

EXISTING SITE PLAN
 SCALE: 1"=20'-0"

project no. 092020

date DECEMBER 2019

drawn by Z.M. HALL

checked by L.W. DONOVAN

REVISIONS

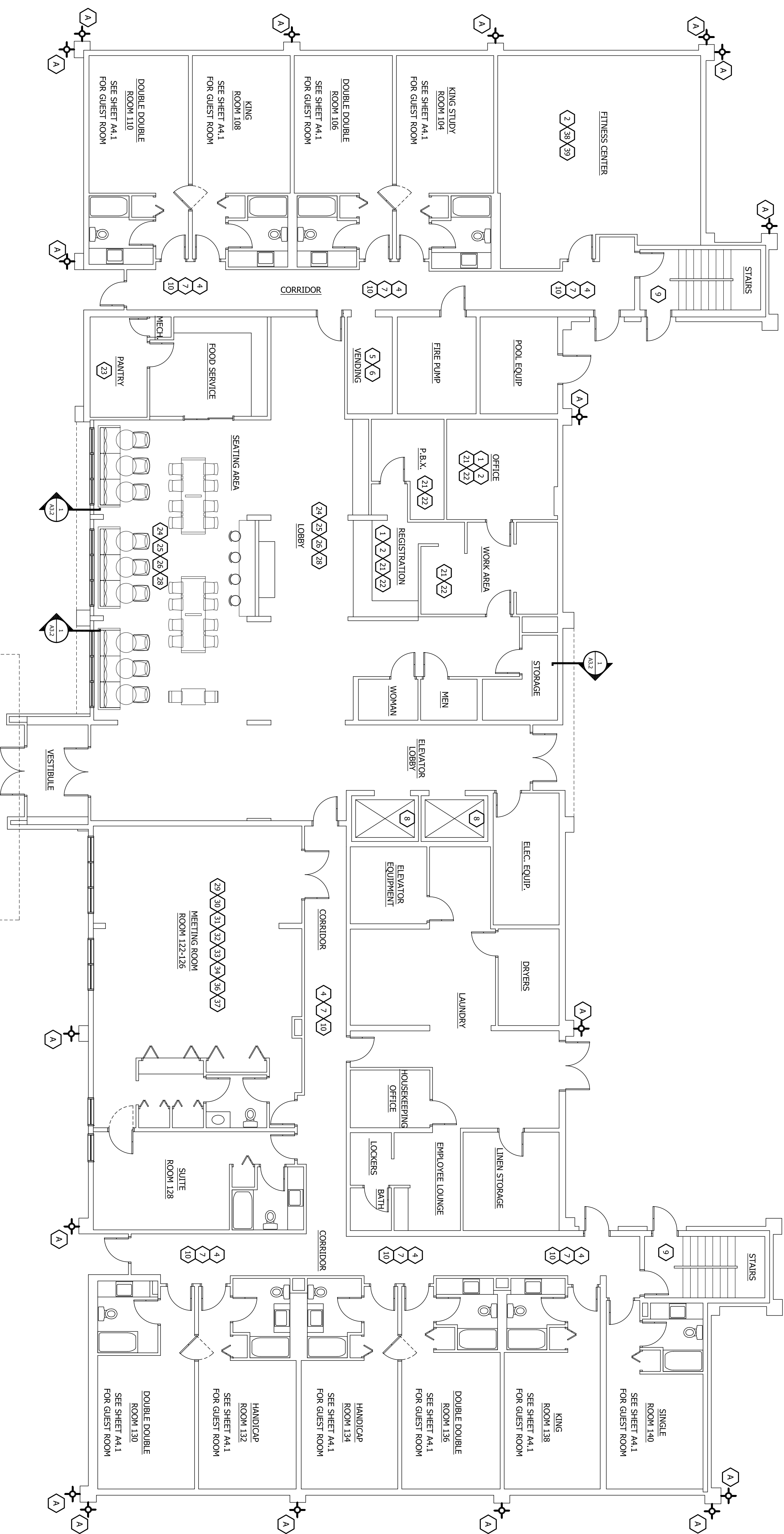
ALL NOTES, SPECIFICATIONS, REQUIREMENTS, MATERIALS, AND FINISHES SHOWN ON THESE PLANS ARE TO BE USED IN THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

Renovation Plans for
HAMPTON INN
 Dublin, Ohio

DONOVAN + DONOVAN
 architecture • engineering • interior design
 427 Main Street • Post Office Box 976 • Vincennes, Indiana 47591
 Tel: 812.882.0415 • Fax: 812.882.4600 • Email: donovananddonovan@sbcglobal.net

Sheet no. **SP1.1**
 of

- PIPE NOTES:**
- 1) = Replace all laminate on counters in offices due to heavy chipping on edges.
 - 2) = Replace flooring. Install approved flooring and base.
 - 4) = Replace vinyl wall covering. At wall direction changes inside guestroom corridors, corner guards are required. They must be resilient vinyl in a solid color to match the wall covering. They must be self-adhesive with no exposed screws or fasteners. They must extend from the floor base to the ceiling.
 - 5) = Replace vinyl wall covering to match new corridor vinyl.
 - 6) = Provide an enclosed, flame retardant, decorative trash container. Current trash container is not decorative.
 - 7) = Replace all corridor carpet, carpet pad, and approved base.
 - 8) = Replace the flooring within the elevator cabs. Install new approved flooring.
 - 9) = Provide 4" vinyl base in all stairwells.
 - 10) = Replace current wall sconces/fixtures with updated approved fixtures.
 - 21) = Replace chairs in business center. All task chairs must be ergonomically designed with casters, arms, and fully upholstered seats and backs.
 - 22) = Install/replace vinyl wall covering as part of lobby renovations.
 - 23) = Replace the residential refrigeration and freezer. Install stainless steel units as replacements.
 - 24) = Replace the carpet/mat carpet rug. Install new carpet and base meeting current standards.
 - 25) = Replace the lighting package.
 - 26) = Replace the window treatment and wall vinyl.
 - 28) = Replace the dining tables, and tables, sofa tables, and community table.
 - 29) = Replace the carpet and carpet pad. Install new flooring and base meeting current standards.
 - 30) = Replace window treatments. Install new approved window treatment.
 - 31) = Replace current lighting. Install approved recessed or decorative ceiling mounted lighting with concealed control. Provide lighting on dimmer switches.
 - 32) = Replace all carpet and carpet pad. Install approved flooring and base.
 - 33) = Replace all stack chair seating.
 - 34) = Replace artwork. Install new approved artwork, of an appropriate quantity and size, within the meeting space.
 - 36) = Replace vinyl wall covering. Install approved wall covering on the walls.
 - 37) = Replace window treatments. Install new approved window treatment.
 - 38) = Replace all fitness equipment at 7 years of age.
 - 39) = Provide one remote controlled wall or ceiling mounted, 40" high definition television screen (P/S) in each piece of cardio equipment, only one wall/ceiling mounted television located near the strength training area is required.

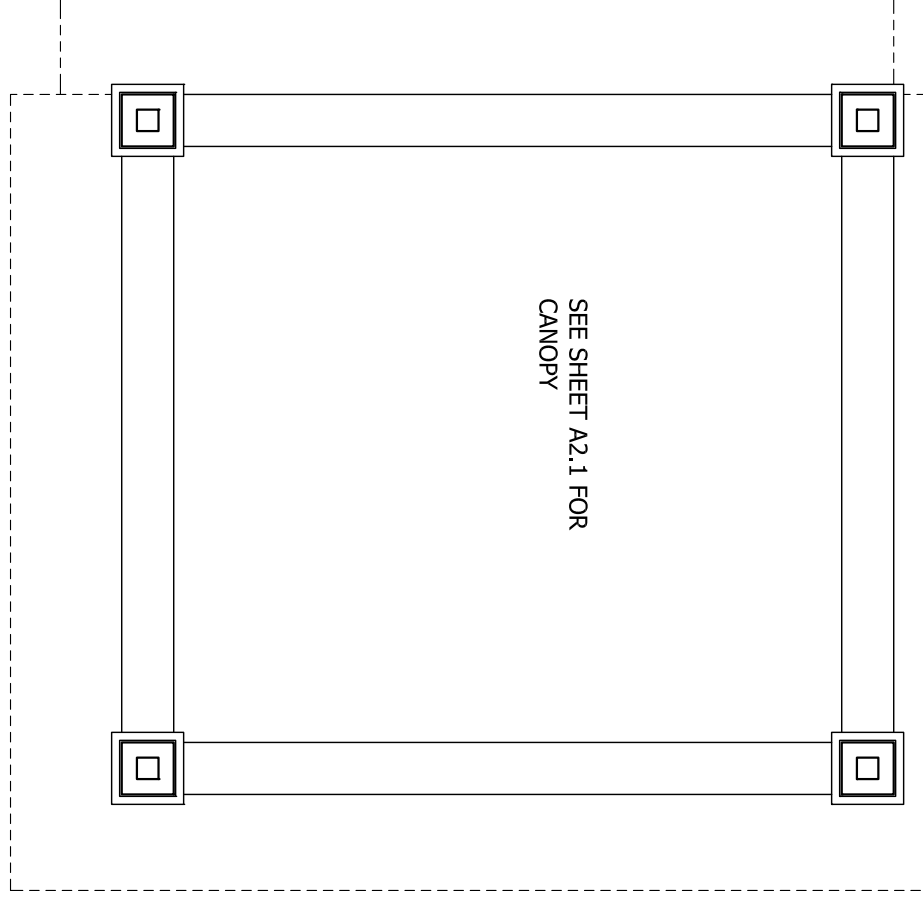


UPLIGHT SCHEDULE

A) = LED IN-GRADE UPLIGHT "THORPEL" #A9700C OR EQUIV. MOUNT IN GROUND AT LOCATION SHOWN ON FLOOR PLAN. CENTER LIGHTS ON EXISTING PULSTERS AND 24" FROM EXTERIOR TO CENTER OF LIGHT.

FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

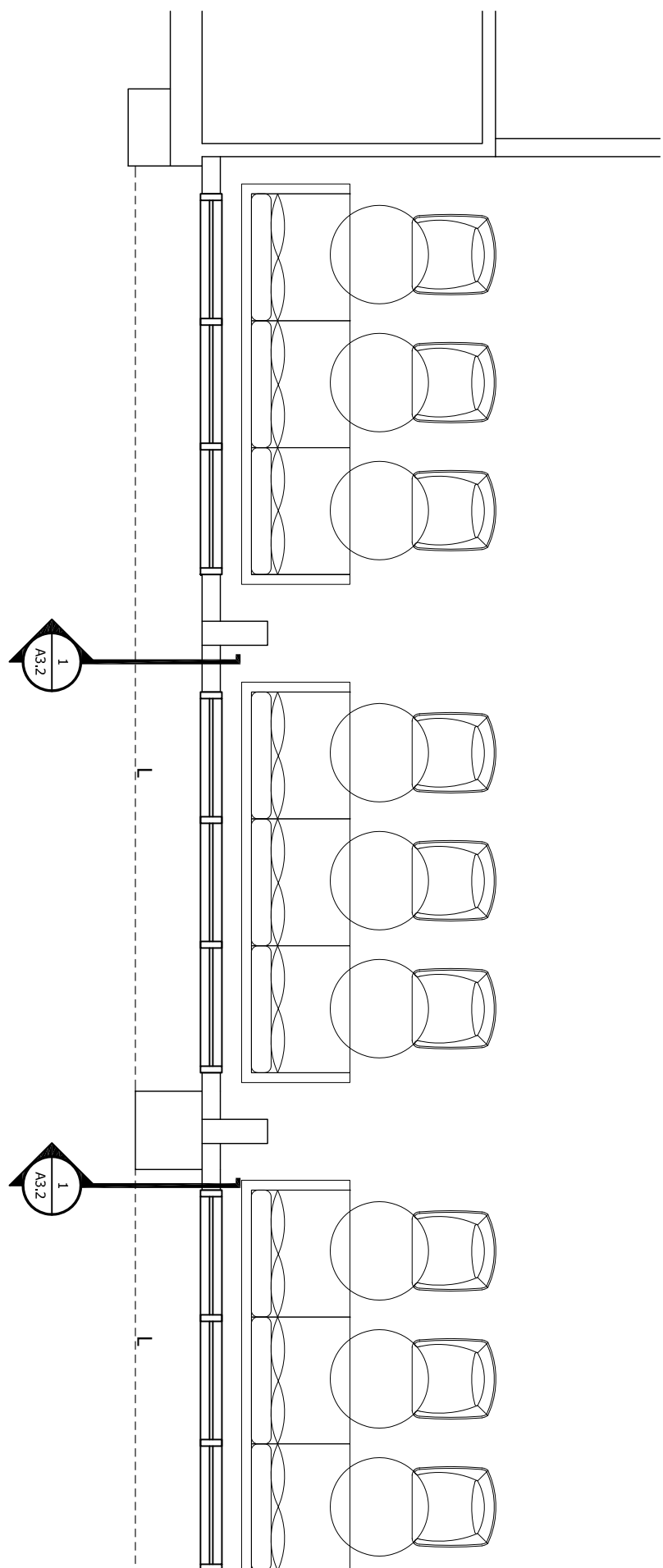


project no.	020205
date	DECEMBER 2019
Drawn by	Z.M. HALL
checked by	L.W. DONOVAN
revisions	

Renovation Plans for
HAMPTON INN
 Dublin, Ohio

DONOVAN + DONOVAN
 architecture • engineering • interior design

427 Main Street • Post Office Box 976 • Vincennes, Indiana 47591
 Tel: 812.882.0415 • Fax: 812.882.4600 • Email: donovananddonovan@sbcglobal.net

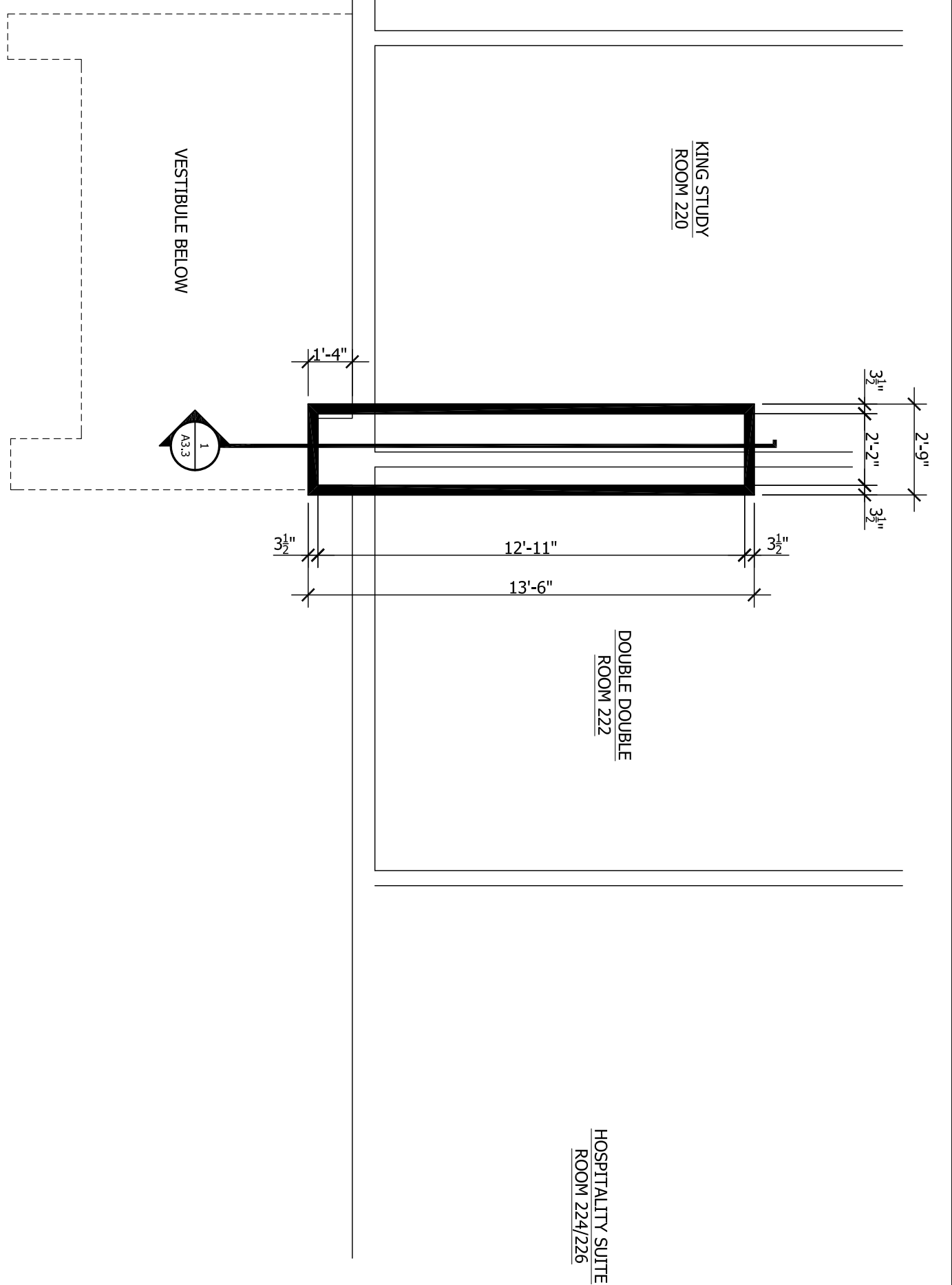


MEETING ROOM

VESTIBULE

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



KING STUDY
ROOM 220

DOUBLE DOUBLE
ROOM 222

HOSPITALITY SUITE
ROOM 224/226

project no.	02/2025
date	DECEMBER 2019
drawn by	Z.M. HALL
checked by	L.W. DONOVAN
revisions	

NEW BRICK VENER ON EXISTING COLUMNS. NEW BRICK TO MATCH EXISTING

EXISTING COLUMN & STRUCTURE TO REMAIN

PREPREGATED METAL PANEL BY "AC-CLAD" PER HAMPTON INN STANDARDS FASTEN AS REQUIRED

ARCHITECTURAL WOOD PANELING SEE EXTERIOR FINISH SCHEDULE SHEET A3.1

EXISTING COLUMN & STRUCTURE TO REMAIN

NEW BRICK VENER ON EXISTING COLUMNS. NEW BRICK TO MATCH EXISTING

CANOPY LIGHT FIXTURE SCHEDULE

- CL = DRIVE THRU CANOPY LIGHT "GOTHAM" # EVO SQ 30/30 6AR 120
- L = LED STRIP LIGHTING "ACCLAD" # FLEXE3 W/ #FLKEDL TRACK RATED @ 30K & 5.5 W/FT

CANOPY PLAN

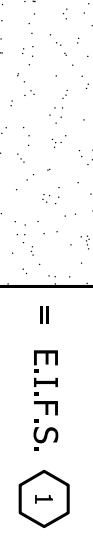
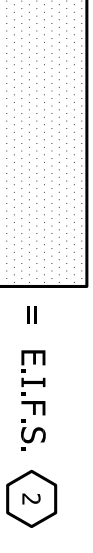
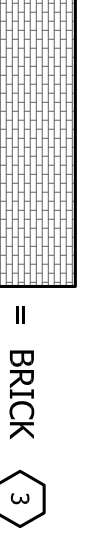
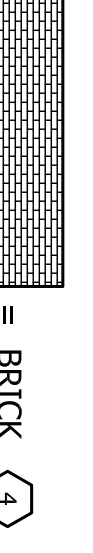

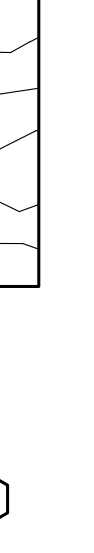

SCALE: 1/4"=1'-0"


DONOVAN + DONOVAN
 architecture • engineering • interior design
 427 Main Street • Post Office Box 976 • Vincennes, Indiana 47591
 Tel: 812.882.0415 • Fax: 812.882.4600 • Email: donovananddonovan@sbcglobal.net

Renovation Plans for
HAMPTON INN
 Dublin, Ohio

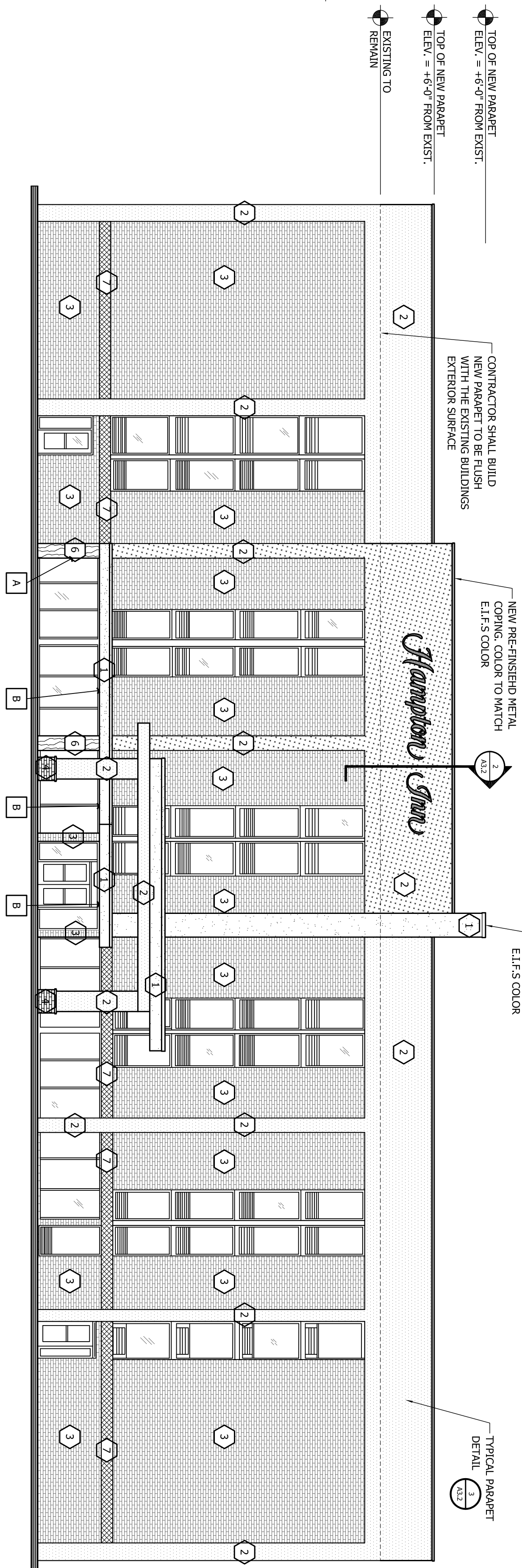
Sheet no. **A2.1**

EXTERIOR FINISHES & COLOR SCHEDULE:
ALL COLORS ARE "BENJAMIN MOORE" COLORS

-  = EIFS. 1
 -  = EIFS. 2
 -  = EIFS. 3
 -  = EIFS. 4
 -  = EIFS. 5
 -  = EIFS. 6
 -  = EIFS. 7
- 2066-20 "EVENING BLUE"
2121-70 "MAT WHITE"
EXISTING BRICK
NEW BRICK (COLOR TO MATCH EXIST.)
2125-40 "SHADOW GREY"
WOOD LOOK PANELS EQUAL TO "CARRITEC" SERIES PP
2093-30 "COLONIAL BRICK"

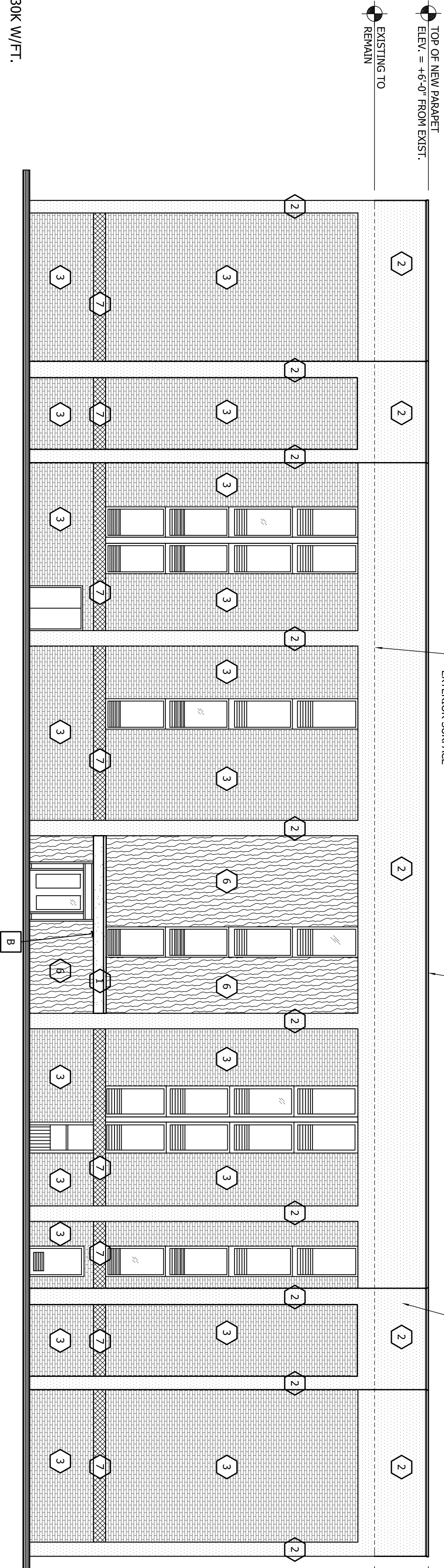
EXTERIOR ELEVATION NOTES:

- A** = LED STRIP LIGHT EQUAL TO "ACCLAIM" #HLEKPE3 W/ FLKEXL TRACK RATED @ 30K W/FT. SEE SHEET A3.2 DETAIL #1
- B** = LED STRIP LIGHT EQUAL TO "ACCLAIM" #HLEKPE3 W/ FLKEXL TRACK RATED @ 30K W/FT. SEE SHEET A3.2 DETAIL #2



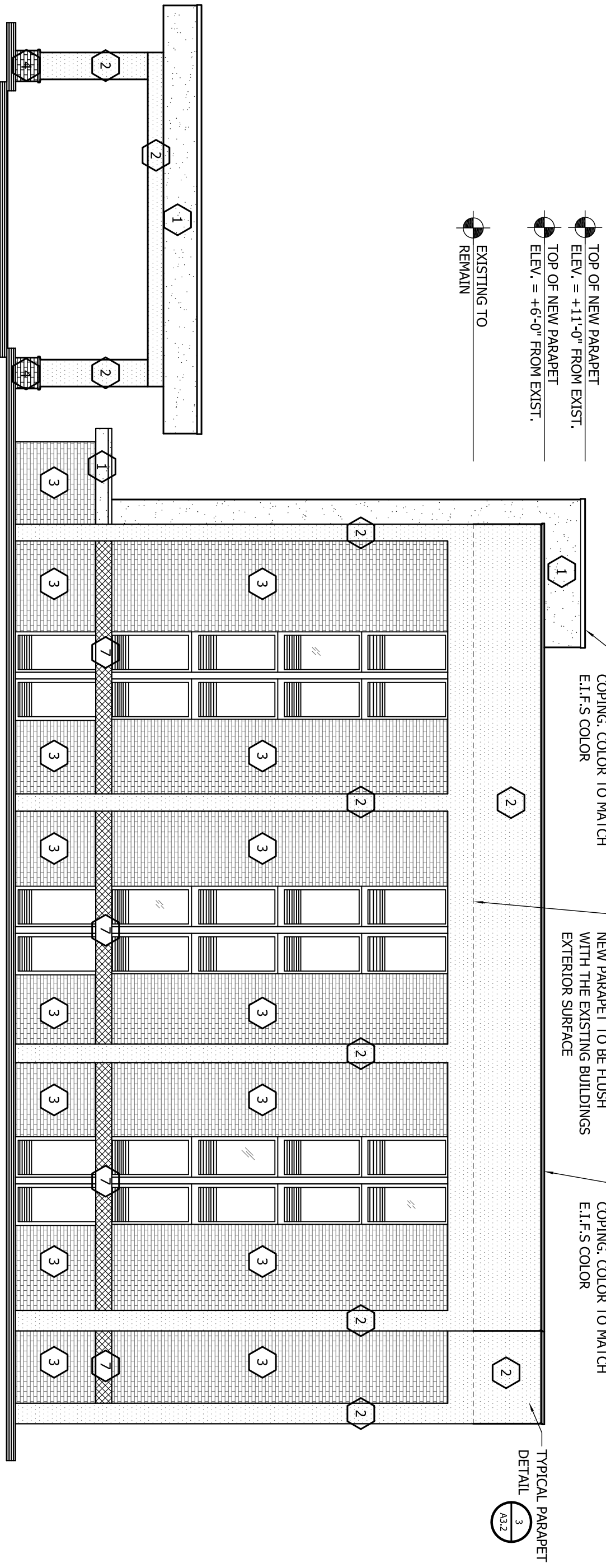
FRONT ELEVATION

SCALE: 1/4"=1'-0"



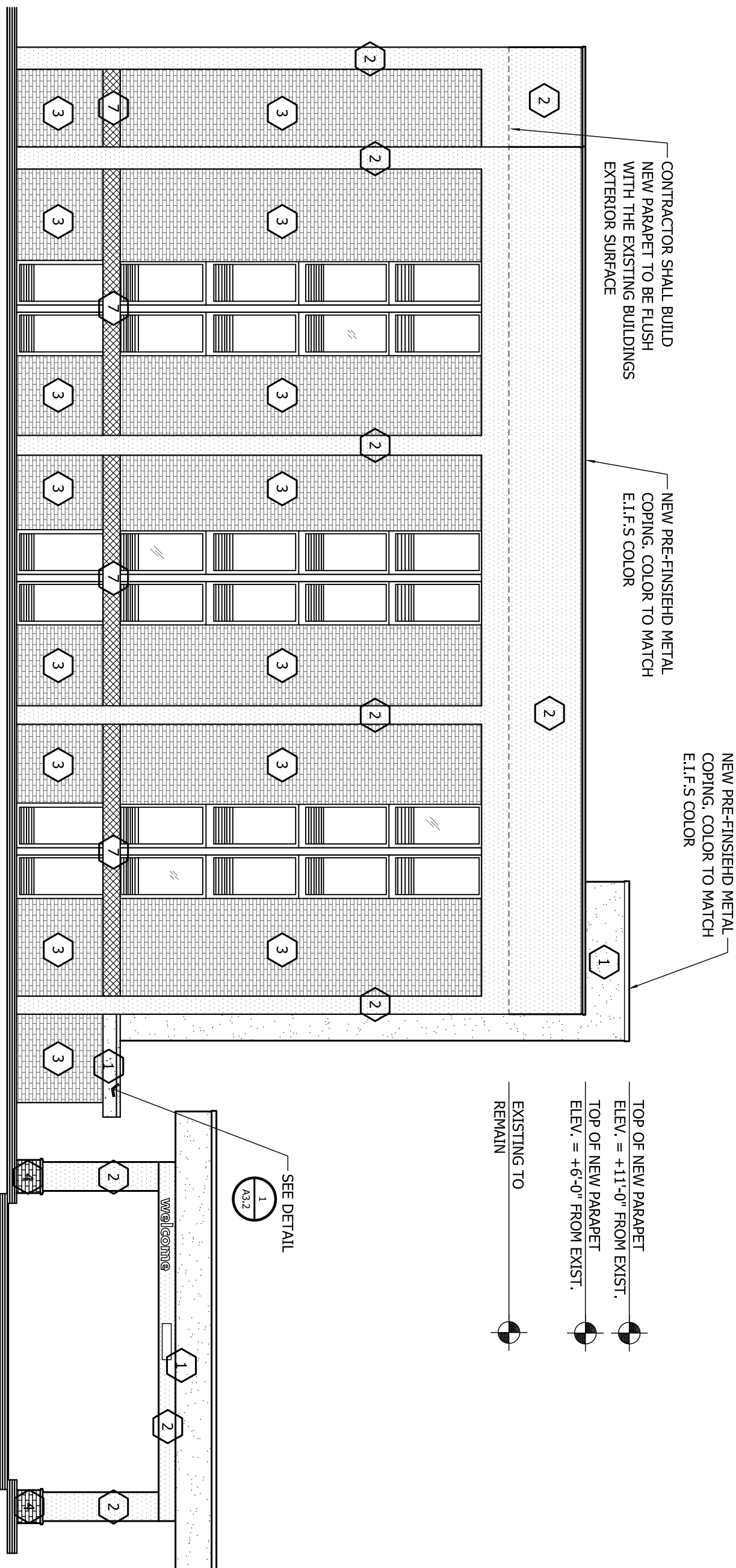
REAR ELEVATION

SCALE: 1/4"=1'-0"



SIDE ELEVATION

SCALE: 1/4"=1'-0"



SIDE ELEVATION

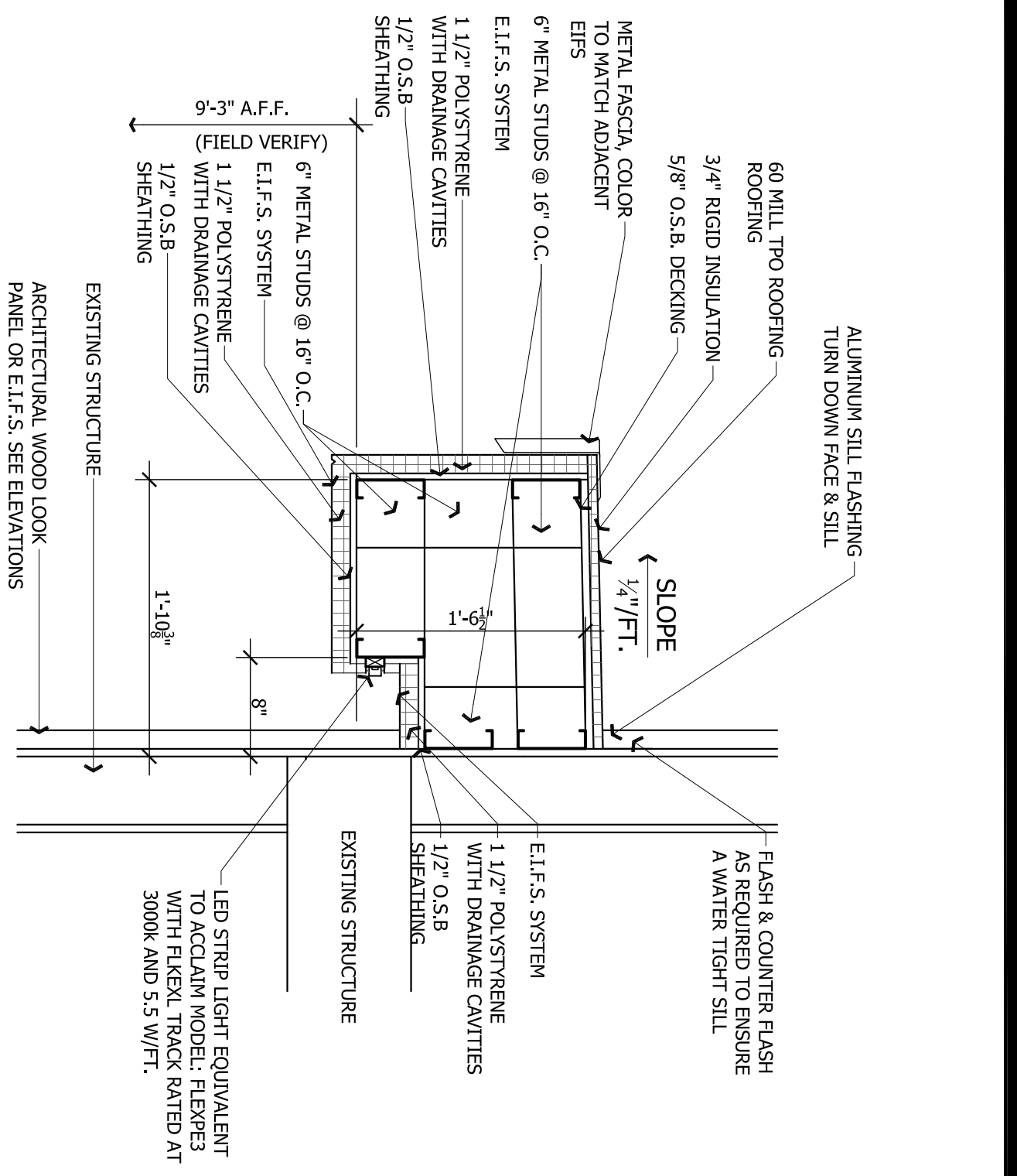
SCALE: 1/4"=1'-0"

project no.	D20205
date	JUNE 2020
drawn by	Z.M. HALL
checked by	L.W. DONOVAN
revisions	

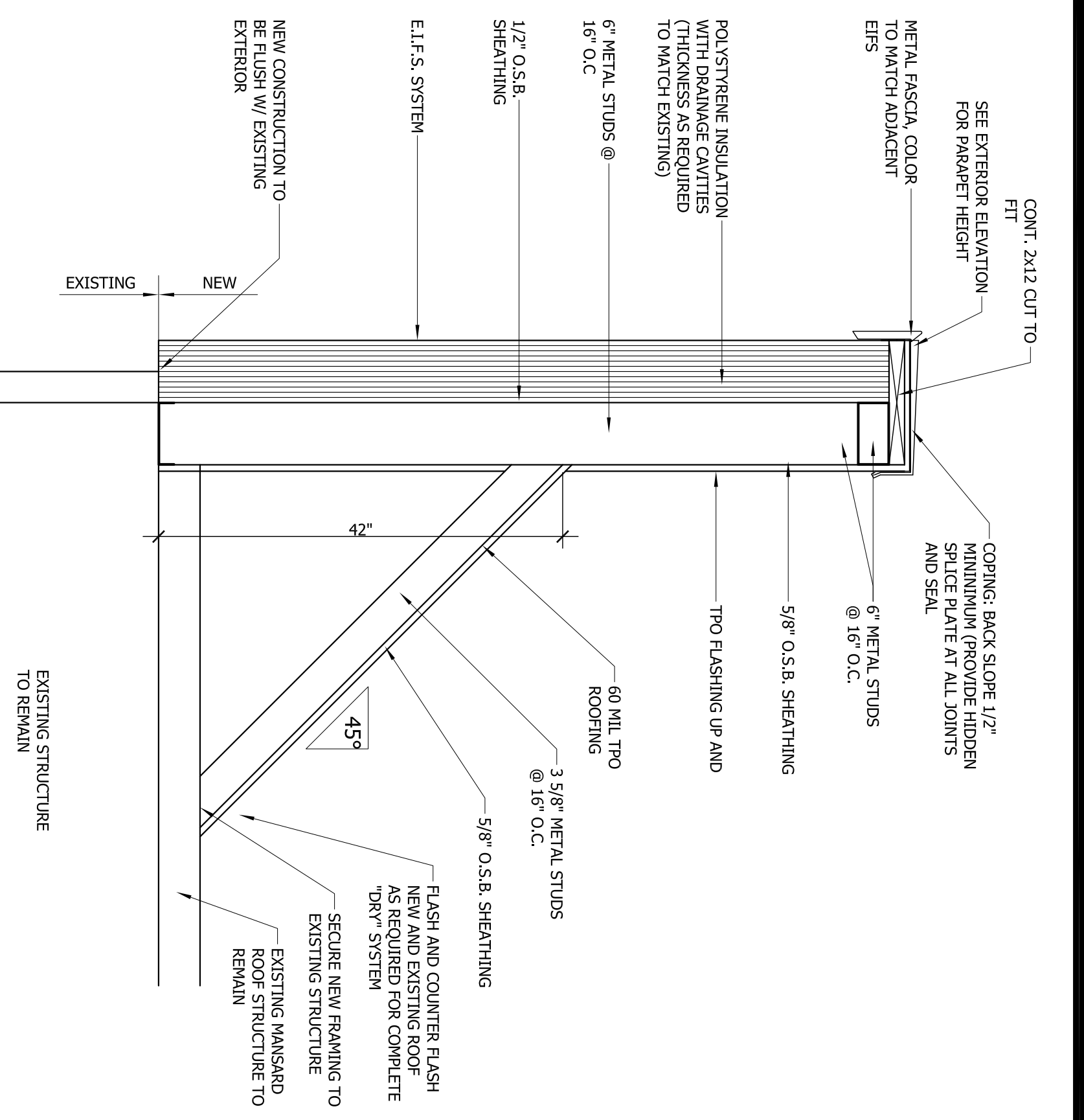
ALL WORK SHOWN SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE PROVISIONS OF THE APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

Renovation Plans for
HAMPTON INN
Dublin, Ohio

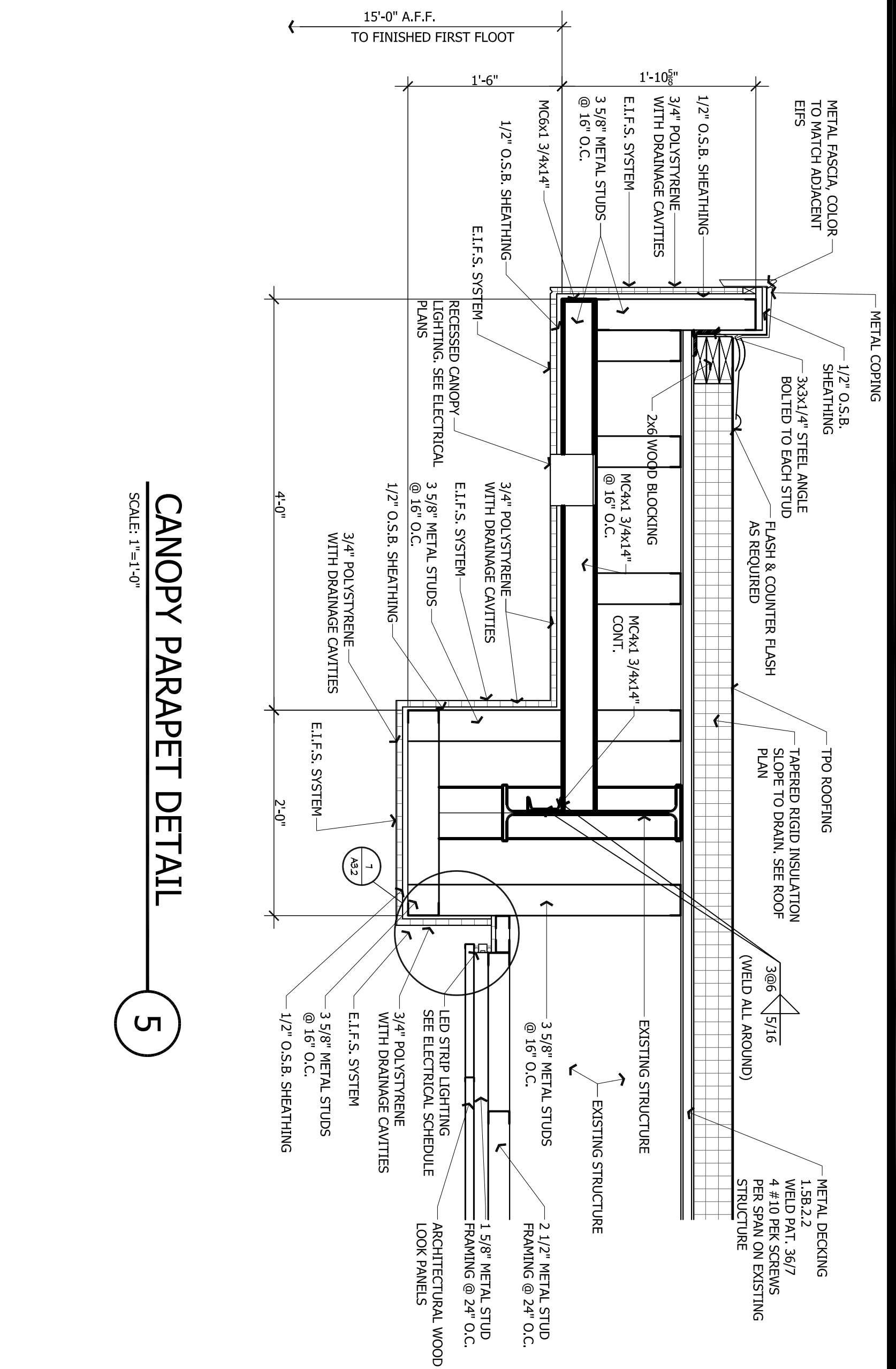
DONOVAN + DONOVAN
architecture • engineering • interior design
427 Main Street • Post Office Box 976 • Vincennes, Indiana 47591
Tel: 812.882.0415 • Fax: 812.882.4600 • Email: donovananddonovan@sbcglobal.net



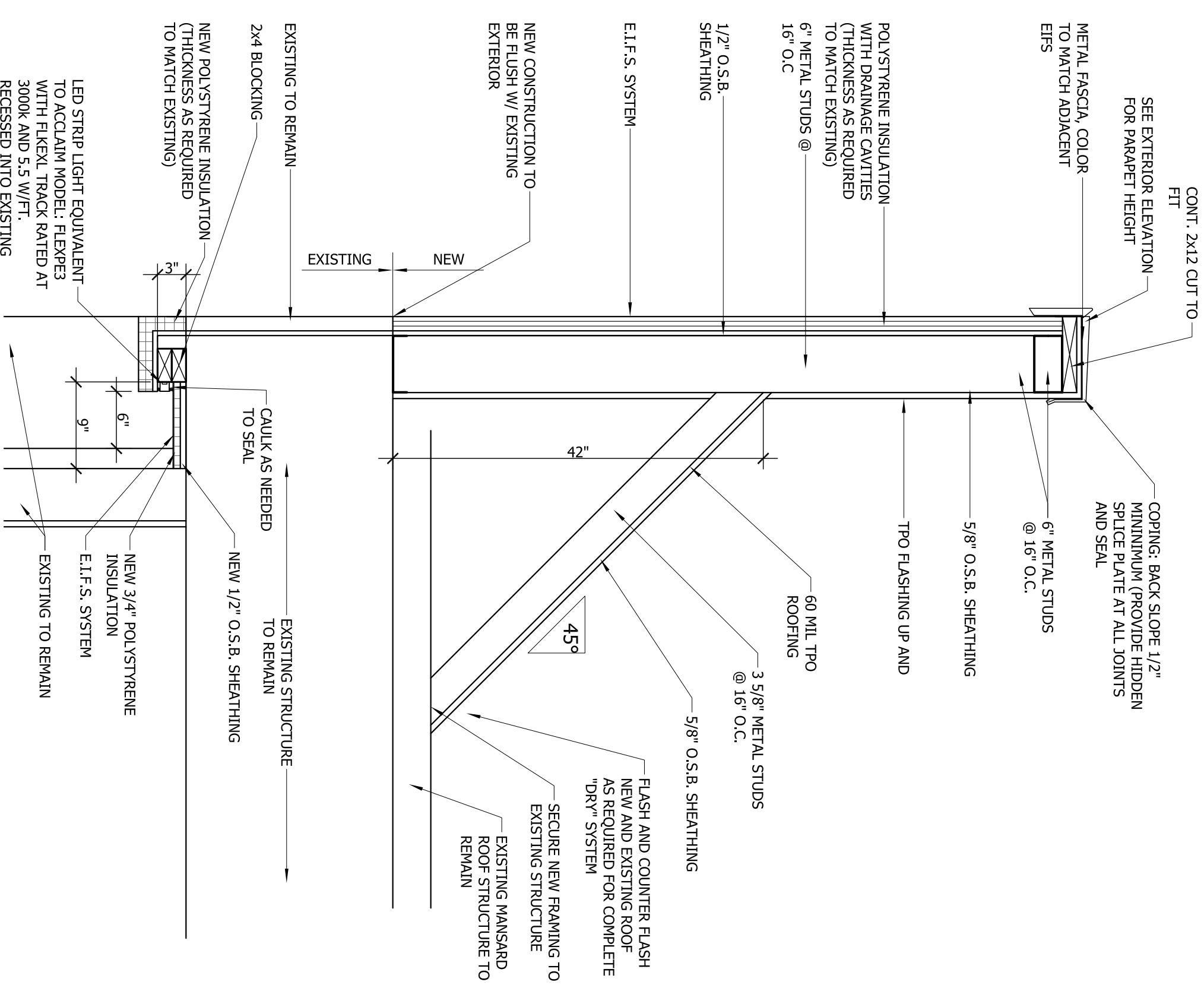
OVERHANG DETAIL
SCALE: 1"=1'-0"



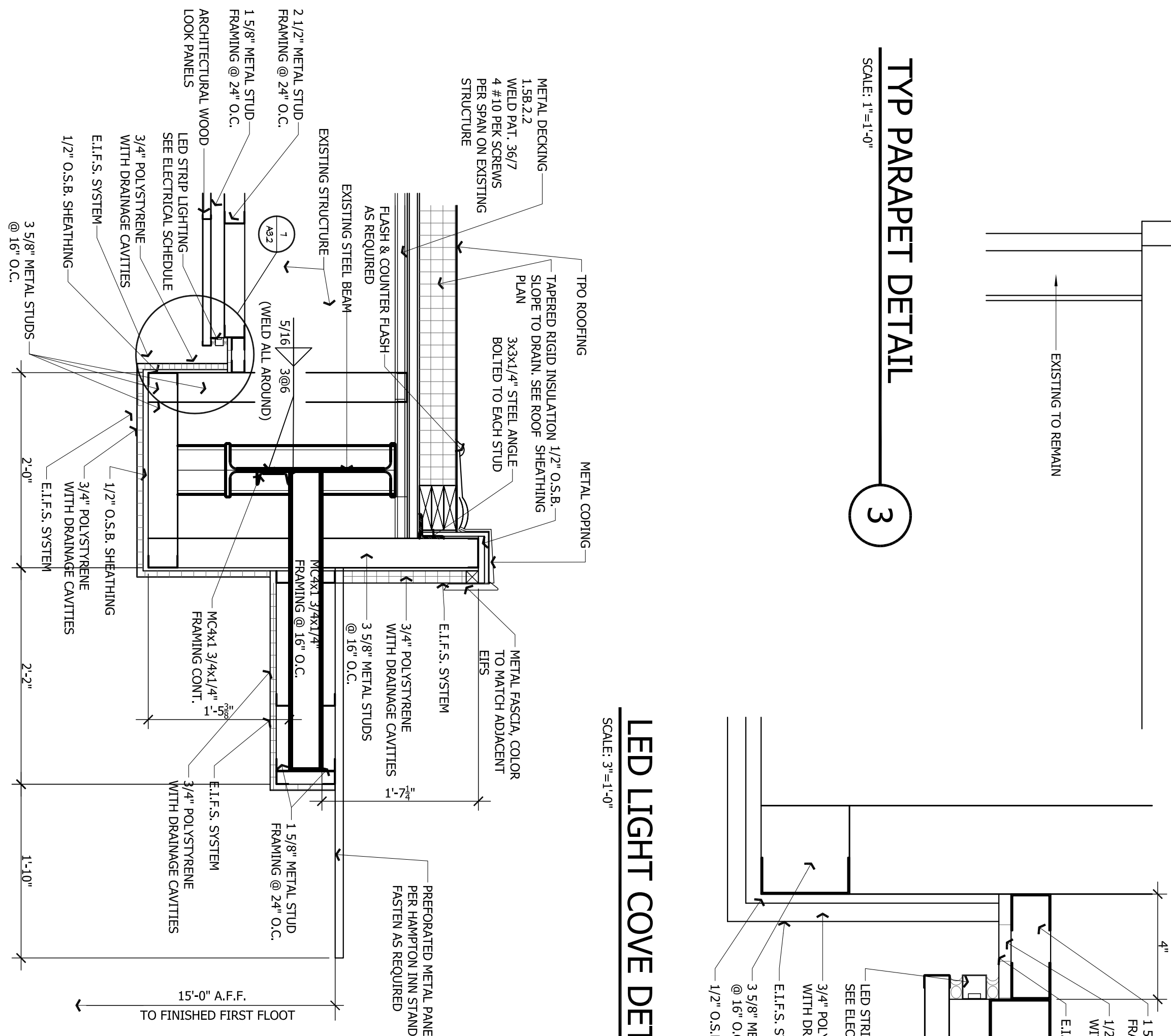
TYP PARAPET DETAIL
SCALE: 1"=1'-0"



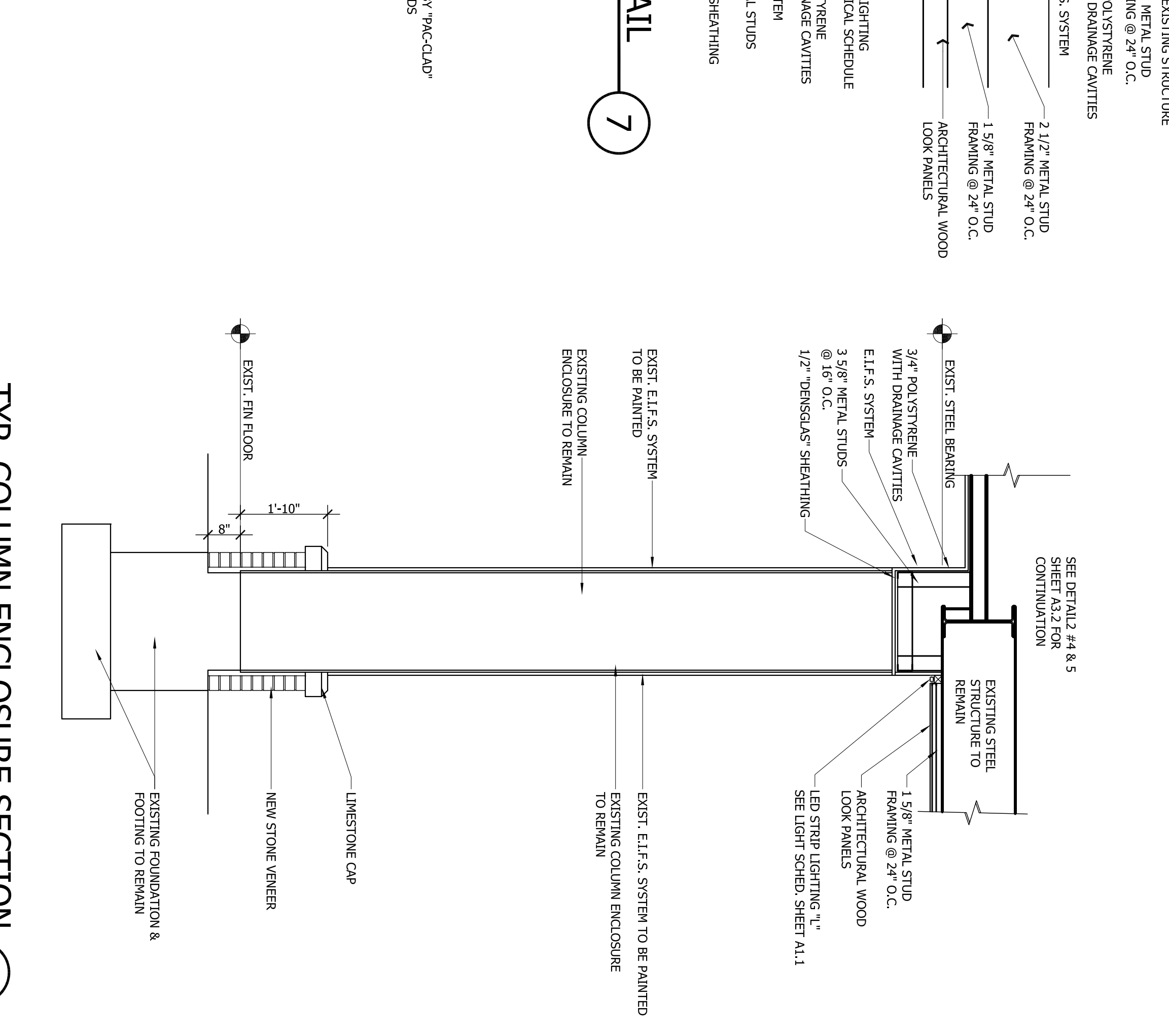
CANOPY PARAPET DETAIL
SCALE: 1"=1'-0"



PARAPET / LIGHT DETAIL
SCALE: 1"=1'-0"



LED LIGHT COVE DETAIL
SCALE: 3"=1'-0"



TYP. COLUMN ENCLOSURE SECTION
SCALE: 1/2"=1'-0"

project no.	D2020-2
date	DECEMBER 2019
drawn by	S. REHWALD
checked by	L.W. DONOVAN
revisions	

ALL TRADES SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE PROPERTIES OF THE MATERIALS AND THE QUALITY OF THE WORKMANSHIP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING EQUIPMENT AND FURNITURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING RECORDS AND DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DATA AND INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ASSETS AND RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING INTERESTS AND RIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING OBLIGATIONS AND LIABILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING RISKS AND HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ENVIRONMENTAL AND CLIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SOCIAL AND ECONOMIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL AND HISTORICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LEGAL AND REGULATORY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ETHICAL AND MORAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SPIRITUAL AND RELIGIOUS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SCIENTIFIC AND TECHNICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARTS AND CRAFTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HUMANITIES AND SOCIAL SCIENCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING NATURAL SCIENCES AND MATHS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ENGINEERING AND TECHNOLOGY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUSINESS AND INDUSTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ACADEMIC AND RESEARCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PROFESSIONAL AND SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING COMMUNITY AND SOCIETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORLD AND HUMANITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GOD AND DIVINITY.

RENOVATION PLAN FOR
HAMPTON INN
DUBLIN, OHIO

DONOVAN + DONOVAN
architecture • engineering • interior design
427 Main Street • Post Office Box 976 • Vincennes, Indiana 47591
Tel: 812.882.0415 • Fax: 812.882.4600 • Email: donovananddonovan@sbcglobal.net

Sheet no.
A3.2

