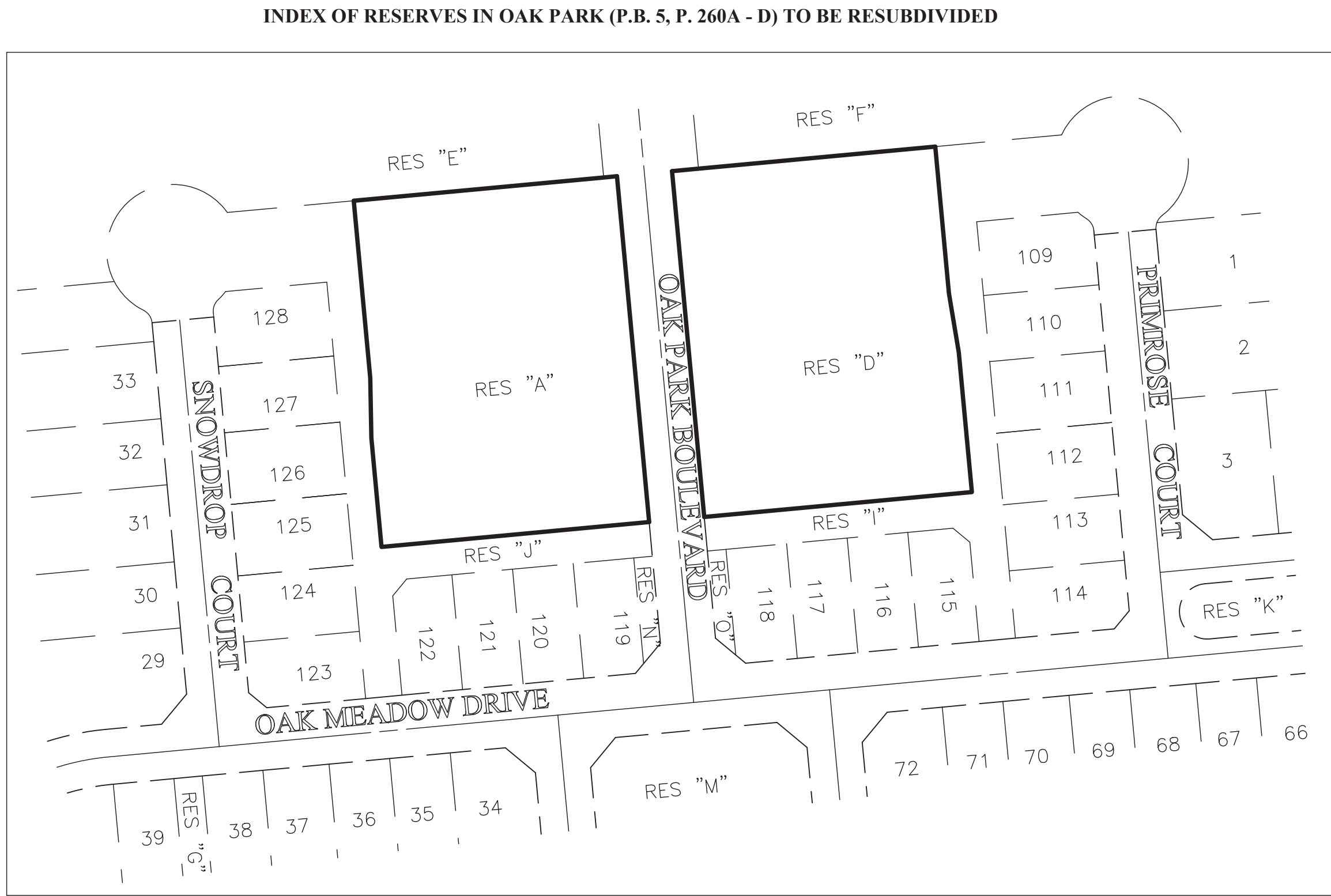
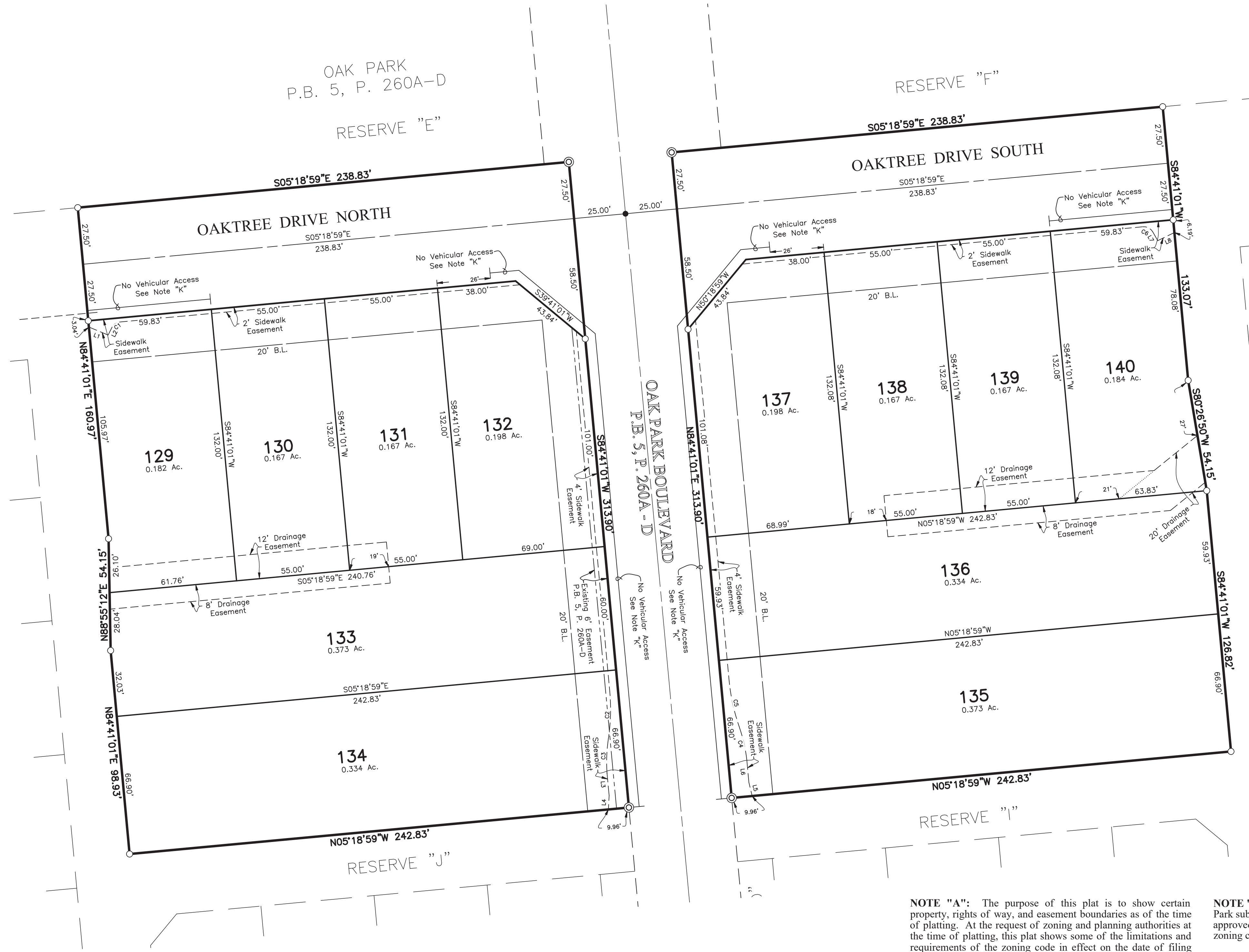


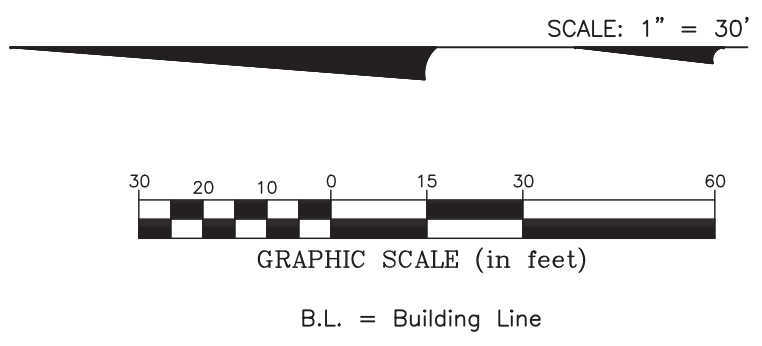
RESUBDIVISION OF RESERVE "A" AND RESERVE "D" OF OAK PARK



CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	57°55'17"	5.00'	5.05'	N 34°16'37" W	4.84'
C2	13°55'19"	95.00'	23.08'	S 88°21'03" E	23.03'
C3	12°51'48"	75.00'	16.84'	N 87°49'17" W	16.80'
C4	12°51'48"	75.00'	16.84'	N 77°11'20" E	16.80'
C5	13°55'19"	95.00'	23.08'	S 77°43'05" W	23.03'
C6	64°47'08"	5.00'	5.65'	N 27°04'35" E	5.36'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S22°31'48"W	10.10'
L2	S63°14'16"E	4.02'
L3	N84°37'49"E	11.12'
L4	N87°04'10"W	6.78'
L5	S76°26'12"W	6.78'
L6	N84°44'05"E	10.67'
L7	S60°17'13"W	5.00'
L8	N25°59'51"W	8.98'

Line Type Legend	
	Existing Property Line
	Existing R/W Line
	Existing R/W Centerline
	Existing Easement Line
	Proposed Subdivision Boundary Line
	Proposed Lot Line
	Proposed R/W Line
	Proposed R/W Centerline
	Proposed Easement Line



NOTE "A": The purpose of this plat is to show certain property, rights of way, and easement boundaries as of the time of platting. At the request of zoning and planning authorities at the time of platting, this plat shows some of the limitations and requirements of the zoning code in effect on the date of filing this plat for reference only. The limitations and requirements may change from time to time and should be reviewed to determine the then current applicable use and development limitations of the zoning code as adopted by the government authority having jurisdiction. The then applicable zoning code shall have control over conflicting limitations and requirements that may be shown as on this plat. This note should not be construed as creating plat or subdivision restrictions, private use restrictions, covenants running with the land or title encumbrances of any nature, except to the extent specifically identified as such.

NOTE "B" : At the time of platting, all of the land hereby being platted as Resubdivision of Reserve "A" and Reserve "D" of Oak Park is in Zone X (Areas determined to be outside of the 0.2% annual chance flood plain) as designated and delineated on the FEMA Flood Insurance Map for Franklin County, Ohio, and Incorporated Areas, map number 39049C0018K with effective date of June 17, 2008.

NOTE "C" - ACREAGE BREAKDOWN: Resubdivision of Reserve "A" and Reserve "D" of Oak Park is comprised of the following Union County Parcel Numbers and Map Numbers:

Parcel Number	Map Number	Acres	Existing Lot No.
3900280140400	1361602030000	1.733 Ac.	Res. A
3900280140950	1460404008000	1.735 Ac.	Res. D

NOTE "D" - FENCES: Fences, where permitted in the Oak Park subdivision, are subject to the requirements of the approved zoning development text and the City of Dublin, Ohio zoning code.

NOTE "E" - UTILITY PROVIDERS: Buyers of the lots in the Resubdivision of Reserve "A" and Reserve "D" of Oak Park subdivision are hereby notified that, at the time of platting, utility service for electric power is provided by AEP and Ohio Edison and telephone service is provided by AT&T and Frontier North.

NOTE "F": As per City of Dublin Zoning Code, all lots within Resubdivision of Reserve "A" and Reserve "D" of Oak Park are subject to the terms, conditions, restrictions (including lighting and house sizes) and special assessment districts as outlined in the preliminary plat entitled "Oak Park" and the development text.

NOTE "G" - SCHOOL DISTRICT: At the time of platting, all of Resubdivision of Reserve "A" and Reserve "D" of Oak Park is in the Dublin City School District.

NOTE "H" - ACREAGE BREAKDOWN:

Total acreage	3.468 Ac.
Acreage in lots	2.842 Ac.
Acreage in public rights-of-way	0.626 Ac.

NOTE "I": At the time of platting, electric, cable, and telephone service providers have not issued information required so that easement areas, in addition to those shown on this plat as deemed necessary by these providers for the installation and maintenance of all of their main line facilities, could conveniently be shown on this plat. Existing recorded easement information about Resubdivision of Reserve "A" and Reserve "D" of Oak Park or any part thereof can be acquired by a competent examination of the then current public records, including those in the Union County Recorder's Office.

NOTE "J": The owners of the fee simple titles to Lots 129 to 140, both inclusive, shall have and are hereby granted a non-exclusive right-of-way and easement for access to and from public streets, in and over Reserve "I" and Reserve "J" of the subdivision entitled "Oak Park", of record in Plat Book 5, Pages 260A-D), to be shared with the owners of the fee simple titles to each other of said Lots 129 to 140, both inclusive.

NOTE "K" - VEHICULAR ACCESS - OAK PARK BOULEVARD, OAKTREE DRIVE NORTH AND OAKTREE DRIVE SOUTH: Within the limits shown and specified hereon, Oak Park Dublin, LLC hereby waives and releases all right or rights of direct vehicular access or claims thereof to the present road improvements known as Oak Park Boulevard, Oaktree Drive North and Oaktree Drive South as constructed, or to the ultimate road improvement to be constructed in the future. The execution of this plat shall act as a waiver to the City of Dublin, Ohio, in the elimination of any direct vehicular access to said drives and road either for present or future construction.

NOTE "L" - MINIMUM SETBACKS: Zoning regulations for Resubdivision of Reserve "A" and Reserve "D" of Oak Park in effect at the time of platting specify the following dimensions for the minimum front, side and rear yard setbacks for each lot as follows:

Front:	20 feet from public right-of-way
Side:	6 feet where adjacent to residential lot, 10 feet where adjacent to Reserves "I" and "J"
Rear:	15 feet
Lots 129-132 & 137-140	20 feet
Lots 133-136	

Said zoning regulations and any amendments thereto passed subsequent to acceptance of this plat, should be reviewed to determine the then current requirements. This notice is solely for the purpose of notifying the public of the existence, at the time of platting, of certain zoning regulations applicable to this property. This notice shall not be interpreted as creating plat or subdivision restrictions, private use restrictions covenants running with the land or title encumbrances of any nature, and is for informational purposes only.