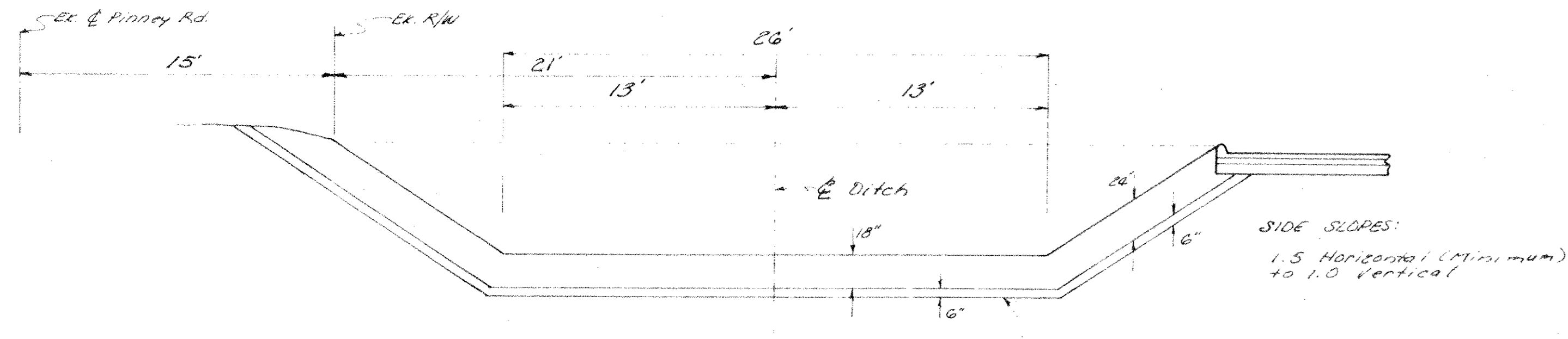
The Village of Dublin Standard Construction Regulations dated Jan. 1997 and any supplements thereto shall govern all construction items that are a part of this plan.
 The contractor shall investigate and locate all utilities prior to construction.
 At all points of crossing water mains or other sewers, the backfill shall be of compacted granular material between the deeper and shallower pipe.
 All catch basins located within paved areas shall be constructed with a heavy duty frame and grate Neenah R-4899 w/llgs and Neenah R-4650 or approved equal.
 Where the sewer is to be constructed in an embankment area, the embankment shall be made at least to 30" above the outside top of the pipe before trenching. The trench shall then be excavated to the minimum width specified in the Regulations.
 See Architect's plan for detailed grading at building, building downspouts, sidewalk, steps, steps, patios, driveway specifications and site landscaping details.

LEGEND



BENCH MARKS

- 89.1 Franklin County No. V-20 - Brass plate in concrete monument, at the intersection of Pinney Rd and Frantz Rd, 21.5 feet W of E of Frantz Rd, southbound lanes, 28.3 feet S.W. of T. Pole No. 3214285, 7.8 feet S of W of Pinney Rd, 0.5 feet E. of W.P., 1 foot deep, in plastic pipe. Elevation 862.46
- 89.2 Franklin County No. V-21 - Brass plate in concrete monument, at junction of SR 161 and Frantz Rd, in front of the Ohio Federal Bank, 19.5 feet N. of E of Bank exit Dr., 63.8 feet S. of E of SR 161 eastbound lanes, 36.7 feet E of E of Frantz Rd, 12.7 feet S.W. of concrete base for bank sign, 2 feet N. of a W.P. Elevation 825.59



State of Ohio, DOT, Specification 601.08 Rock Channel Protection with Type C dumped rock fill material and 6" filter bed.

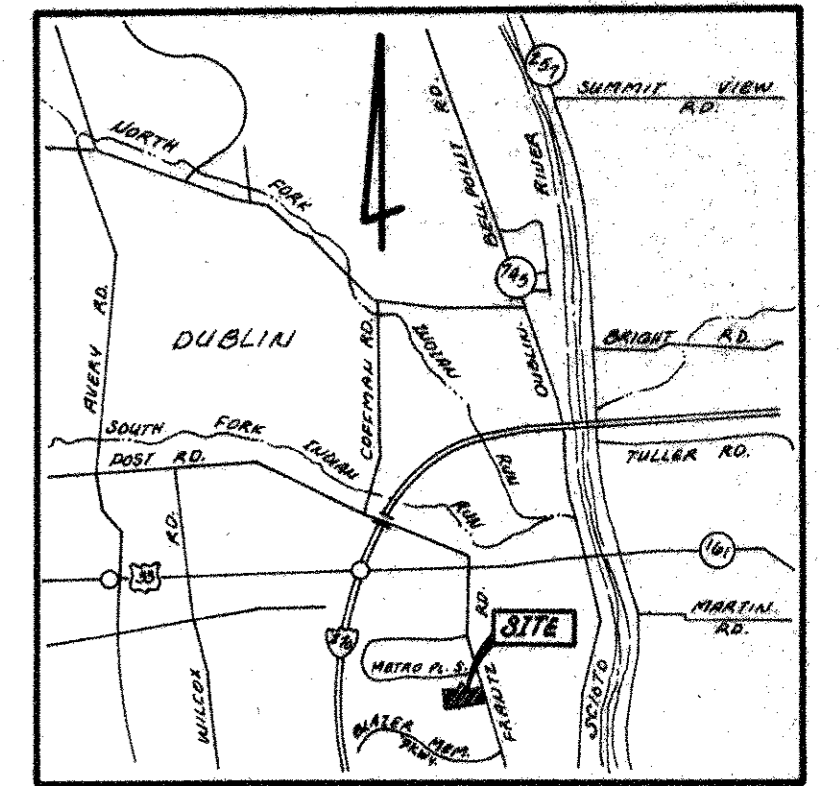
DITCH DETAIL
Scale: 1" = 5'

BAUER, DAVIDSON & MERCHANT, INC.
Consulting Engineers

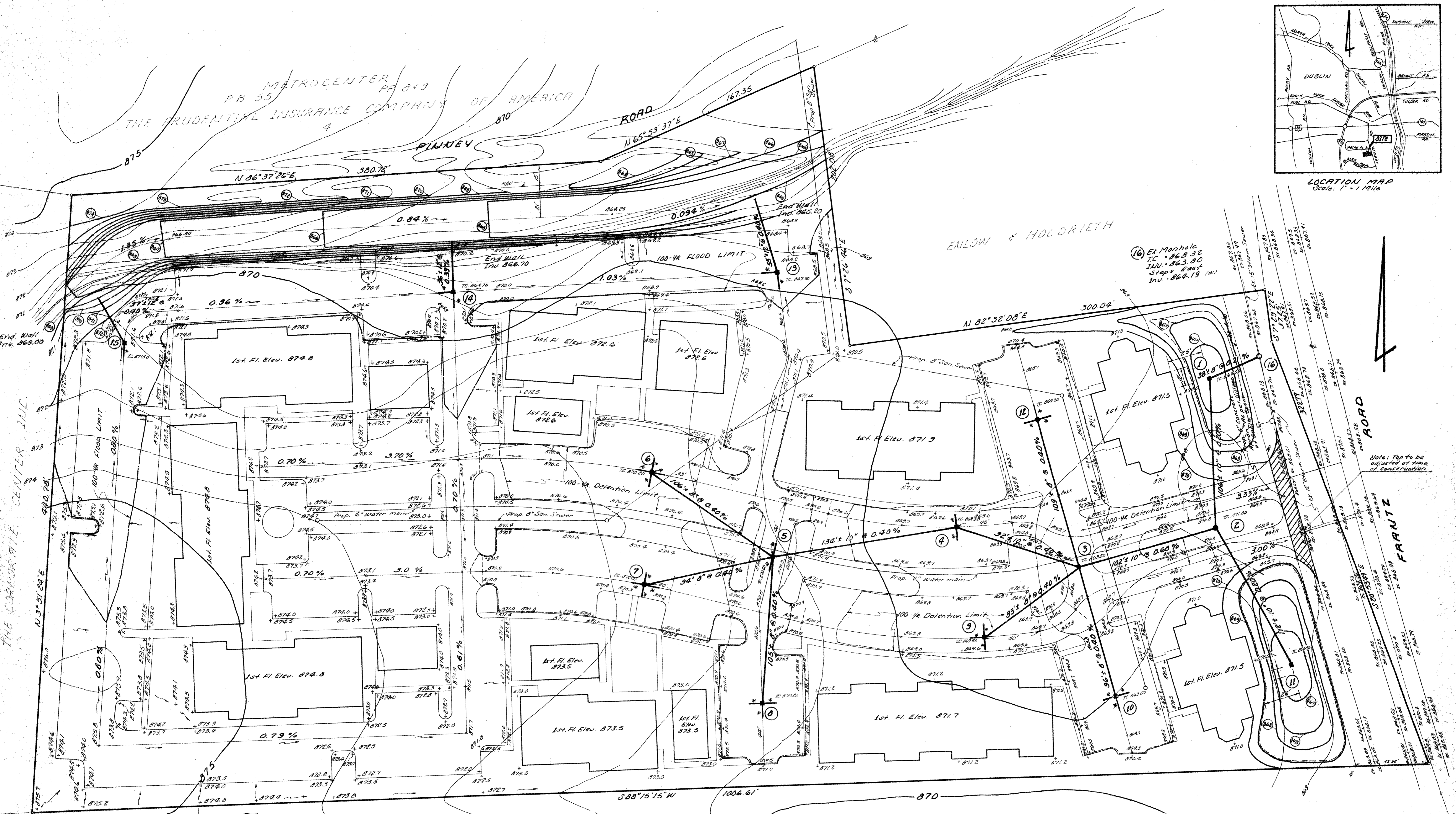
William C. Merchant
Registered Engineer Date 4-4-86

SITE GRADING & STORM SEWER IMPROVEMENTS FOR MILLENIUM

BAUER, DAVIDSON & MERCHANT, INC.
CONSULTING ENGINEERS
2607 1/2 North High Street
Columbus, Ohio
Scale: 1" = 30' March 1986



LOCATION MAP
Scale: 1" = 1 Mile



THE CORPORATE CENTER, INC.

PARKWAY PROFESSIONAL CONDOMINIUM

METROCENTER PA 849
PB 55
THE PRUDENTIAL INSURANCE COMPANY OF AMERICA

ENLOW & HOLDRIETH

ROAD

ROAD

FRANTZ

Note: Top to be adjusted at time of construction.

- (15) 2-28 C.B.
Top = 871.50
Inv = 869.15
- (1) 2-28 C.B.
Top = 866.50
Inv = 864.27
- (3) 2-28 C.B.
Top = 869.50
Inv = 865.34 (N.S. 6.50)
- (5) 2-28 C.B.
Top = 870.20
Inv = 866.25 (N.S. 6.50)
- (7) 2-28 C.B.
Top = 870.20
Inv = 866.63
- (9) 2-28 C.B.
Top = 869.50
Inv = 865.67
- (11) 2-28 C.B.
Top = 866.50
Inv = 864.71
- (13) 2-28 C.B.
Top = 867.30
Inv = 865.42
- (2) Manhole Type "B"
Top = 871.00
Inv = 864.48
- (4) 2-28 C.B.
Top = 863.50
Inv = 865.54
- (6) 2-28 C.B.
Top = 870.20
Inv = 866.67
- (8) 2-28 C.B.
Top = 870.20
Inv = 866.87
- (10) 2-28 C.B.
Top = 869.50
Inv = 865.73
- (12) 2-28 C.B.
Top = 869.50
Inv = 865.78
- (14) 2-28 C.B.
Top = 869.70
Inv = 866.89

SITE GRADING & STORM SEWER IMPROVEMENTS FOR MILLENNIUM

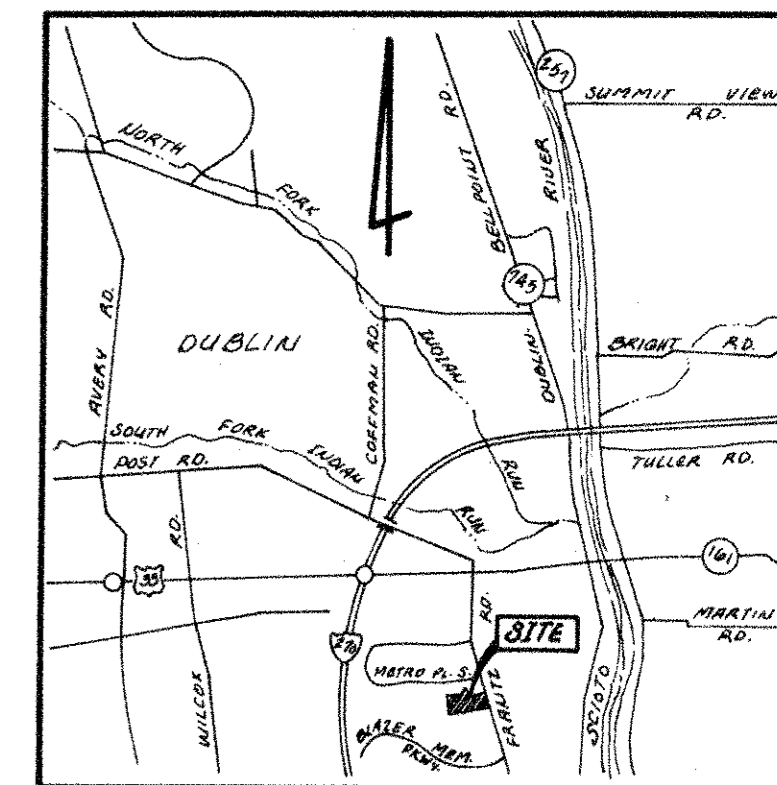
BAUER, DAVIDSON & MERCHANT, INC.
CONSULTING ENGINEERS
2607 1/2 North High Street
Columbus, Ohio
Scale: 1" = 30'
March, 1986

BENCH MARKS

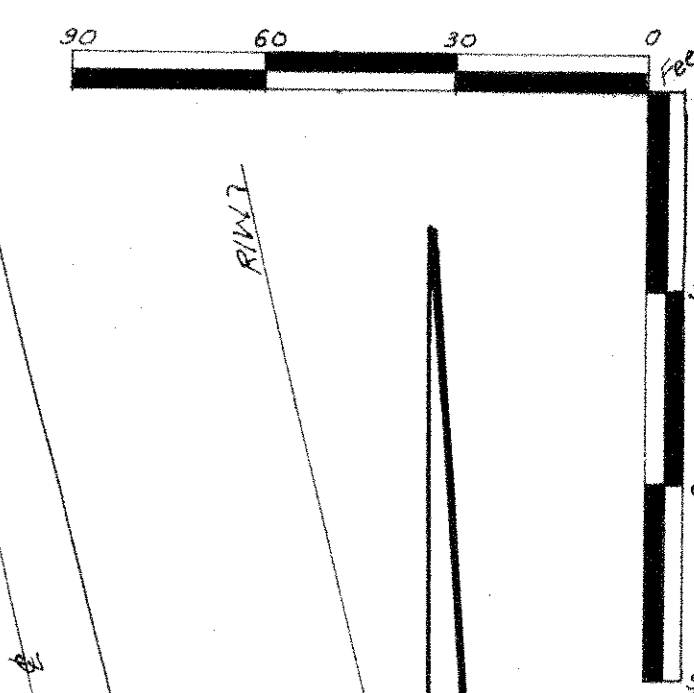
Franklin County V-20
 Brass plate in C.M. at intersection of Pinney Rd and Frantz Rd,
 41.5 feet W. of centerline of Frantz Rd, southbound lanes, 28.3 ft S.W. of
 T/Pole No. 321A285, 18 ft S. of E. of Pinney Rd, 0.5 E. of a W.P. 1 ft deep, access
 thru a large diameter plastic pipe. Elev. 864.460

Franklin County V-21
 Brass plate in C.M. at junction of S.R. 161 and Frantz Rd, in front of
 the Ohio Federal Bank, 78.5 ft N. of E. of Bank exit Dr, 83.8 ft S. of E. of
 S.R. 161 eastbound lanes, 56.7 ft E. of E. of Frantz Rd, 127 ft S.W. of
 concrete base for bank sign, 2 ft N. of a W.P. Elev. 865.590

Situated in the State of Ohio, County of Franklin,
 Village of Dublin, being in Virginia Military Survey No. 2419,
 containing 8.337 acres of land, more or less, 7.716 acres of
 said 8.337 acres being out of that 7.833 acre tract of land
 described in the deed to Mary A. Windle et al (4), of record
 in Deed Book 3705, Page 221, and 0.621 acres of said 8.337
 acres being out of that 0.804 acre tract of land described
 in the deed to Mary A. Windle, of record in Deed Book
 3705, Page 226, both being of record in the Recorder's
 Office, Franklin County, Ohio.



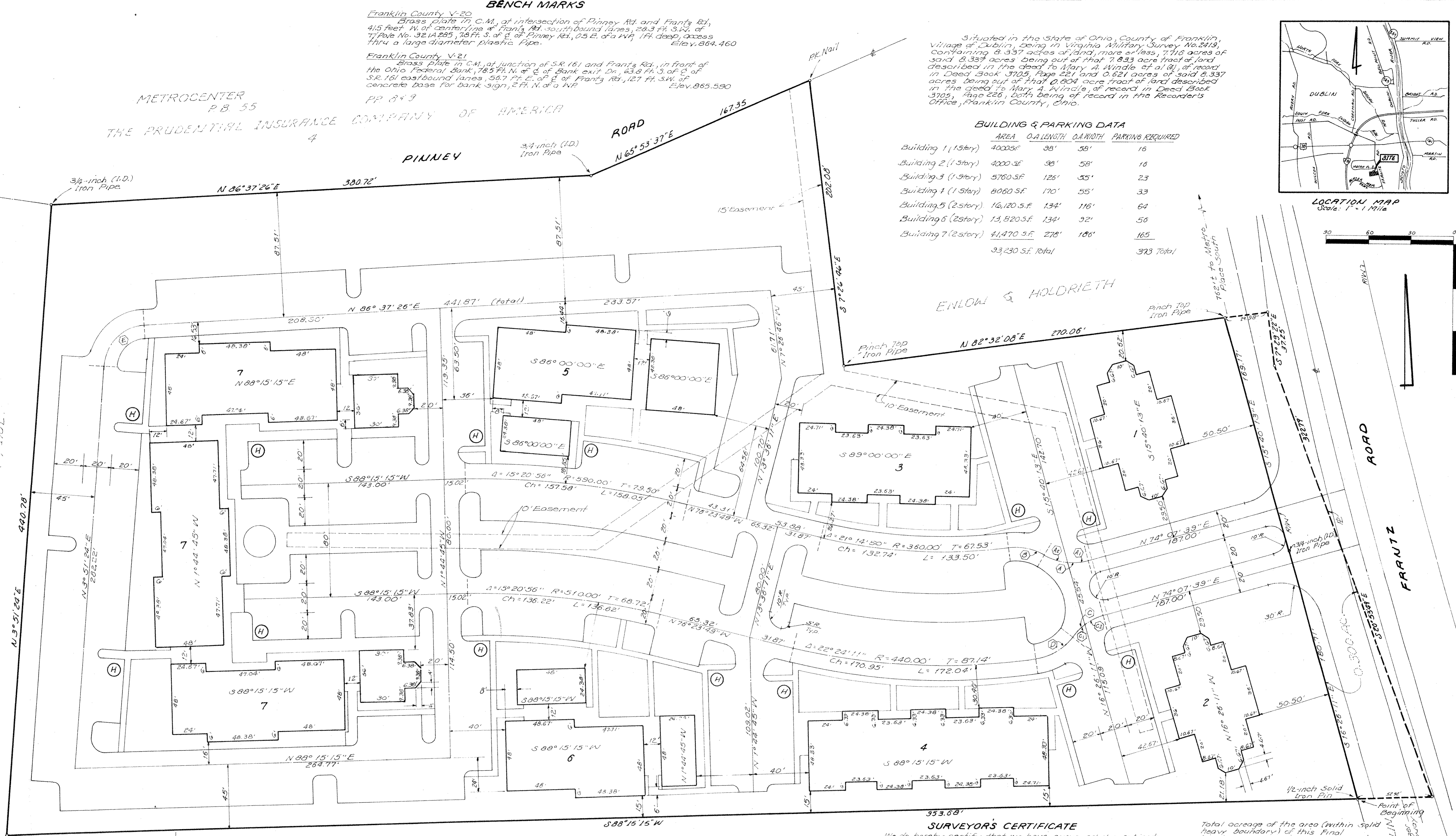
LOCATION MAP
 Scale: 1" = 1 Mile



METROCENTER
 P.B. 55
 THE PRUDENTIAL INSURANCE COMPANY OF AMERICA
 4

BUILDING & PARKING DATA

BUILDING	AREA	DL LENGTH	DL WIDTH	PARKING REQUIRED
Building 1 (1 story)	4000 SF	98'	58'	16
Building 2 (1 story)	4000 SF	98'	58'	16
Building 3 (1 story)	5760 SF	126'	55'	23
Building 4 (1 story)	8060 SF	170'	55'	33
Building 5 (2 story)	16,120 SF	134'	116'	64
Building 6 (2 story)	13,820 SF	134'	92'	58
Building 7 (2 story)	41,470 SF	278'	188'	165
Total	93,230 SF			373



THE CORPORATE CENTER, INC.

ENLOW & HOLDRIETH

FRANTZ ROAD

VILLAGE OF DUBLIN

- (A) $\Delta = 45^{\circ}41'27''$
 $R = 40'$
 $T = 16.85'$
 $Ch = 31.05'$
 $L = 31.90'$
- (B) $\Delta = 37^{\circ}27'46''$
 $R = 40'$
 $T = 13.56'$
 $Ch = 25.69'$
 $L = 26.15'$
- (C) $\Delta = 37^{\circ}59'49''$
 $R = 40'$
 $T = 13.77'$
 $Ch = 26.04'$
 $L = 26.53'$
- (D) $\Delta = 21^{\circ}28'42''$
 $R = 40'$
 $Ch = 18.88'$
- (E) $\Delta = 21^{\circ}14'45''$
 $R = 40'$
 $Ch = 16.80'$
- (F) $\Delta = 45^{\circ}04'10''$
 $R = 40'$
 $T = 16.60'$
 $Ch = 30.66'$
 $L = 31.45'$
- (G) $\Delta = 21^{\circ}27'33''$
 $R = 40'$
 $Ch = 14.89'$
- (H) $\Delta = 82^{\circ}45'02''$
 $R = 40'$
 $T = 26.43'$
 $L = 39.01'$
 $L = 43.34'$

DUBLIN TECH MART COMPANY

SURVEYOR'S CERTIFICATE

We do hereby certify that we have surveyed the subject premises and prepared the attached plan. All dimensions are shown in feet and decimal parts thereof. Dimensions shown along curved lines are chord measurements. Iron pins are indicated by the following symbol:

BAUER, DAVIDSON & MERCHANT, INC.
 CONSULTING ENGINEERS
 by William D. Merchant 4-4-86
 Registered Surveyor

APPROVED BY PLANNING COMMISSION
Bruce H. Warner 4/9/86
 Engineer Village of Dublin, Ohio
Ronald W. ... 4/15/86
 Chairman Planning Commission Village of Dublin, Ohio

Total acreage of the area (within solid heavy boundary) of this Final Development Plan is 8.337 acres.

BOUNDARY MAP AND SITE DIMENSION PLAN
 For
MILLENIUM

BAUER, DAVIDSON & MERCHANT, INC.
 CONSULTING ENGINEERS
 2407 1/2 N. HIGH STREET
 COLUMBUS, OHIO

FINAL DEVELOPMENT PLAN SHT. 1 / 7



BENCH MARKS

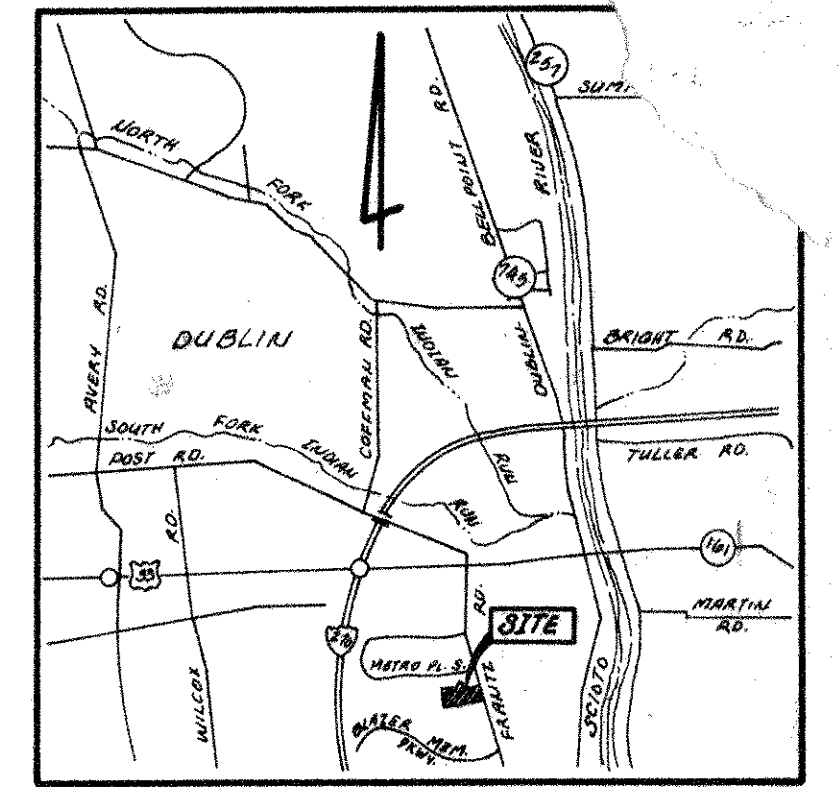
Franklin County (V-20)
 Brass plate in C.M. at intersection of Pinney Rd. and Frantz Rd. 41.5 ft. W. of E. of Frantz Rd. southbound lanes, 28.3 ft. SW. of T/plate No. 321A285, 7.8 ft. S. of E. of Pinney Rd., 0.5' E. of WP, 1 ft. deep, access thru a large diameter plastic pipe. Elev. 864.460

Franklin County (V-21)
 Brass plate in C.M. at junction of S.R. 101 and Frantz Rd. in front of the Ohio Federal Bank, 78.5 ft. N. of E. of Bank exit Dr., 63.8 ft. S. of E. of S.R. eastbound lanes, 56.7 ft. E. of E. of Frantz Rd., 12.7 ft. SW. of concrete base for bank sign, 2 ft. N. of a WP. Elev. 865.530

METROCENTER PR 849
 P.B. 55
 THE PRUDENTIAL INSURANCE COMPANY OF AMERICA
 4
 PINNEY ROAD

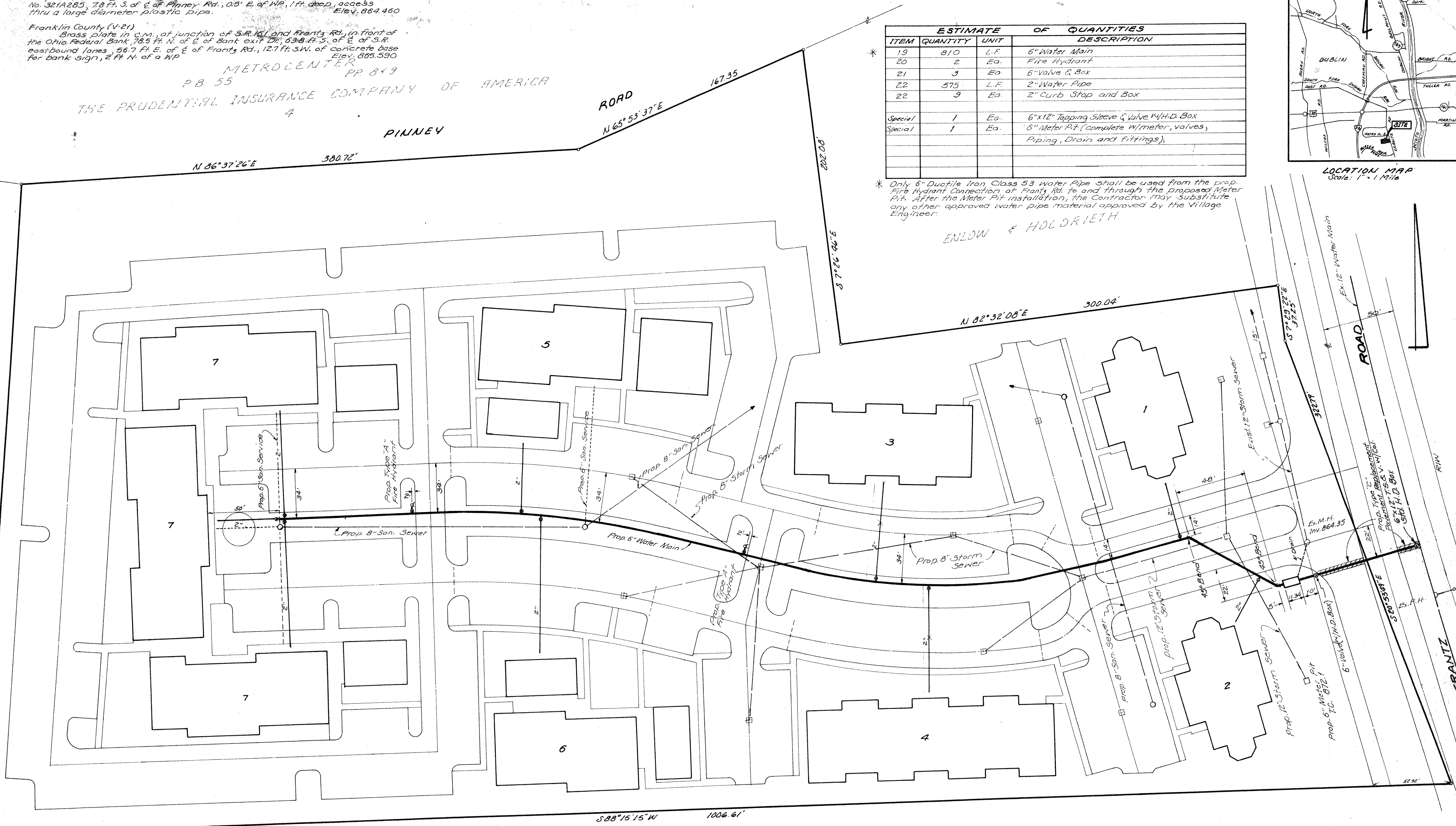
ESTIMATE OF QUANTITIES			
ITEM	QUANTITY	UNIT	DESCRIPTION
19	810	L.F.	6" Water Main
20	2	Ea.	Fire Hydrant
21	3	Ea.	6" Valve & Box
22	575	L.F.	2" Water Pipe
22	9	Ea.	2" Curb Stop and Box
Special	1	Ea.	6"x12" Tapping Sleeve & valve 14"H.D. Box
Special	1	Ea.	6" Meter Pit (complete w/meter, valves, Piping, Drain and fittings).

* Only 6" Ductile Iron, Class 53 Water Pipe shall be used from the prop. Fire Hydrant Connection at Frantz Rd. to and through the proposed Meter Pit. After the Meter Pit installation, the Contractor may substitute any other approved water pipe material approved by the Village Engineer.



LOCATION MAP
 Scale: 1" = 1 Mile

THE CORPORATE CENTER, INC.
 490.78
 N 3° 51' 24" E



GENERAL NOTES

The Village of Dublin Standard Construction Regulations dated Jan. 1984 and any supplements thereto shall govern all construction items that are a part of this plan.
 The Contractor shall investigate and locate all utilities prior to construction.
 Water mains shall be laid with a minimum of 4'-0" from the top of finished grade to top of water main.
 In all conflicts in grade between water mains and storm sewers, the water mains shall be lowered during construction.

DUBLIN TECH MART COMPANY

PARKWAY PROFESSIONAL CONDOMINIUM

BAUER, DAVIDSON & MERCHANT, INC.
 CONSULTING ENGINEERS
 By William W. Merchant 4-4-86
 Registered Engineer

WATER IMPROVEMENT PLAN
 for
MILLENIUM

BAUER, DAVIDSON & MERCHANT, INC.
 CONSULTING ENGINEERS
 260 1/2 North High Street
 Columbus, Ohio
 Scale: 1" = 30' March 1986