



MEMO

To: Nichole Martin, AICP
Planner II, City of Dublin

From: Christine Trebellas, AICP, Registered Architect, LEED Green Associate
Historic Preservation Consultant

Date: March 15, 2021

Re: 110-112 S. Riverview Street, First Review

INTRODUCTION

The existing house at 110-112 S. Riverview Street is a 1966 ranch-style duplex of approximately 1,700 square feet in plan. It is typical of the mid-century character that is more predominate on the east side of S. Riverview St. The duplex is divided down the middle with 110 being the northern half and 112 the southern half. The front (west) elevation is one story in height, while the rear (east) elevation has two stories due to the ground sloping down to the Scioto River. This rear elevation also has a wood deck at the main level of the house, with outdoor stairs at each side of the building. The building is typical of the 1950s and 1960s ranch-style with a rectangular form, red and brown running bond brick walls, wide eaves, and a low-sloped, side-gabled roof with curved boxed ends. Windows consist of larger, six-over-six wood sash windows in the public areas while smaller windows are used in the more private, bedroom areas. Some windows have been replaced while others have flush-mounted false shutters, usually on the front and side elevations.

The owners of the duplex have proposed to demolish this existing structure, then divide the lot into two separate properties with their new residence on the northern-most lot (110 S. Riverview St.) and allowing for a future dwelling on the southern lot at 112 S. Riverview St. The site is within the Dublin High Street Historic District boundary increase per the 2017 City of Dublin Historical and Cultural Assessment (HCA) and was recommended contributing at the time due to its good integrity and expanded scope to be more inclusive of historic resources in the original village. According to the HCA, the building is also part of the local Historic Dublin district. And since the project is located within the Bridge Street – Historic Residential zone per the 2019 Bridge Street District Development Code, it requires City of Dublin’s Architectural Review Board approval before demolition and new construction can proceed. It is important to note that the Architectural Review Board informally reviewed the property for a different owner in 2018 and supported demolition of the existing structure at the time.

The City of Dublin Planning Department has since contacted Preservation Designs LTD to address the suitability of the proposed design concept and its compatibility with structures within the Dublin Historic District. It is important to note that this report does NOT address whether the existing structure is considered eligible for the National Register of Historic Places now that it is over 50 years of age, and it does NOT address whether demolition is a suitable option for this building. Rather, this review is limited to the proposed new construction designed by Melaragno Design Company. As always, this review is based upon this reviewer’s understanding of the City of Dublin Bridge Street District (BSD) Zoning Districts, and the

Preservation, Rehabilitation, and New Construction Guidelines of the Historic Dublin Design Guidelines. These comments are based on the reviewer’s professional experience and judgment regarding historic architecture and preservation projects. However, these comments do not (and cannot) identify every issue that may be of concern to the City of Dublin and its various review boards. As always, the final determination of these issues lies with the City of Dublin.

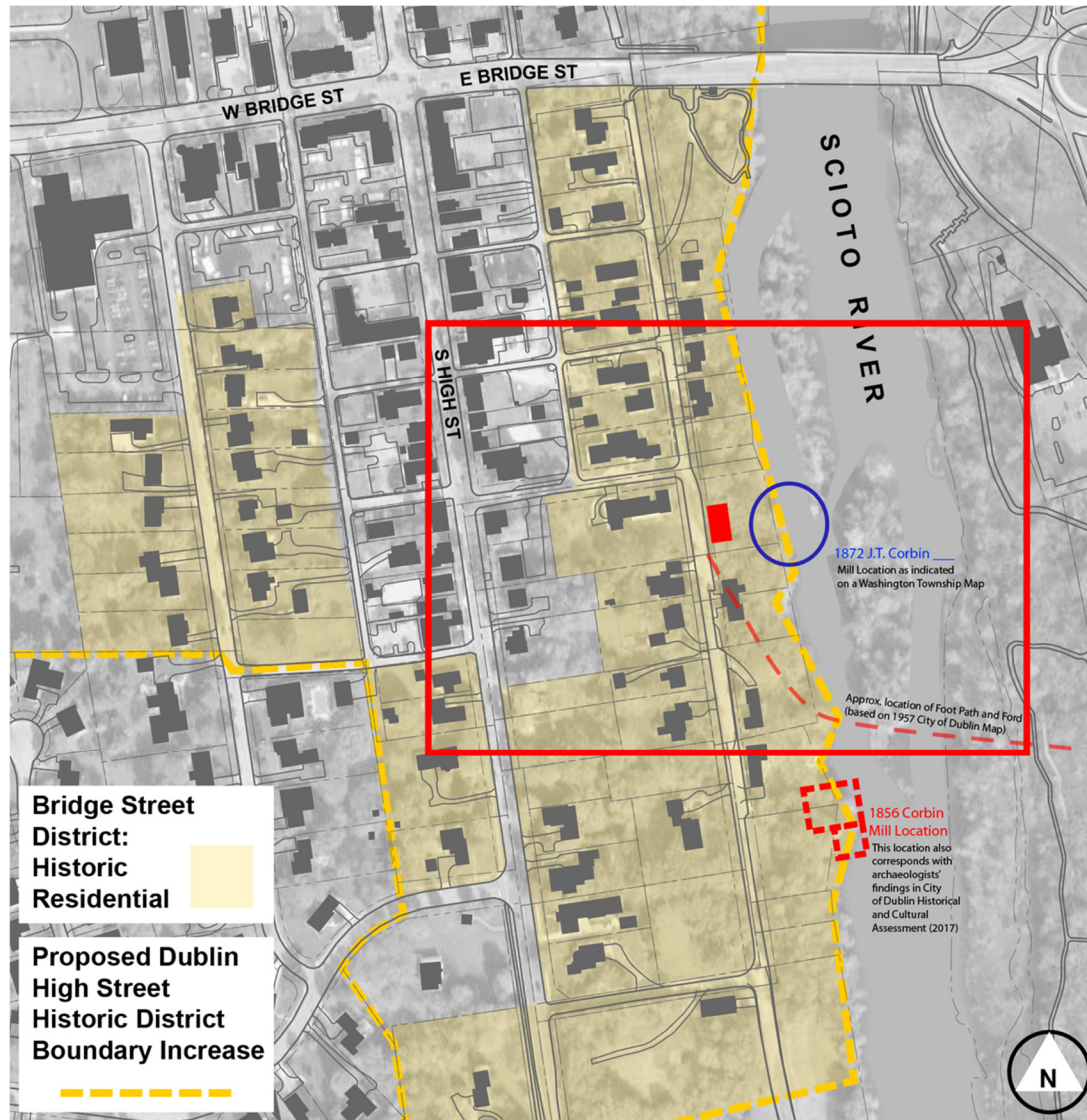


Figure 1. Overall view of the buildings south of Bridge Street with 110-112 S. Riverview Street shown as a solid red rectangle. (Original Adobe Illustrator sketch using ArcGIS Data provided by the Franklin County Auditor and the City of Dublin, extracted September 9th, 2020; not to scale)

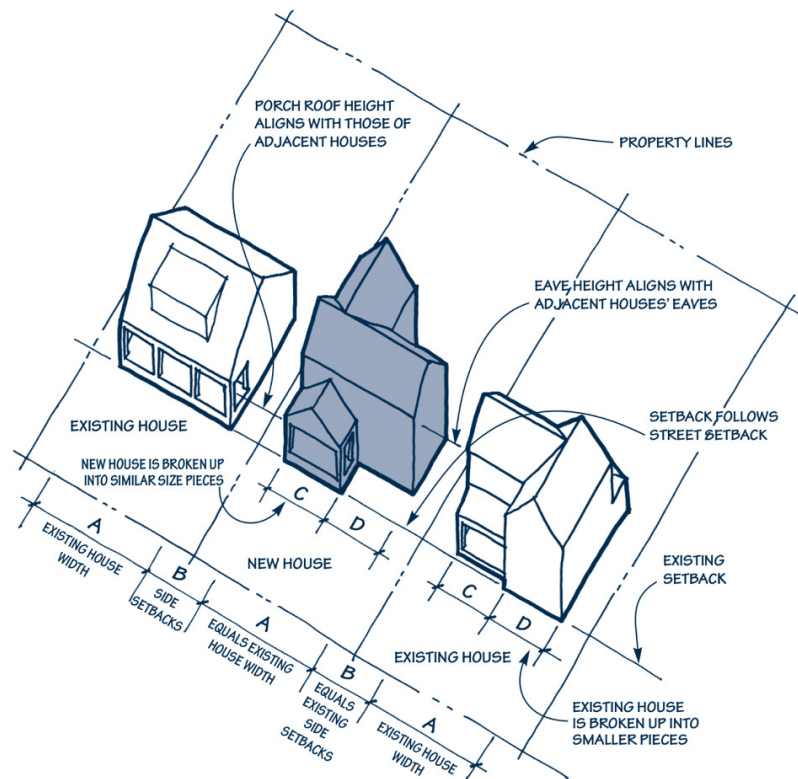
It is important to note that 110-112 S. Riverview Street lies off the Scioto River and close to the historic core of Dublin. A review of maps and other materials indicates that a mill may have been near this property along the Scioto River. In addition, a footpath and related structure was located in the vicinity, leading to a river ford near the Corbin Mill. As such, there may be archeological remains on the property. If a potential archeological find is uncovered during the course of demolition and/or new construction, the City of Dublin and the appropriate authorities must be notified immediately.



Figure 2. Detail site plan showing the proposed building and site contrasted with the adjacent structures and properties. (Original Adobe Illustrator sketch using ArcGIS Data provided by the Franklin County Auditor, extracted September 9th, 2020 with proposed 110 S Riverview Design by Melaragno Design Company; not to scale.)

THOUGHTS on the NEW CONSTRUCTION at 110 S. RIVERVIEW STREET

The Historic Dublin Guidelines state that new buildings in the historic district should be designed to fit into the strong existing context. They should not try to look old or assume a historic character they never had. Rather, new construction should follow historic buildings in placement and orientation on a lot; in scale and proportion; in building height (one to two stories); in materials, textures, and colors; in massing, form, and roof shapes, as well as in the rhythm of bays. It should add to the continuity and compatibility of the neighborhood and not diminish its historic integrity. And new buildings should not replicate historic ones and create a false sense of history, but should be compatible to not detract from the character and integrity of the surrounding historic structures. Furthermore, new buildings should not have multiple traditional features that are not used in the proper manner or do not work together (Historic Dublin Design Guidelines, 70-73).



Source: Drawing 9, New Construction, Historic Dublin Guidelines.

From the front, the proposed building at 110 S. Riverview Street resembles a traditional one-and-a-half story cottage similar to neighboring structures as well as others in the historic district. The new construction consists of a one-and-a-half story home with a rectangular footprint and a side-gable roof interrupted by a gable-front two-car garage and a center gable-front dormer over the master bedroom and bath at the front of the house. A small entry porch lies under the main side-gable roof. The rear of the building contains the kitchen, dining, and living rooms under a shed roof extension. A one-story mud room and powder room connect the garage with the main house. The sloping site accommodates a lower level with two bedrooms, two bathrooms, a home office, and a recreation room with access to a rear deck.

Overall, the building's size, scale, form, and height along S. Riverview Street compliment neighboring structures in the historic district. The one-and-a-half story roofline matches that of neighboring properties and does not detract from the historic character of the area. However, the side and rear elevations are not fully developed and should be modified to be more sympathetic to traditional construction and other buildings in the historic district. Before the final design is approved, the following items should be considered:

Site Issues:

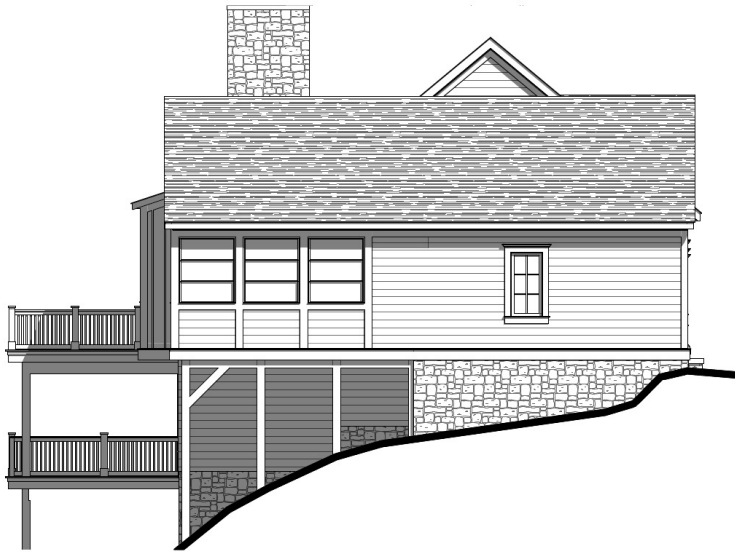
- It is not clear where this structure lies on the site in relation to other neighboring structures (See Figure 2). A site plan which shows neighboring structures would be helpful. Ideally, it should be set back the same distance from the road as neighboring structures.

- Since a rear garage is not possible due to site constraints, the garage should be setback slightly from the main house to lessen its impact from the street. Currently, it is the same distance from the road as the main house.
- Address site issues such as existing landscape features which will be maintained or removed.
- There is a potential for archeological remains on the property. If a potential archeological find is uncovered during the course of demolition and/or new construction, the City of Dublin and the appropriate authorities must be notified immediately.
- The lot immediately to the north of the site and in line with Pinneyhill Lane has a storm sewer outlet. This can create some design challenges for the project and should be addressed in a site plan.



West (Front) Elevation

- Provide information regarding building materials such as siding, stone veneer, roofing, windows and doors to ensure the new material is compatible with structures in the historic district. Currently, the windows appear to be fixed or casement windows. Sash windows and horizontal siding are traditional to buildings in the historic district and would help maintain the historic context of the district. (This applies to all elevations.)
- Vertical board and batten siding should be reserved for outbuildings such as garages and hyphens (or connectors) to those outbuildings. Traditionally, it would not appear on the façade of a building. The vertical board and batten siding by the entry should be removed and replaced with horizontal siding more appropriate for the main house and compatible with other buildings in the area.
- As mentioned above, garages or barns were traditionally relegated to the rear of a property. Since this is not possible due to site constraints, the garage should at least be setback from the main house to lessen its impact from the street. While a garage close to the street may be suitable for a new subdivision, it is not appropriate for a historic district where houses did not originally have attached garages.



North Side Elevation

- The sunroom area needs to be more fully developed in terms of windows, siding material, and foundation. The supports appear too spindly to support the weight of the sunroom. The plan shows a fireplace in the sunroom, but there is no foundation or chimney for it. The windows do not appear to be compatible with others in the historic district—sash windows are preferred but sunroom additions could also have casement windows. And since sunrooms were usually additions or enclosed porches, the siding material generally varied from that of the main house or at least had a visual seam.
- Remove the cantilever for the rear portion of the kitchen and living and dining rooms. Traditionally, this area would not be a cantilever but part of the main house with a solid foundation.
- Create a uniform foundation line. The stone foundation of the main house should continue all the way under the main house since they would have been built at the same time.



Sketch of revised north elevation with casement windows in sunroom and stone foundation. Note the different material for the sunroom.



South Side Elevation

- The elevation needs to be more fully developed in terms of foundation, siding, and roofline to be more compatible with the traditional one-and-a-half-story homes in the area.
- As in the north elevation, create a uniform foundation line. The stone foundation of the main house should continue all the way under the main house since they would have been built at the same time.
- Remove the cantilever for the rear portion of the kitchen and living and dining rooms. Traditionally, this area would not be a cantilever but part of the main house with a solid foundation. In addition, this area should have the same horizontal siding of the main house and not vertical board and batten, which traditionally appeared in outbuildings.
- The chimney needs a stone foundation to support it. Even though it is on an exterior wall, it appears to be enclosed by the main house.
- The window in the lower level poses some design issues and may not be sized properly. Since this is a bedroom, it needs to be an egress window per the 2019 Ohio Residential Code. And, given the grade changes, it may also need a code-compliant window well.



Sketch of revised south elevation with continuous stone foundation, horizontal siding, and no cantilever. Note that the lower level window may need to be revised based on code and life safety issues.



East (Rear) Elevation

- The windows should match the others on the front and side elevations. Provide information regarding the type of windows to ensure they are compatible with the historic district. Sash windows are traditional to the area, but sunroom additions could have casement windows.
- Remove the cantilever for the rear portion of the kitchen and living and dining rooms. Traditionally, this area would not be a cantilever but part of the main house with a solid foundation. In addition, this area should have the same horizontal siding of the main house and not vertical board and batten, which traditionally appeared in outbuildings.
- There should be a stone foundation for the garage as well as a foundation and chimney stack for the fireplace in the sunroom.
- The sunroom structure appears too spindly to support the weight of the sunroom above. Consider using square piers or heavy timbers which align with the visual bays above.



Sketch of rear elevation with a continuous stone foundation, horizontal siding, sash windows, and no cantilever. If there is to be a fireplace in the sunroom, there should also be a chimney stack and foundation (not shown).

The façade of the proposed new construction is appropriate to the historic district in terms of size, scale, height, overall form, and proportion, and will not detract from the integrity of the historic district. However, some elements need to be addressed, especially on the side and rear elevations as noted above. These changes would help create a cohesive structure that would be in keeping with the character of the historic district. Since front-loaded garages are not traditional to the historic district, the garage should be set back slightly from the main house. And the main portion of the house should have continuous materials in terms of foundations, siding, windows, and roofline to create a cohesive whole.

PHOTOGRAPHS ALONG S. RIVERVIEW STREET



Figure 3. 110-112 S. Riverview Street is located at right of center, looking northward as taken in front of 137 S. Riverview St. (Preservation Designs, March 2021)



Figure 4. 110-112 S. Riverview Street taken from across the Scioto River. While much is obscured, this photo shows the existing access paths down to the river. The proposal should address site issues such as existing landscape features which will be maintained or removed (Preservation Designs, March 2021)



Figure 5. View of 110-112 S. Riverview Street looking south from the intersection of Riverview St. and Pinneyhill Lane. Note the existing side yard and the utility area north of it. (Preservation Designs, March 2021)



Figure 6. 63 S Riverview St. This house is an example of a one-and-a-half house. Note the horizontal siding and sash windows. (Preservation Designs, March 2021)

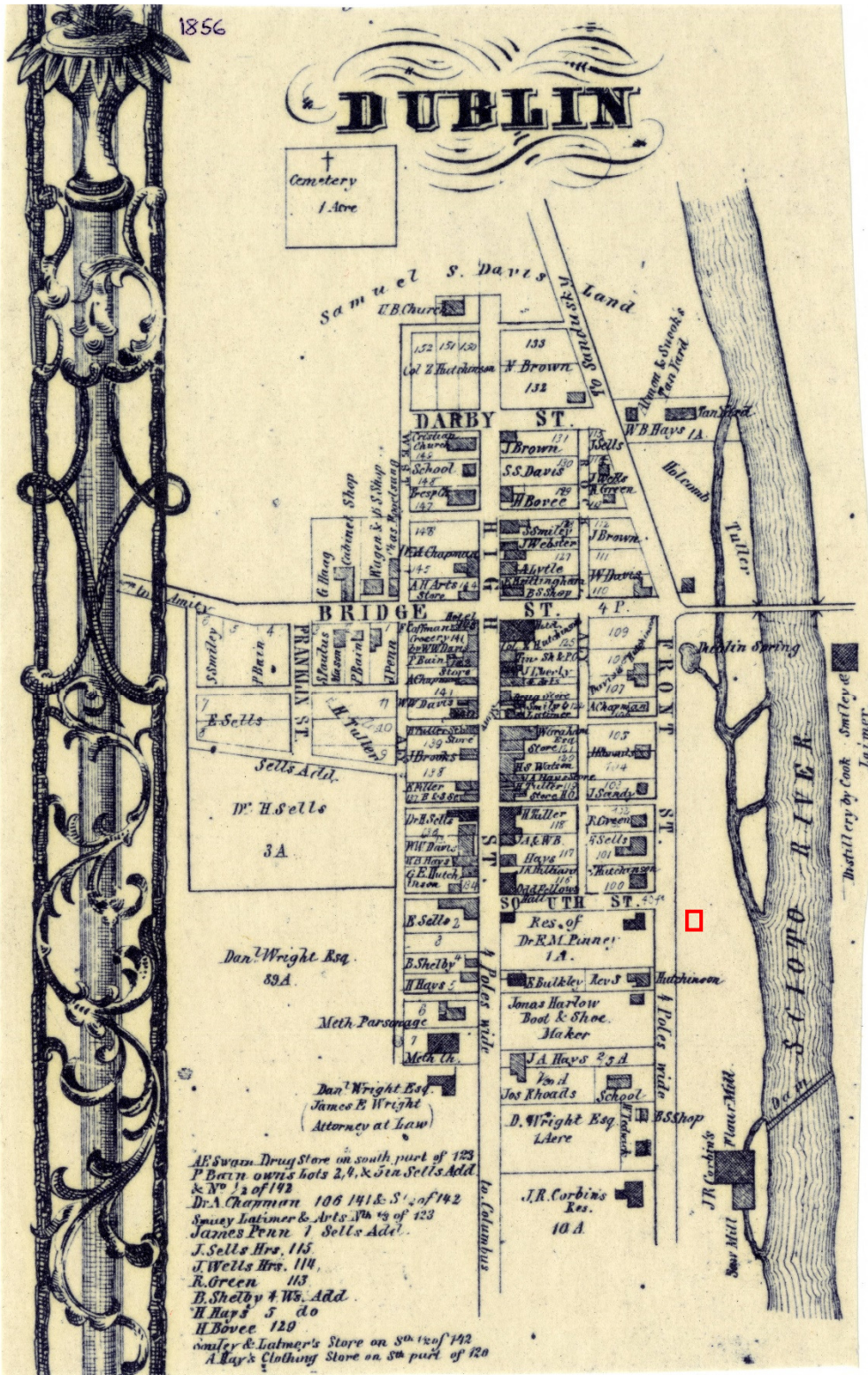


Figure 7. 84 S Riverview St. This house is another example of a one-and-a-half-story dwelling. Note the front-loaded garage is set slightly back from the main house and is separate from the main house. (Preservation Designs, March 2021)



Figure 8. 137 S. Riverview St. Like 84 S. Riverview, this is another example of a one-and-a-half-story dwelling with a detached garage set back from the main house.

MAPS & HISTORIC IMAGES



Map 1. 1856 map of Dublin, Ohio. The hollow red rectangle indicates the proposed house location. The J.R. Corbin Saw and Flour Mill is located further south, just east of 180 S. Riverview Dr. (John Graham Map of Franklin Co. Philadelphia: R. C. Foote, Jr., 1857)



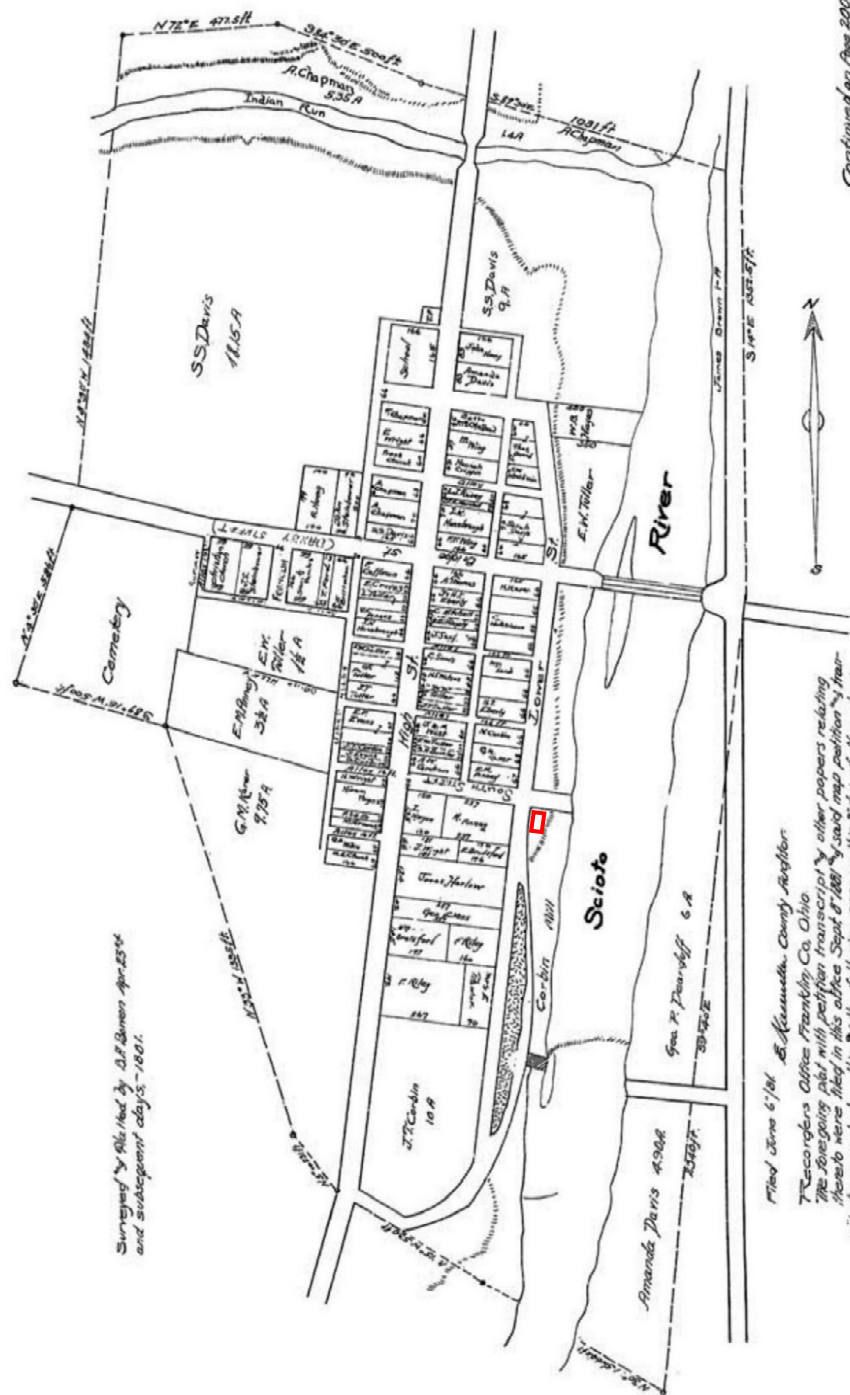
Map 2. 1872 map of Dublin, Ohio. The property at 110 S. Riverview Street is on the plat of land owned by J.T. Corbin. A driveway or a path down to the mill starts just south of the proposed house. (Caldwell's Atlas of Franklin Co. & City of Columbus, OH. Columbus: J. A. Caldwell & H. T. Gould, 1872)



Map 3. 1872 detail of a map of Washington Township, Ohio. Note the Mill located just south of the east end of Pinneyhill Lane. This mill is in the generally vicinity of 110-112 S. Riverview Street. (Caldwell's Atlas of Franklin Co. & City of Columbus, OH. Columbus: J. A. Caldwell & H. T. Gould, 1872)

PLAT OF DUBLIN

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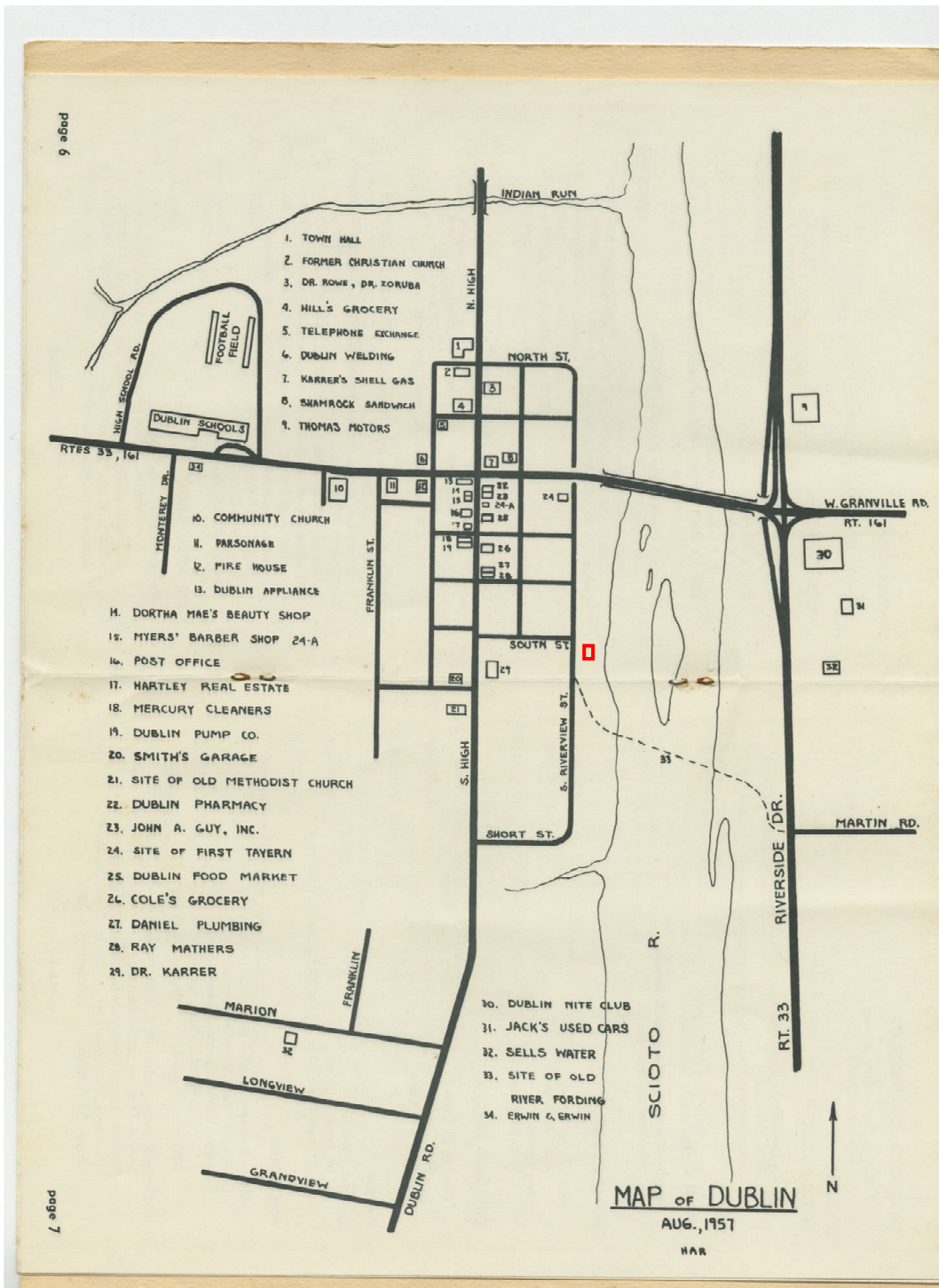
Map 4. 1881 plat of Dublin, Ohio. The property at 110 S. Riverview Street still appears to be part of the Corbin Mill property. (Digital Collection at the Columbus Metropolitan Library)



Aerial 5. Detail of May 1929 Aerial View of Dublin, Ohio. Some sort of structure appears to exist at the future 110-112 S. Riverview duplex, as indicated by the red arrow. (War Department. Army Air Forces. Ohio – Dublin. Digital Public Library of America, catalog.archive.s.gov/id/68146793)



Aerial 6. 1947 Aerial View of Dublin, Ohio. Trees obscure the future 110-112 S. Riverview duplex. (Columbus and Ohio Map Collection at the Columbus Metropolitan Library)



Map 7. 1957 Map of Dublin, Ohio. The future 110-112 S. Riverview duplex has yet to be built. Note the proximity to the foot path and river ford/crossing. (Columbus and Ohio Map Collection at the Columbus Metropolitan Library)