

A proposed renovation and addition to the
existing historic structure located at:

87 S. HIGH ST.

Preliminary Information 12.29.2020

PROJECT OBJECTIVE

To preserve the existing historic structure with material updates and weather barriers and enhance the site by adding an exclusively appointed live work component that embodies the walkable Dublin modern design aesthetic.

The enhancement is intended to be a well-appointed addition and renovation with simple detailing that allows the principal structure to remain primary. The current design is meant to be a starting point for consideration and is intended to include additional ideas and input to achieve the stated objective. The method of preservation of the existing principal structure is still being informed by ongoing consultation and investigation.

PROJECT INFORMATION

"This elaborate Greek Revival building is not what it first appears. It is a 1907 replica of an earlier building on the site. When Giles Weaver came to Dublin in 1836 to practice his trade of tanning and leatherworking, he moved into a log cabin on this site. He quickly upgraded it by facing it with siding and ornamenting it with pilasters and pediment in the latest Greek Revival fashion. As his business prospered, he built the large handsome house immediately to the north. " - CITY OF DUBLIN WALKING TOUR



87 South High Street



Historical Image

Architectural Style:
Greek Revival (1825-1860)
Low-pitched gabled with an emphasized cornice line
Decorative dentil frieze Board along the front facade
Other Examples of Greek Revival Buildings in Historic Dublin:
63 S. High St. (1840), 91 S. High St. (1840)

This building is considered as contributing to Dublin's Historic District.

Partial History:

The building was originally constructed in the 1850's or 60's as a private residence. The building has been modified over the years including a shed roof addition and an exterior shed. The current use of the building is a commercial business.

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CONFORMANCE CONSIDERATIONS

Zoning District (153.058): BSC Historic Core

Use (153.059): Live work dwelling is a permitted use in the BSC Historic Core district per table 153.059A, there are no use specific standards

Project Description:

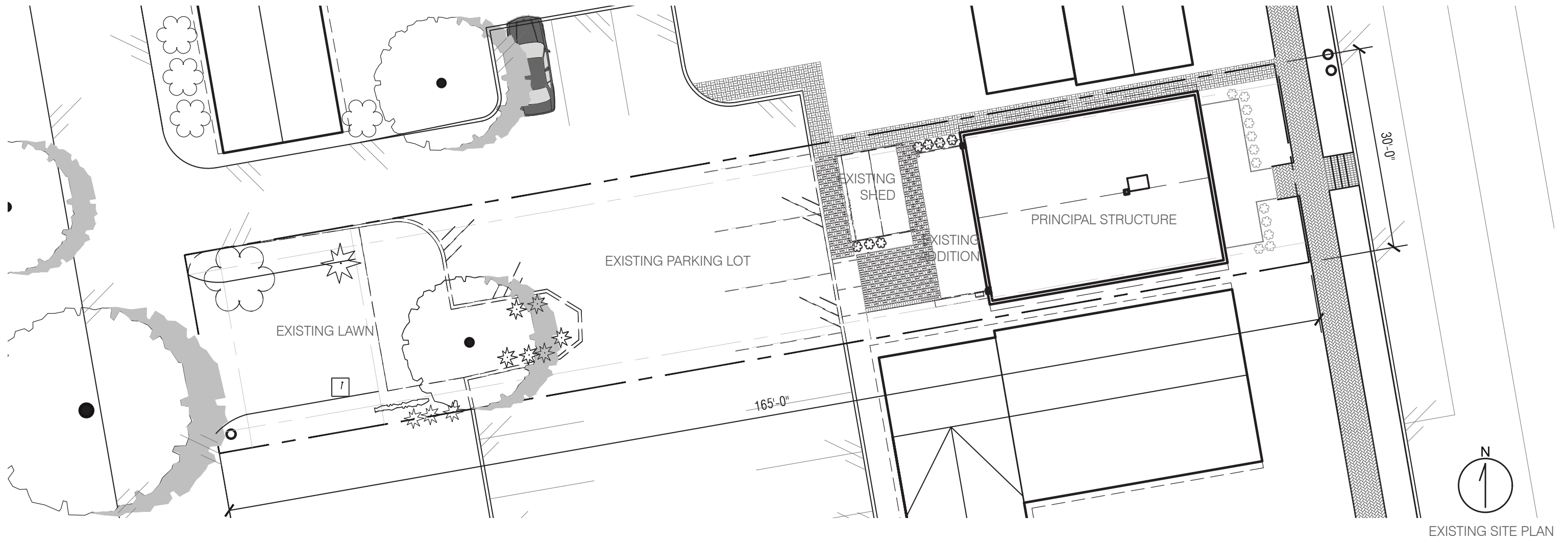
The proposed use will be a live work dwelling. The interior of the existing structure will be altered to function more appropriately as a live work dwelling. The renovation and addition includes maintaining the existing primary structure and removing the shed addition and exterior shed. A new addition to the existing structure will occur on the rear elevation. The windows on the side elevations will be modified to accommodate the new interior layout. The exterior finishes of the existing structure will be updated with new finish materials that allow for protection from the elements and pest control while adhering to historical and code requirements.

Principal Structure Considerations:

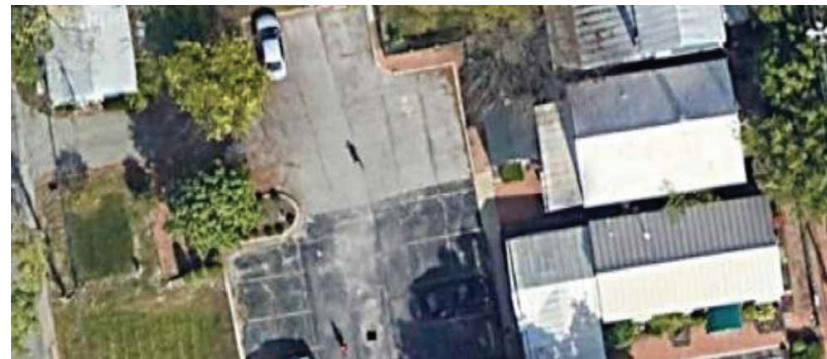
The objective for the primary structure is to learn about the most appropriate methods for historical and code conformance from the proper subject matter experts to achieve the project objective. Current scope includes updating to a new roof, new siding, new windows and doors. The scope will be honed after additional coordination with all authorities having jurisdiction.

Building Addition Considerations:

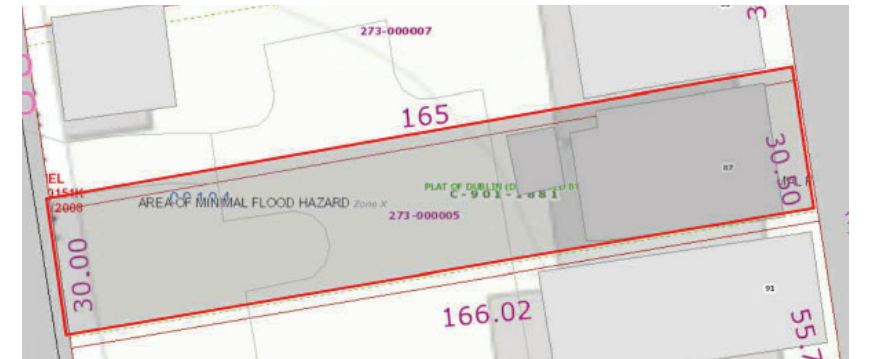
The addition will be distinguishable from the original structure by maintaining a smaller scale where appropriate or other similar measures. If the additions or alterations were to be removed the essential form and integrity of the original structure will be unimpaired. The addition will be located to the rear of the original building so that the most significant and visible faces (e.g. front elevations) of the historic property are given priority. The addition will be simple and subordinate to the original building in terms of height, size, and other similar characteristics. A connecting structure will be provided between the original building and the addition, so it is apparent that they are two separate structures. The design for additions to existing properties should not destroy significant historical, architectural or cultural materials. The design will be compatible with the size, scale, color, material, and character of the property, neighborhood and environment.



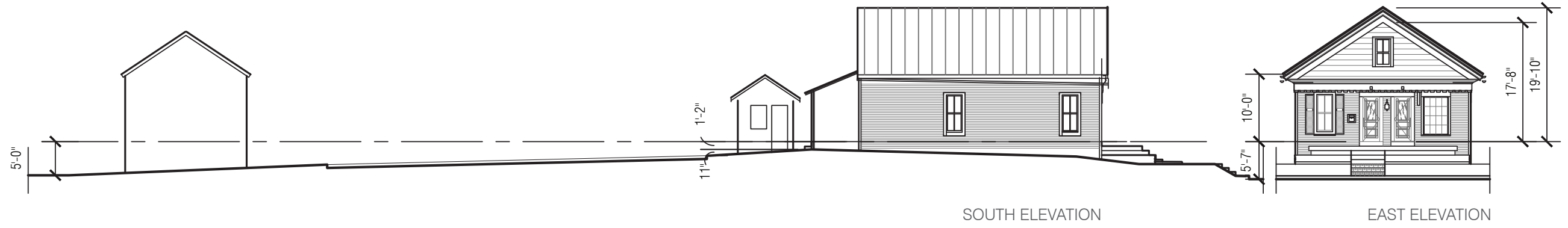
EXISTING SITE PLAN



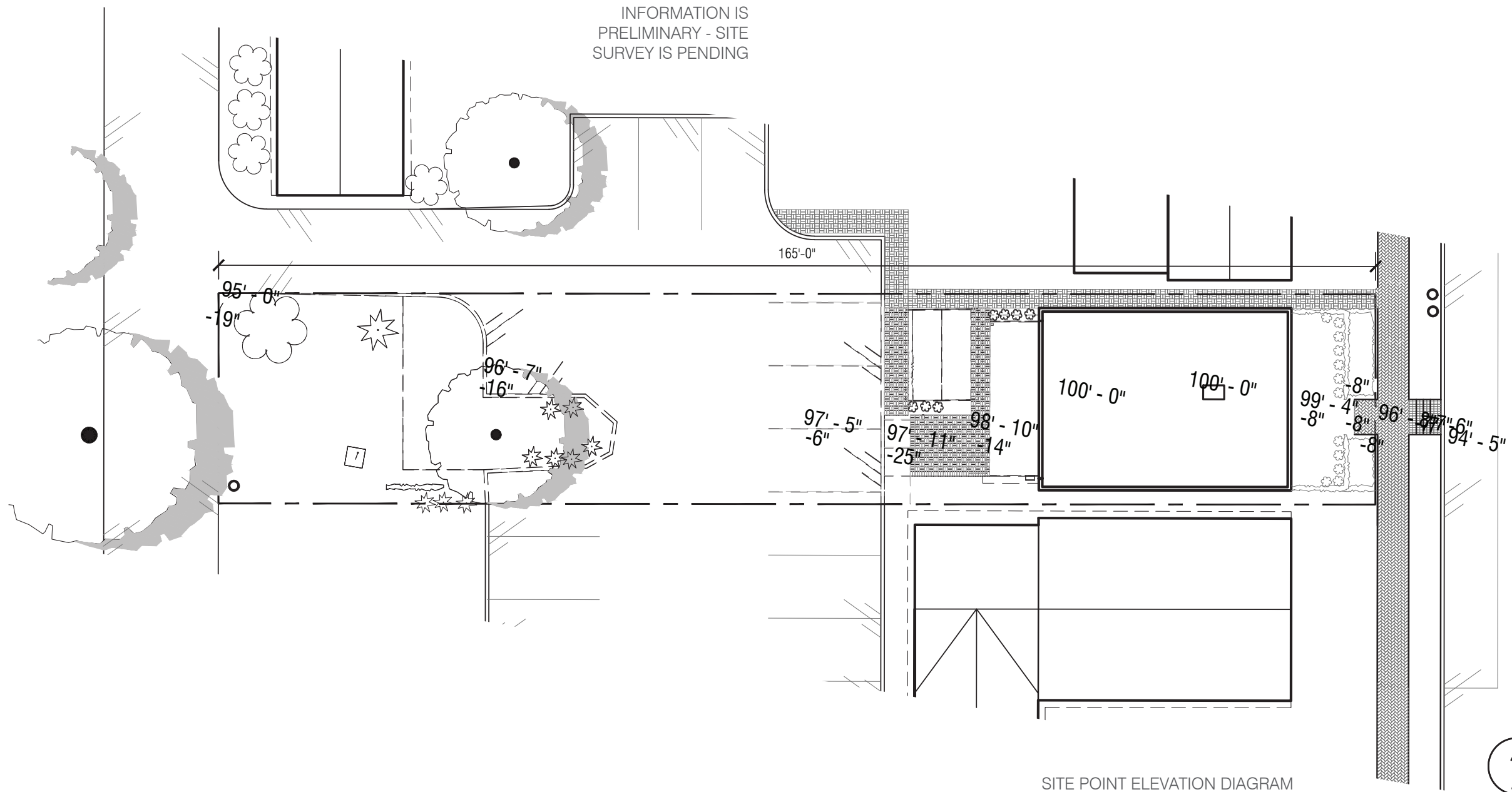
SITE AERIAL - NTS

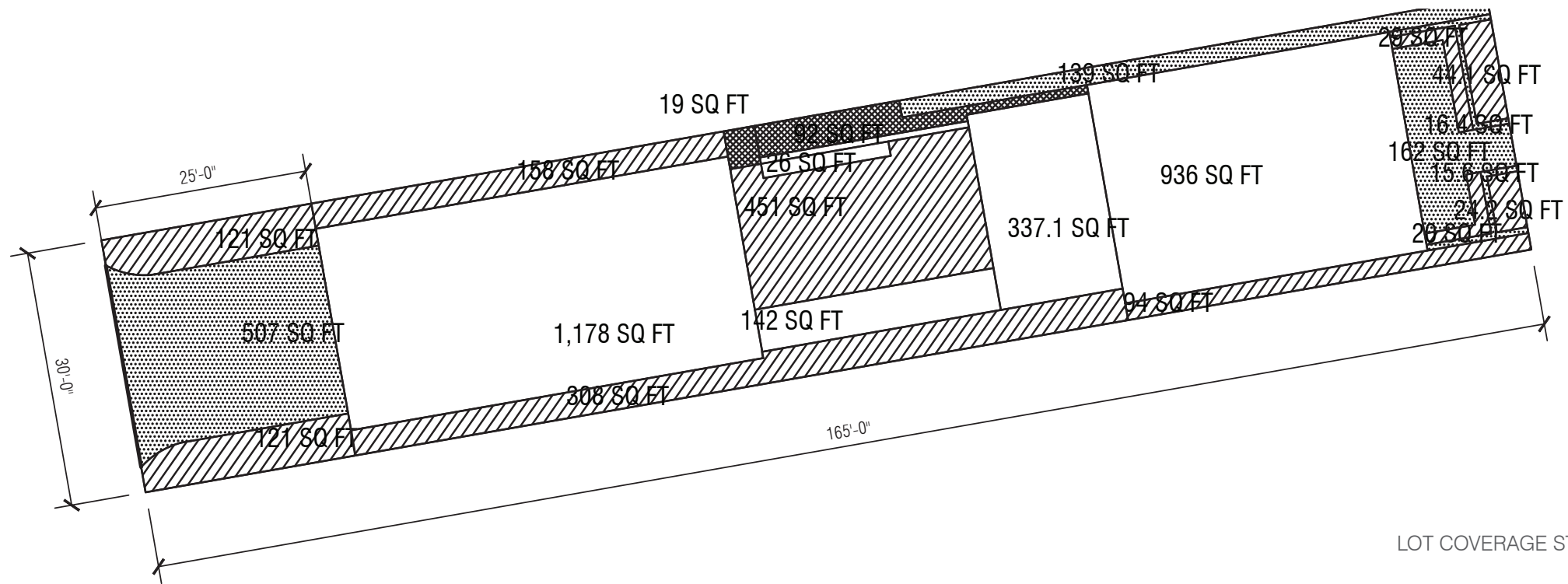


SITE DIMENSIONS - NTS

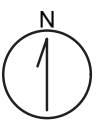


INFORMATION IS
PRELIMINARY - SITE
SURVEY IS PENDING





LOT COVERAGE STUDY



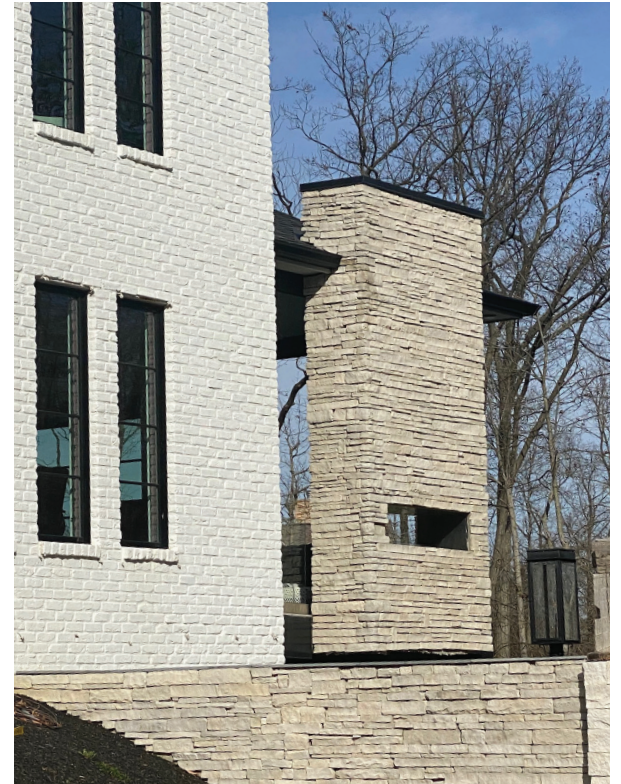
30'x165' =	4,950 SQ FT TOTAL LOT SIZE	
EXISTING BUILDING =	936 SQ FT	
ADDITION =	327 SQ FT	
CONNECTOR BUILDING =	143 SQ FT	
NEW BUILDING (FIRST ONLY) =	1176 SQ FT	50% ALLOWED BUILDING COVERAGE =
TOTAL BUILDING =	2,582 SQ FT SHOWN	2,475 SQ FT TOTAL ALLOWED
WALL =	22 SQ FT	
DRIVEWAY =	475 SQ FT	
EXISTING WALK =	30 SQ FT	
EXISTING PORCH =	132 SQ FT	15% ALLOWED IMPERVIOUS COVERAGE (LESS BUILDING)
IMPERVIOUS LESS BUILDING =	659 SQ FT SHOWN	742.5 SQ FT TOTAL ALLOWED
SEMI IMPERVIOUS 1 =	446 SQ FT	
SEMI IMPERVIOUS 2 =	0 SQ FT	10% ADDITIONAL SEMI IMPERVIOUS COVERAGE =
TOTAL SEMI IMPERVIOUS =	446 SQ FT SHOWN	495 SQ FT TOTAL ALLOWED
GREEN 1 =	84 SQ FT	
GREEN 2 =	72 SQ FT	
GREEN 3 =	0 SQ FT	
GREEN 4 =	446 SQ FT	
GREEN 5 =	72 SQ FT	
GREEN 6 =	114 SQ FT	
COURTYARD =	477 SQ FT	25% GREEN SPACE REQUIRED
GREEN =	1,265 SQ FT SHOWN	1,237.50 SQ FT
SECOND FLOOR =	884.50 SQ FT	50% OF FIRST FLOOR ALLOWED =
		588 SQ FT TOTAL ALLOWED
	TOTAL SQ FT = 3,466 SQ FT	TOTAL

LOT COVERAGE AND SQUARE FOOTAGE CALCULATIONS



EXISTING BUILDING PHOTOGRAPHS

| 4.00



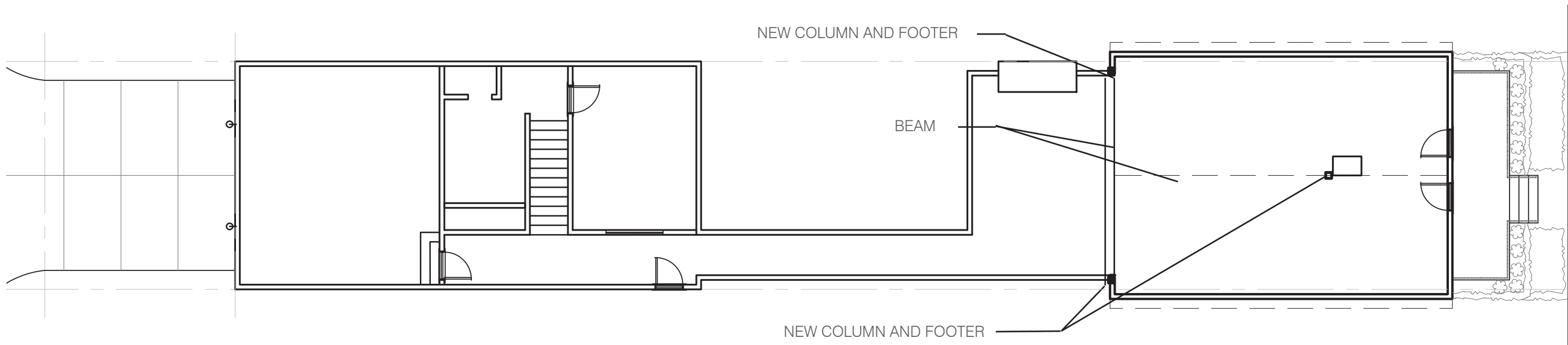
REFERENCE IMAGES
EXTERIOR

5.00



FLOOR PLAN STUDY 1

11/11/24

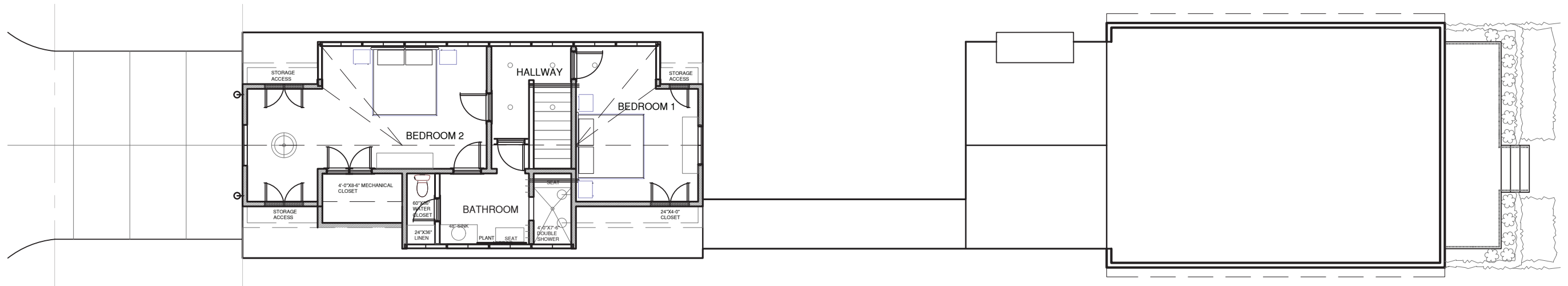


FLOOR PLAN STUDY 2

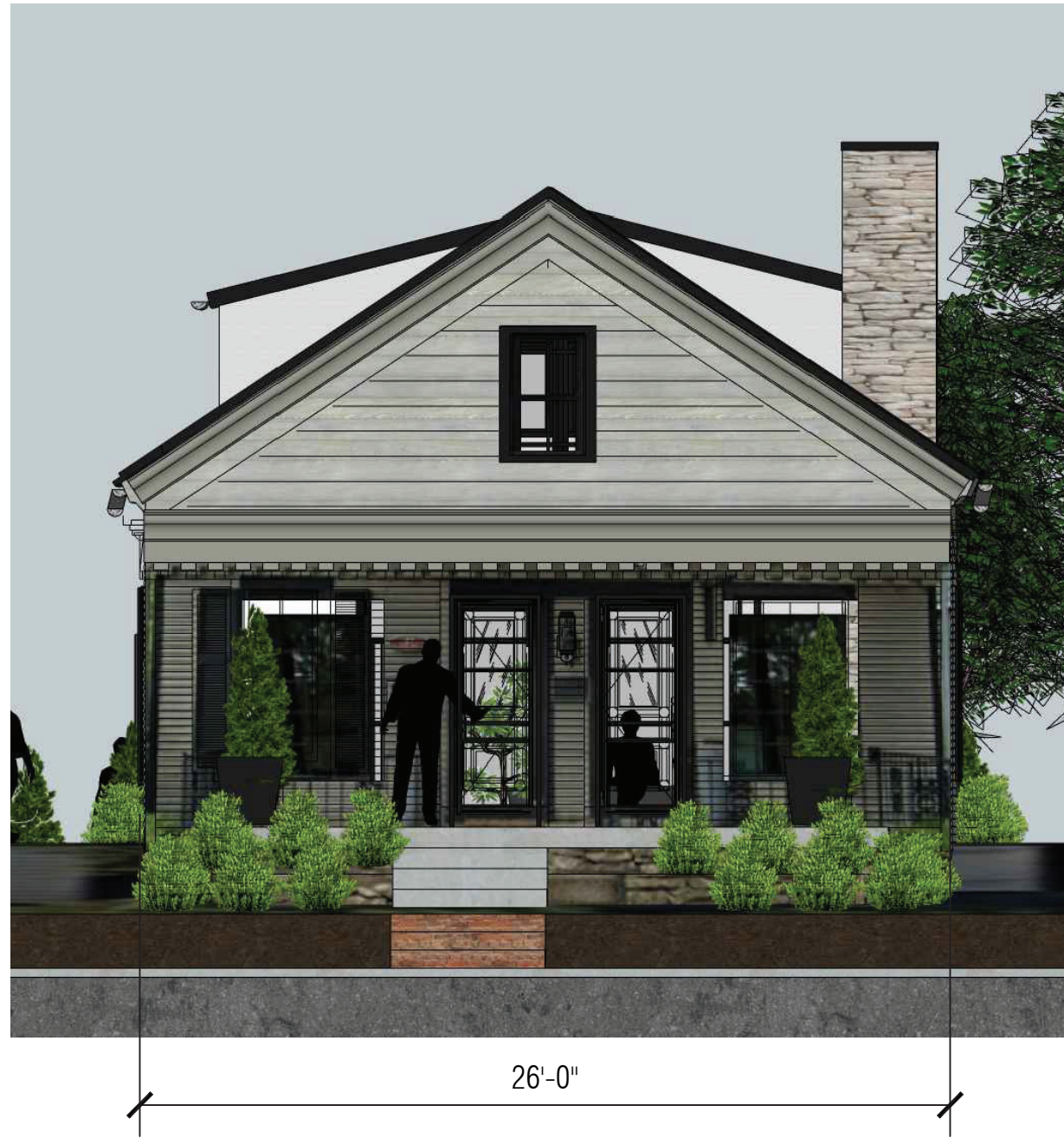
11/11/24



1/2 STORY FLOOR PLAN STUDY 1



1/2 FLOOR PLAN STUDY 2



SOUTH HIGH STREET ELEVATION



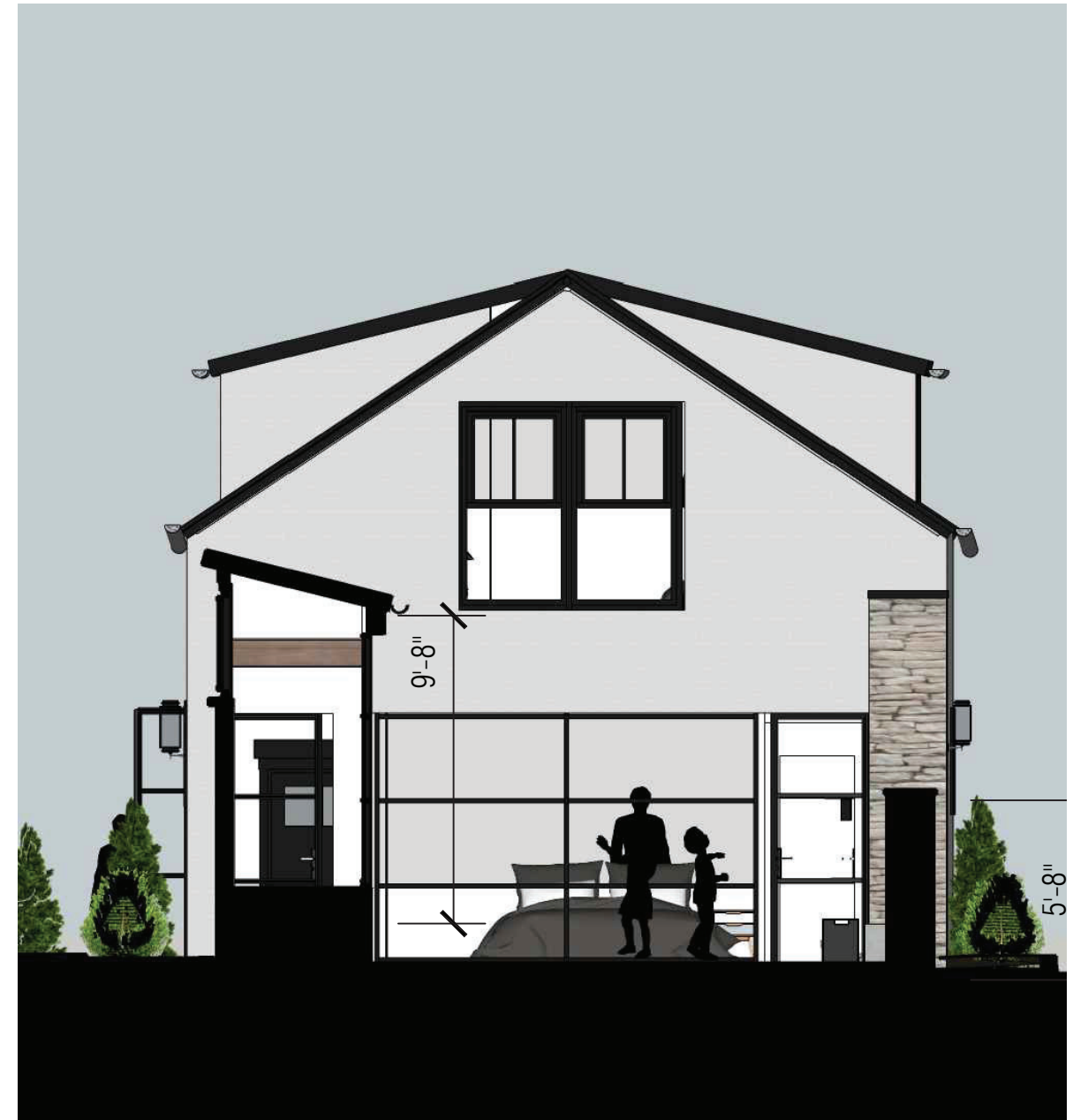
MILL LANE ELEVATION

EXISTING PRIMARY FACADE SCOPE

- Remove left window and replace with the same as the right to regain original design.
- Install new doors.
- Install new light fixture
- Replace materials with more durable approved materials.

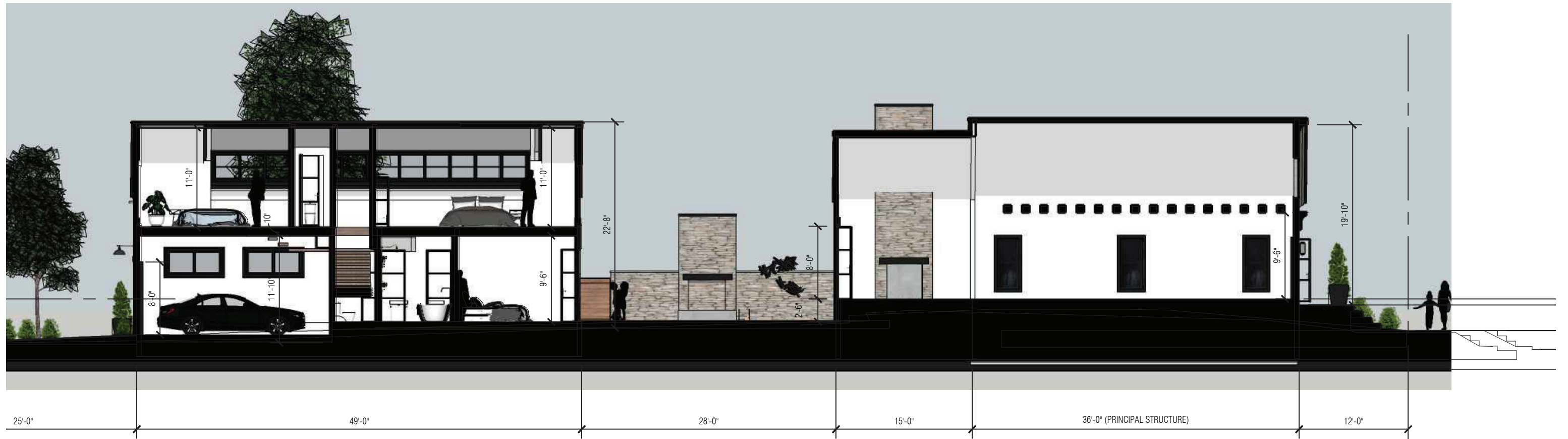


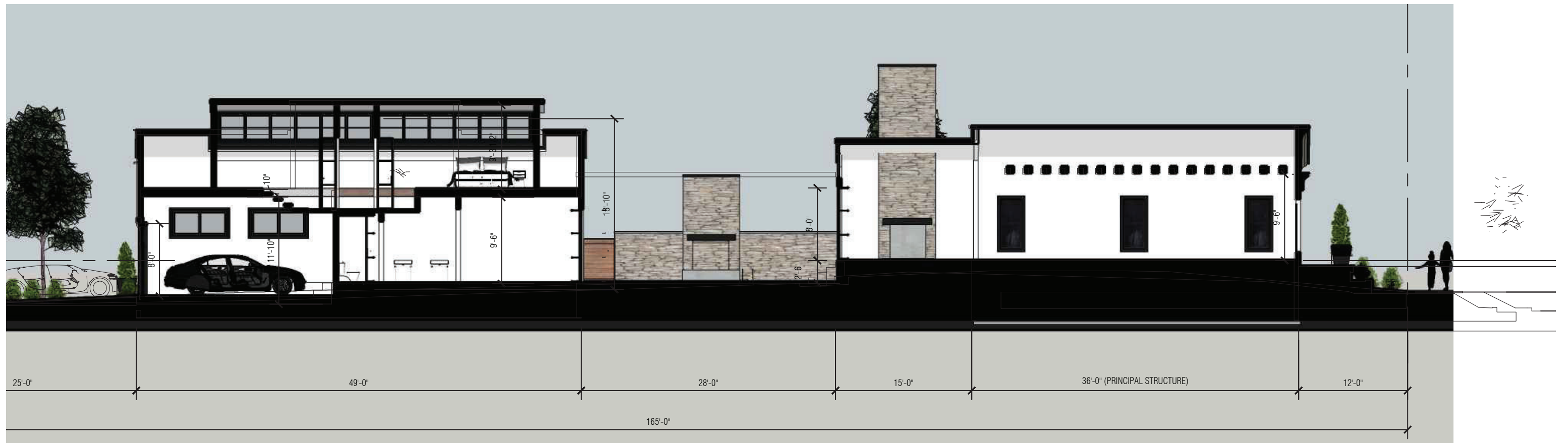
ELEVATION SECTION LOOKING WEST



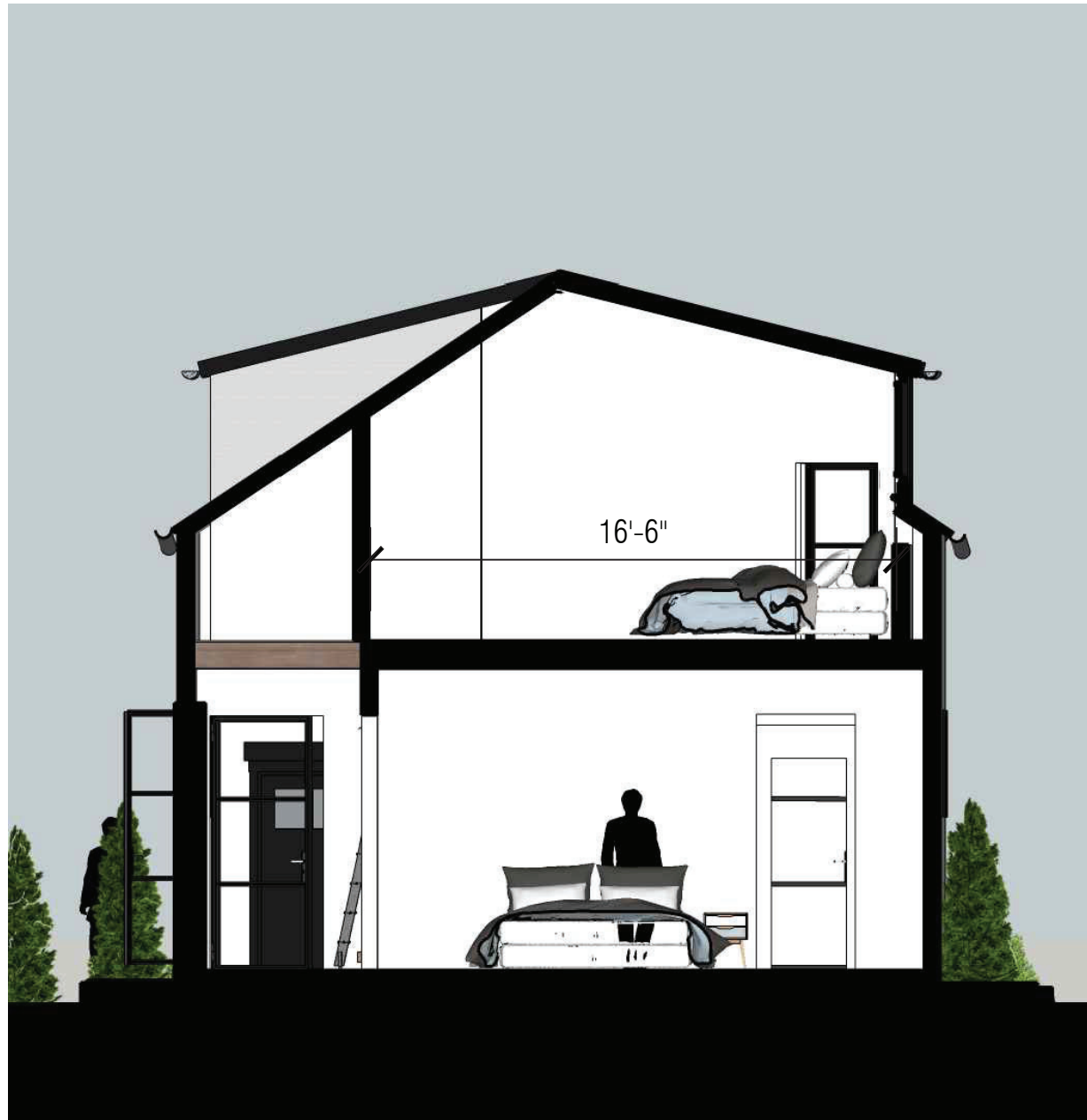
EAST COURTYARD ELEVATION







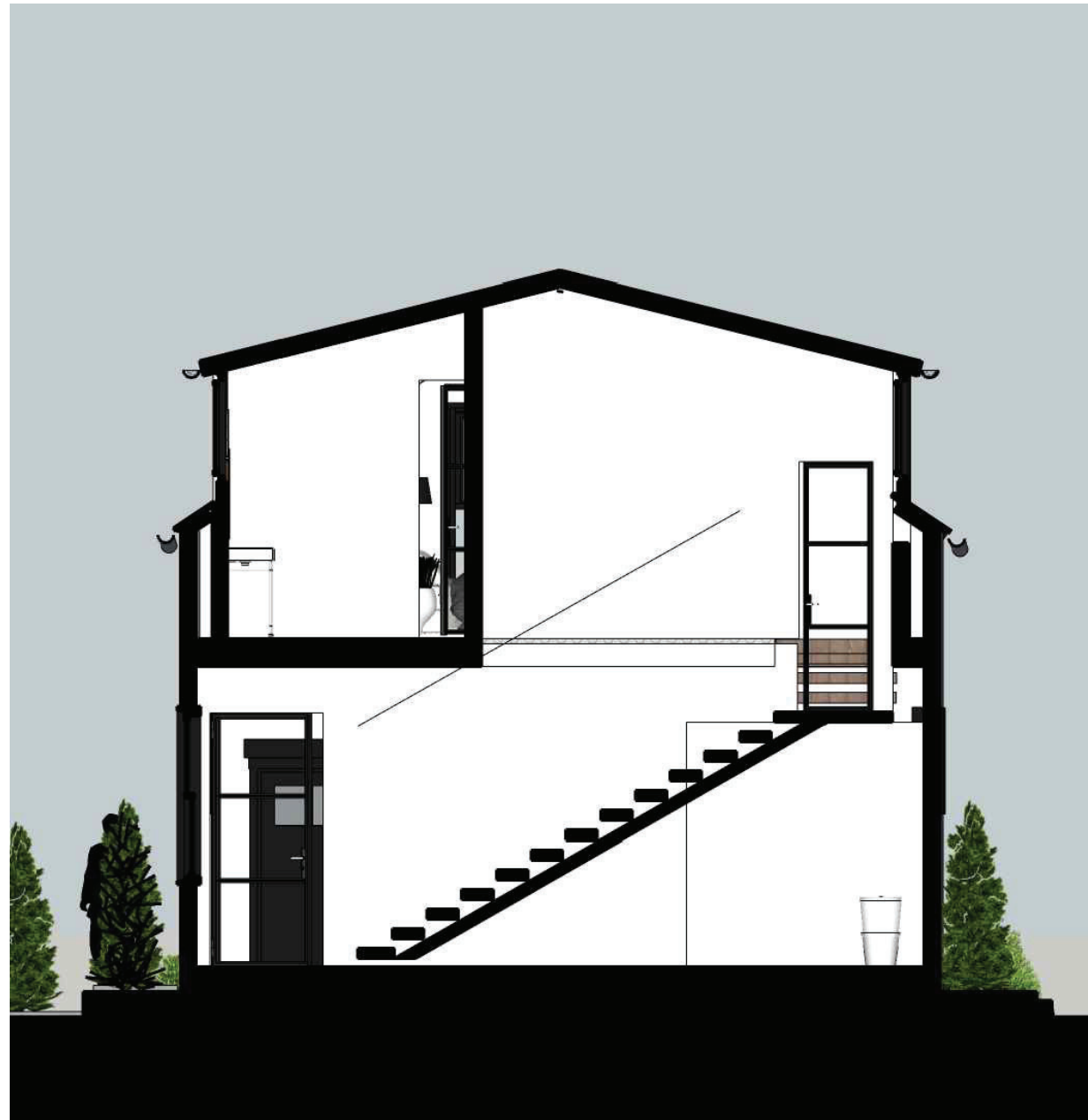
SECTION 3



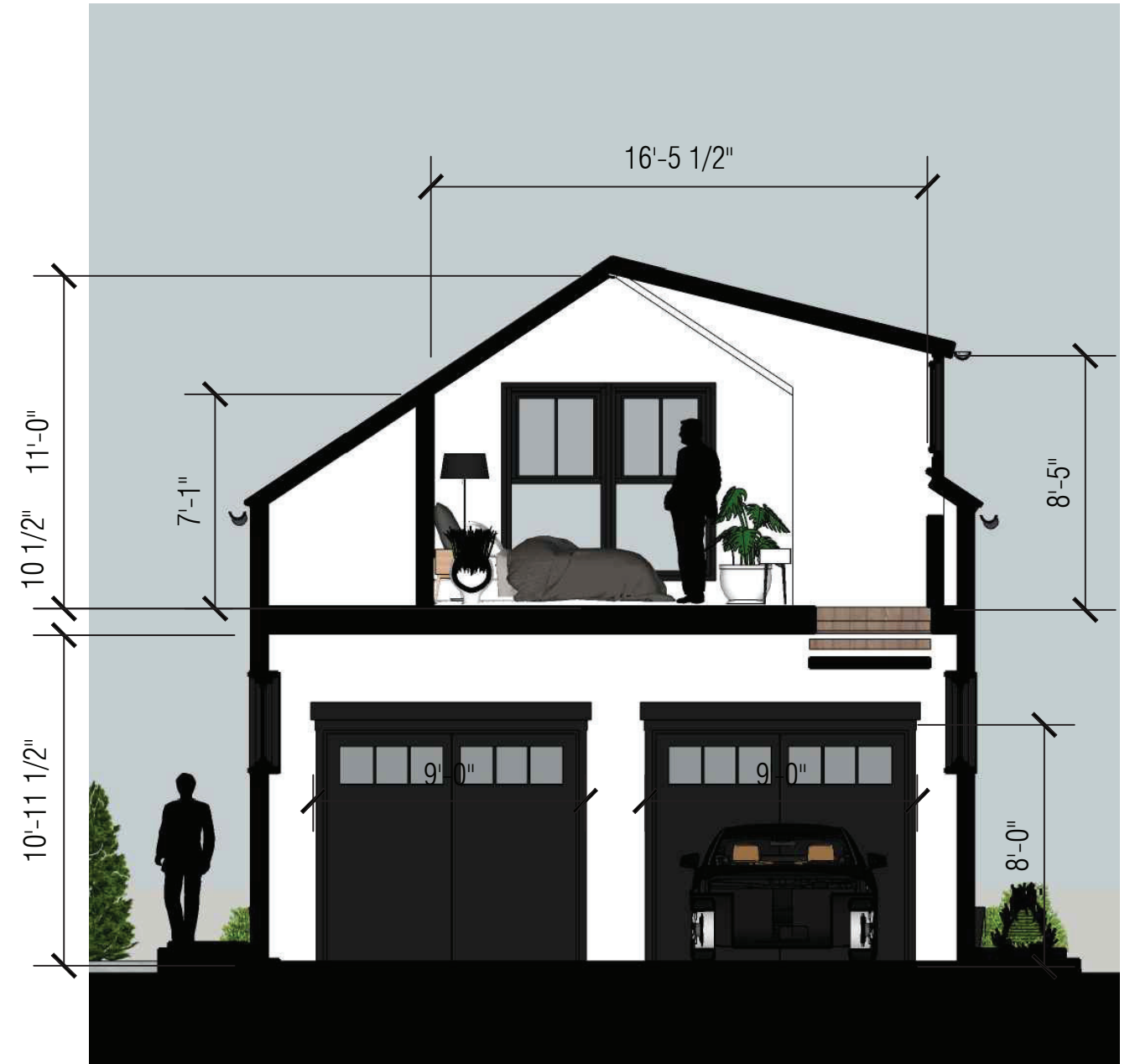
SECTION 5



SECTION 4



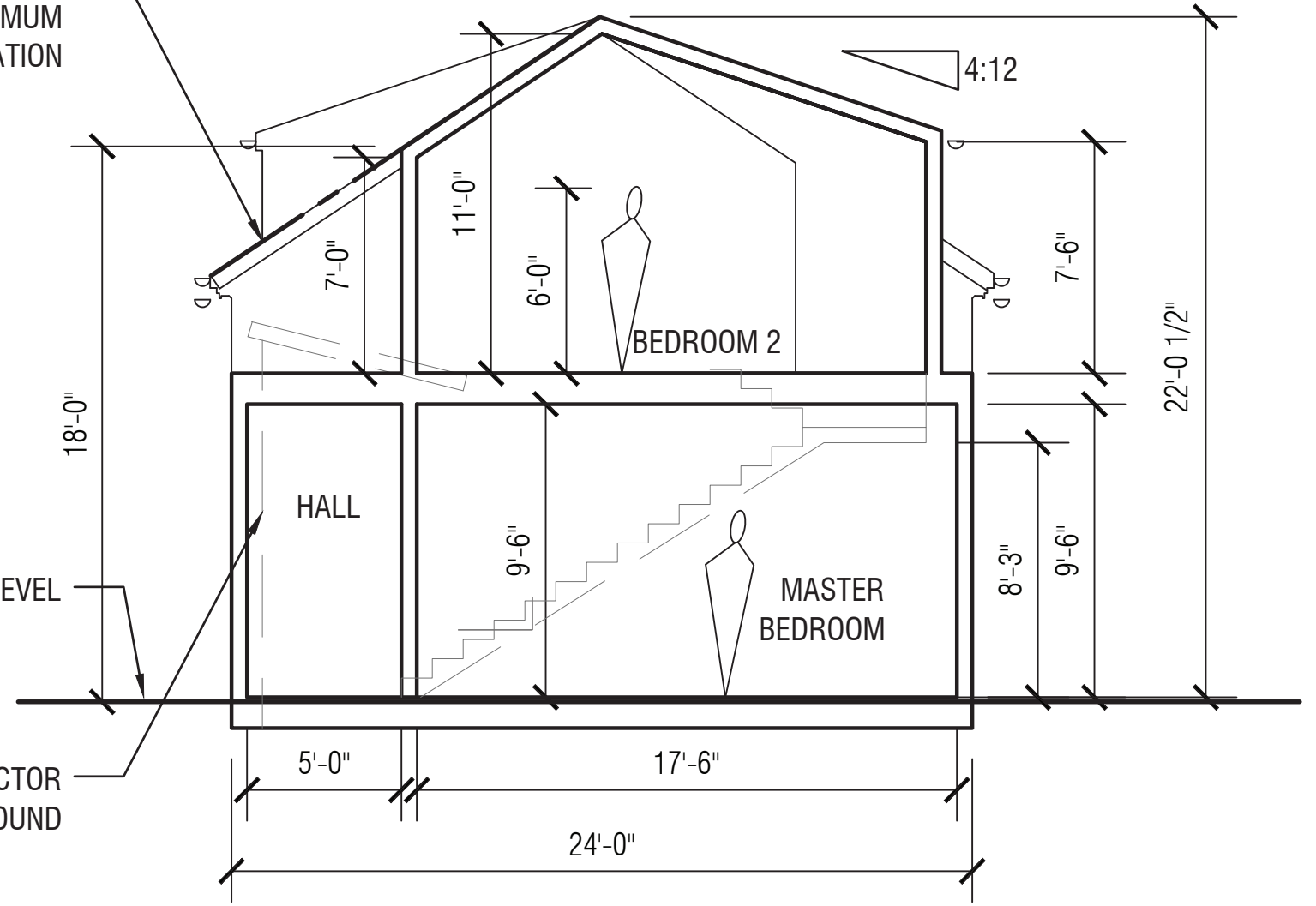
SECTION 7



SECTION 6

HEAVY DASHED LINETYPE INDICATES SLOPE
OF ROOF FOR MIDPOINT 18'-0" MAXIMUM
CALCULATION

MIDPOINT OF GROUND LEVEL
DASHED LINE INDICATES CONNECTOR
BUILDING IN FOREGROUND



CEILING HEIGHT STUDY



LOOKING NORTHEAST



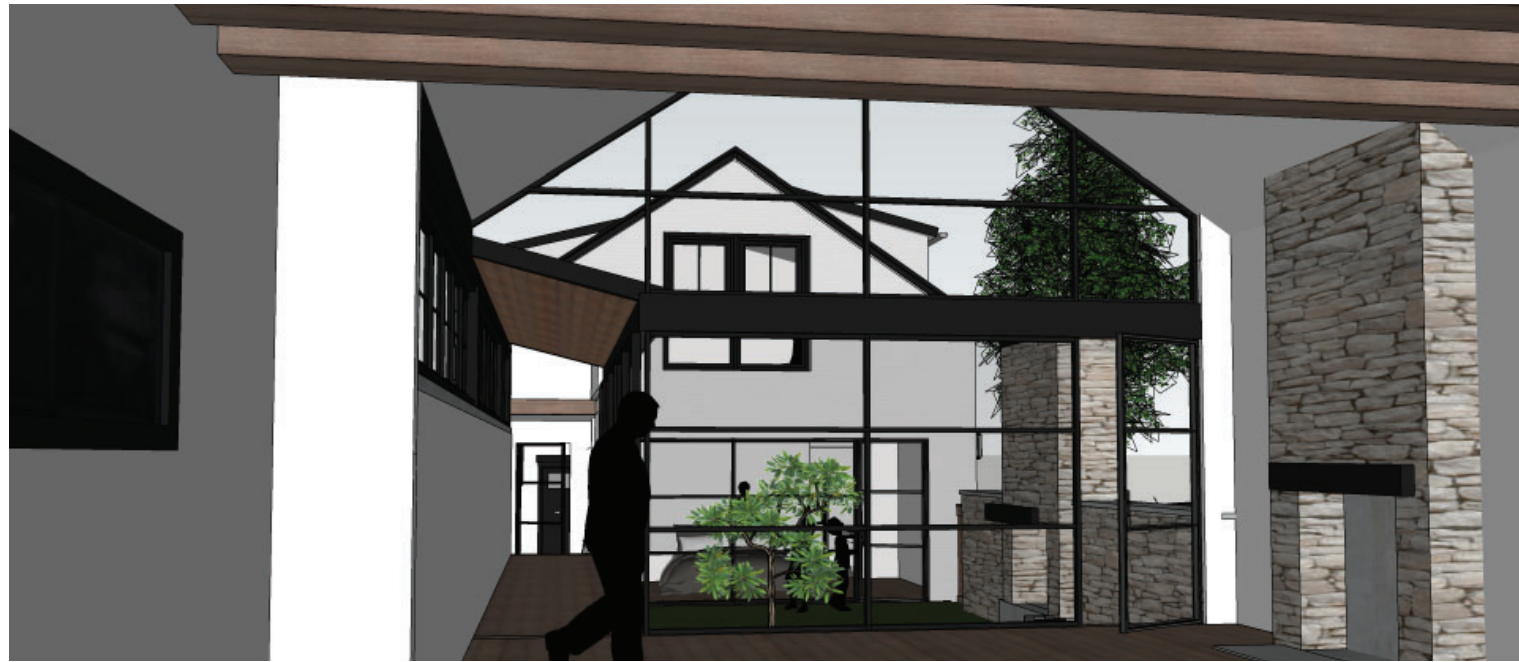
LOOKING SOUTHEAST



LOOKING SOUTHWEST



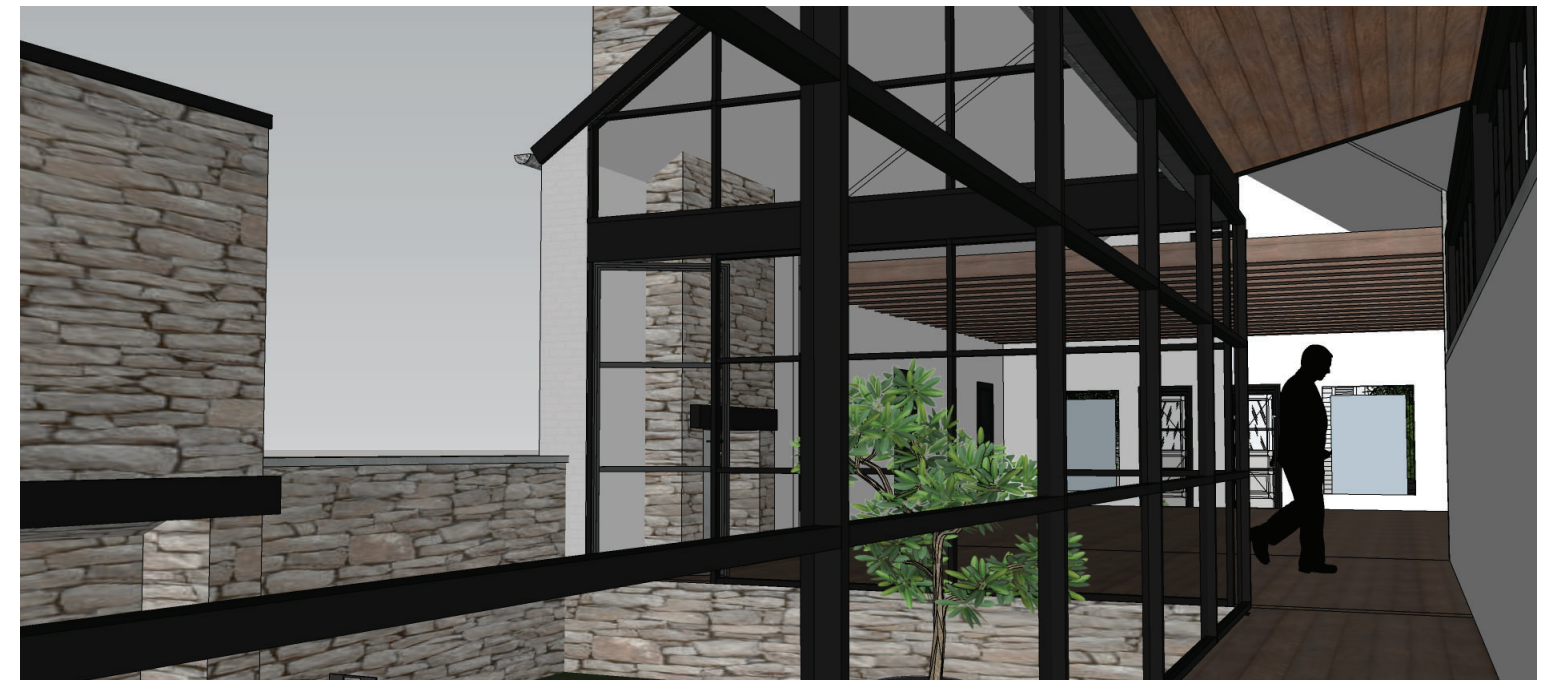
LOOKING NORTHWEST



INTERIOR VIEW 2



INTERIOR COURTYARD AERIAL



INTERIOR VIEW 1



PRELIMINARY RENDERED MASSING STUDY

Identify areas of opportunity and clarification
Gain an understanding of project approval timeline
Confirm setback requirements regarding eaves and gutters
Next Steps

ADDITIONAL CONSIDERATIONS | 10.00

Thank You

For additional information please contact:

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