



Carlowe- Front Illustrative Rendering

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017

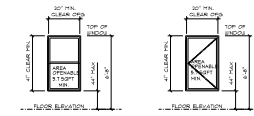


Carlowe- Rear Illustrative Rendering

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



LEFT ELEVATION 1/4" = 1'-0"



THE DIMENSIONS OF THE OPENING HEIGHT FROM SILL TO TOP OF FRAME FOR THESE WINDOWS IS DETERMINED TO MEET THE MINIMUM CLEARANCE HEIGHT REQUIREMENTS AS SET FORTH IN THE IBC. THE UNITS IS DETERMINED TO THE FLOOR FINISH ABOVE FINISH FLOOR.

**EGRESS WINDOW DETAIL**

**EXTERIOR ELEVATION NOTES:**

[Pattern]	STUCCO PER SPEC.
[Pattern]	SHAKER SIDING PER SPEC.
[Pattern]	BRICK PER SPEC.
[Pattern]	BUNGLES (30 y. DIMENSIONAL BUNGLES)
[Pattern]	EXTENSION MARK PER SPEC FRONT ONLY (VALUES NOTED OTHERWISE)
[Pattern]	FASCIA 1/2" ALUM.
[Pattern]	GUTTER 3" GUTTER
[Pattern]	ROOF 1/2" (VENTED)
[Pattern]	WIND TYPE 1/2" (SEE FLOOR PLAN)
[Pattern]	SURFACE DOOR 4'0" x 8'0" STEEL RAISED PANEL (NO OVERHEAD)
[Pattern]	ROOF RISE SEE FLOOR PLAN FOR SIZE
[Pattern]	ROOF VENT CONT.
[Pattern]	WINDOW 54" x 78" (TOP & BOTTOM PER SPEC.)
[Pattern]	54" x 78" (SIDE PER SPEC.)

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION 3/17/2017



FRONT ELEVATION 1/4" = 1'-0"

Carlowe- Left and Front Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017





RIGHT ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:	
	STUCCO PER SPEC. I
	SHAKER SIDING PER SPEC. II
	BRICK I PER SPEC. I
	SHINGLES: 30 yr. DIMENSIONAL SHINGLES I
EXTERIOR TRIM:	3/4" x 1/2" PER SPEC. FRONT ONLY 1/2" x 1/2" NOTED OTHERWISE I
RAVING:	3/4" x 1/2" x 1/2" x 1/2" I
BUTTON:	3/4" x 1/2" x 1/2" x 1/2" I
SPINE:	1/2" x 1/2" x 1/2" x 1/2" I
SHOOD TYPE:	1/2" x 1/2" x 1/2" x 1/2" I
GARAGE DOOR:	8'-0" x 8'-0" STEEL RAISED PANEL INS. OVERHEAD DR.
FLOOR-FRONT:	SEE FLOOR PLAN FOR SIZE
ROOF-DRY:	WOOD
SHOOD/TRIM:	3/4" x 1/2" x 1/2" x 1/2" I 3/4" x 1/2" x 1/2" x 1/2" I

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION 3/17/2017



REAR ELEVATION

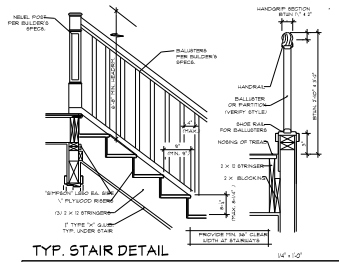
1/4" = 1'-0"

Carlowe- Right and Rear Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017

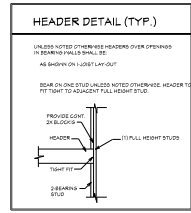
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION 3/17/2017



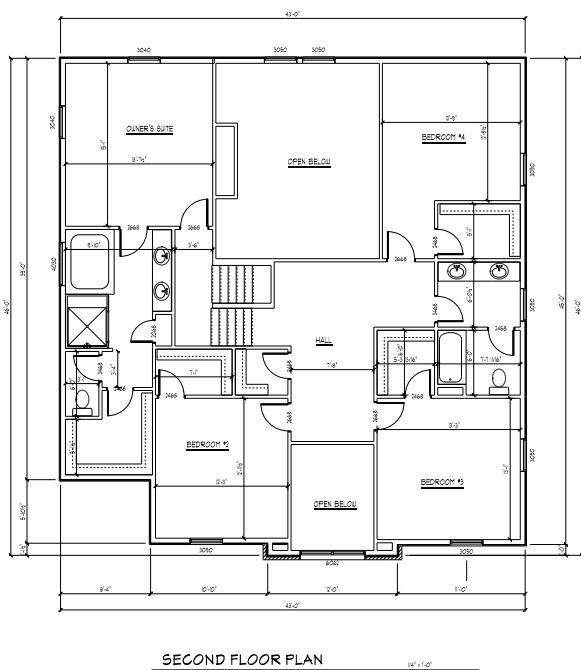
STAIR DATA	
1. WINDOW HEAD CATCH	1"
2. WINDOW NOSEAL PROJECTION	1"
3. WINDOW RECESS DEPTH (MIN HEIGHT)	1'-0"
4. WINDOW HEADROOM HEIGHT AT 90° ANGLE	6'-0"
5. WINDOW HEADROOM HEIGHT (MIN)	6'-8"
6. WINDOW HEADROOM HEIGHT (MAX)	8'-0"
7. WINDOW HEADROOM HEIGHT (MIN)	6'-8"
8. WINDOW HEADROOM HEIGHT (MAX)	8'-0"

SHEAR WALL / BRACING CODED NOTES:	
1. WALL LENGTH <math>4 \times 4' </math> (NEVER <math>0' </math> OF FOOT)	
2. MIN. SIZE	
3. 4" O.C. EDGE WALLING	
4. 2" O.C. FIBER WALLING	
5. WINDOW HEADROOM HEIGHT (MIN)	6'-8"
6. WINDOW HEADROOM HEIGHT (MAX)	8'-0"

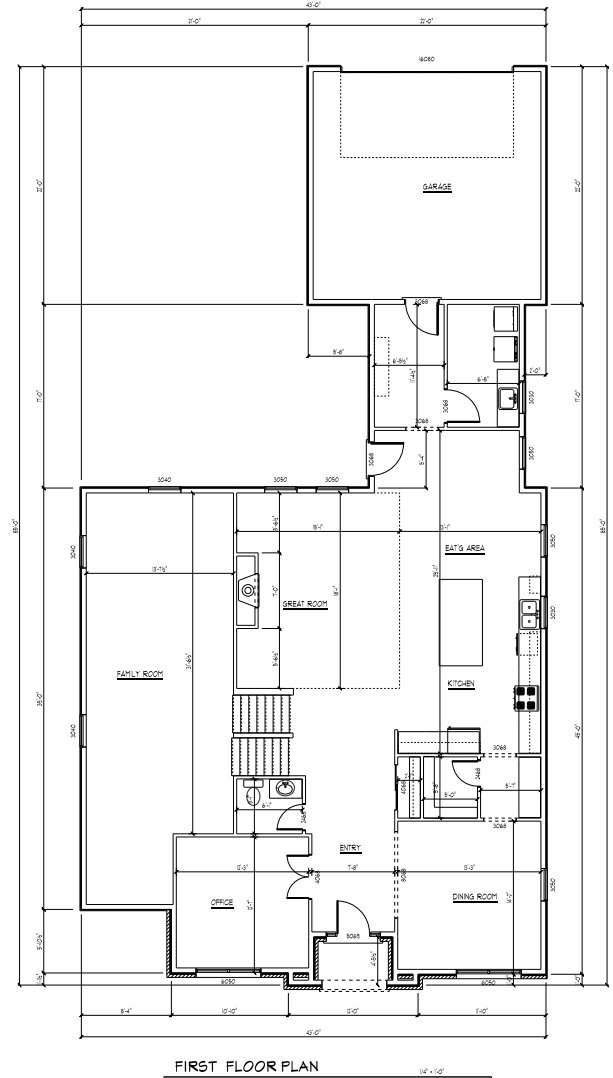
2x6 EXTERIOR WALLS  
2x4 INTERIOR WALLS  
UNLESS NOTED OTHERWISE



Building sqft	
First floor	1536 sqft
Family room	501 sqft
Second Floor	1548 sqft



SECOND FLOOR PLAN 1/4" = 1'-0"



FIRST FLOOR PLAN 1/4" = 1'-0"

Carlowe - Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017





Ardmoor- Front Illustrative Rendering

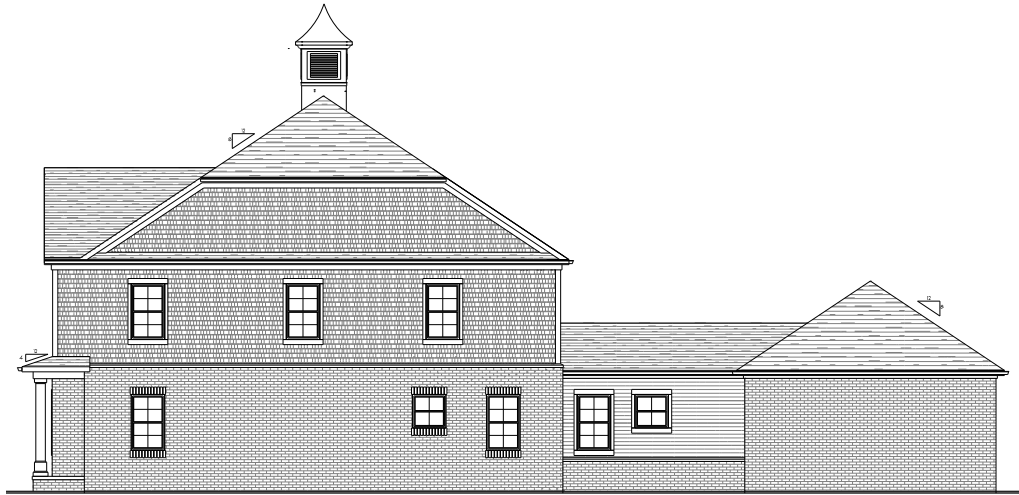
FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



Ardmoor- Rear Illustrative Rendering

---

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



RIGHT ELEVATION

EXTERIOR ELEVATION NOTES:	
	SIDING ( PER SPEC. )
	SHAKER SIDING ( PER SPEC. )
	BRICK ( PER SPEC. )
	SHINGLES ( 30 y. DIMENSIONAL SHINGLES )
EXTERIOR TRIM:	6"x6" ( PER SPEC. FRONT ONLY ) ( UNLESS NOTED OTHERWISE )
FASCIA:	3" ALUM.
DORMER:	3" DORMER ALUM.
DOOR:	48" x 72" ( PER SPEC. )
WINDOW TYPE:	1/2" x 1/2" ( PER SPEC. )
SARAGE DOOR:	8'0" x 6'0" STEEL RIBBED PANEL NGL OVERHEAD DR.
ROOFING:	SEE FLOOR PLAN FOR SIZE
ROOFING CODE:	SEE CODE
WINDOW TYPE:	8'4" x 6'0" ( TOP ) 6'0" x 6'0" ( BOTTOM ) ( PER SPEC. ) 8'4" x 6'0" ( SIDE ) ( PER SPEC. )

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION 3/17/2017



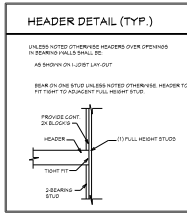
REAR ELEVATION

Ardmoor- Right and Rear Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017





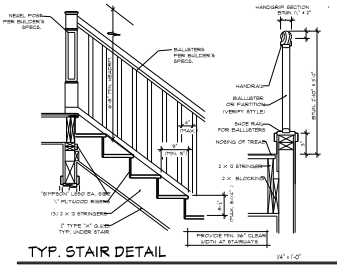


**SHEAR WALL / BRACING CODED NOTES:**

(1) PERIOD 3 BRG SHALL BE AS FOLLOWS:  
 1. WALL LENGTH 4'-0" TO 7' NEARBY 12'-0" SECT.  
 2. 7/8" DIA.  
 3. 8' O.C. EDGE NAILING  
 4. 8' O.C. FIELD NAILING

(2) PERIOD 2 BRG SHALL BE AS FOLLOWS:  
 1. SEE DETAIL SHEET 123

**2x6 EXTERIOR WALLS  
 2x4 INTERIOR WALLS  
 UNLESS NOTED OTHERWISE**



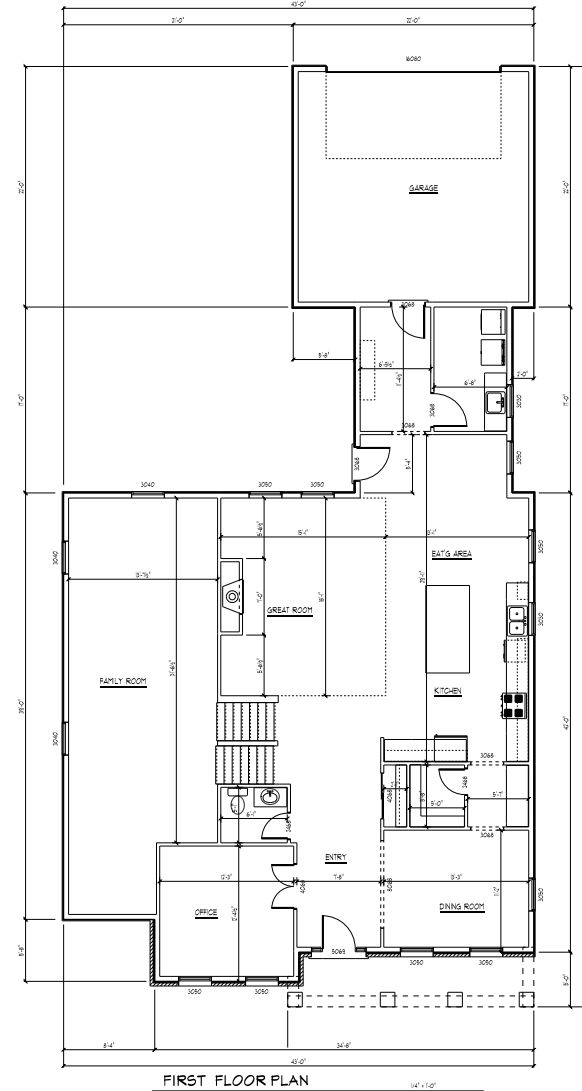
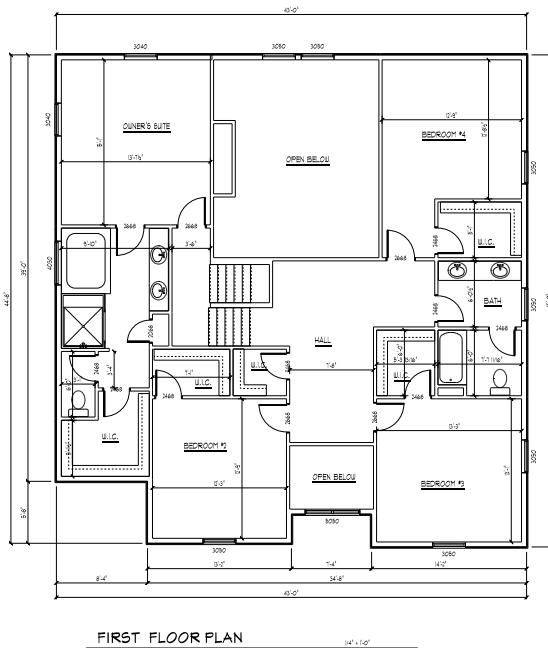
**FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION 3/17/2017**

**STAIR DATA**

1. MINIMUM HEAD CLEARANCE	7'
2. MINIMUM HORIZONTAL PROJECTION	6'-0"
3. MAXIMUM RAMPAGE TO RISE PERCENT	4.5%
4. MINIMUM RAMPAGE TO RISE PERCENT	3.0%
5. MINIMUM RAMPAGE TO RISE PERCENT AT OTHER ANGLE	3.0%
6. MINIMUM RAMPAGE TO RISE PERCENT AT OTHER ANGLE	3.0%
7. MINIMUM LANDINGS HEIGHT	6'-0"
8. MINIMUM BALUSTRADE FINISH TO CLEAR OPENING	6'-0"
9. MINIMUM STAIR WIDTH INCLUDING WALL HANDRAIL	5'-0" MIN. (SEE PLAN)

**Building sqft**

First floor	1596 sqft
Family room	501 sqft
Second Floor	1548 sqft



**Ardmoor- Floor Plan**

**FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES**

March 27, 2017



Ashleigh- Front Illustrative Rendering

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



Ashleigh- Rear Illustrative Rendering

---

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



FRONT ELEVATION

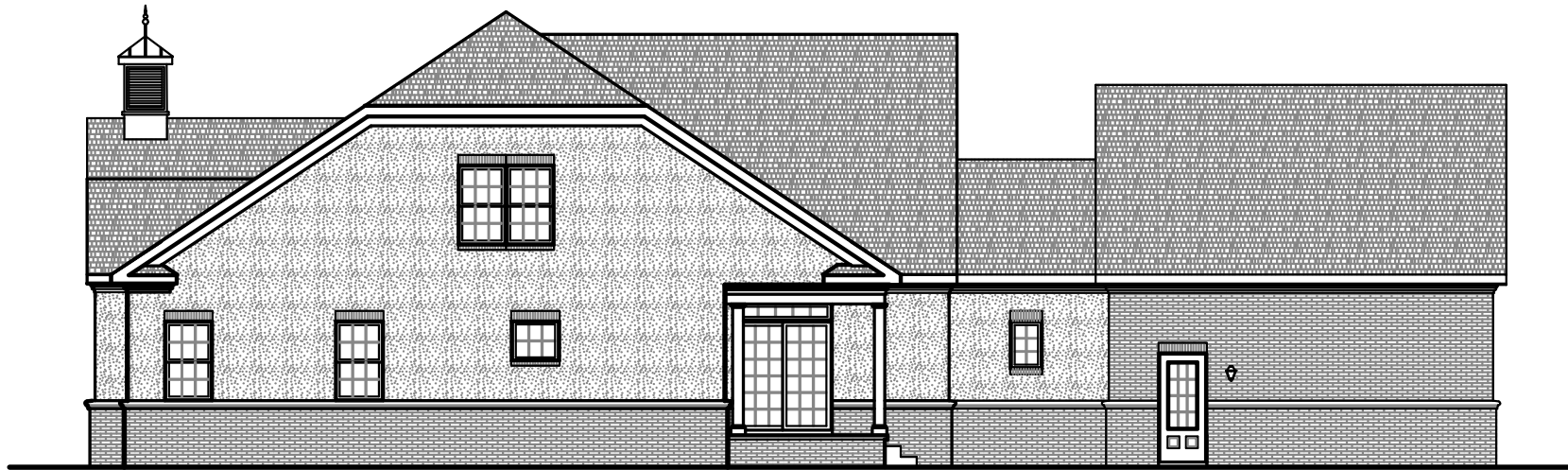


REAR ELEVATION

Ashleigh- Front and Rear Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



RIGHT SIDE ELEVATION

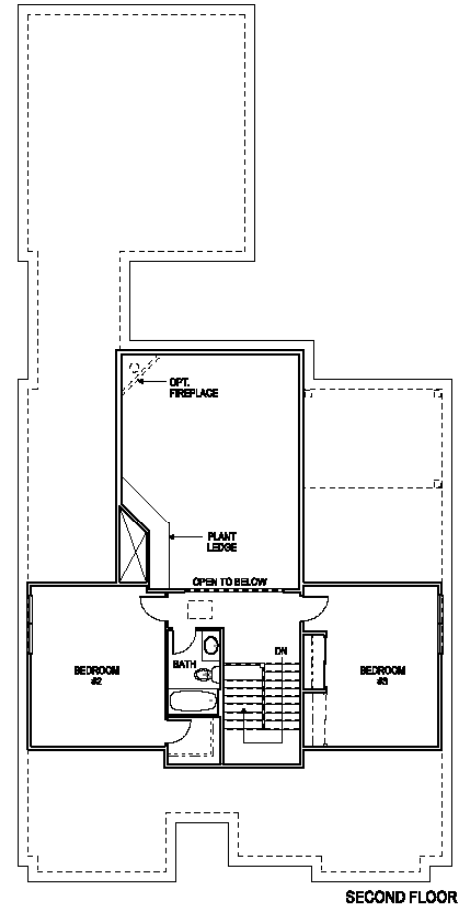
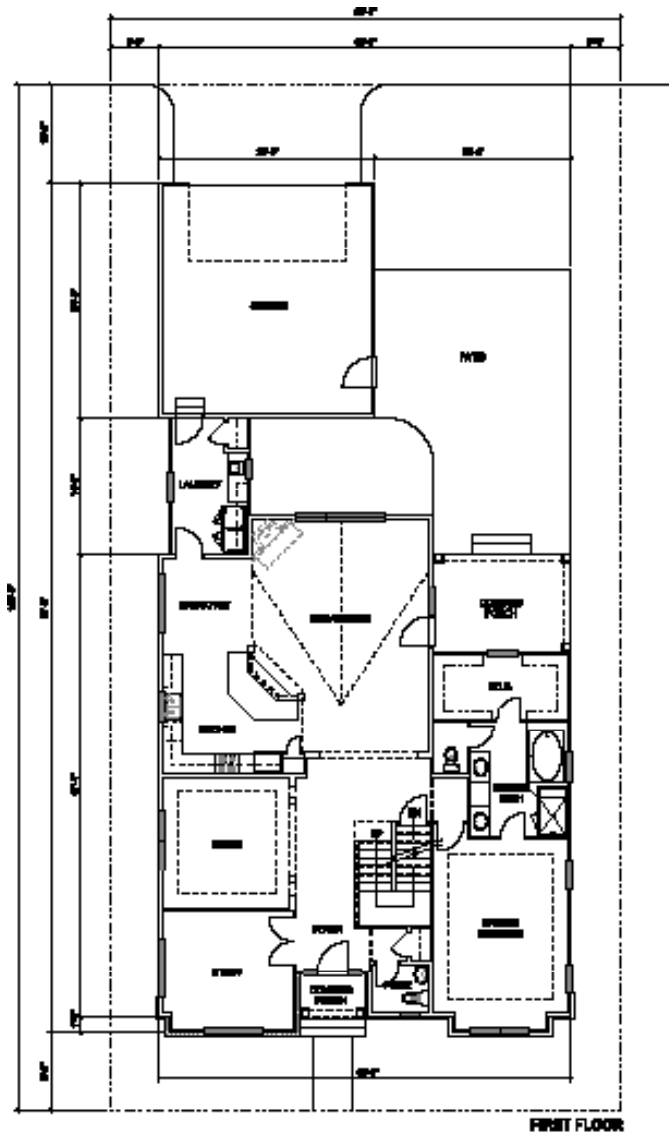


LEFT SIDE ELEVATION

Ashleigh- Right and Left Side Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



Ashleigh- Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



Augusta- Front Illustrative Rendering

---

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017





Augusta- Rear Illustrative Rendering

---

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



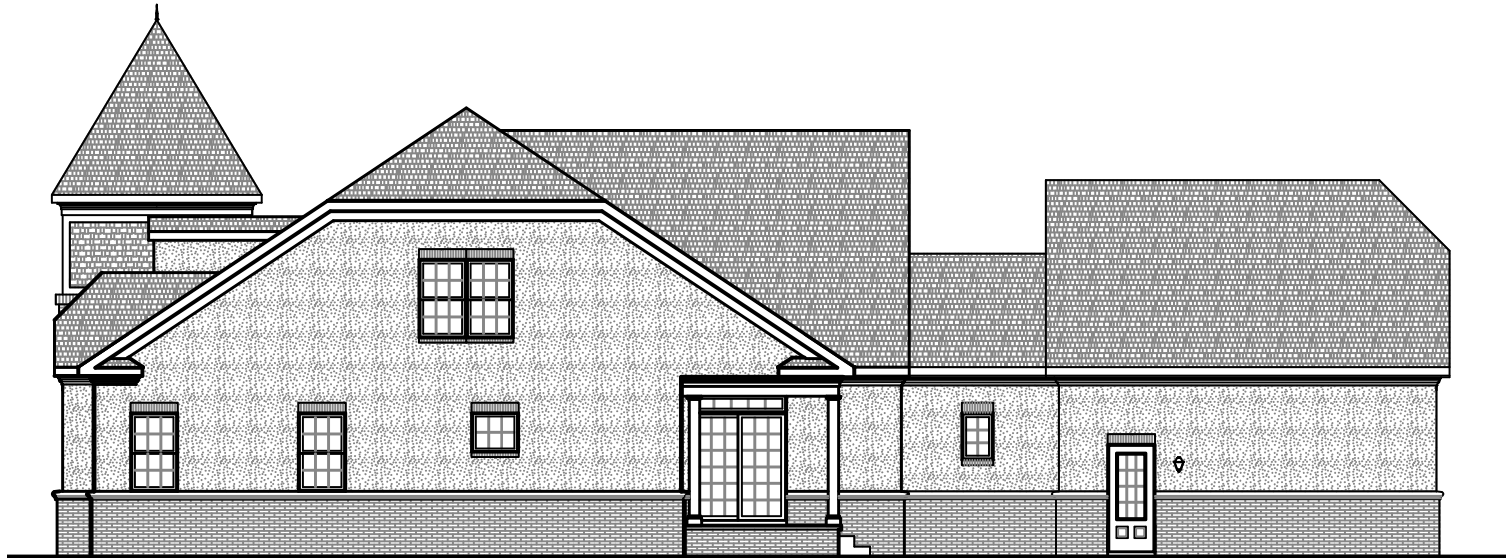
FRONT ELEVATION



REAR ELEVATION

Augusta- Front and Rear Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017

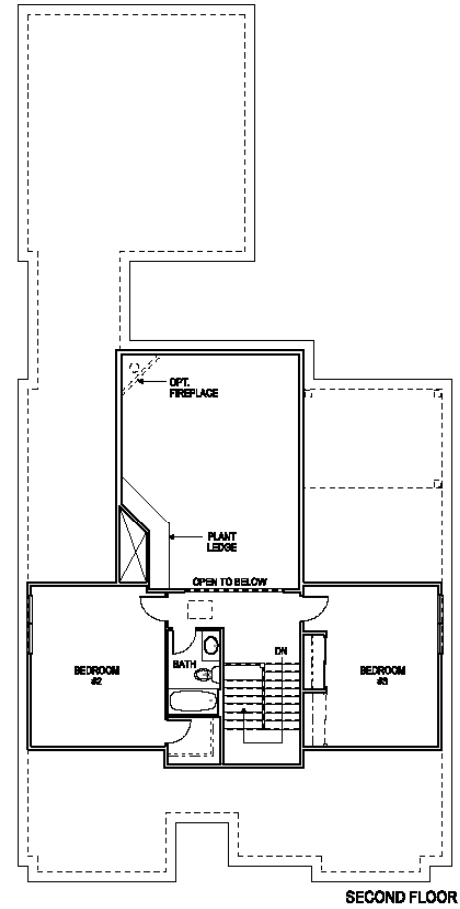
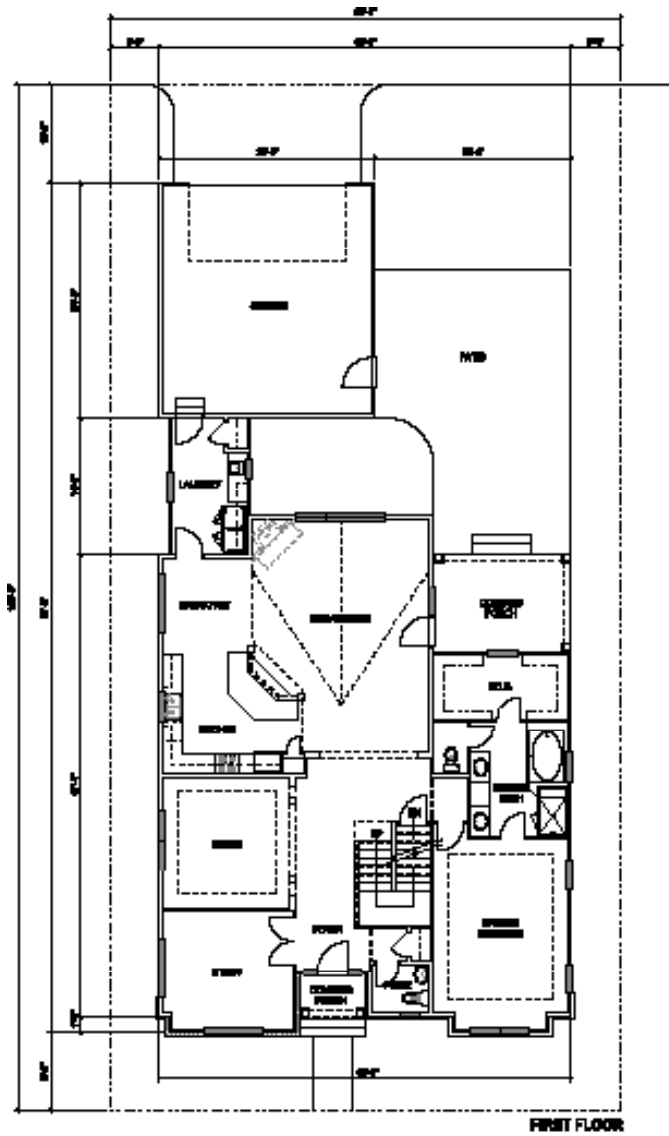


LEFT SIDE ELEVATION

Augusta- Right and Left Side Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



Augusta- Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017



The Ashbourne- Front Elevation

---

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



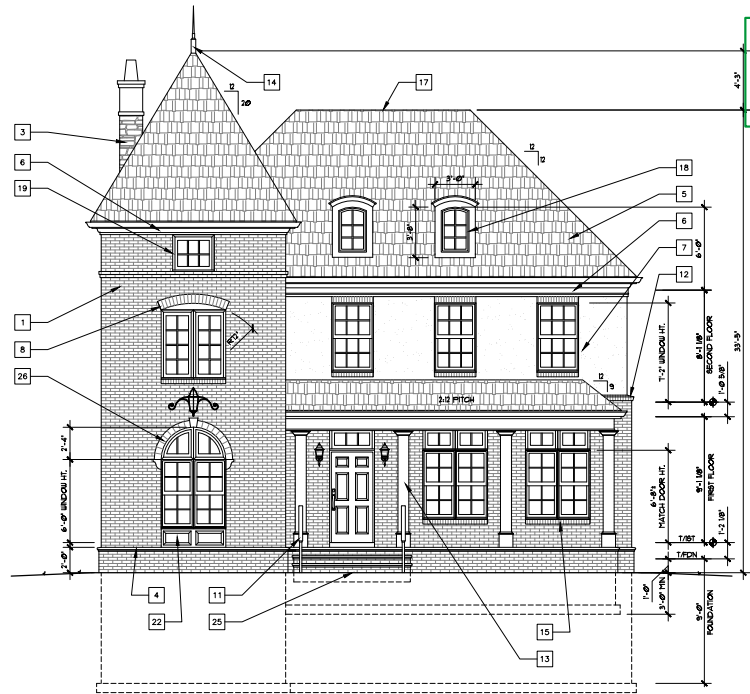
The Ashbourne- Rear Elevation

---

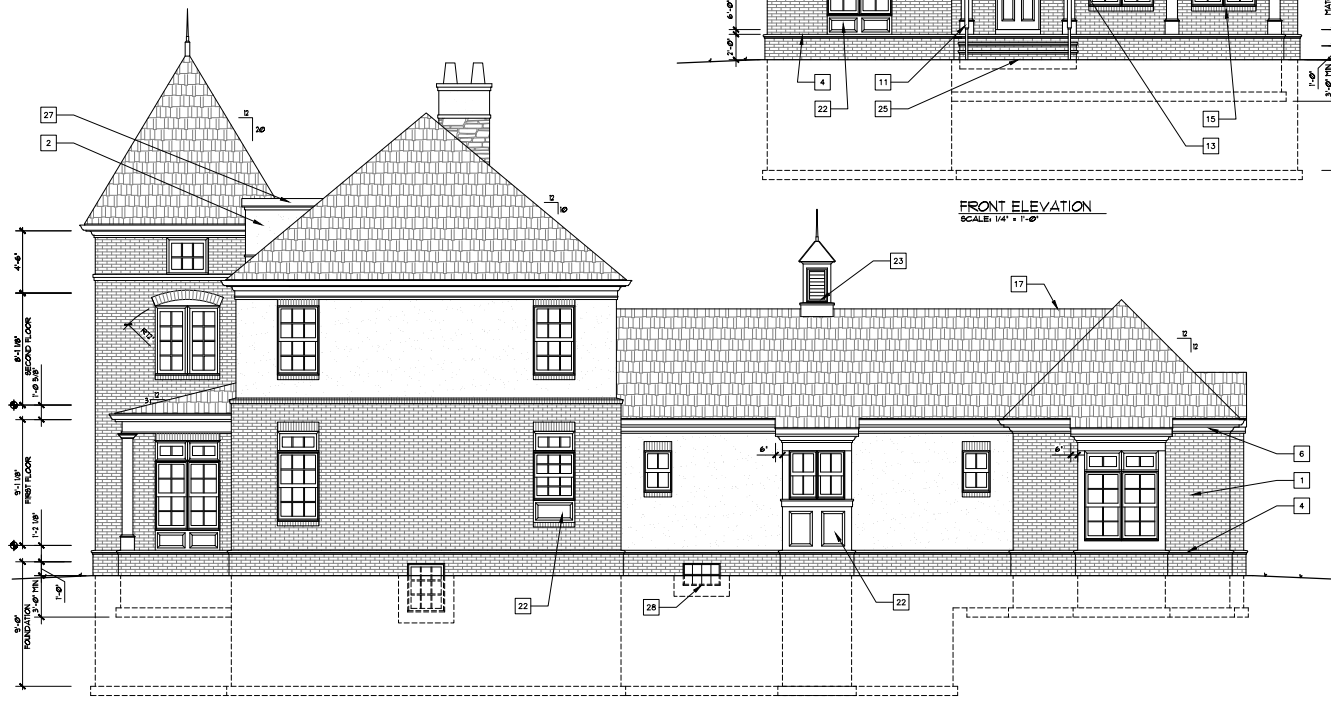
FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017

MATERIAL SPEC	
BRICK VENEER	TRIANGLE BRICK (OVERSIZED) STYLE - KEY WEST
BRICK ACCENT	TRIANGLE BRICK (OVERSIZED) STYLE - CHARLESTON
STUCCO	PAREX - IVORY
DRY SHINGLES	OAK RIDGE #180 40 - TERRA COTTA
ACCENT STONE VENEER	DUTCH QUALITY STONE OHIO TAN LESTONE
MORTAR	B IS B3
GUTTER	ALCOA - CAMBO
TRIM PAINT	BENJAMIN MOORE COLOR 347 NAVALO WHITE

ELEVATION CODED NOTES			
1	BRICK VENEER	16	STUCCO CHIMNEY CAP WITH EPS TRIM, SEE DETAIL
2	STUCCO	17	CONTINUOUS RIDGE VENT, TYPICAL
3	CULTURED STONE VENEER	18	2026 ARCH WINDOW W/ BRICKHOLD, TYP. AT DORNERS
4	BRICK WATER TABLE WITH BRICK ROLLOCK	19	3024 TRANSOM WINDOW TYP. AT TOP TOWER WINDOW
5	30 YR DIMENSIONAL SHINGLES (1499)	20	4x6 BRACKET W/ 2x6x10 BEARING BLOCK
6	SEE EAVE DETAILS FOR TRIM DESCRIPTIONS	21	PLASTER AND FALK BRACKETS
7	WINDOW TRIM, BRICKHOLD WITH THIN BRICK ROLLOCK SILL AND SOLDIER HEADER	22	WOOD TRIM RAISED PANEL
8	WINDOW TRIM, BRICKHOLD W/ ARCHED SOLDIER HEADER AND BRICK ROLLOCK SILL	23	24 x 24 SQUARE x 60 TALL PRE-FAB CUPOLA WITH METAL ROOF AND SPIRE
9	GARAGE DOOR TRIM, BRICK SOLDIER HEADER	24	1/8 SHIRT TRIM FREEZE, STUCCO IN GABLE FIELD
10	GARAGE STYLE STEEL INSULATED GARAGE DOOR	25	CORC. STEPS W/ BRICK VENEER AND CAST STONE TREAD CAP, TYP.
11	METAL RAILING	26	6" FALK LESTONE (EPS) HEADER WITH KEY AND CORBELS
12	BRICK ROLLOCK	27	STANDING SEAM METAL AT DORNER BARREL ROOF
13	PORCH COLUMNS, SEE PORCH DETAILS SHEET 8	28	20x8 GLASS BLOCK BASEMENT WINDOW WITH GALVANIZED WINDOW WELL
14	DECORATIVE METAL SPIRE	29	1/8 SHIRT TRIM FREEZE WITH 8x8 CORBELS
15	WINDOW TRIM, BRICKHOLD W/ SOLDIER COURSE HEADER AND ROLLOCK SILL	30	CRICKET, EXTEND 8" BEYOND CHASE ON EACH SIDE



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



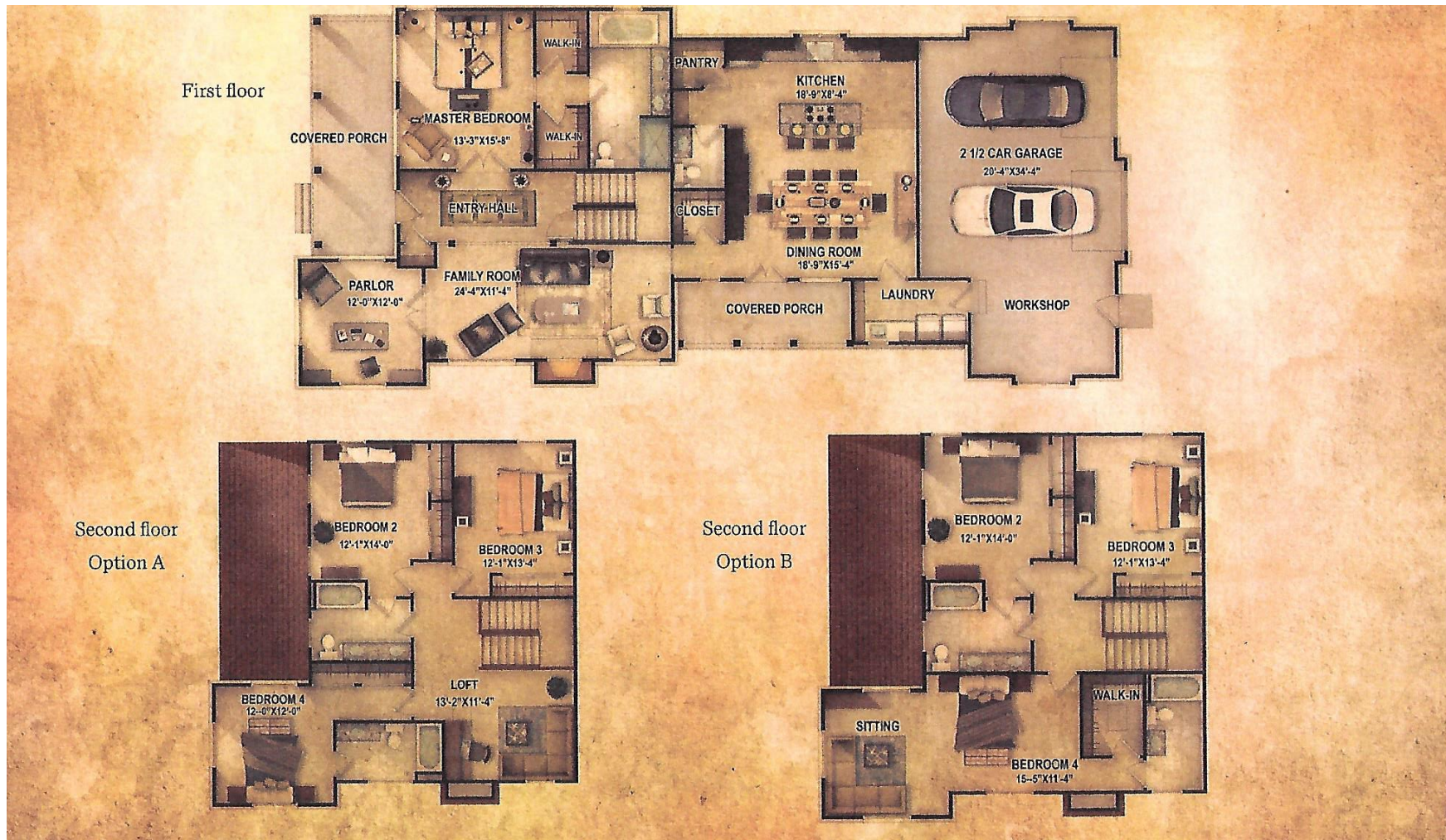
RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

The Ashbourne- Front and Right Side Elevation

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

March 27, 2017





The Ashbourne- Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
 March 27, 2017





The Castletroy- Front Elevation

---

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES

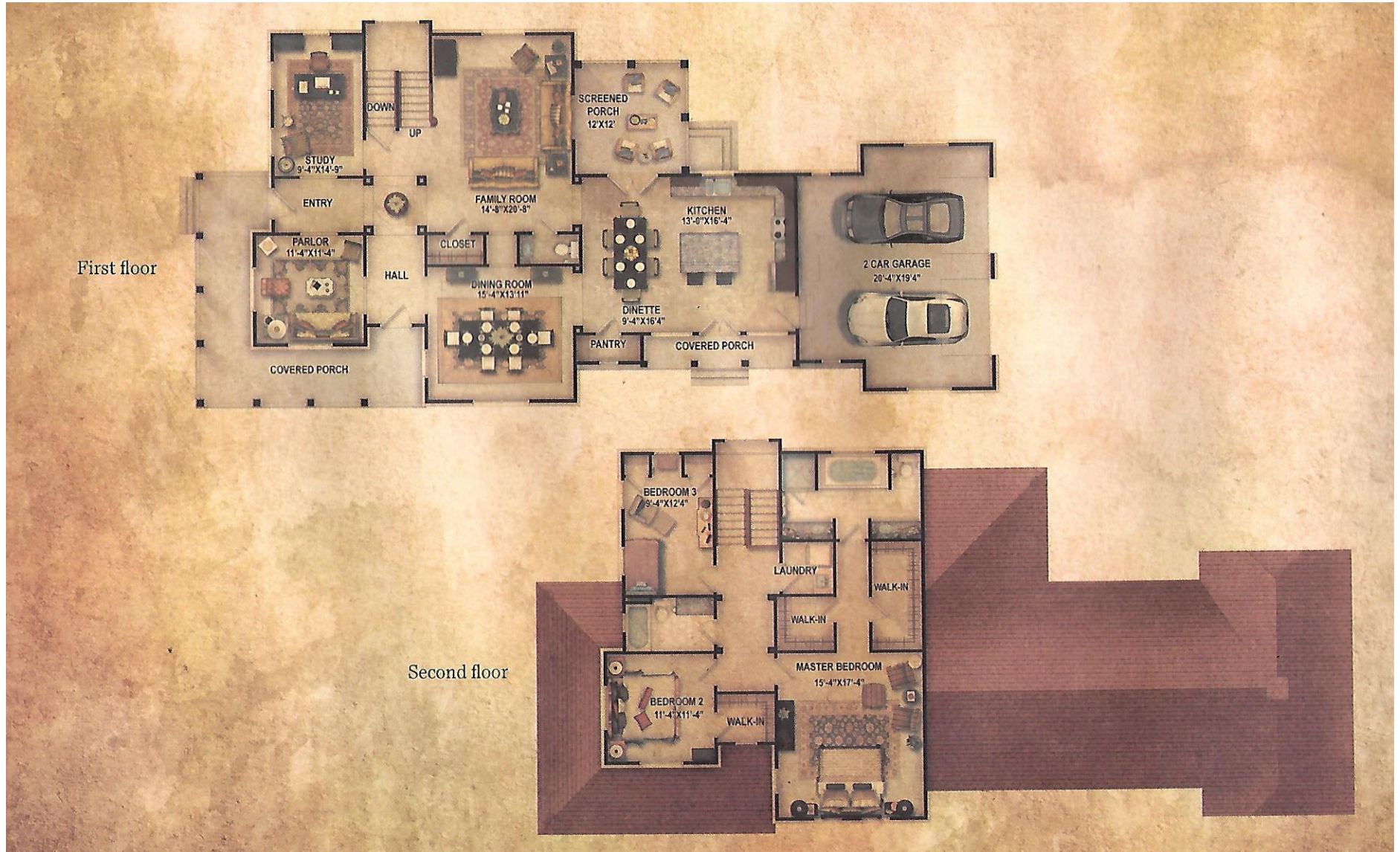
March 27, 2017



The Castletroy- Rear Elevation

---

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
March 27, 2017



First floor

Second floor

The Castletroy- Floor Plan

FINAL DEVELOPMENT PLAN: OAK PARK SUBAREA "D" - SINGLE FAMILY HOMES  
 March 27, 2017