

OAK PARK PUD PUD REZONING - SUBAREA F FINAL DEVELOPMENT PLAN

DUBLIN, OHIO
(RESERVES A AND D)

PREPARED FOR:
OAK PARK DUBLIN, LLC
90 Woodbridge Center Drive
Woodbridge, NJ 07095
P: 732.750.1111
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Signature below signify only concurrence with the general purposes and general location of the project and does not constitute assurance to operate as intended. All technical details remain responsibility of the professional Civil Engineer preparing the plans

APPROVED:

City Engineer, City of Dublin, Ohio
Paul A Hammersmith, P.E.

Date

CITY OF COLUMBUS:

Approval on the part of the City of Columbus is given pursuant to the provisions of the water service agreement between the City of Dublin, Ohio and the City of Columbus, Ohio, on April 13, 1993 and all subsequent amendments thereof.

APPROVED:

Director, Department of Public Utilities
City of Columbus, Ohio

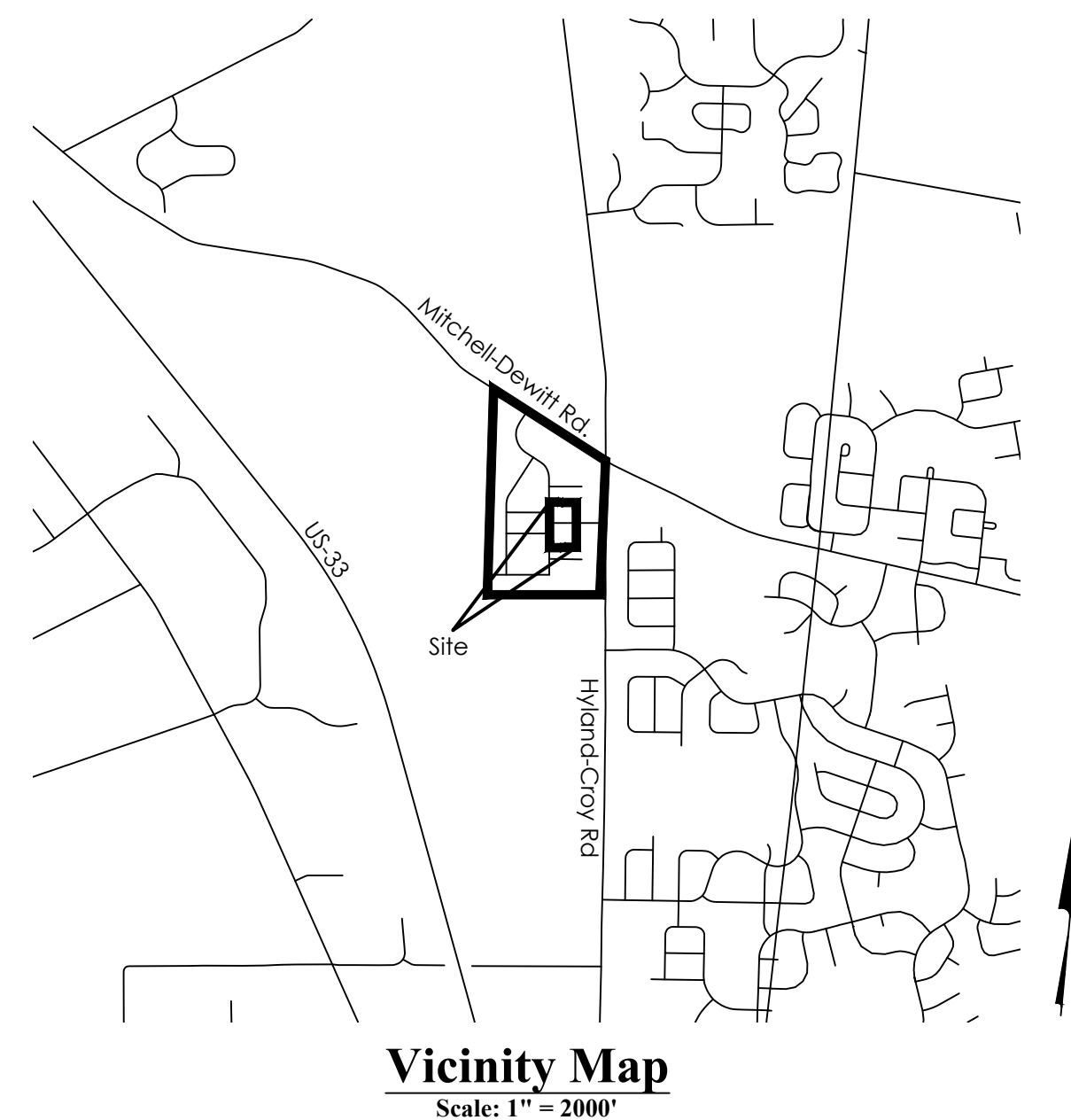
Date

Administrator, Division of Water
City of Columbus, Ohio

Date

LEGAL COUNSEL

Christopher T. Cline c/o Haynes, Kessler, Myers & Postalakis
300 West Wilson Bridge Rd. #100 Worthington, OH 43085
Phone: 614-764-0681
Email: ctc@BHMLaw.com



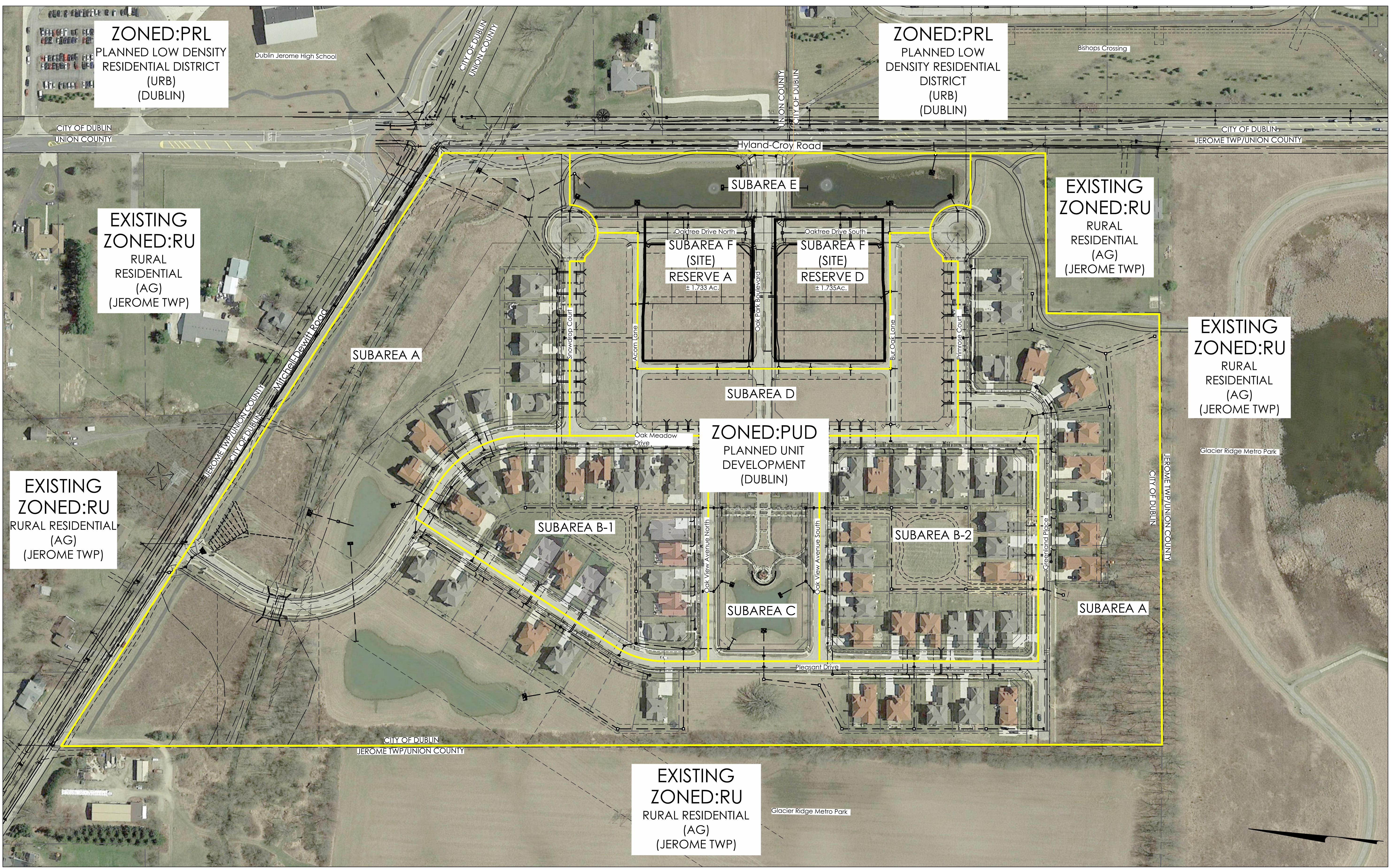
CIVIL ENGINEER &
LANDSCAPE ARCHITECT



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3648
emht.com

PLANNING COMMISSION SUBMITTAL:
NOVEMBER 24, 2020

\\cmidada01\project01\20160307\Oak Park PUD FDP Vicinity Map.dwg, Last Saved By: mnerici, 11/2/2020 11:49 AM, Last Printed By: Nerici, Megan, 3/8/2021 1:29 PM (No Xrefs)



ZONED:PRL
 PLANNED LOW DENSITY
 RESIDENTIAL DISTRICT
 (URB)
 (DUBLIN)

ZONED:PRL
 PLANNED LOW
 DENSITY RESIDENTIAL
 DISTRICT
 (URB)
 (DUBLIN)

**EXISTING
 ZONED:RU**
 RURAL
 RESIDENTIAL
 (AG)
 (JEROME TWP)

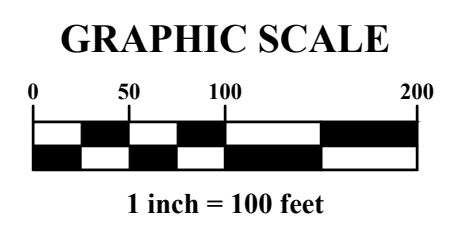
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 RESIDENTIAL
 (AG)
 (JEROME TWP)

**EXISTING
 ZONED:RU**
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 (AG)
 (JEROME TWP)

**EXISTING
 ZONED:RU**
 RURAL RESIDENTIAL
 (AG)
 (JEROME TWP)

ZONED:PUD
 PLANNED UNIT
 DEVELOPMENT
 (DUBLIN)

**EXISTING
 ZONED:RU**
 RURAL RESIDENTIAL
 (AG)
 (JEROME TWP)



MARK	DATE	DESCRIPTION

OAK PARK DUBLIN, LLC

**DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
 OAK PARK PUD - RESERVES A AND D
 SINGLE FAMILY HOMES
 VICINITY MAP**

EMHT
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 5500 New Albany Road, Columbus, OH 43254
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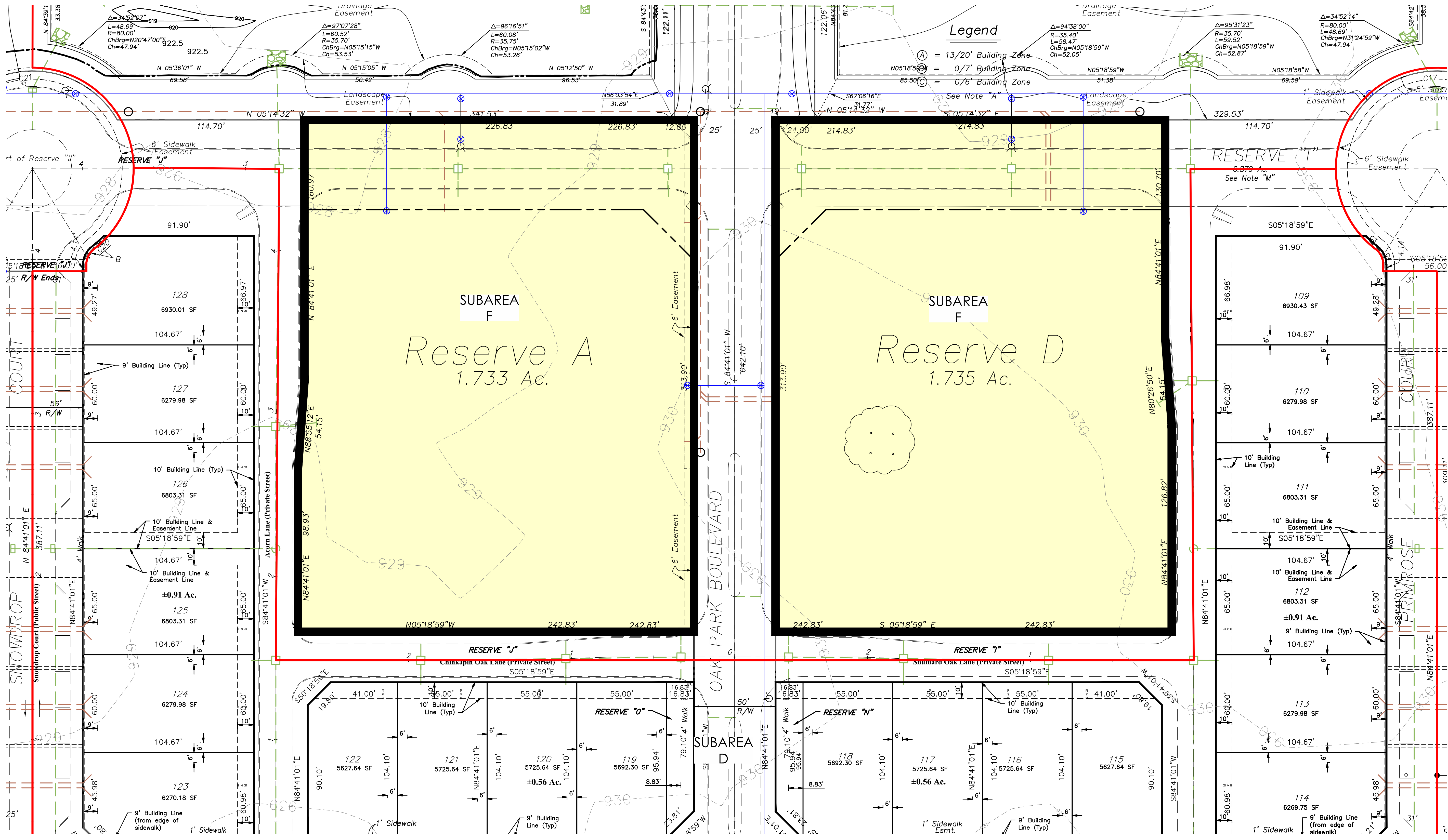
DATE
 November 24, 2020

SCALE
 1" = 100'

JOB NO.
 20190713

SHEET
 1/10

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Legend

(A) = 13/20' Building Zone
 (B) = 0/7' Building Zone
 (C) = 0/6' Building Zone

NOTE:
Where existing Private Street and Lanes are labeled on the plans, these are intended to operate as private drives, as defined by the City of Dublin.

LEGEND

- - - Existing Sanitary Sewer
- - - Existing Storm Sewer
- - - Existing Water Main
- Existing Fire Hydrant

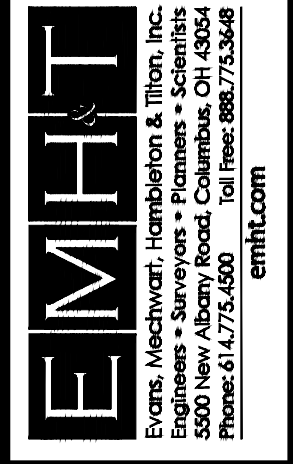
GRAPHIC SCALE

1 inch = 30 feet

MARK	DATE	DESCRIPTION	SCALE	REVISION

OAK PARK DUBLIN, LLC

**DUBLIN OHIO
FINAL DEVELOPMENT PLAN
FOR
OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES
EXISTING CONDITIONS**



DATE
November 24, 2020

SCALE
1" = 100'

JOB NO.
20190713

SHEET
2/10

ZONED:PRL
 PLANNED LOW
 DENSITY RESIDENTIAL
 DISTRICT
 (URB)
 (DUBLIN)

EXISTING
 ZONED:RU
 RURAL
 RESIDENTIAL
 (AG)
 (JEROME TWP)

ZONED:PRL
 PLANNED LOW
 DENSITY RESIDENTIAL
 DISTRICT
 (URB)
 (DUBLIN)

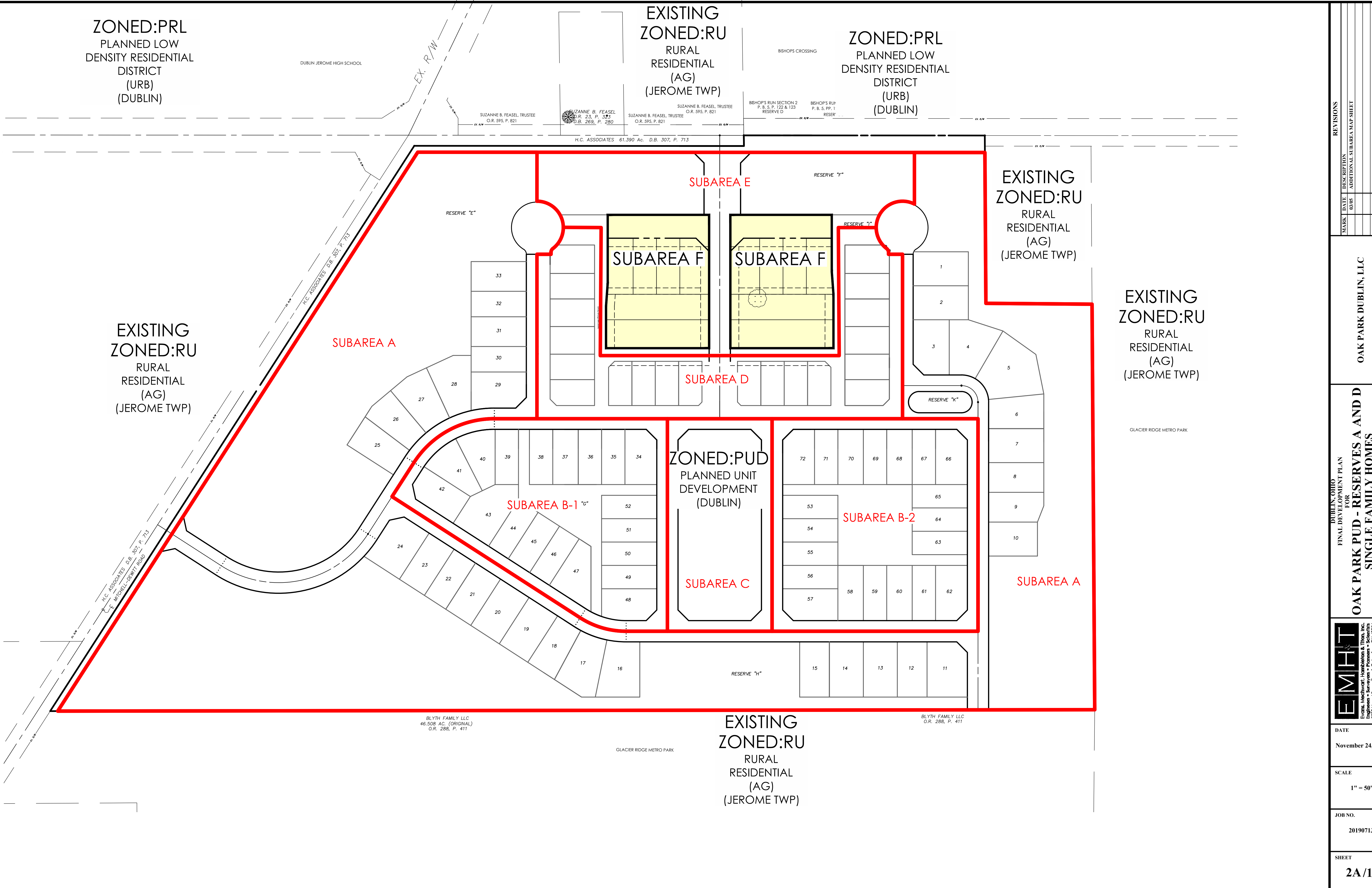
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 (JEROME TWP)

EXISTING
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 (AG)
 (JEROME TWP)

EXISTING
 ZONED:RU
 RURAL
 RESIDENTIAL
 (AG)
 (JEROME TWP)

ZONED:PUD
 PLANNED UNIT
 DEVELOPMENT
 (DUBLIN)

EXISTING
 ZONED:RU
 RURAL
 RESIDENTIAL
 (AG)
 (JEROME TWP)



MARK	DATE	DESCRIPTION
	03/08	ADDITIONAL SUBAREA MAP SHEET

OAK PARK DUBLIN, LLC

DUBLIN OHIO
 FINAL DEVELOPMENT PLAN
 FOR
OAK PARK PUD - RESERVES A AND D
 SINGLE FAMILY HOMES
 SUBAREA MAP



DATE
 November 24, 2020

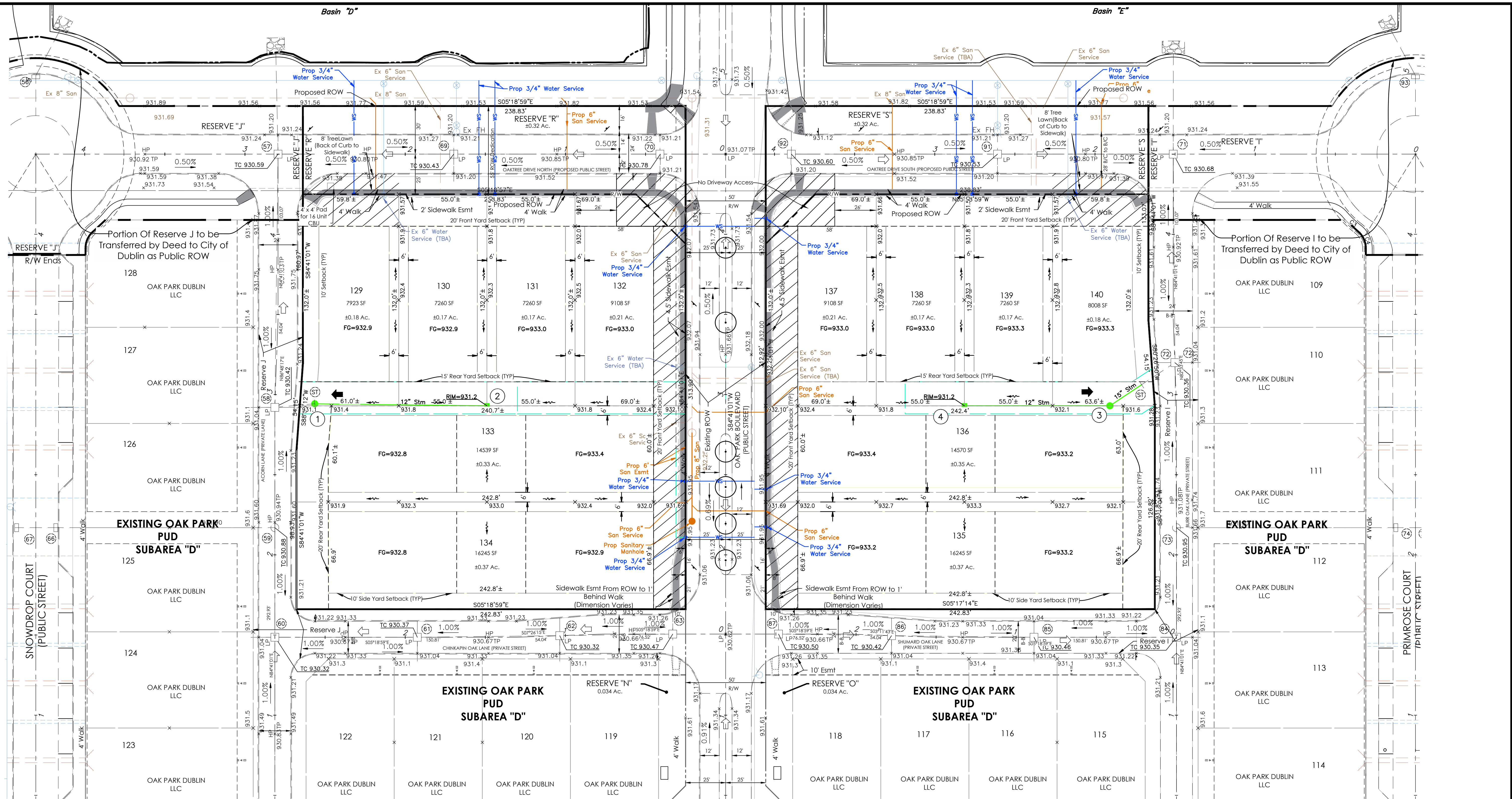
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JOB NO.
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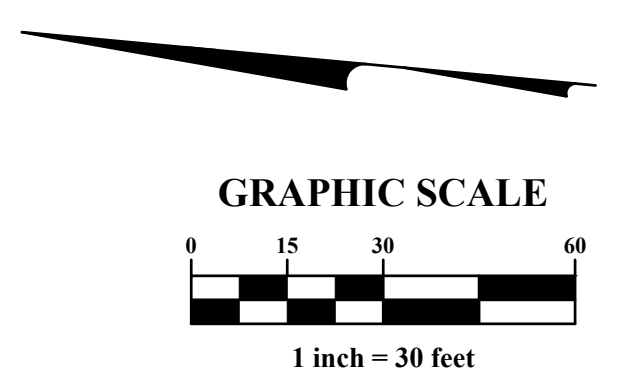
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NOTE:
Where existing Private Street and Lanes are labeled on the plans, these are intended to operate as private drives, as defined by the City of Dublin.

SITE DATA:
 Zoning: PUD
 Site Area: ± 3.46 ac
 Lots: ±2.82 ac / 12 Lots
 -Min Lot Frontage: 55'
 -Min Lot Depth: 130'
 -Parking: Min 2 Spaces in Garage
 -Max Lot Coverage: Lots 129-132, 137-140 - 60%
 Lots 133-136 - 45%
 Proposed Public ROW Dedication: ± 0.64 ac
 -Reserve R: ± 0.32 ac
 -Reserve S: ± 0.32 ac
 Open Space: No Additional Dedicated Open Space Required. Already Provided with Original Oak Park Zoning.

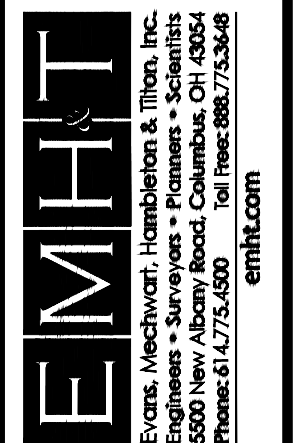
KEY
 No Drive Access
 Proposed Sidewalks and Curb Ramps



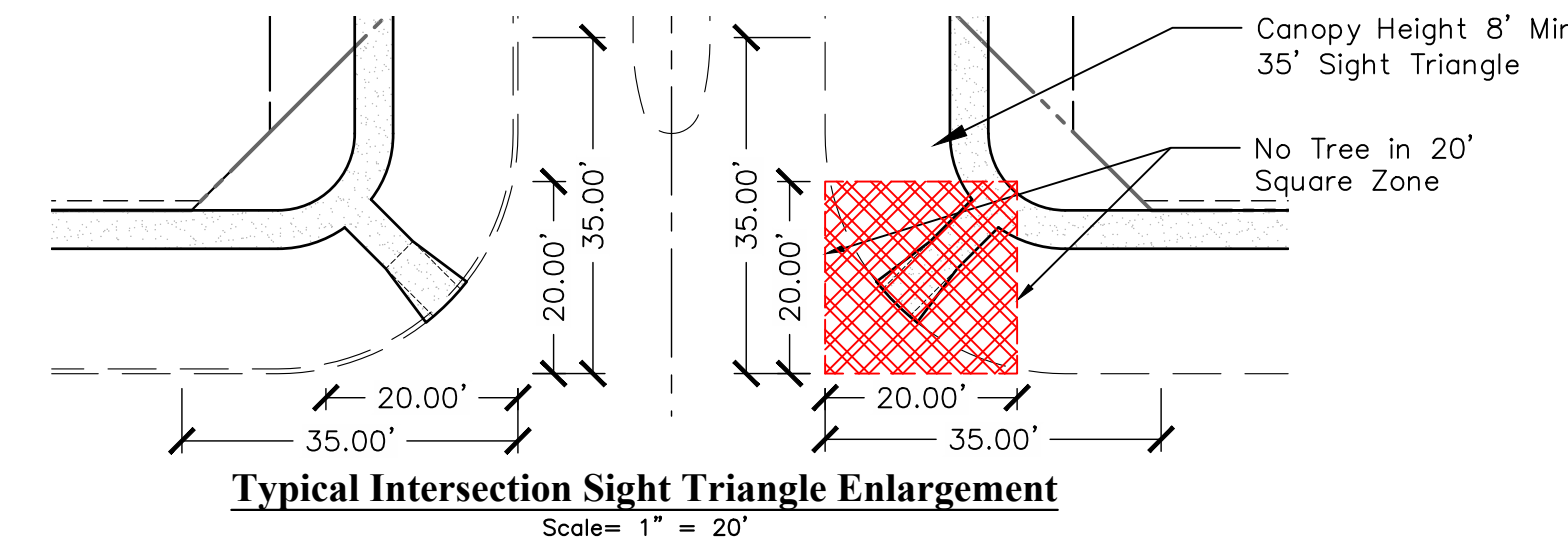
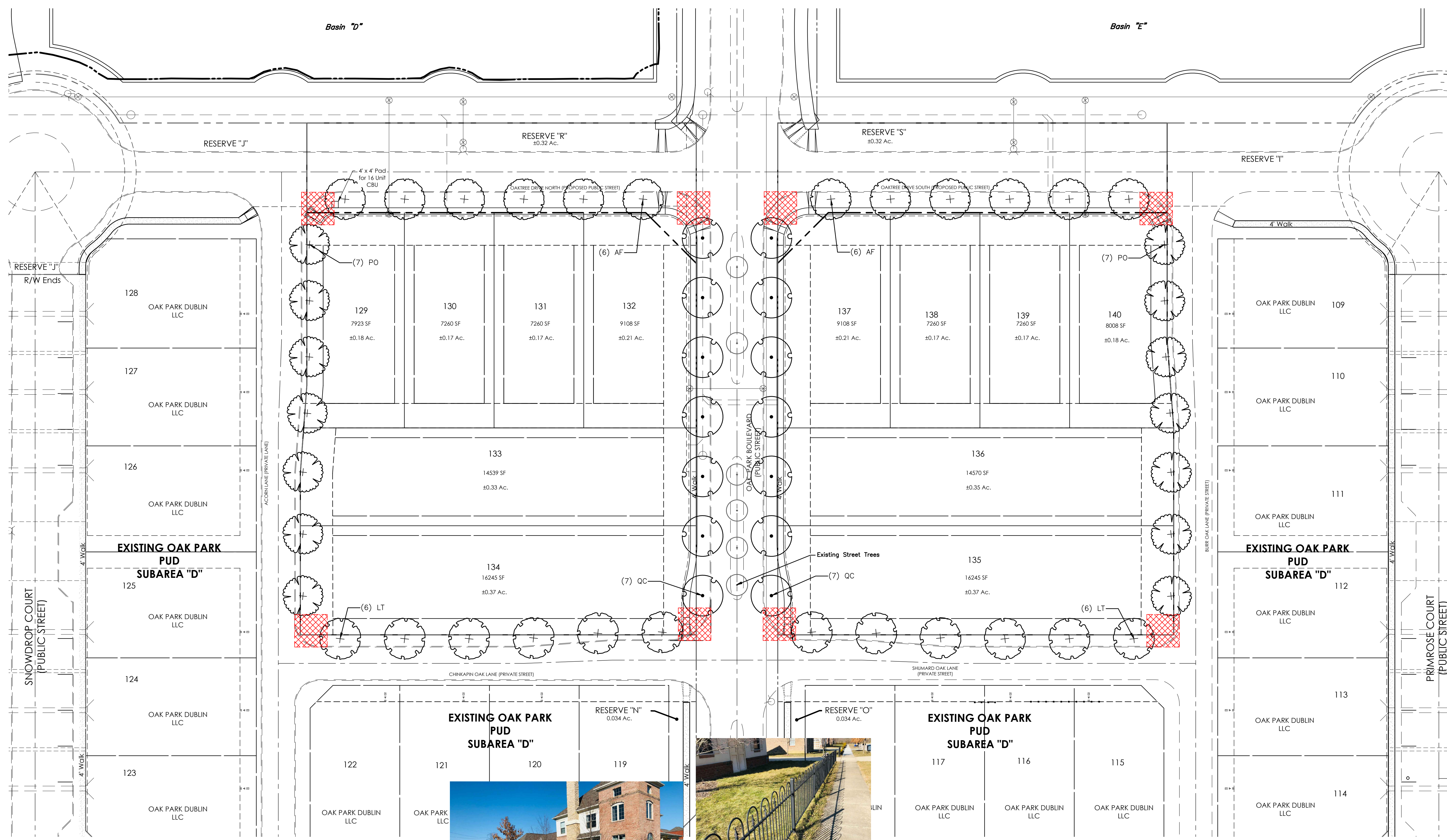
MARK	DATE	DESCRIPTION
0505		BASE CHANGES
092221		CRU LOCATION

OAK PARK DUBLIN, LLC

**OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES
FINAL DEVELOPMENT PLAN**



DATE	November 24, 2020
SCALE	As Noted
JOB NO.	20190713
SHEET	3/10



*A landscape hedge or permanent fencing shall be required as part of a consistent streetscape design found throughout Oak Park

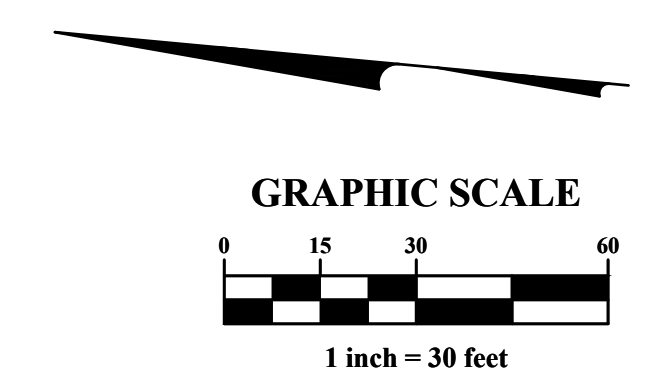
*This streetscape shall be permitted to encroach into the front yard setback and run parallel to the property line

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
AF	12	Acer freemanii 'Sienna Glen'	Freeman Maple	2.5" Cal.	B&B
LT	12	Liriodendron tulipifera	Tulip Tree	2.5" Cal.	B&B
PO	14	Platanus occidentalis	American Sycamore	2.5" Cal.	B&B
QC	14	Quercus coccinea	Scarlet Oak	2.5" Cal.	B&B

*Note: Street Tree Species and Locations will be Identified by the City Forester Prior to Installation.
Contact: (614) 410 - 4701

NOTE:
Where existing Private Street and Lanes are labeled on the plans, these are intended to operate as private drives, as defined by the City of Dublin.

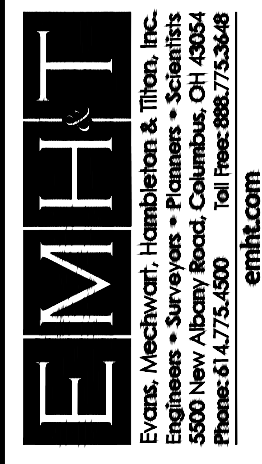


REVISIONS

MARK	DATE	DESCRIPTION	ADDITIONAL LANDSCAPE NOTES
0505	09/22/21	0505	09/22/21

OAK PARK DUBLIN, LLC

DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FOR
**OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES**
LANDSCAPE PLAN (STREET TREE)



DATE
November 24, 2020

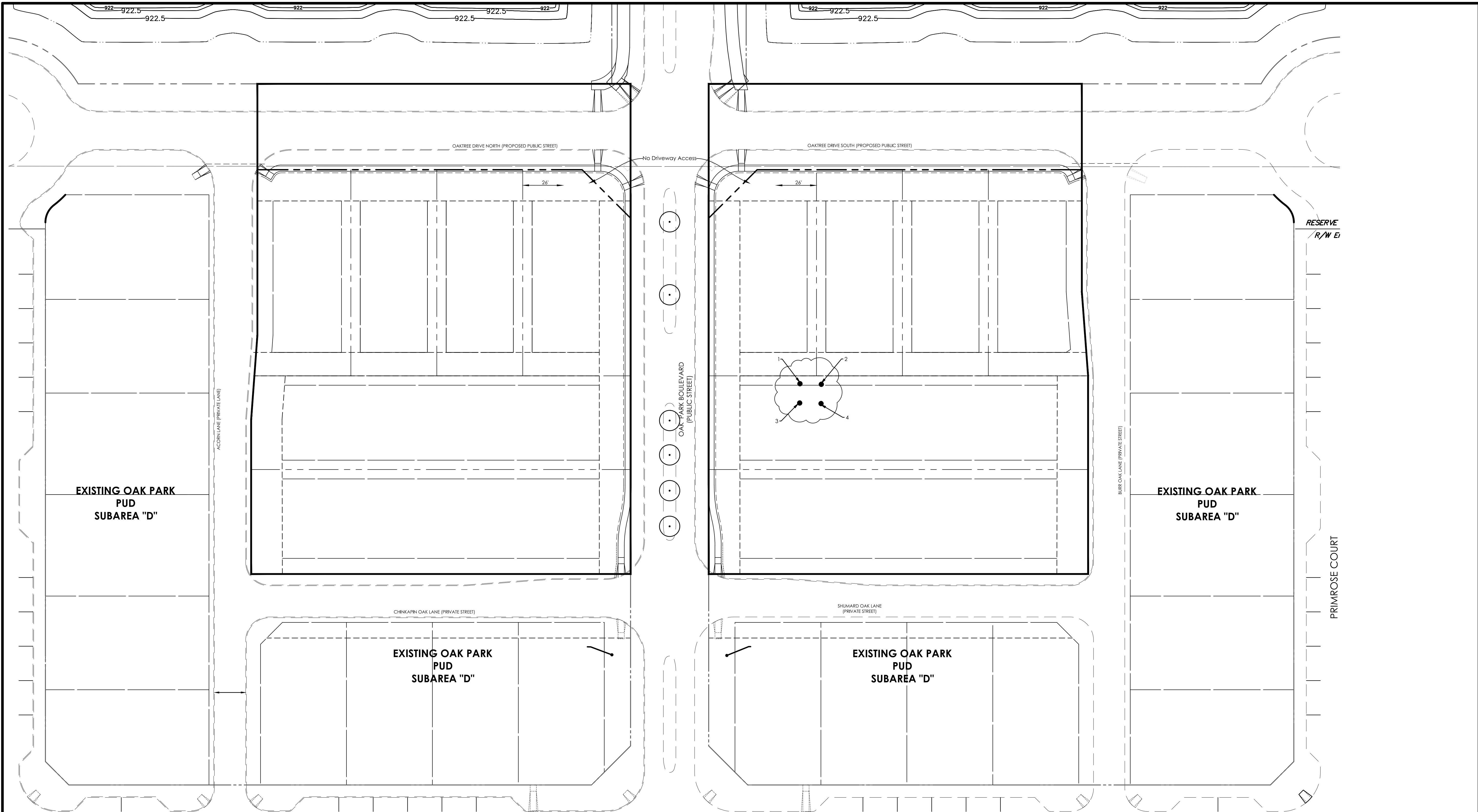
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As Noted

JOB NO.
20190713

SHEET
4/10

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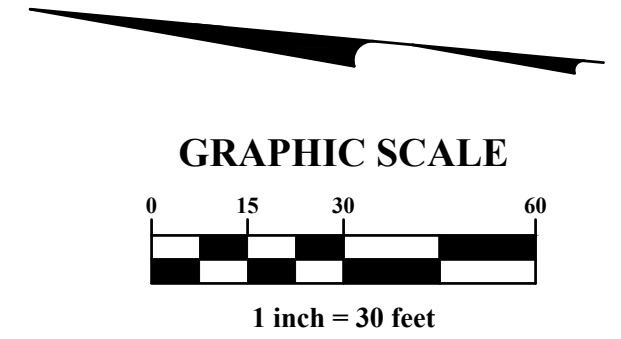
— Site Boundary

Replacement Trees	
34" Cal. Inches	
8 Trees x 3" = 24"	
4 Trees x 2.5" = 10"	

*Tree Locations and/or fee in lieu to be determined with City Forester

Tree Survey				
Tree	Species	Cal. Inches	Condition	Remove
1	Hackberry	8"	Fair	X
2	Hackberry	8"	Fair	X
3	Hackberry	9"	Fair	X
4	4	9"	Fair	X

*Tree Replacement Species and Locations to be coordinated with City Forester. Contact : (614) 410 - 4701
See Sheet 7 for proposed Locations.



REVISIONS		
MARK	DATE	DESCRIPTION
	03/08	ADDITIONAL LANDSCAPE NOTES

OAK PARK DUBLIN, LLC

DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FOR
OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES
TREE SURVEY AND TREE REPLACEMENT PLAN



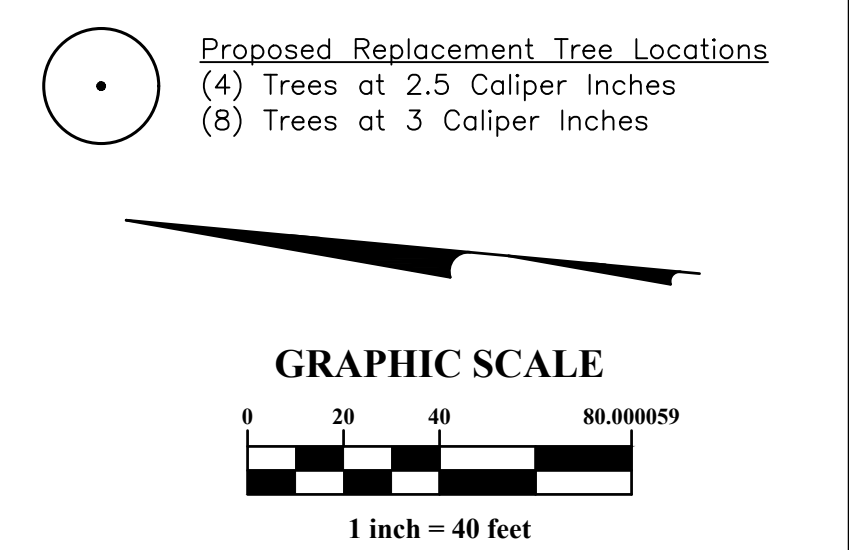
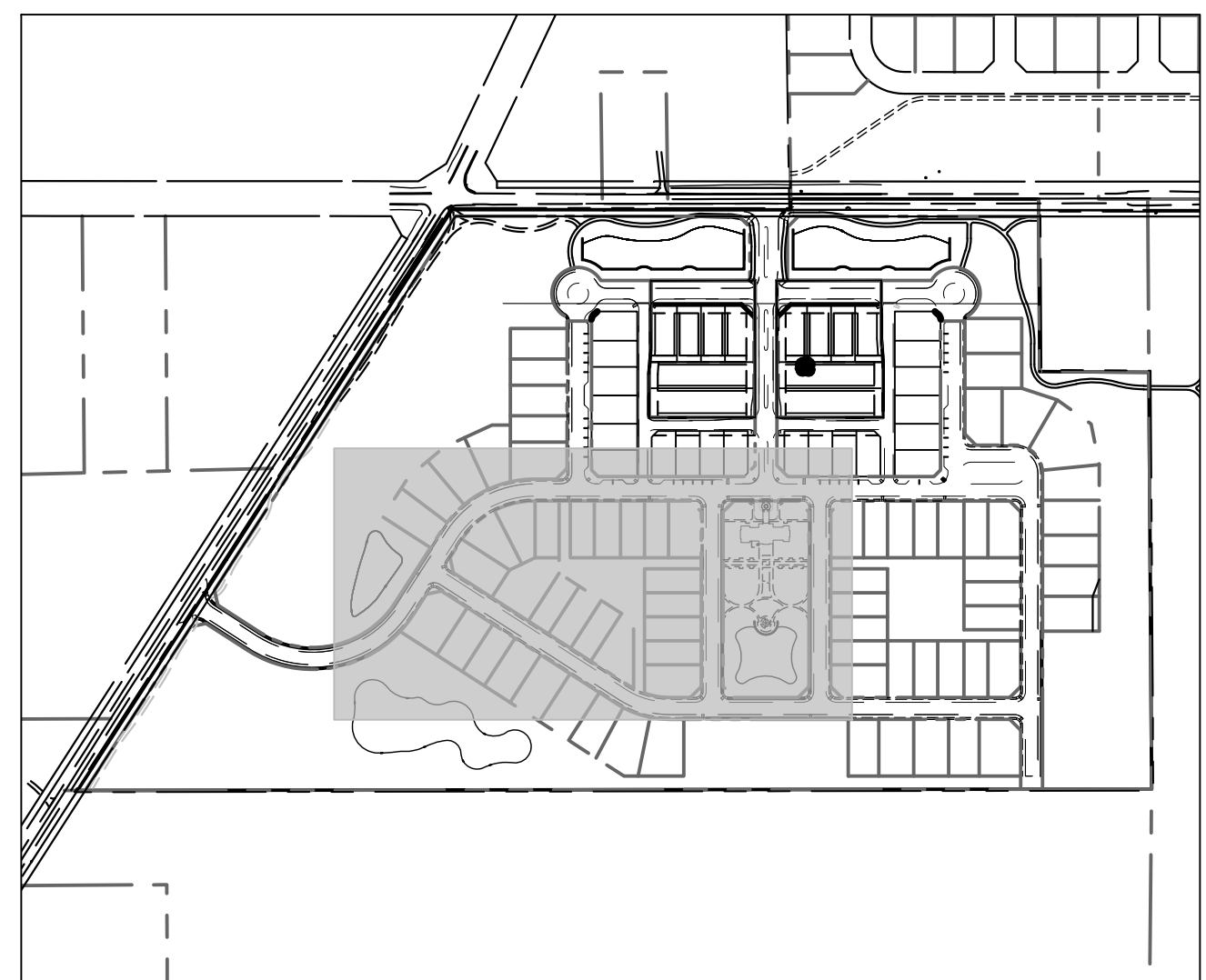
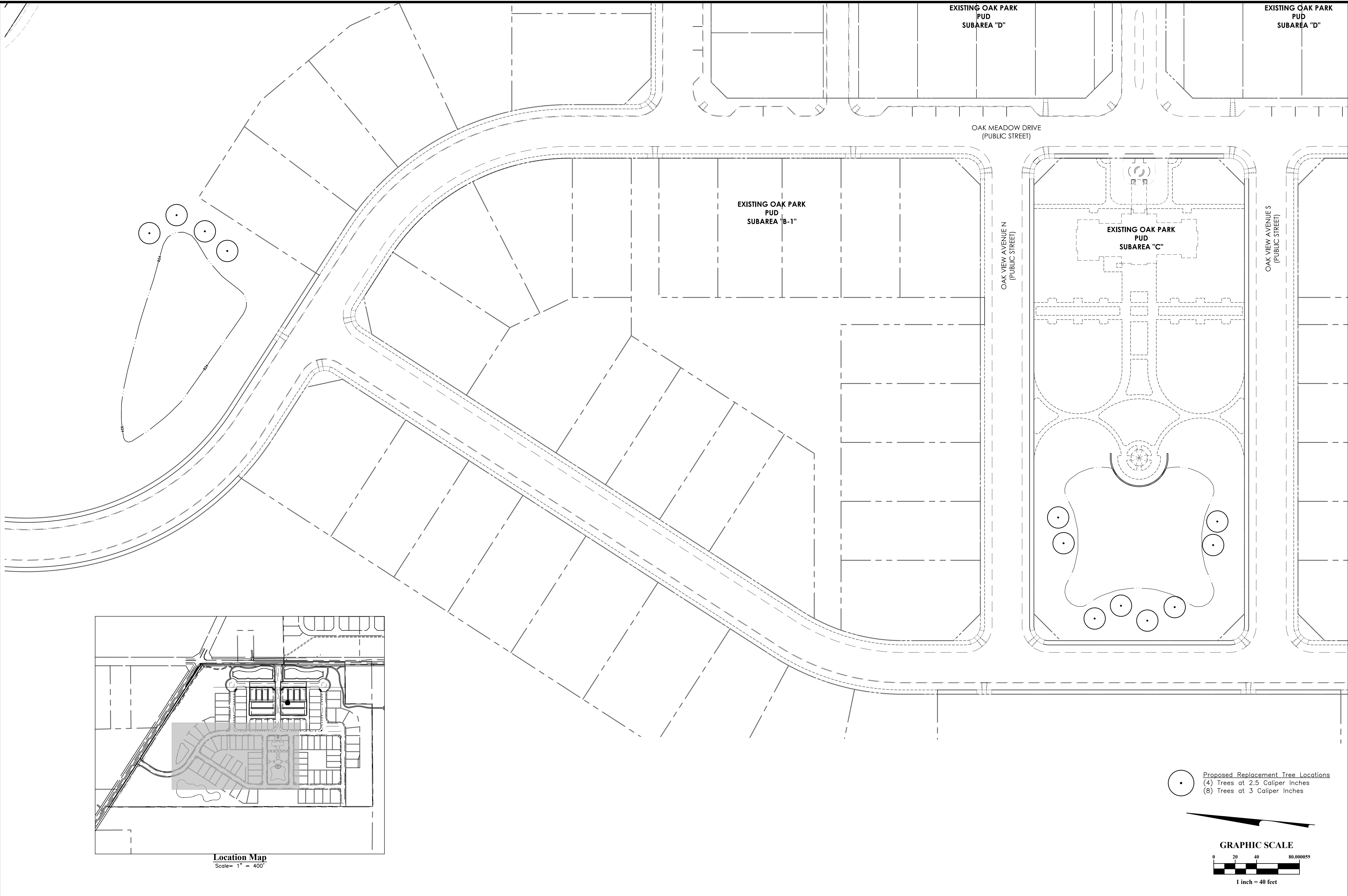
DATE
November 24, 2020

SCALE
1" = 30'

JOB NO.
20190713

SHEET
5/10

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MARK	DATE	DESCRIPTION
	0308	ADDITIONAL SHEET W/ TREE REPLACEMENT LOCATIONS

REVISIONS

DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FOR
OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES
TREE REPLACEMENT PLAN

OAK PARK DUBLIN, LLC

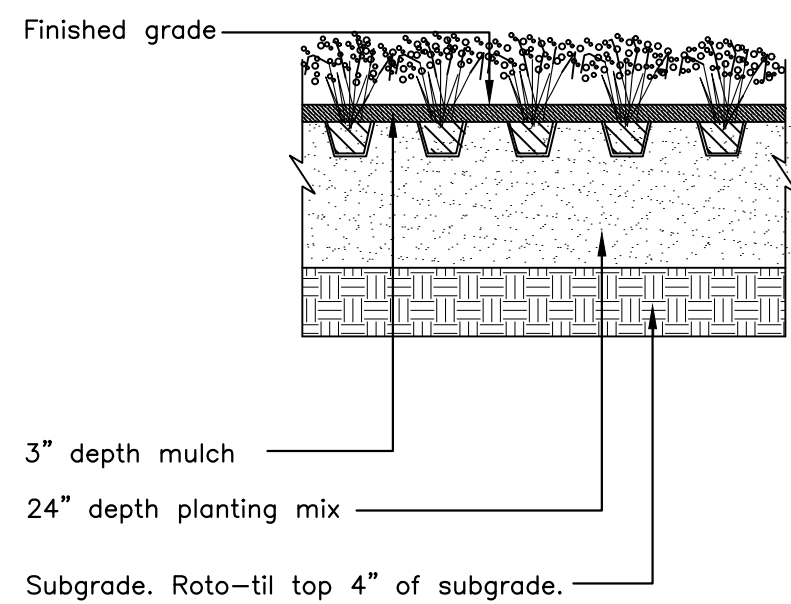
EMHT
 ENGINEERS, MECHANICAL, ARCHITECTS & PLANNERS, INC.
 ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS
 5800 New Albany Road, Columbus, OH 43254
 Phone: 614.251.6500 Fax: 614.251.7325
 emht.com

DATE
November 24, 2020

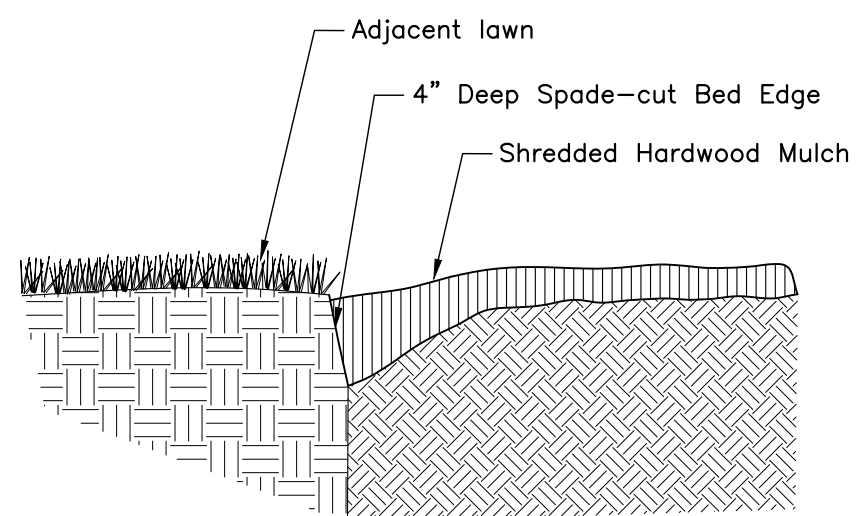
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JOB NO.
20190713

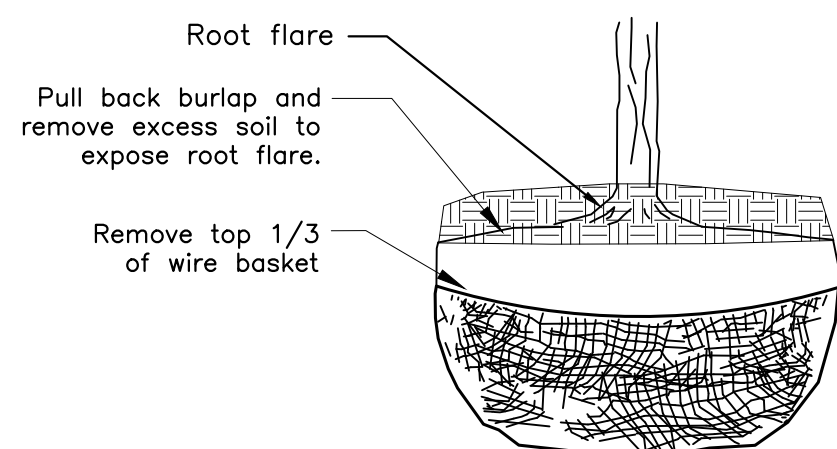
SHEET
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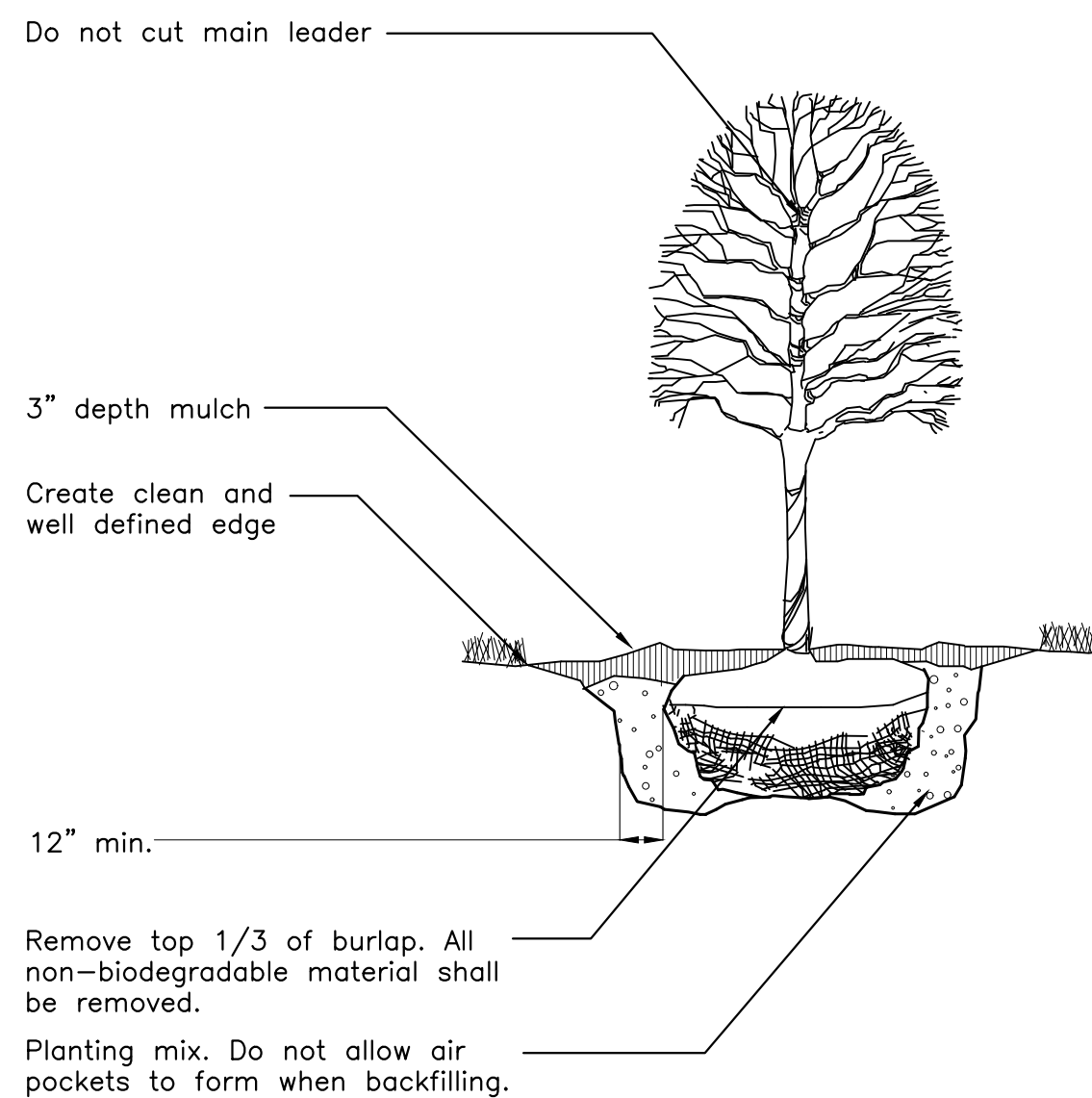
Perennial & Groundcover Planting
No Scale



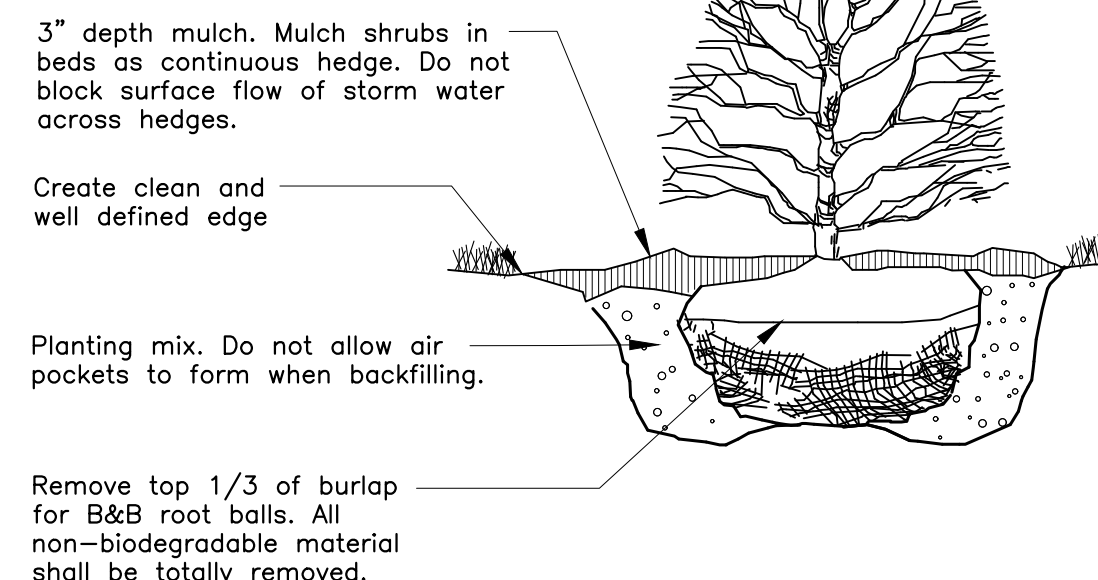
Planting Bed Edge
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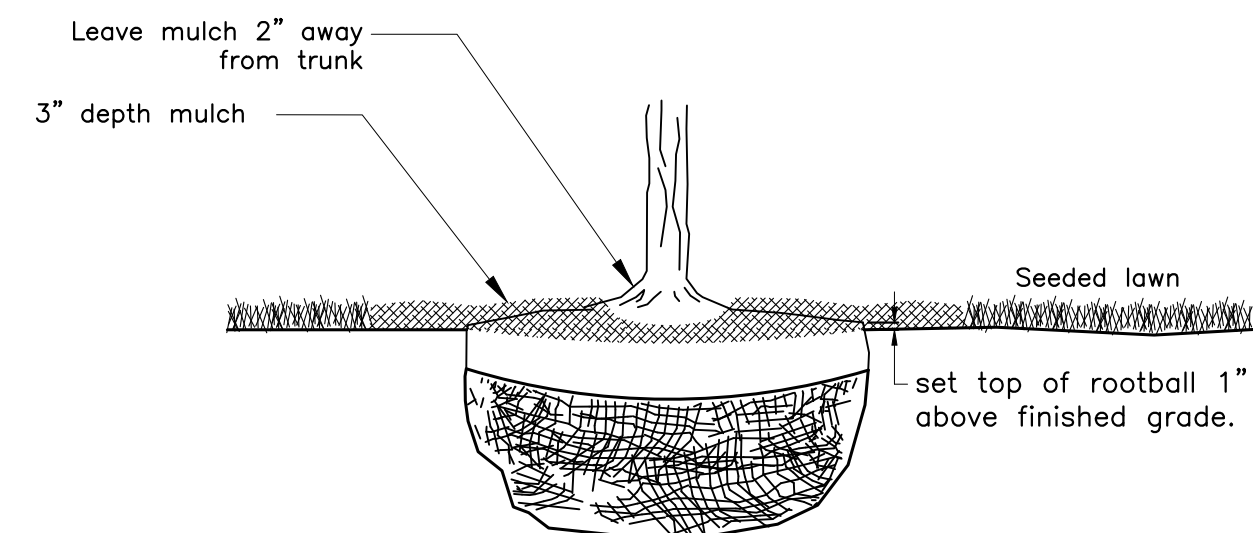
Rootball Preparation
No Scale



Deciduous Tree Planting
No Scale



Shrub Planting
No Scale



Rootball Setting
No Scale

GENERAL NOTES

- Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
- All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
- Substitutions shall only be permitted with notification and written approval from the Owner. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
- Confirm location of all utilities and subsurface drain lines prior to plant installation.
- A pre-installation conference shall be conducted prior to planting operations with Owner and Contractor present.
- Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
- Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
- Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
- Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
- Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
- Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
- Bed edge shall be smooth, consistent, hand trenched 4" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
- All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
- Install all plants in accordance with planting details and specifications.
- Parking lot and street trees shall have a clear canopy height of 8' min.
- Trees shall be placed a minimum of 3' from sidewalks and curbs.
- Planting Mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, ph range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-til compost from City of Columbus Department of Public Utilities. Sand shall be per Item ASTM C33. Proprietary manufactured Planting Mix such as Kurtz Bros. Professional Blend or Jones SuperSoil may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
- Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing vesicular-arbuscular mycorrhizal fungi and ectomycorrhizal fungi.
- Excavate planting beds to a depth of 24 inches, unless otherwise indicated. Roto-til subgrade of excavation to a depth of 4 inches, unless otherwise indicated. Incorporate a 6 inch lift of planting mix into subgrade. Place remaining Planting Mix in settled 6 inch lifts.
- Planting beds, including mulch, shall be no higher than 6 inches above adjacent grade and shall not impede surface drainage.
- Lawn areas shall be backfilled with Planting Mix to a minimum settled thickness of 6 inches. Roto-Til subgrade below lawns to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
- All trees and shrubs shall be fertilized with controlled release tablets of 20-10-5 composition. Size and number of tablets shall be per manufacturer's instructions.
- Composition and application rate of lawn fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit soil test results and amendment recommendations to Owner. Lawn fertilizer shall be in a dry granular form.
- Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
- Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
- Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed (except annuals) for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
- Lawn seed mix shall be proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Caddieshack or GoalKeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Pixie Tall Fescue (select 2). Sodded lawns shall match seeded lawns.
- Lawn seed shall not have less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed.

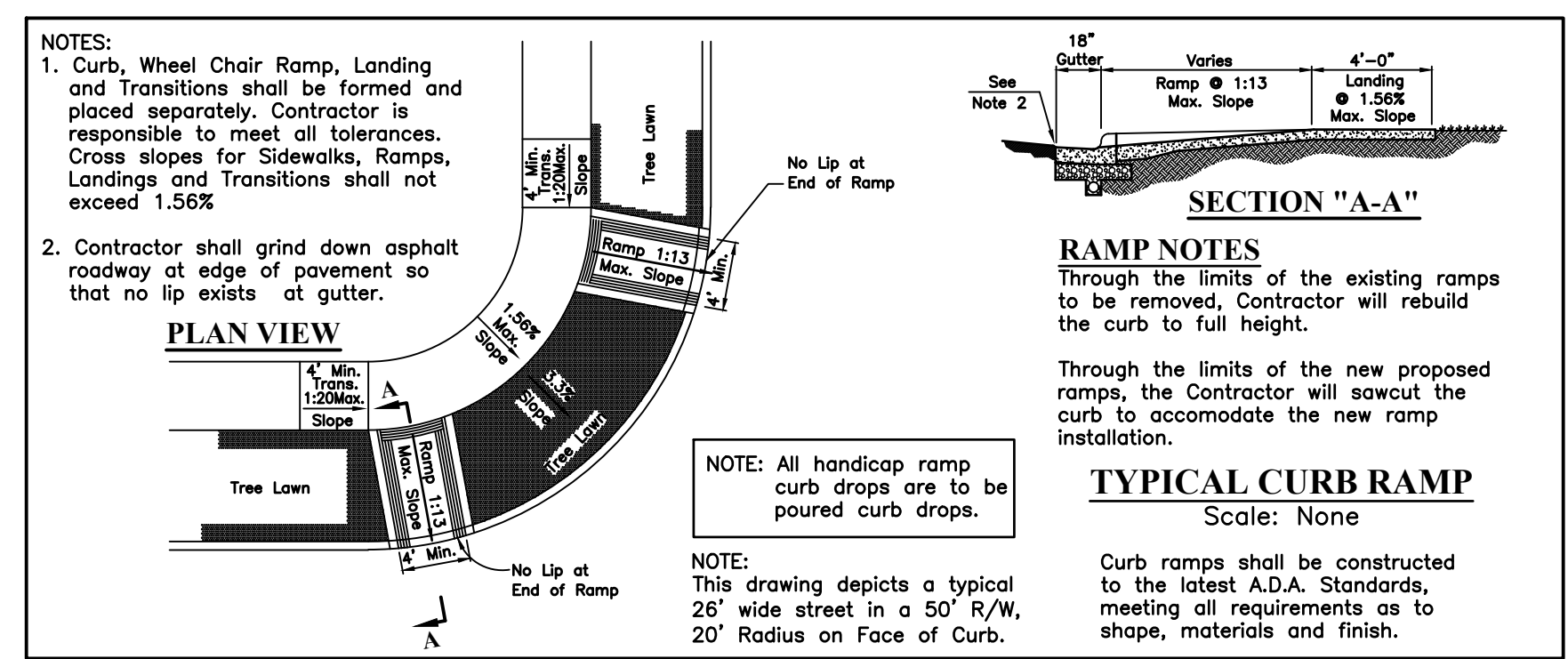
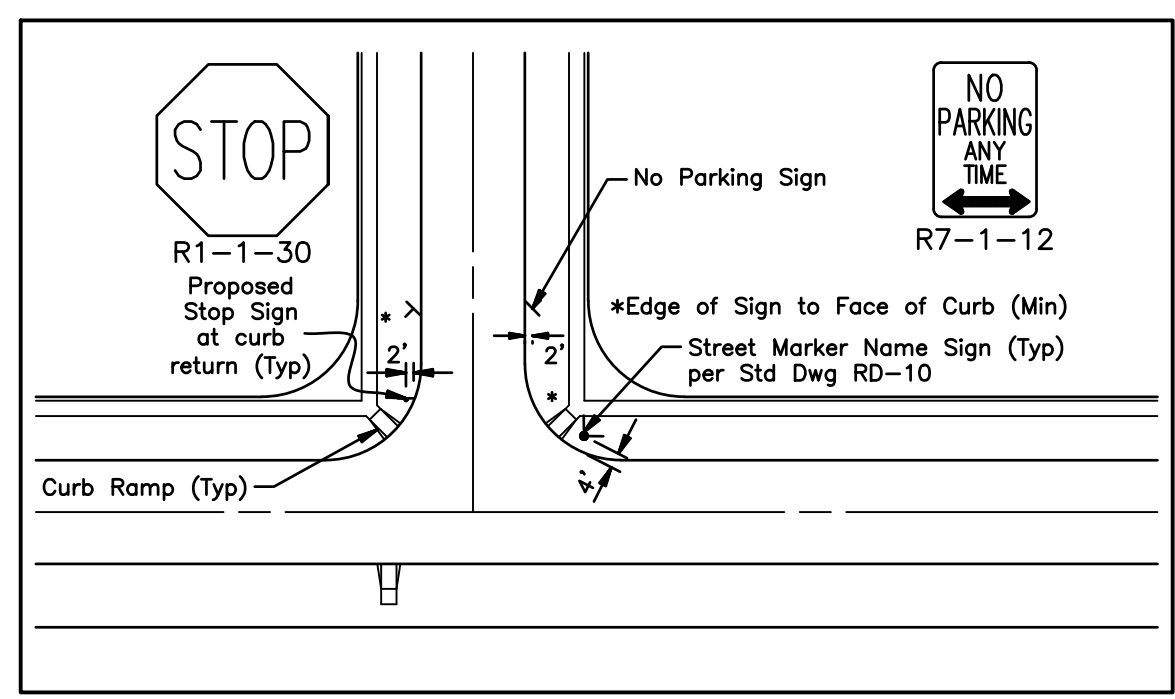
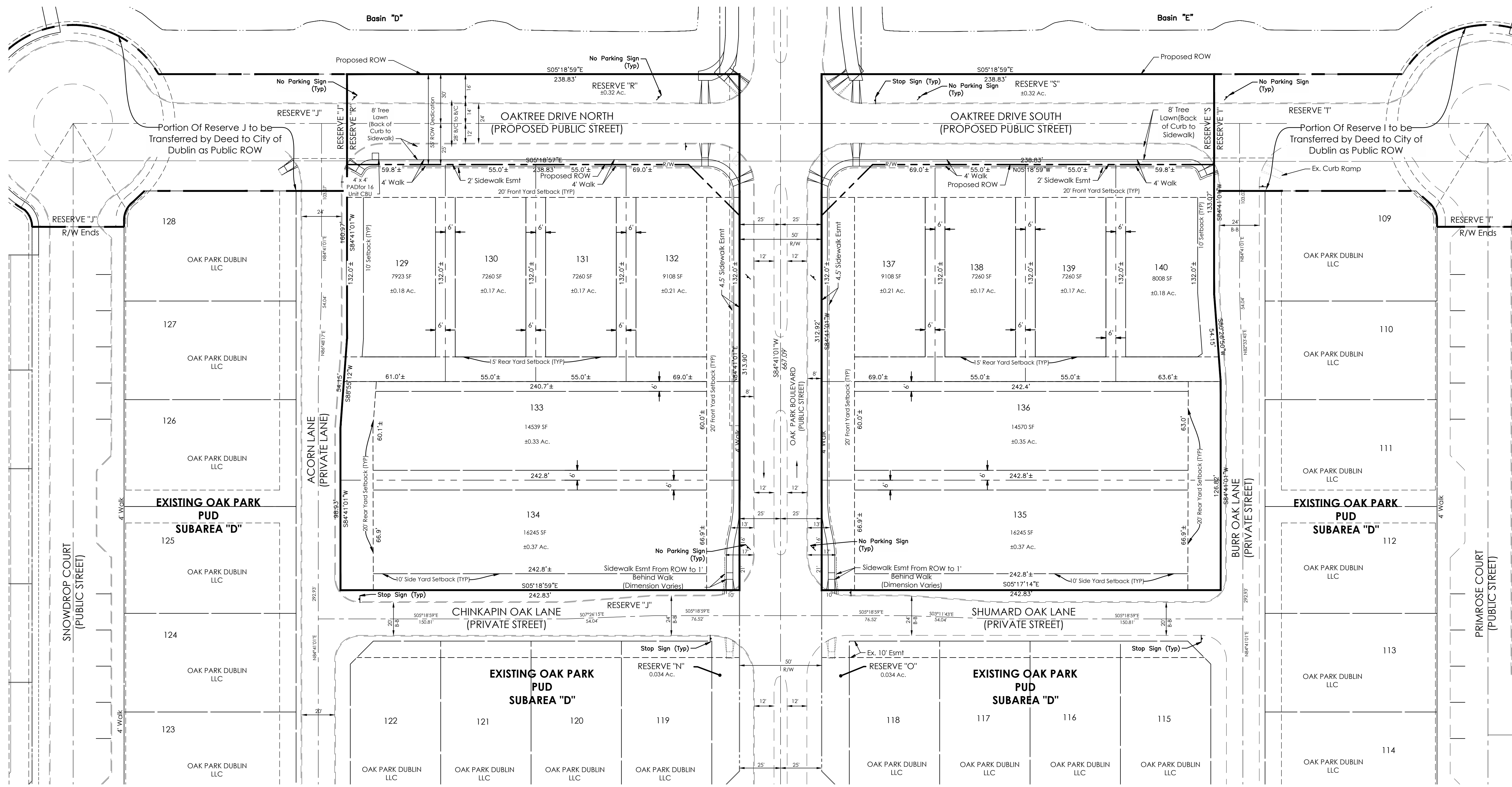
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REVISIONS

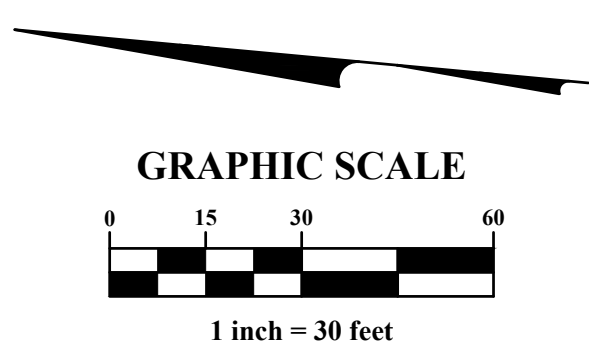
DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FOR
OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES
LANDSCAPE DETAILS

DATE	November 24, 2020
SCALE	As Noted
JOB NO.	20190713
SHEET	6/10

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NOTE:
 Where existing Private Street and Lanes are labeled on the plans, these are intended to operate as private drives, as defined by the City of Dublin.



REVISIONS		
MARK	DATE	DESCRIPTION / CHG LOCATION
	09/22/21	

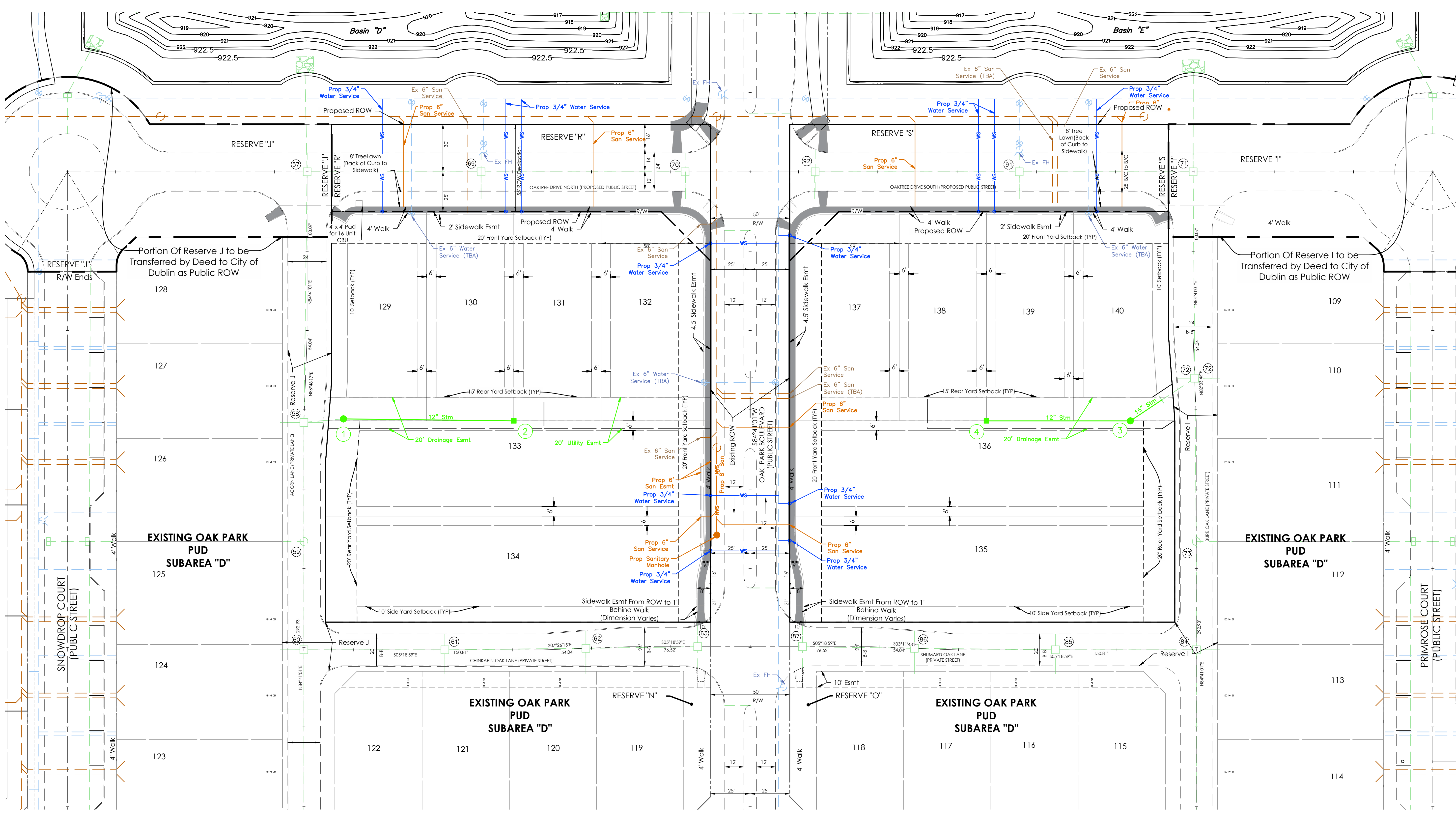
DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
OAK PARK PUD - RESERVES A AND D
 SINGLE FAMILY HOMES
 STAKING PLAN

OAK PARK DUBLIN, LLC

emht.com

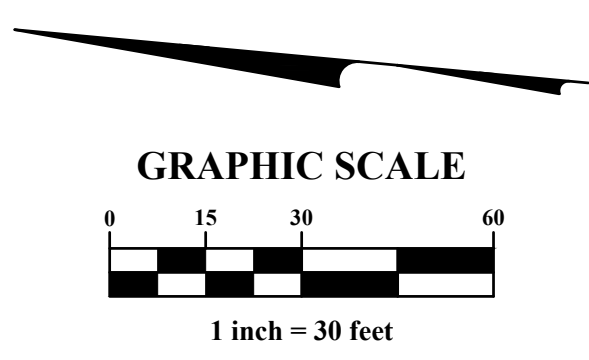
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 JOB NO.: 20190713
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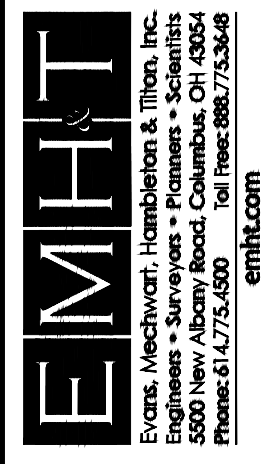
- LEGEND**
- Existing Sanitary Sewer
 - Existing Storm Sewer
 - Existing Water Main
 - Existing Fire Hydrant
 - WS Proposed Water Service
 - SAN Proposed Sanitary Main
 - Proposed Storm Sewer
 - TBA To Be Abandoned



MARK	DATE	DESCRIPTION	CREATION
	09/22/21		

OAK PARK DUBLIN, LLC
 DEVELOPER

DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES
 UTILITY PLAN

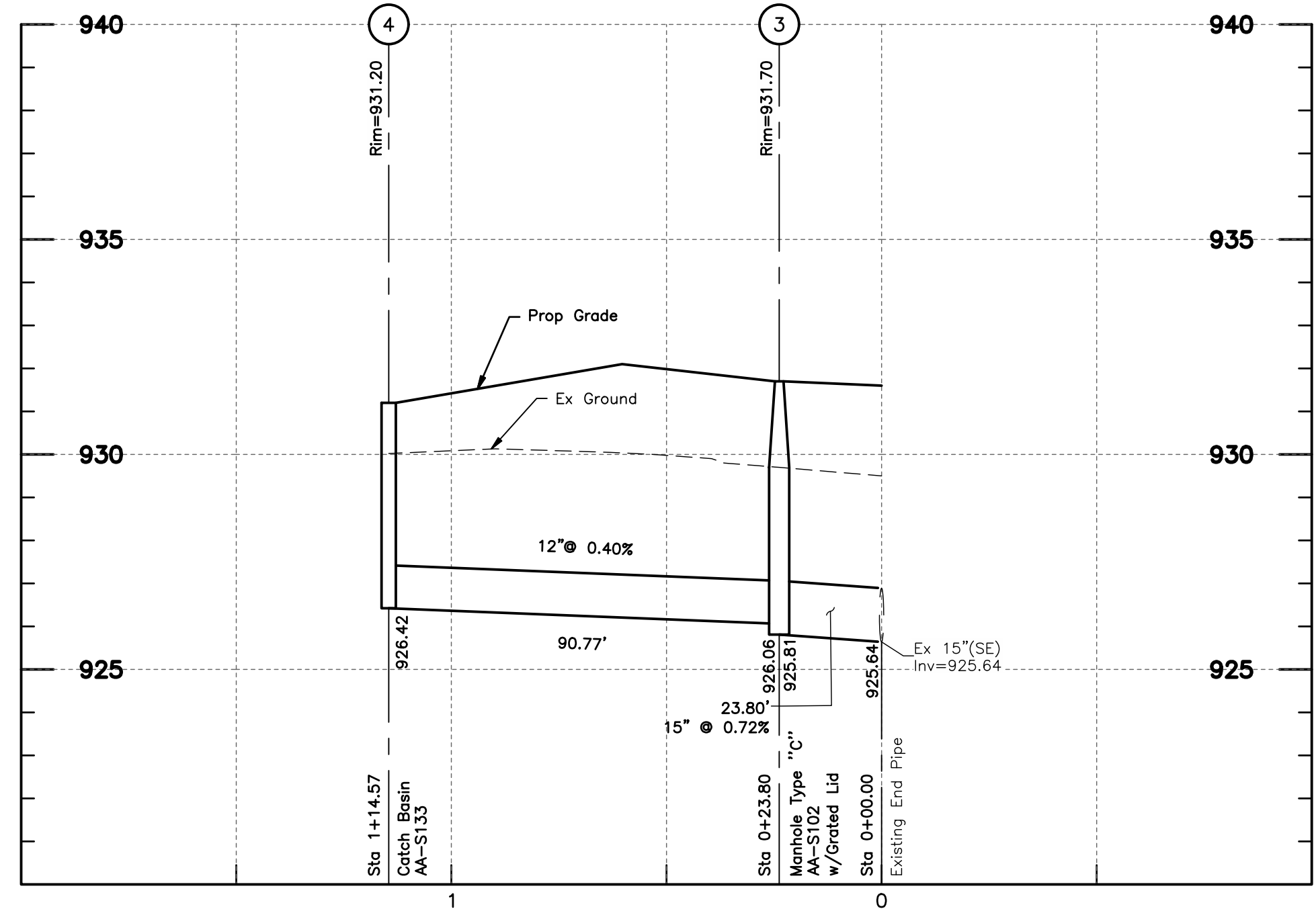
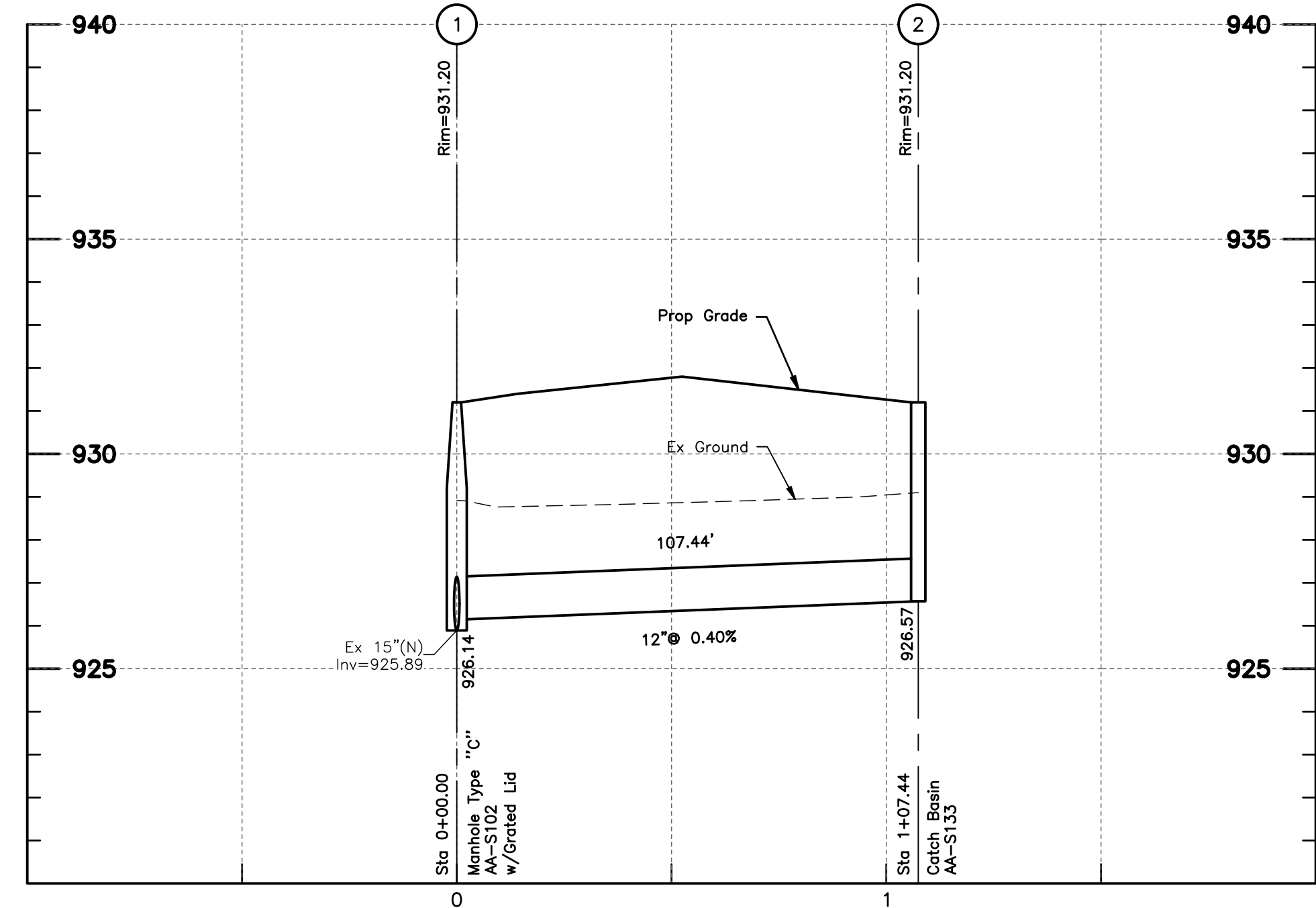
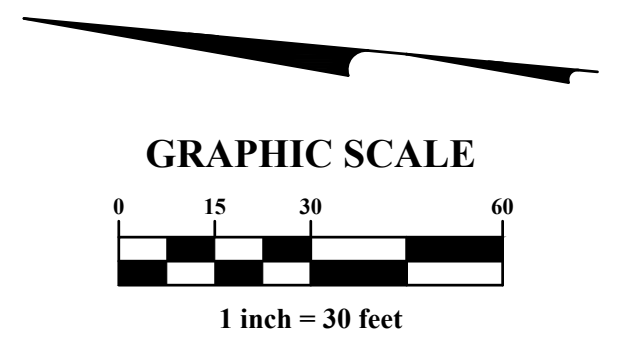
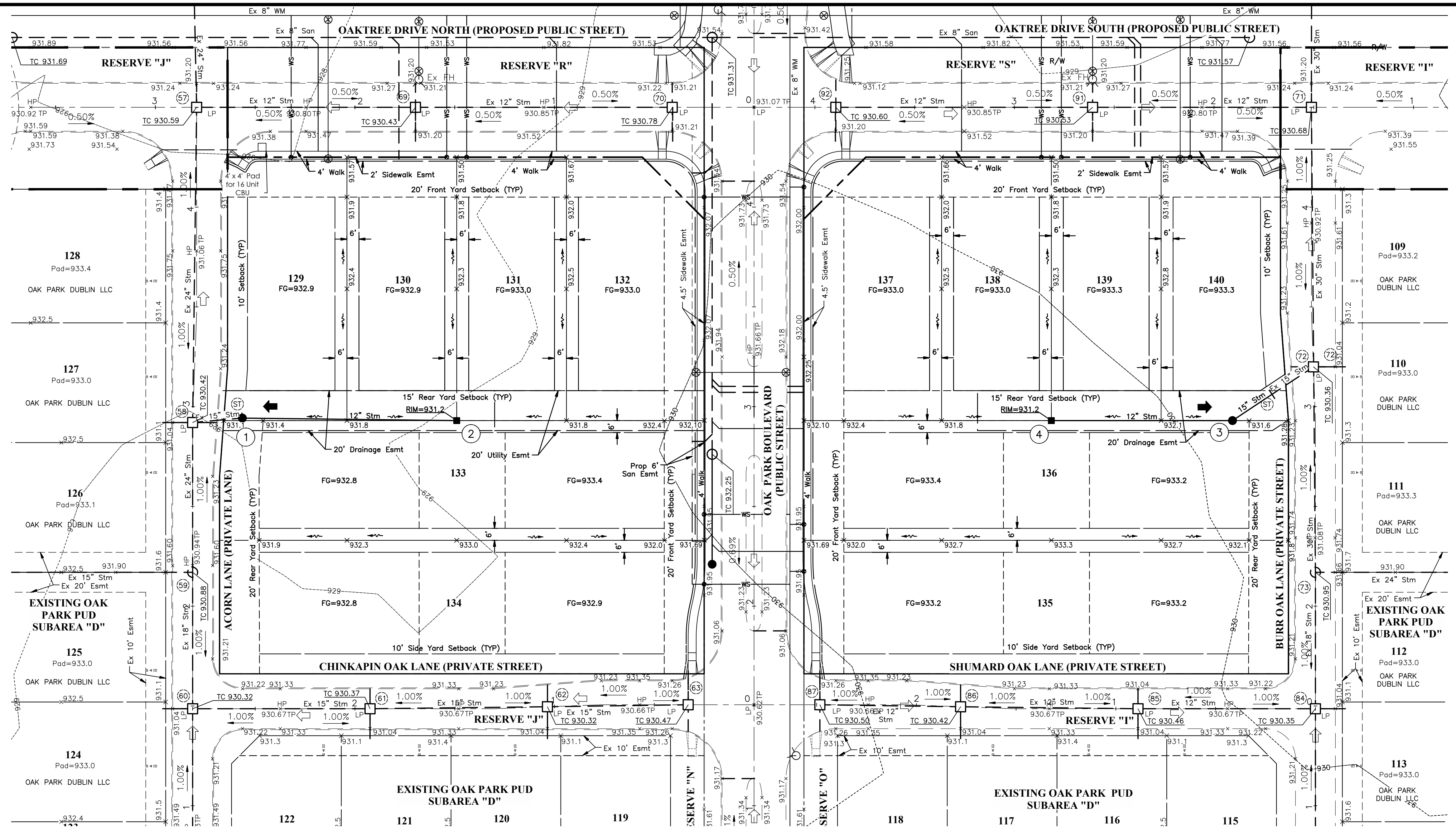


DATE: November 24, 2020

SCALE: 1" = 30'

JOB NO.: 20190713

SHEET: **8/10**

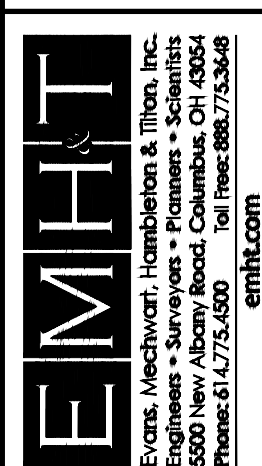


NOTE:
Where existing Private Street and Lanes are labeled on the plans, these are intended to operate as private drives, as defined by the City of Dublin.

MARK	DATE	DESCRIPTION	LOCATION
	09/22/21		

OAK PARK DUBLIN, LLC

**OAK PARK PUD - RESERVES A AND D
SINGLE FAMILY HOMES
GRADING PLAN**



DATE
November 24, 2020

SCALE
Horiz: 1" = 30'
Vert: 1" = 5'

JOB NO.
20190713

SHEET
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GENERAL NOTES

- 1. City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard specifications), shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of Columbus Item Numbers unless otherwise noted.
2. The City Engineer will not be responsible for means, methods, procedures, techniques or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to contract documents.
3. The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Ohio EPA Permits to Install (PTI) and Notices of Intent (NOI), Building Permits, etc.
4. The Contractor shall notify the City of Dublin Division of Engineering in writing at least 3 working days prior to beginning construction.
5. The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
6. Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the Division of Engineering that documents "as-built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the construction drawings.
7. Deleted
8. The Contractor shall carefully preserve benchmarks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by an Ohio Professional Surveyor as approved by the City Engineer.
9. Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
10. The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or watercourses that are disturbed by construction shall be restored to the grades and cross-sections that existed before construction.
11. Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited according to Section 97.38 of the Dublin Code of Ordinances. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.
12. Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) is not permitted.
13. All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
14. All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
15. All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of Columbus. Precast concrete products without proof of inspection shall not be approved for installation.
16. Backfill within a 1:1 influence line of existing structures (houses, garages, etc.) or public infrastructure (pavement, curbs, sidewalks, bike paths, etc.) shall be compacted granular backfill according to Item 912 of the Standard Specifications or Flowable CDF, Type III according to Item 636. Item 911 of the Standard Specifications shall be used elsewhere.
17. The Contractor shall submit a copy of the approved construction drawings and a list of proposed precast concrete product manufacturers to the City of Columbus Construction Inspection Division before commencing construction.

Send the information to the following address:

Construction Inspection Division
City of Columbus
1800 East 17th Avenue
Columbus, Ohio 43219

Send a copy of the transmittal letter to the following address:

Division of Engineering
City of Dublin
5800 Shier Rings Road
Dublin, Ohio 43016

- 18. All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely plated during nonworking hours. Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean up shall follow closely behind the trenching operation.
19. All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6 - inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater. Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.
20. Conduit must be directionally bored across streets instead of open cut, unless specifically approved by the City Engineer. Use of pneumatic air ram devices is not permitted. Permits to construct in the right-of-way of existing streets must be obtained from the City of Dublin Division of Engineering before commencing construction. Should open cutting of existing pavement be permitted, Controlled Density Backfill (Type III) shall be used in place of compacted granular backfill, according to Item 636 of the Standard Specifications.
21. The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
22. Pavements shall be cut in neat, straight lines the full depth of the existing pavement, or as required by the City Engineer. Pavement replacement shall be conducted according to City of Columbus Standard Drawing 1441 Dr. A and applicable City of Dublin standard drawings. The replacement of driveways, handicapped ramps, sidewalks, bike paths, parking lot pavement, etc. shall be provided according to the approved construction drawings and City of Dublin standard construction drawings.
23. Tree trimming within the construction zone is to be completed by a certified Arborist. At the completion of the project, the Arborist is to return and trim any broken branches as needed.
24. Any modification to the work shown on drawings must have prior written approval by the City Engineer, City of Dublin.
25. All inlets shall be channelized.

- 26. Park areas shall be fine-graded and seeded with the following mixture: Improved Kentucky Bluegrass: 40% of weight (2 varieties in equal parts) Improved Perennial Ryegrass: 60% of weight (2 varieties in equal parts) Germination Rate: 85% Application Rate: 7 lbs per 1000 sq ft or as directed by the Division of Parks and Recreation, City of Dublin, Ohio.
27. Traffic control and other regulatory signs shall be Type S with a square post anchor base installation and meet all requirements of ODOT TC-41.20 and applicable City of Dublin specifications.
28. Street signs shall meet all City of Dublin specifications with lettering colored in white displayed over a brown background. Sign tubing shall be brown in color and conform with the Type S, square post anchor base installation requirements of ODOT TC-41.20.

UTILITIES

- 1. The following utilities are known to be located within the limits of this project: Traffic Facilities - City of Dublin Division of Engineering Water Facilities - City of Columbus Division of Power & Water (Water) and City of Dublin Division of Engineering Sewer Facilities - City of Columbus Division of Sewage & Drainage and City of Dublin Division of Engineering Electric Facilities - American Electric Power, Nationwide Energy Partners, and Pioneer Energy Gas - Columbia Gas of Ohio, Inland Corporation, and Marathon Pipe Line Communication - Frontier Communication, Time Warner Cable, and AT&T
2. The Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2764), Producer's Underground Protection Service (telephone number 614-587-0486), and to owners of underground utilities that are not members of a registered underground protection service. Notice shall be given at least 2 working days before start of construction.
3. The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of Dublin and the City Engineer assumes no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
4. Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
5. When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.
6. Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 410-4637, two days prior to beginning work.

TRAFFIC CONTROL

- 1. Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Ohio Manual of Uniform Traffic Control Devices (OMUTCD), current edition.
2. All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer. At all other hours the Contractor shall maintain minimum one-lane two-way traffic. Uniformed, off-duty police officers shall replace flagmen designated by the OMUTCD, and shall be present whenever one-lane, two-way traffic control is in effect. Police cruisers may be required as directed by the City Engineer. If the City Engineer determines that the Contractor is not providing proper provisions for traffic control, the City Engineer shall assign uniformed, off-duty police officers to the project at no cost to the City.
3. Steady-burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
4. Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.

EROSION AND SEDIMENT CONTROL

- 1. The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Ohio EPA. The NOI must be submitted to OEPA 45 days prior to the start of construction and may entitle coverage under the Ohio EPA General Permit for Stormwater Discharges associated with construction activity. A project location map must be submitted with the NOI. A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosion control plan has not already been included with the approved construction drawings. This plan must be made available at the project site at all times. The design of erosion control systems shall follow the requirements of Ohio EPA, Item 207 of Ohio Department of Transportation Standard Specifications, and the City Engineer. An individual NPDES Stormwater Discharge Permit may be required. The Contractor shall be considered the permittee.
2. The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm sewers.
3. Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
4. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
5. Disturbed areas that will remain unworked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance. Other sediment controls that are installed shall be maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.

BLASTING (if Permitted)

- 1. The Contractor must obtain a blasting permit from Washington Township Fire Department prior to blasting for rock excavation. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rock elevations shall be shown on "as-built" construction drawings.

SANITARY SEWERS - Deleted

WATER LINE

- 1. Deleted
2. Deleted
3. Only fire hydrants conforming to City of Columbus standards will be approved for use.
4. Deleted
5. All water lines shall be disinfected according to Item 801.13 of the Standard specifications. Special attention is directed to applicable sections of American Water Works Association specification C-651, particularly for flushing (Section 5) and for chlorinating valves and fire hydrants (Section 7). Pressure testing shall be performed in accordance with Section 801.12 of the City of Columbus Construction and Material Specifications. When water lines are ready for disinfection, the City of Dublin shall submit two (2) sets of "as-built" plans, and a letter stating that the water lines have been pressure tested and need to be disinfected, to the City of Columbus, Division of Water. The Contractor shall be responsible for all costs

- associated with the disinfection of all water lines construction per this plan. Pressure testing shall be performed in accordance with Section 801.12 of the City of Columbus Construction and Material Specifications.
6. The Contractor shall paint all fire hydrants according to City of Dublin standards. The cost of painting fire hydrants shall be included in the contract unit price for fire hydrants.
7. Deleted
8. The Contractor shall notify the City of Columbus Division of Water at 645-7788 and the City of Dublin Division of Engineering at least 24 hours before tapping into existing water lines.
9. Deleted
10. All bends, joint deflections and fittings shall be backed with concrete per City of Columbus standards.
11. Deleted
12. Water meters shall be installed inside proposed structures unless a meter pit installation is approved by the City of Columbus Division of Water. Meter pits must conform to standard drawings L-7103, A&B for 5/8" through 1" meters or L-6317, A, B, C&D for 1-1/2" or larger meters.
13. Deleted
14. Curb stop boxes shall be located at least 1 foot inside the right-of-way and set at finished grade.
15. Deleted
16. All water lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of water line. Water lines shall be set deeper at all points where necessary to clear existing or proposed utility lines or other underground restrictions by a minimum of 18 inches.
17. Deleted

STORM SEWER

- 1. All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro-seeded and hydro-mulched according to Items 203 and 659 of the Standard Specifications.
2. Where private storm sewers connect to public storm sewers, the last run of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings. Inspection is required by the City of Dublin's Division of Engineering.
3. Granular backfill shall be compacted granular material according to Item 912 of the Standard Specifications or Controlled Density Backfill according to Item 636, Type III of the Standard Specifications as directed by the City Engineer.
4. All storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
5. Headwalls and endwalls shall be required at all storm sewer inlets or outlets to and from stormwater management facilities. Natural stone and/or brick approved by the City Engineer shall be provided on all visible headwalls and/or endwalls surfaces.
6. Storm inlets or catch basins shall be channelized and have bicycle safe grates. Manhole lids shall include City of Dublin logo and all curb inlet and catch basin grates shall include engraved lettering: "DUMP NO WASTE; DRAINS TO RIVER."
7. Storm sewer outlets greater than 18 inches in diameter accessible from stormwater management facilities or watercourses shall be provided with safety grates, as approved by the City Engineer.
8. N-12 pipe is not permitted for this project. All storm sewer shall be HP storm, HP sanitary, or concrete

MAIL DELIVERY

- 1. The Contractor shall be responsible to ensure that US Mail delivery within the project limits is not disrupted by construction operations. This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall also include the restoration of mailboxes to their original location or approved new location. Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.
2. Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal Service.

USE OF FIRE HYDRANTS

- 1. The Contractor shall make proper arrangements with the Dublin Service Department and the Columbus Division of Water for the use of fire hydrants when used for work performed under this contract and provide the city of Dublin a copy of the Hydrant Usage Permit obtained from the City of Columbus. The Contractor shall also send a copies of permits obtained from Dublin and Columbus to the Washington and/or Perry Township Fire Department. Permits shall be kept at the construction site at all times.
2. Before the final estimate is paid, the Contractor shall submit a letter from the City of Columbus Division of Water to the City Engineer stating that the Contractor has returned the Siamese Valve to the City of Columbus and has paid all costs arising from the use of the fire hydrants.

SOILS REPORT

- 1. No Subsurface Investigation Report has been prepared for this project. The contractor may engage a soils engineer to develop details necessary for construction. This may include digging test pits on the site. The engineer assumes no liability for subsurface conditions encountered during construction activities.

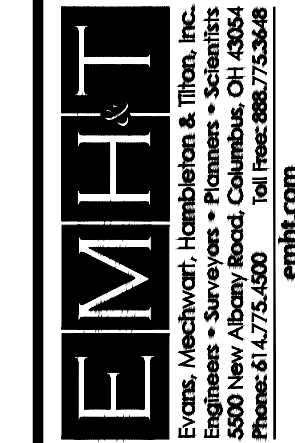
EARTHWORK

- 1. The Contractor shall be responsible for the suitability of soils to be used for embankments.
2. Stockpiling of top soil and/or excess material for these improvements or offsite hauling of topsoil/suitable material, etc. shall be coordinated with the Owner. Appropriate means for sedimentation control of the onsite stockpiles shall be provided as a matter of general practice in accordance with the required standards referenced as a part of the details shown on Sheet X. It is the Contractors responsibility to assure that a sufficient amount of topsoil remains as shown on the plans.
3. Grading shown on the approved grading plan is necessary to provide surface drainage of the proposed development and shall be maintained during construction.
4. The Contractor shall strip topsoil from all grading areas prior to construction. The Contractor shall be responsible for rough grading the topsoil stockpile as required to maintain positive drainage of and around the stockpile.
5. All fill shall be placed in uniform 8-inch lifts and compacted in a controlled manner to at least 98% of the maximum dry unit weight obtained in the laboratory by the "standard" proctor compaction test (ASTM D 698). Moisture content of the new fill shall be in the range of +/-2 percent of the optimum moisture content determined by ASTM D 698. Fill shall not be placed in a frozen condition or upon a frozen subgrade. The Contractor shall endeavor to separate topsoil and unsuitable material from suitable fill material.
6. The proposed elevations/contours shown on the plans are finished grade.
7. All work shall be monitored and observed by a registered soils engineer employed and paid for by the Owner. It shall be the Contractors responsibility to contact the soils engineer prior to commencement of any fill placement. The Contractor shall contact the soils engineer as many times as necessary during construction to ensure the soils engineer is on-site during all fill operations.

Table with 2 columns: MARK, DATE, DESCRIPTION

OAK PARK DUBLIN, LLC

DUBLIN OHIO FINAL DEVELOPMENT PLAN FOR OAK PARK PUD - RESERVES A AND D SINGLE FAMILY HOMES



DATE

November 24, 2020

SCALE

None

JOB NO.

20190713

SHEET

1010

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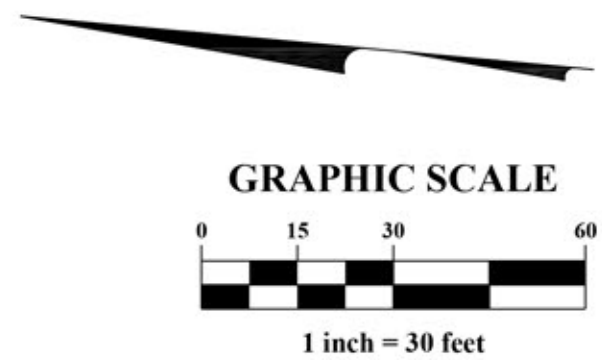
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NOTE: HOUSE FOOTPRINTS AND GARAGE CONFIGURATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL HOMES AND GARAGE CONFIGURATIONS WILL BE PROVIDED WITH BUILDING PERMIT.

SITE DATA:

Rezoning Area ± 3.46
 Lots: 12 DU



MARK	DATE	DESCRIPTION

OAK PARK DUBLIN, LLC

PUD REZONING/PRELIMINARY DEVELOPMENT PLAN
 FOR
OAK PARK RESERVE A AND D
SINGLE FAMILY HOMES
 ILLUSTRATIVE PLAN ENLARGEMENT
 DUBLIN, OHIO



DATE
 June 5, 2020

SCALE
 As Noted

JOB NO.
 20190713

SHEET
10/11