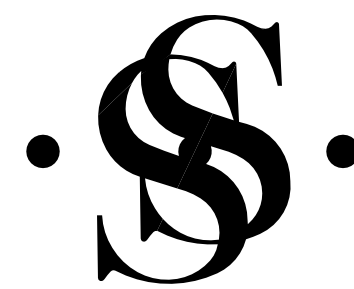




THE BEGLEY RESIDENCE

6199 DUBLIN ROAD
DUBLIN, OHIO 43017

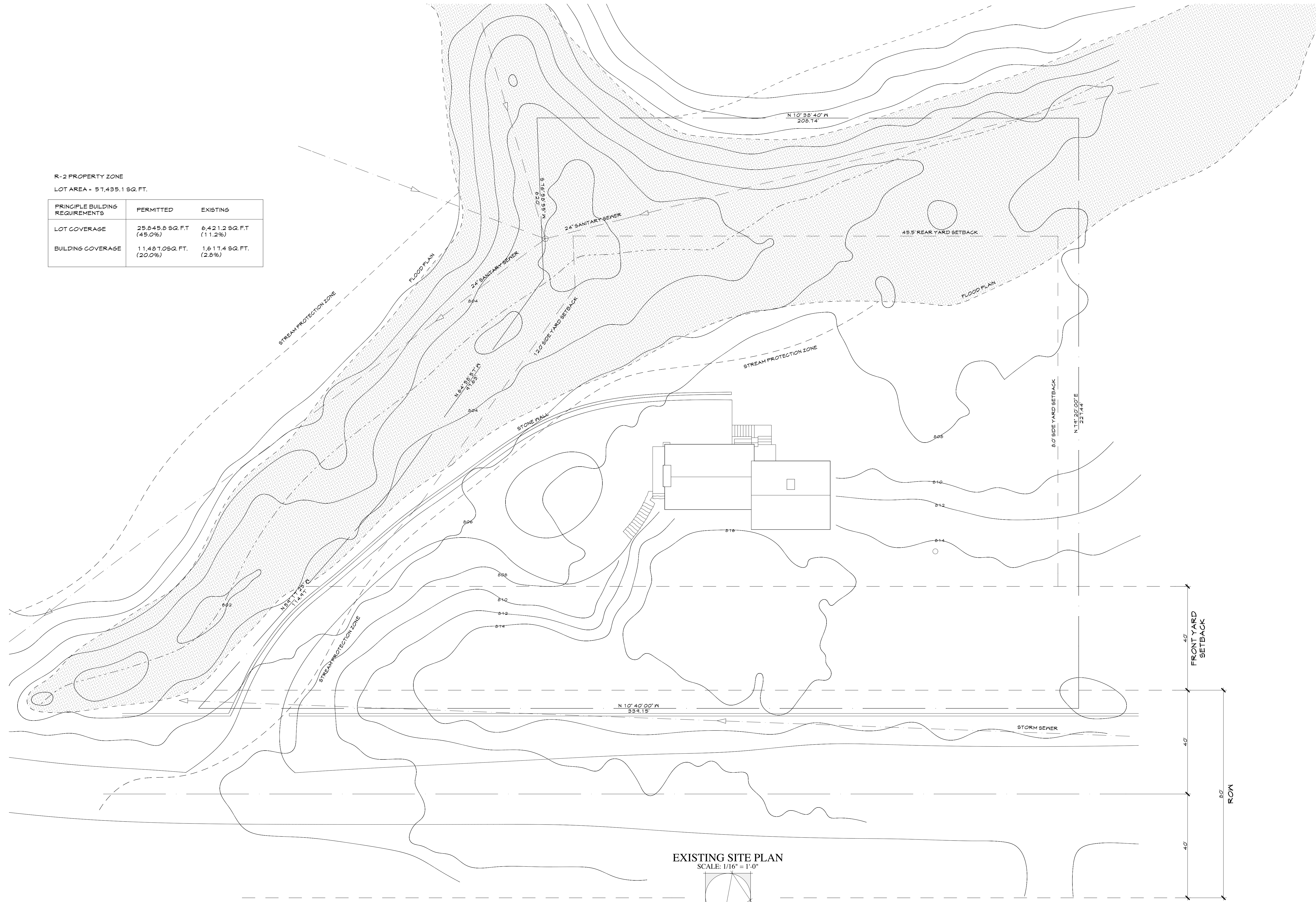
STOCK & STONE
ARCHITECTS • LLC
3686 North High Street Columbus, Ohio 43214 614-261-5810



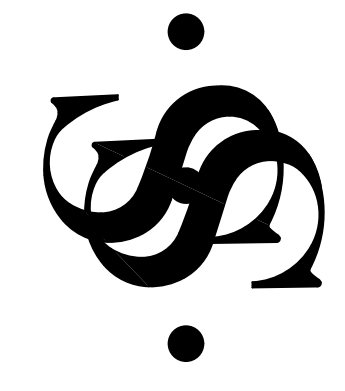
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R-2 PROPERTY ZONE
 LOT AREA = 57,435.1 SQ. FT.

PRINCIPLE BUILDING REQUIREMENTS	PERMITTED	EXISTING
LOT COVERAGE	25,845.8 SQ. FT. (45.0%)	6,421.2 SQ. FT. (11.2%)
BUILDING COVERAGE	11,437.0 SQ. FT. (20.0%)	1,617.4 SQ. FT. (2.8%)

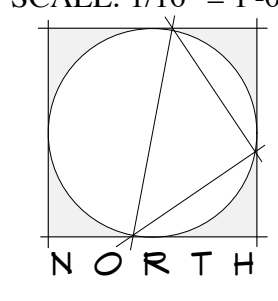


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 3886 North High Street Columbus, Ohio 43214 614-261-5810

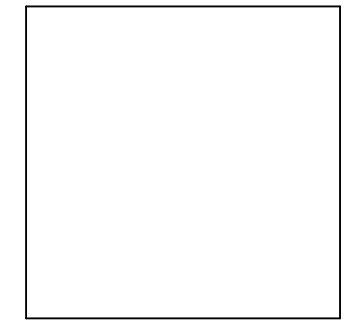


THE BEGLEY RESIDENCE
 6199 DUBLIN ROAD
 DUBLIN, OHIO 43017

EXISTING SITE PLAN
 SCALE: 1/16" = 1'-0"

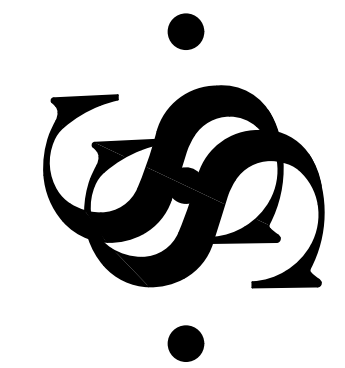


DATE: 2/24/2021



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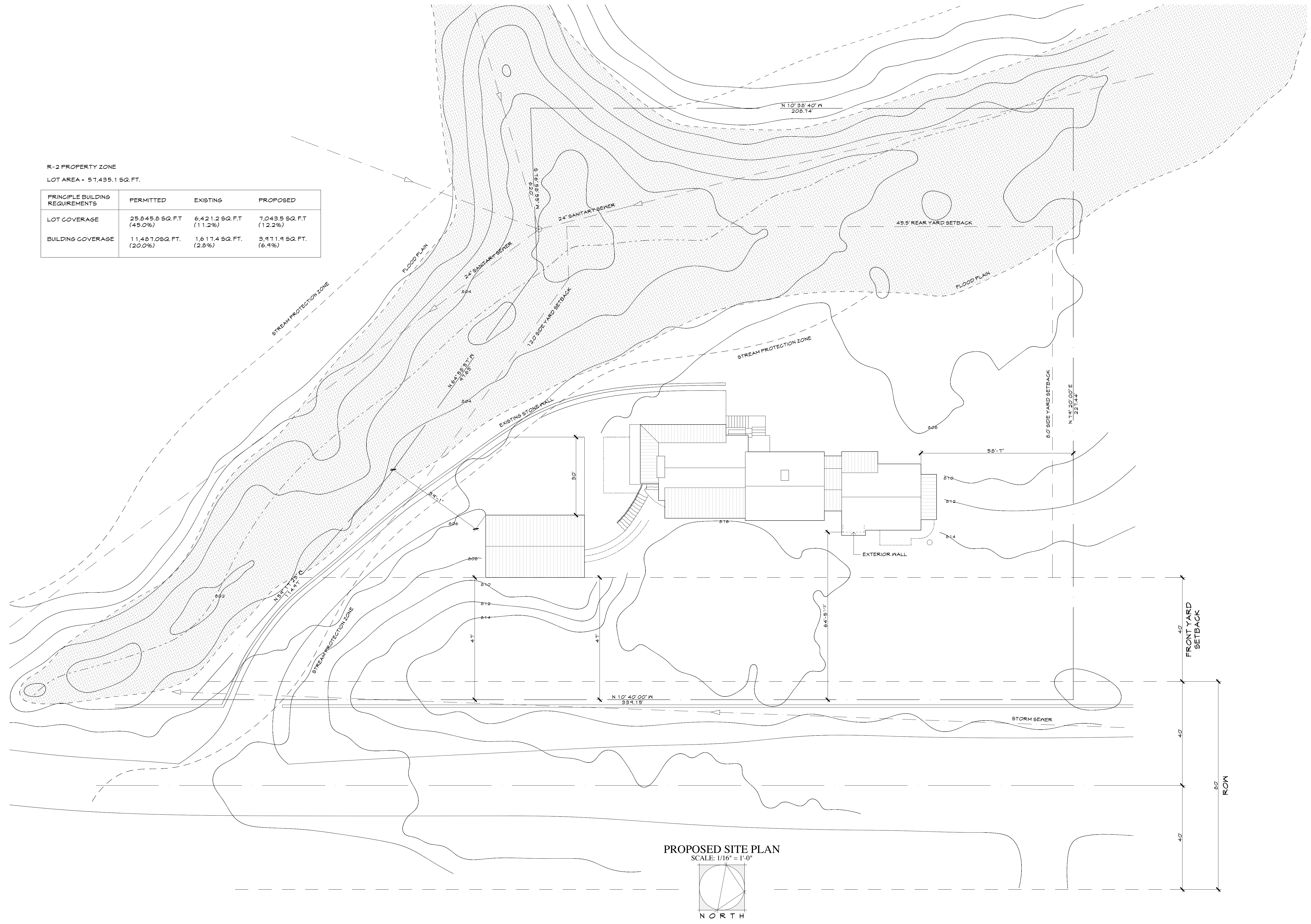


THE BEGLEY RESIDENCE
 6199 DUBLIN ROAD
 DUBLIN, OHIO 43017

DATE: 2/24/2021

R-2 PROPERTY ZONE
 LOT AREA = 57,435.1 SQ. FT.

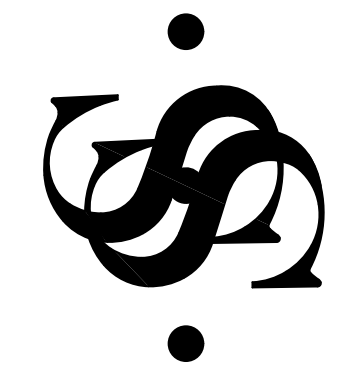
PRINCIPLE BUILDING REQUIREMENTS	PERMITTED	EXISTING	PROPOSED
LOT COVERAGE	25,845.8 SQ. FT. (45.0%)	6,421.2 SQ. FT. (11.2%)	7,043.5 SQ. FT. (12.2%)
BUILDING COVERAGE	11,487.0 SQ. FT. (20.0%)	1,617.4 SQ. FT. (2.8%)	3,911.9 SQ. FT. (6.9%)



PROPOSED SITE PLAN
 SCALE: 1/16" = 1'-0"
 NORTH

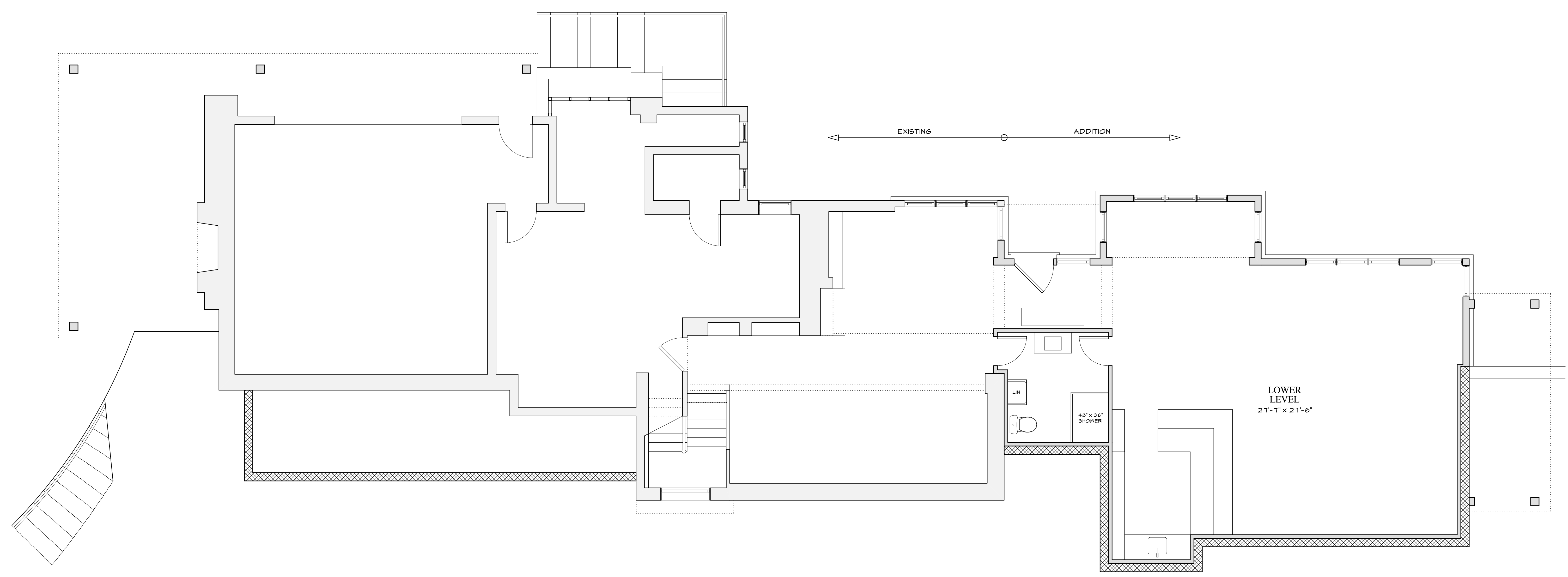
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3886 North High Street Columbus, Ohio 43214 614-261-5810



THE BEGLEY RESIDENCE
6199 DUBLIN ROAD
DUBLIN, OHIO 43017

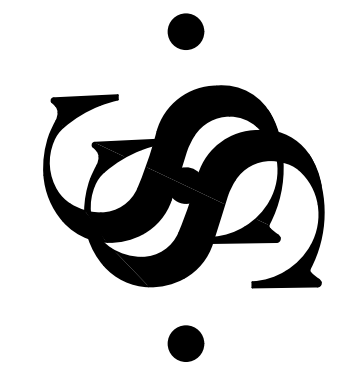
DATE: 2/24/2021



PROPOSED LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"
NORTH

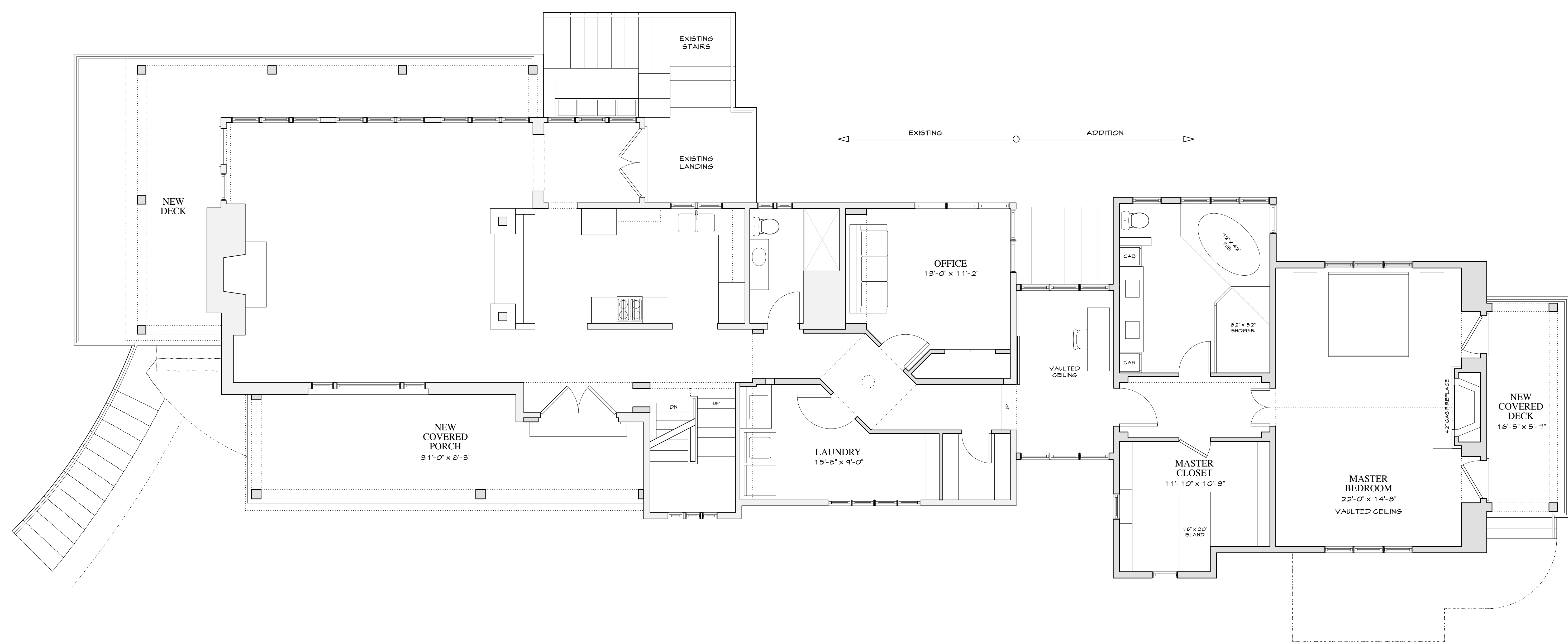
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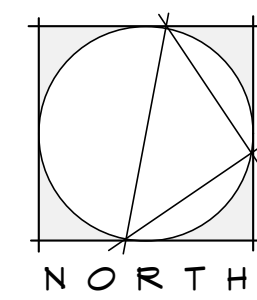
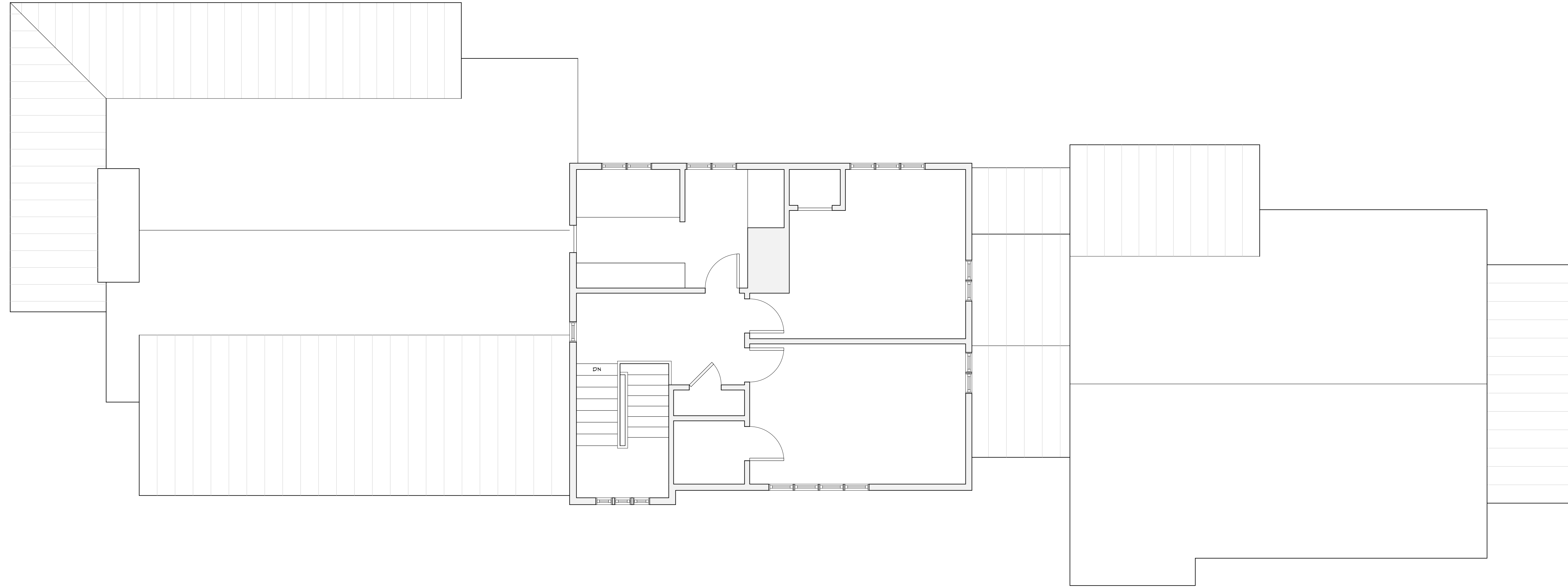
THE BEGLEY RESIDENCE
 6199 DUBLIN ROAD
 DUBLIN, OHIO 43017

DATE: 2/24/2021



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

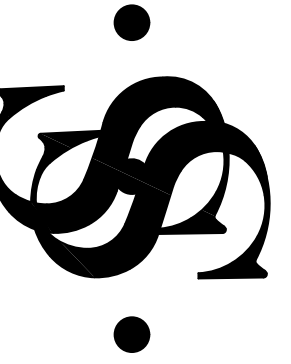
FIRST FLOOR EXISTING	1,454±	SQ. FT.
FIRST FLOOR NEW	866±	SQ. FT.
FIRST FLOOR TOTAL	2,320±	SQ. FT.



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

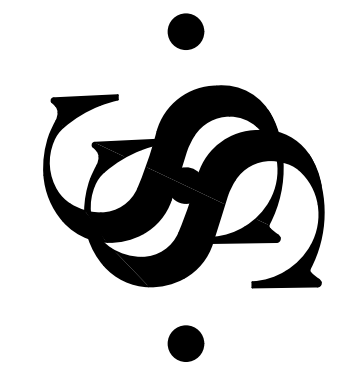
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THE BEGLEY RESIDENCE
6199 DUBLIN ROAD
DUBLIN, OHIO 43017

DATE: 2/24/2021



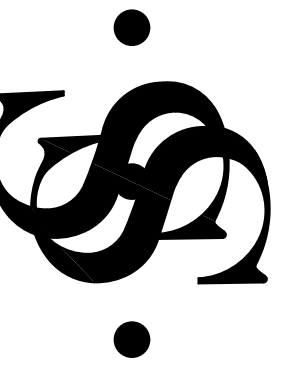
EXISTING EAST ELEVATION
 SCALE: 1/4"=1'-0"

CODED NOTES:

MATERIALS	MANUFACTURER	COLOR
① EXISTING STONE	EXISTING	EXISTING
② SHINGLE SIDING TO MATCH EXISTING	GAF WEATHERSIDE PROFILE	DEEP CAVIAR (BM)
③ BOARD AND BATTEN TO MATCH EXISTING	MATCH EXISTING	DEEP CAVIAR (BM)
④ ASPHALT SHINGLES	TAMKO	BLACK WALNUT
⑤ STANDING SEAM METAL ROOFING	TBD	DARK BRONZE
⑥ PAINTED CONCRETE BLOCK	MATCH EXISTING	DEEP CAVIAR (BM)
⑦ NEW METAL RAILING	TBD	BLACK (BM)
⑧ PAINTED TRIM: RAKES FASCIA SOFFIT WINDOW CASING DOOR CASING COLUMNS	WOOD	BLACK (BM)
⑨ WINDOWS/DOORS: NEW AND REPLACED	SEMGO ALUM. GLAD	ONYX BLACK (BM)
⑩ FRONT DOOR	PELLA	BLACK (BM)
⑪ GARAGE DOOR	TBD	SLATE (BEHR)
⑫ PORCH DECK/FLOORING	TIMBERTECH	DARK HICKORY



PROPOSED EAST ELEVATION
 SCALE: 1/4"=1'-0"

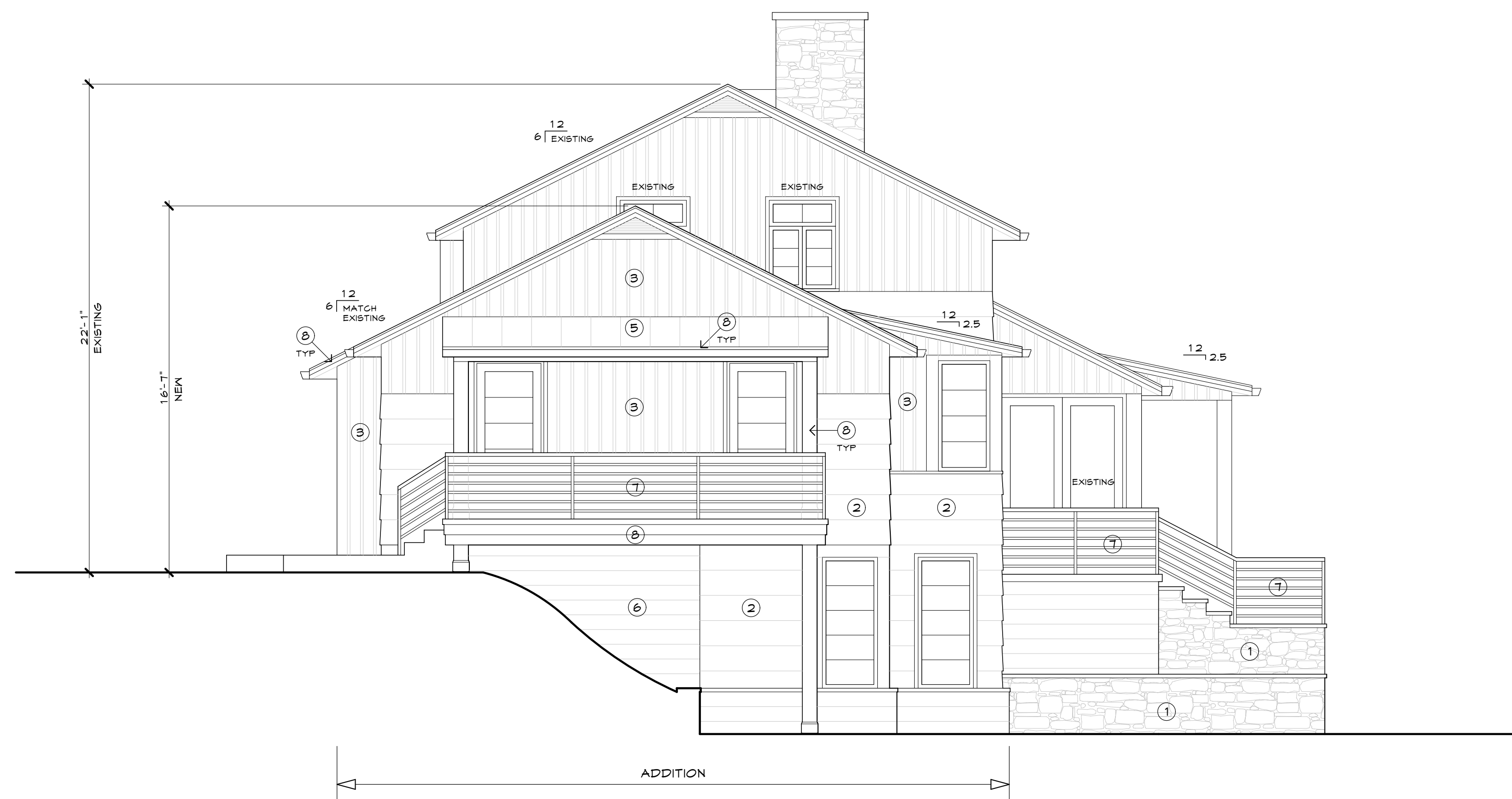


CODED NOTES:

MATERIALS	MANUFACTURER	COLOR
① EXISTING STONE	EXISTING	EXISTING
② SHINGLE SIDING TO MATCH EXISTING	GAF WEATHERSIDE PROFILE	DEEP CAVIAR (BM)
③ BOARD AND BATTEN TO MATCH EXISTING	MATCH EXISTING	DEEP CAVIAR (BM)
④ ASPHALT SHINGLES	TAMKO	BLACK WALNUT
⑤ STANDING SEAM METAL ROOFING	TBD	DARK BRONZE
⑥ PAINTED CONCRETE BLOCK	MATCH EXISTING	DEEP CAVIAR (BM)
⑦ NEW METAL RAILING	TBD	BLACK (BM)
⑧ PAINTED TRIM: RAKES FASCIA SOFFIT WINDOW CASING DOOR CASING COLUMNS	WOOD	BLACK (BM)
⑨ WINDOWS/DOORS: NEW AND REPLACED	SEMCO ALUM. GLAD	ONYX BLACK (BM)
⑩ FRONT DOOR	PELLA	BLACK (BM)
⑪ GARAGE DOOR	TBD	SLATE (BEHR)
⑫ PORCH DECK/FLOORING	TIMBERTECH	DARK HICKORY



EXISTING NORTH ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED NORTH ELEVATION
 SCALE: 1/4"=1'-0"



CODED NOTES:

MATERIALS	MANUFACTURER	COLOR
① EXISTING STONE	EXISTING	EXISTING
② SHINGLE SIDING TO MATCH EXISTING	SAF WEATHERSIDE PROFILE	DEEP CAVIAR (BM)
③ BOARD AND BATTEN TO MATCH EXISTING	MATCH EXISTING	DEEP CAVIAR (BM)
④ ASPHALT SHINGLES	TAMKO	BLACK WALNUT
⑤ STANDING SEAM METAL ROOFING	TBD	DARK BRONZE
⑥ PAINTED CONCRETE BLOCK	MATCH EXISTING	DEEP CAVIAR (BM)
⑦ NEW METAL RAILING	TBD	BLACK (BM)
⑧ PAINTED TRIM: RAKES FASCIA SOFFIT WINDOW CASING DOOR CASING COLUMNS	WOOD	BLACK (BM)
⑨ WINDOWS/DOORS: NEW AND REPLACED	SEMGO ALUM. GLAD	ONYX BLACK (BM)
⑩ FRONT DOOR	PELLA	BLACK (BM)
⑪ GARAGE DOOR	TBD	SLATE (BEHR)
⑫ PORCH DECK/FLOORING	TIMBERTECH	DARK HICKORY



EXISTING WEST ELEVATION
 SCALE: 1/4"=1'-0"



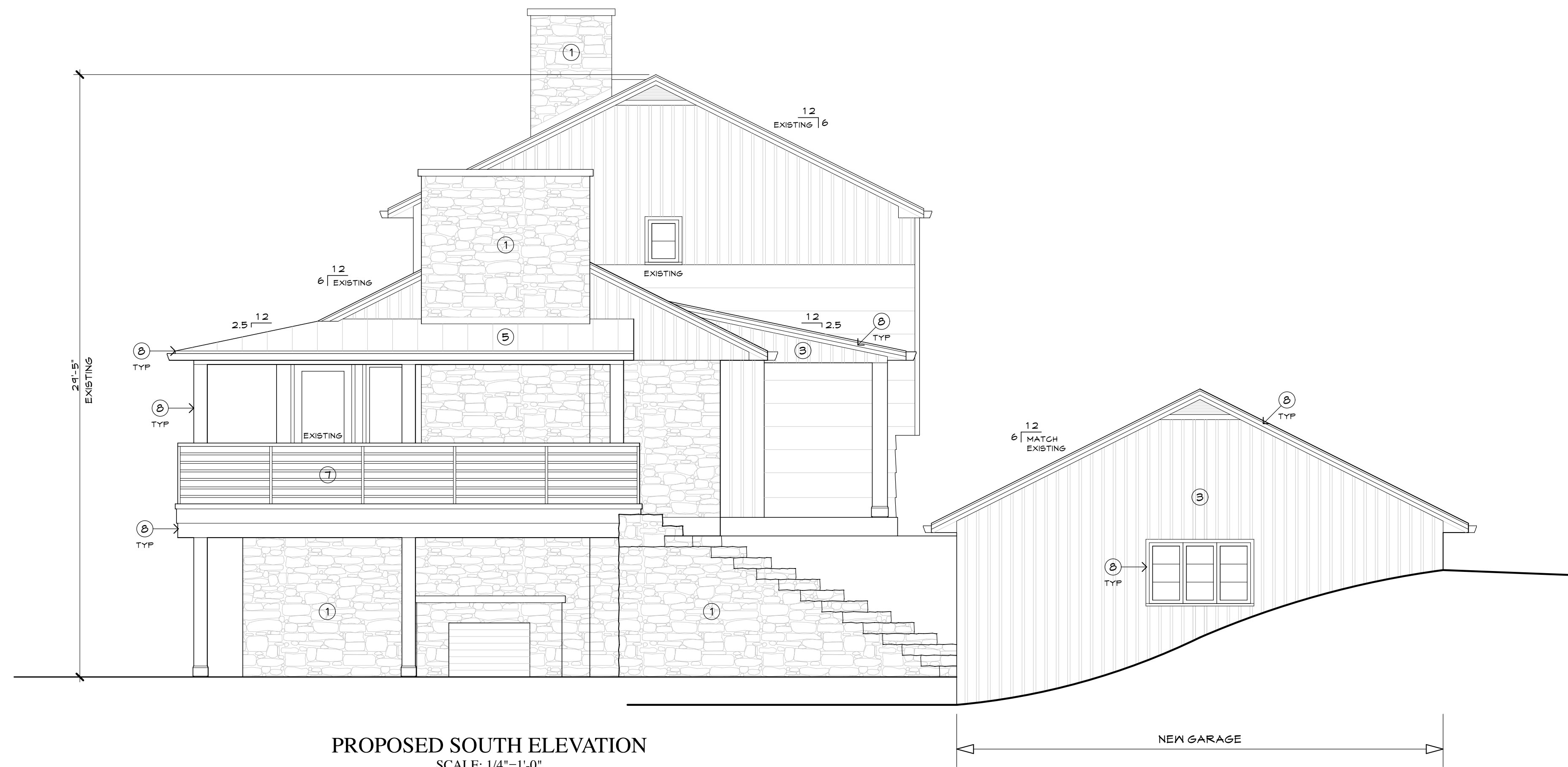
PROPOSED WEST ELEVATION
 SCALE: 1/4"=1'-0"



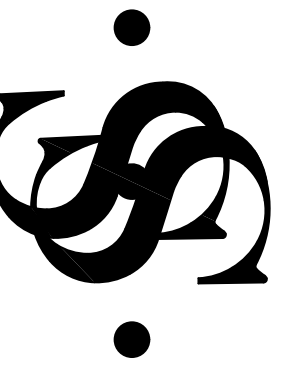
EXISTING SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

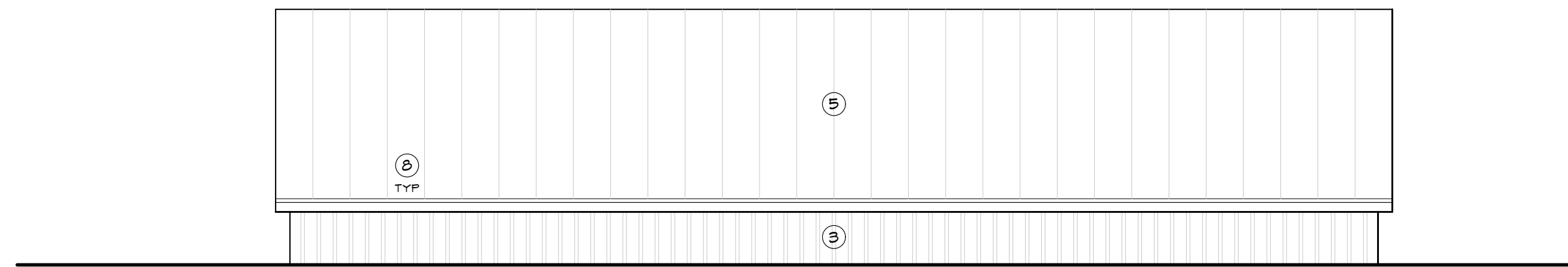
CODED NOTES:

MATERIALS	MANUFACTURER	COLOR
① EXISTING STONE	EXISTING	EXISTING
② SHINGLE SIDING TO MATCH EXISTING	GAF WEATHERSIDE PROFILE	DEEP CAVIAR (BM)
③ BOARD AND BATTEN TO MATCH EXISTING	MATCH EXISTING	DEEP CAVIAR (BM)
④ ASPHALT SHINGLES	TAMKO	BLACK WALNUT
⑤ STANDING SEAM METAL ROOFING	TBD	DARK BRONZE
⑥ PAINTED CONCRETE BLOCK	MATCH EXISTING	DEEP CAVIAR (BM)
⑦ NEW METAL RAILING	TBD	BLACK (BM)
⑧ PAINTED TRIM: RAKES FASCIA SOFFIT WINDOW CASING DOOR CASING COLUMNS	WOOD	BLACK (BM)
⑨ WINDOWS/DOORS: NEW AND REPLACED	SEMCO ALUM. GLAD	ONYX BLACK (BM)
⑩ FRONT DOOR	PELLA	BLACK (BM)
⑪ GARAGE DOOR	TBD	SLATE (BEHR)
⑫ PORCH DECK/FLOORING	TIMBERTECH	DARK HICKORY

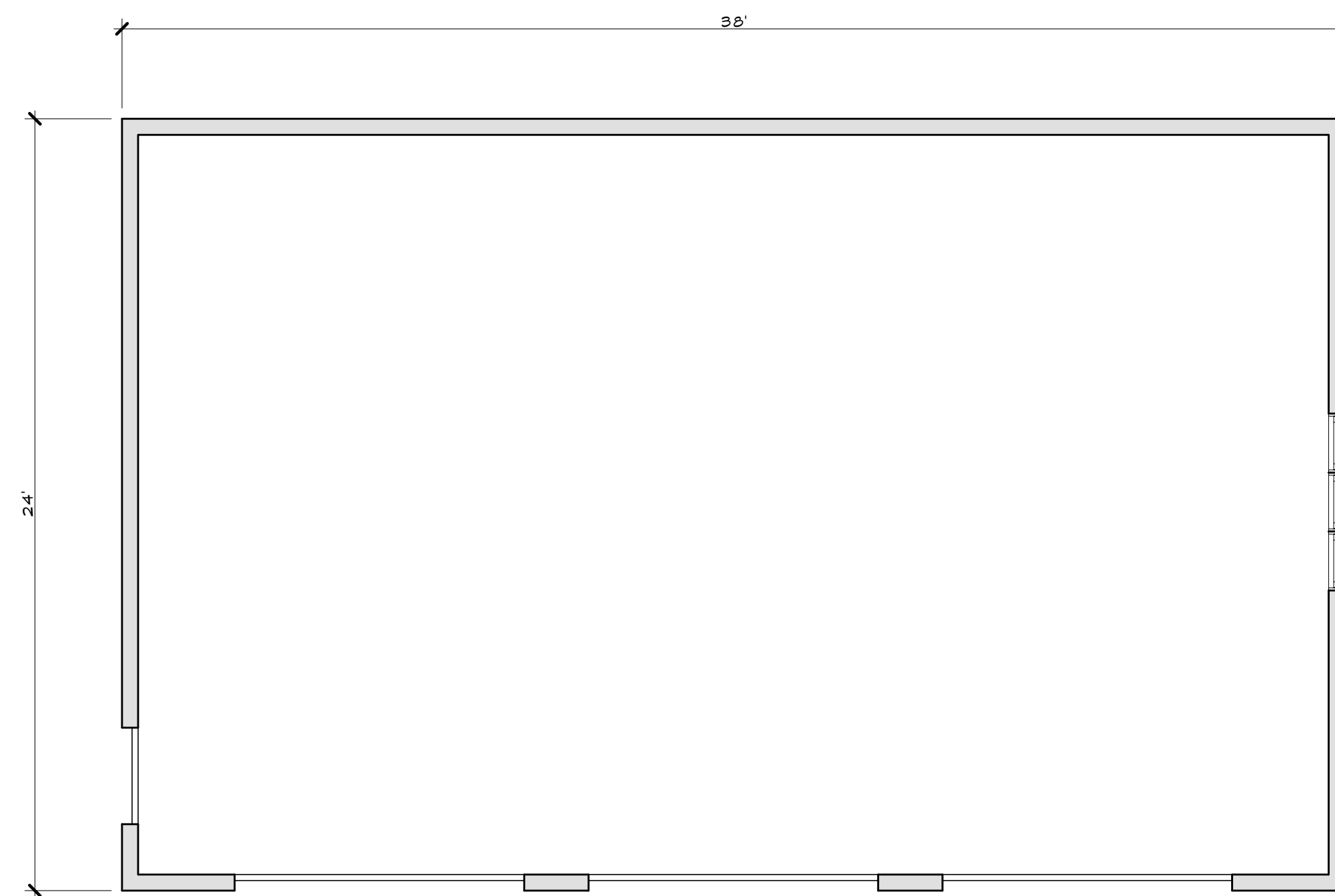


PROPOSED SOUTH ELEVATION
 SCALE: 1/4"=1'-0"





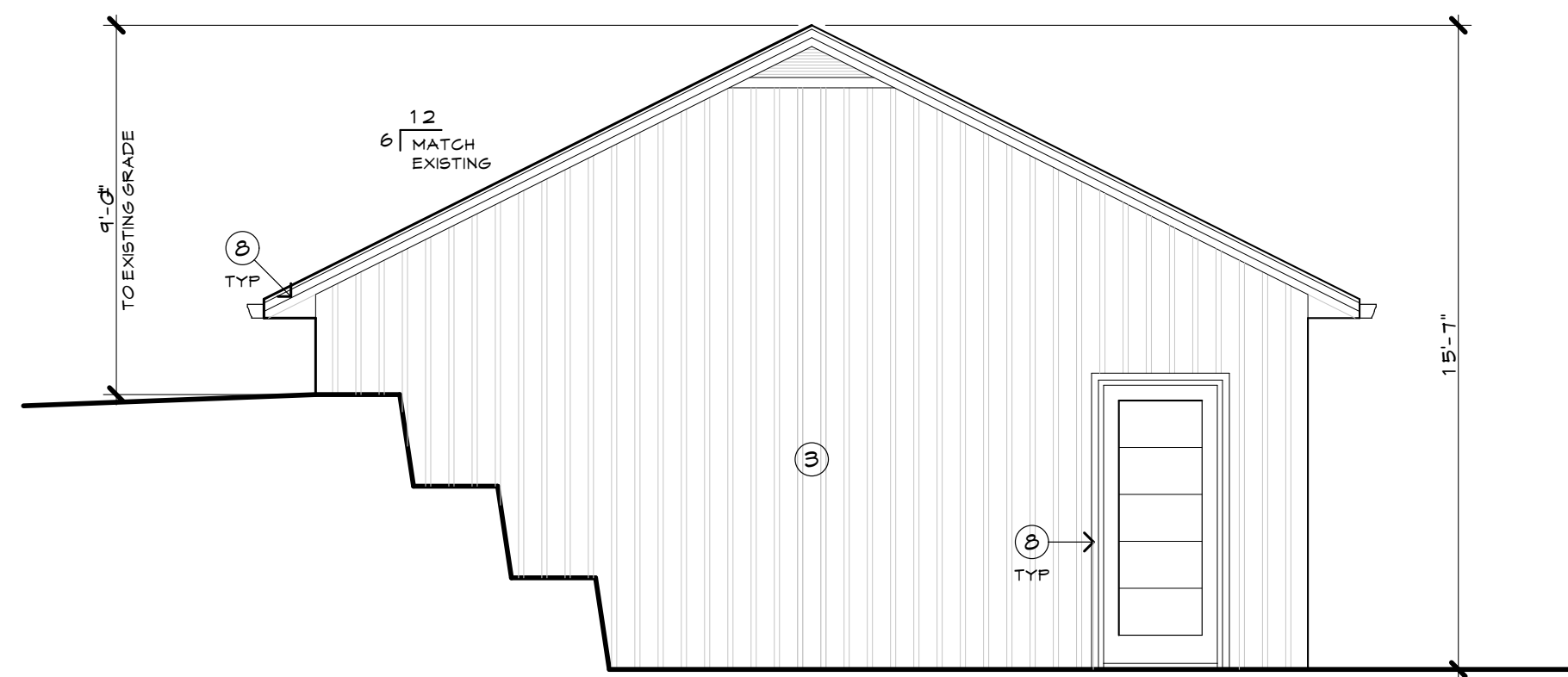
EAST ELEVATION
 SCALE: 1/4"=1'-0"



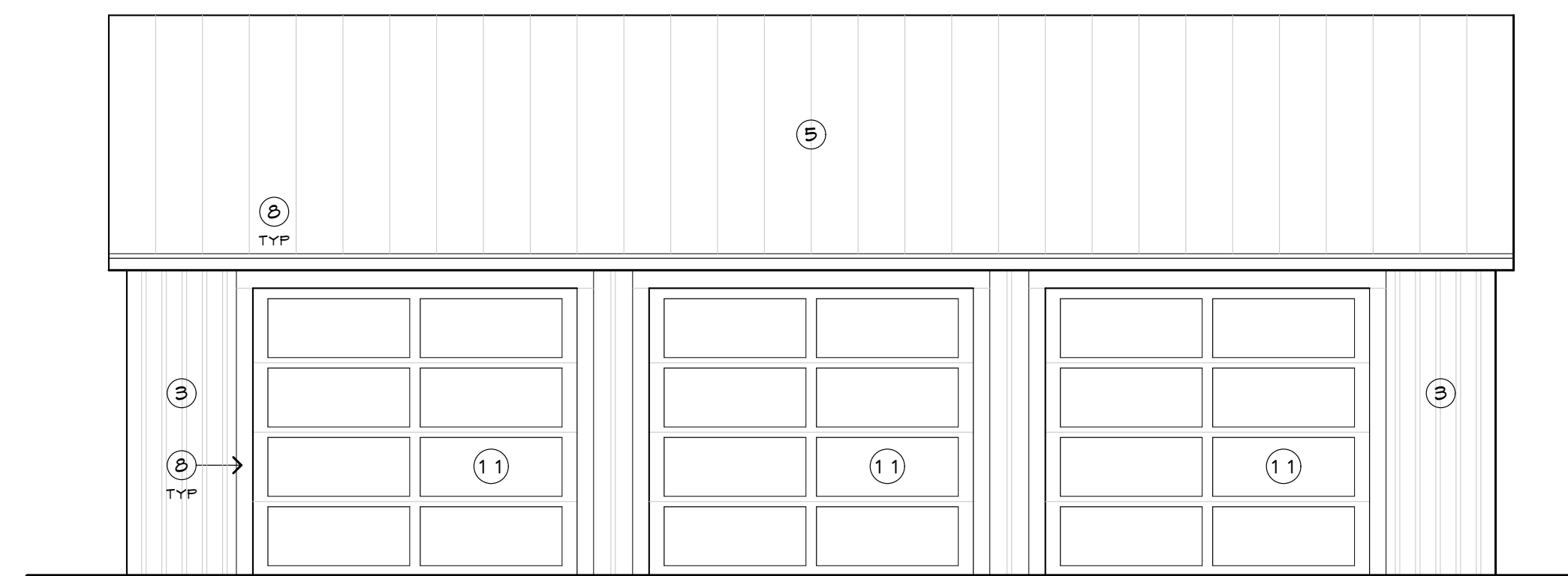
DETACHED GARAGE PLAN
 SCALE: 1/4"=1'-0"
 912 SQ. FT.

CODED NOTES:

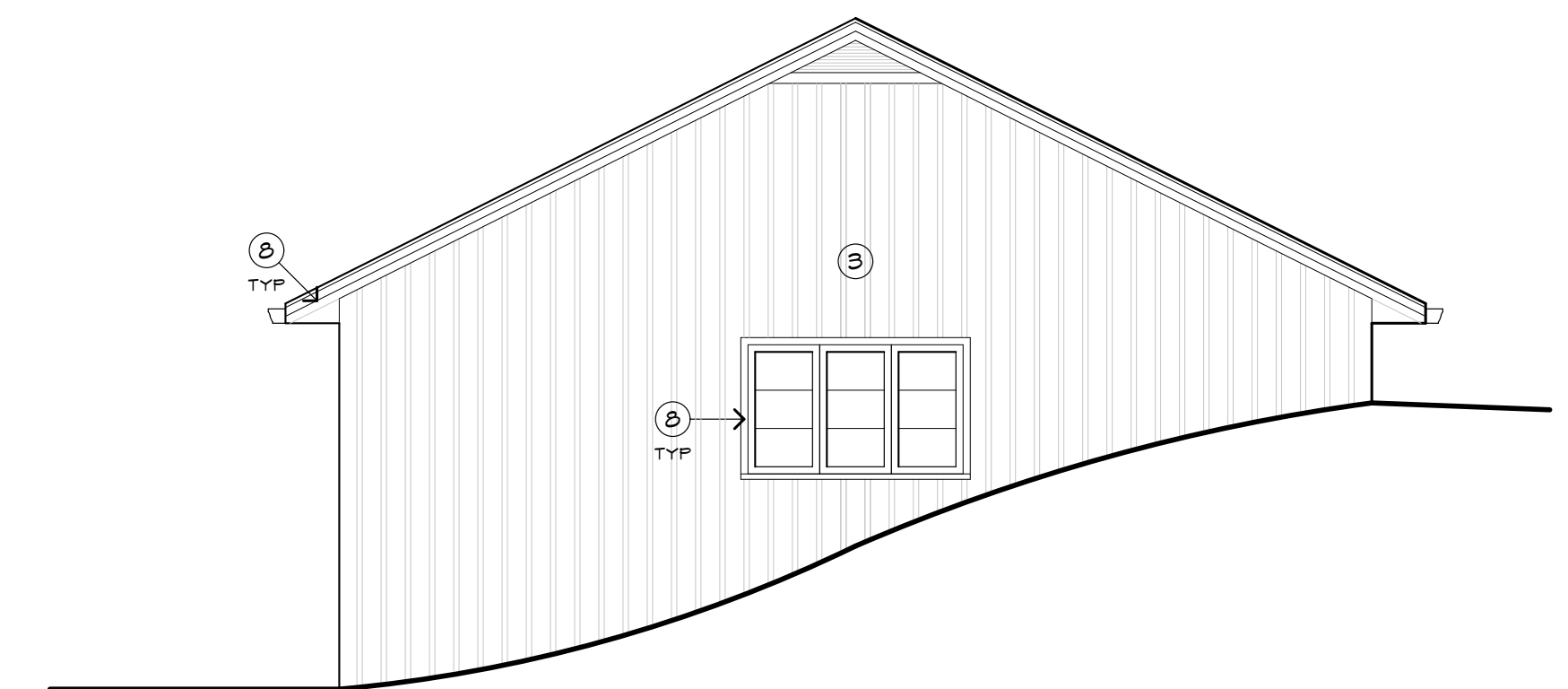
MATERIALS	MANUFACTURER	COLOR
① EXISTING STONE	EXISTING	EXISTING
② SHINGLE SIDING TO MATCH EXISTING	GAF WEATHERSIDE PROFILE	DEEP CAVIAR (BM)
③ BOARD AND BATTEN TO MATCH EXISTING	MATCH EXISTING	DEEP CAVIAR (BM)
④ ASPHALT SHINGLES	TAMKO	BLACK WALNUT
⑤ STANDING SEAM METAL ROOFING	TBD	DARK BRONZE
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⑦ NEW METAL RAILING	TBD	BLACK (BM)
⑧ PAINTED TRIM: RAKES FASCIA SOFFIT WINDOW CASING DOOR CASING COLUMNS	WOOD	BLACK (BM)
⑨ WINDOWS/DOORS: NEW AND REPLACED	SEMCO ALUM. GLAD	ONYX BLACK (BM)
⑩ FRONT DOOR	PELLA	BLACK (BM)
⑪ GARAGE DOOR	TBD	SLATE (BEHR)
⑫ PORCH DECK/FLOORING	TIMBERTECH	DARK HICKORY



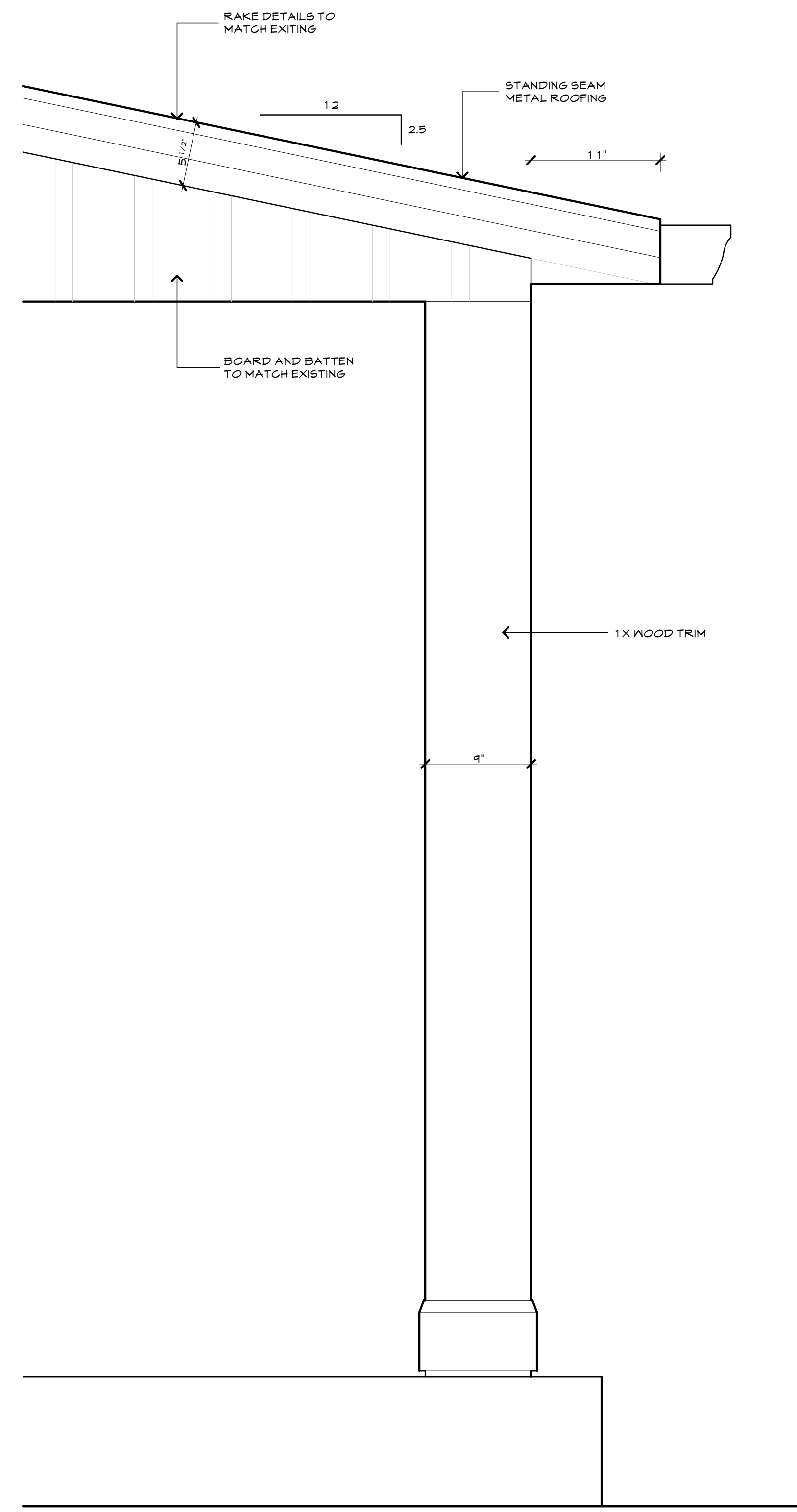
NORTH ELEVATION
 SCALE: 1/4"=1'-0"



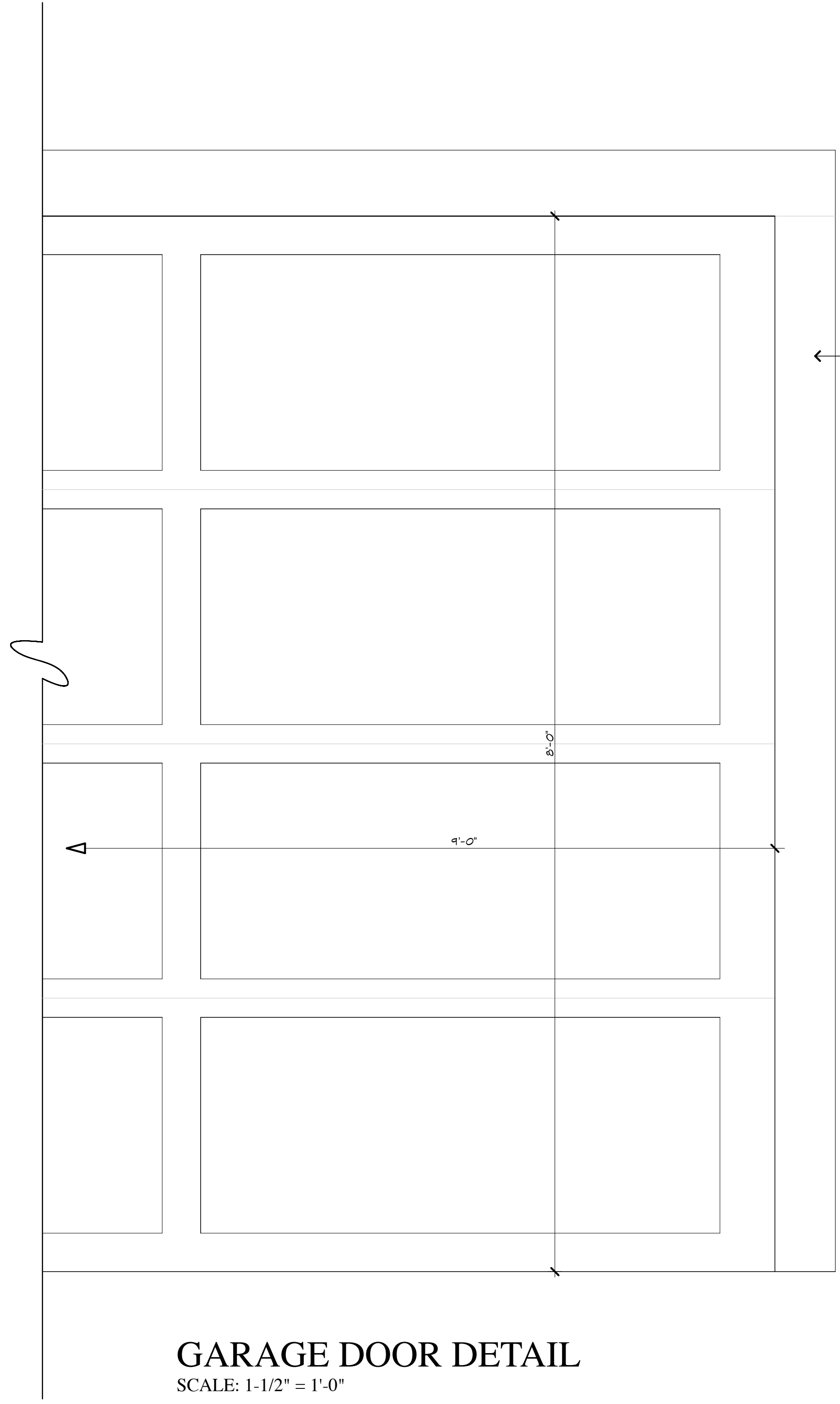
WEST ELEVATION
 SCALE: 1/4"=1'-0"



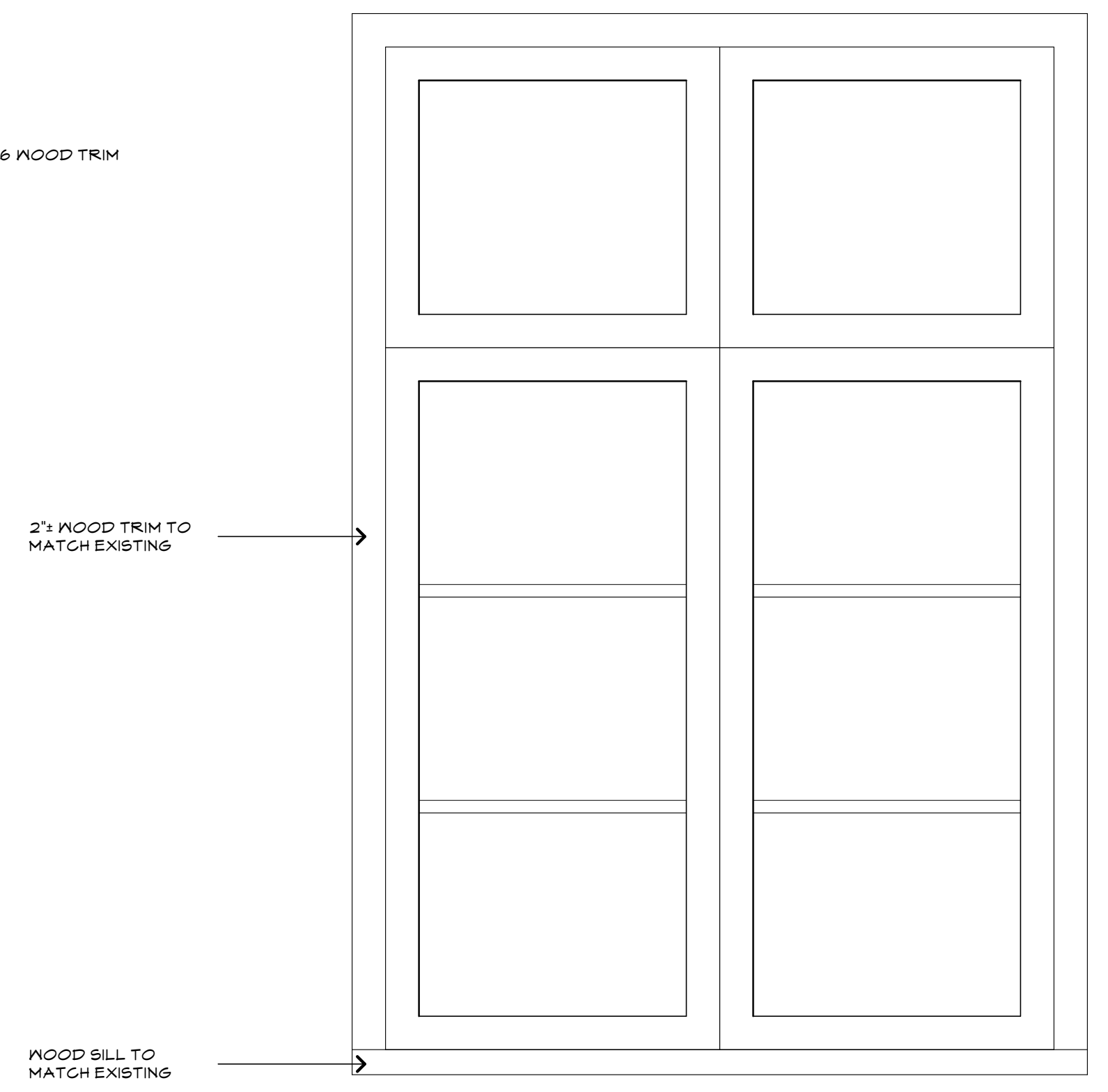
SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



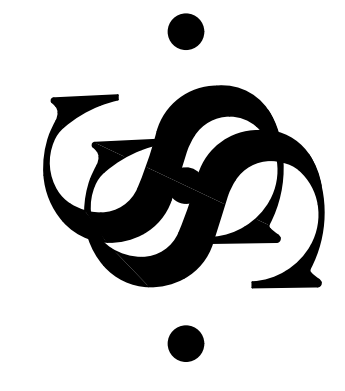
PORCH DETAIL
 SCALE: 1-1/2" = 1'-0"



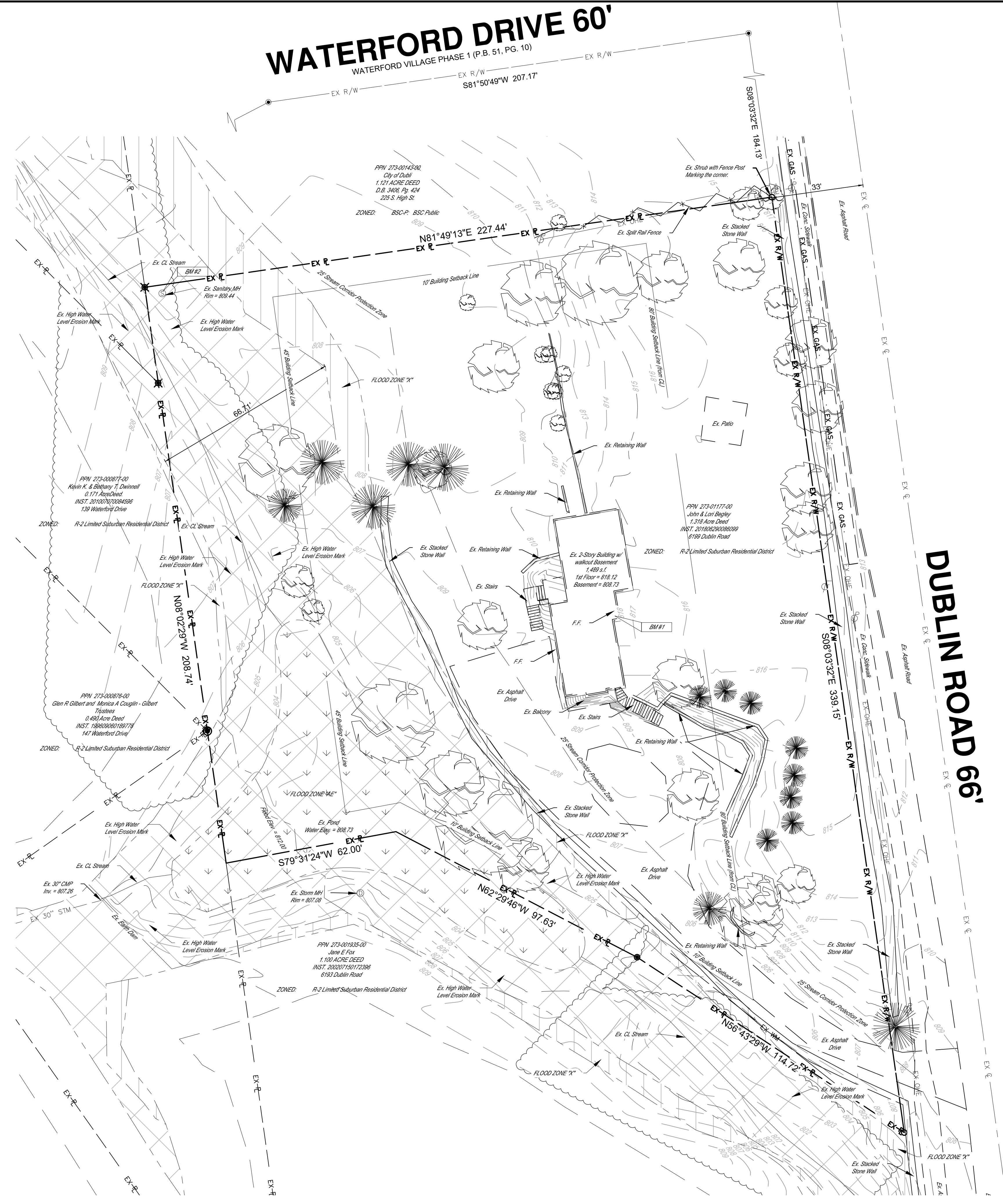
GARAGE DOOR DETAIL
 SCALE: 1-1/2" = 1'-0"



WINDOW DETAIL
 SCALE: 1-1/2" = 1'-0"
 PROVIDE FLASHING AS REQUIRED BY MANUFACTURER



LEGEND	
---	EX. ELECTRIC
---	EX. GAS
---	EX. STORM
---	EX. SANITARY
---	EX. TELEPHONE
---	EX. WATER
---	EX. CABLE
---	EX. CONTOURS
---	EX. SWALE
---	EX. FENCE
---	EX. GRAVEL PAVE
---	EX. TREE LINE
---	EX. CENTERLINE
---	EX. PROPERTYLINE
---	EX. RIGHT-OF-WAY LINE
---	EX. SETBACK LINE
---	EX. EASEMENT LINE
●	5/8" IRON PIN FD
○	1/2" IRON PIPE FD
○	5/8" IRON PIN SET
○	3/4" IRON PIPE FD
⊗	EX. WATER VALVE
⊗	EX. HYDRANT
⊗	EX. SPOT ELEV.
⊗	EX. SAN. MH
⊗	EX. TELE. BOX
⊗	EX. STM. MH
⊗	EX. ELECT. BOX
⊗	EX. CATCH BASIN
⊗	EX. FLAG POLE
⊗	EX. DECIDUOUS TREE
⊗	EX. LANDSCAPE LIGHT
⊗	EX. LIGHT POLE
⊗	EX. GAS METER
⊗	EX. UTILITY POLE



SITE DATA

SITE ADDRESS:
6199 DUBLIN ROAD, DUBLIN, OH 43017

OWNER:
JOHN & LORI BEGLEY
6199 DUBLIN ROAD
DUBLIN, OH 43017

PARCEL NO.:
273-01177-00

SITE:
1.310 AC. DEED
AC. MEAS.

EXISTING USE:
RESIDENTIAL

CURRENT ZONING:
R-2 LIMITED SUBURBAN RESIDENTIAL DISTRICT

SETBACKS:
BUILDINGS
FRONT: 80' (FROM CENTERLINE)
REAR: 45' (20% OF 227.44' LOT DEPTH)
SIDE: 10' (20' MAX WITH A MIN. 8' ONE SIDE)

BENCHMARK INFORMATION

VERTICAL DATUM BASED ON NAVD 88

SITE BM #1: FINISH FLOOR OF THE FIRST FLOOR OF THE EXISTING HOUSE.
ELEVATION = 818.12

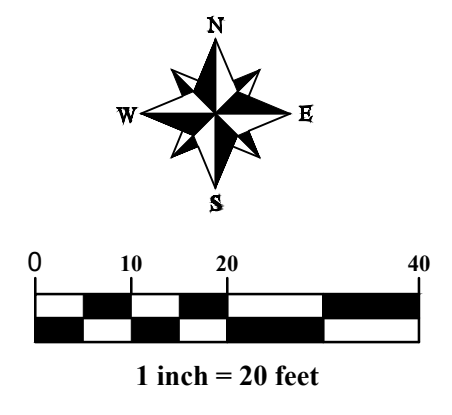
SITE BM #2: RIM OF SANITARY MANHOLE AT THE NORTHWEST CORNER OF THE SITE.
ELEVATION = 809.44

BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE BEARINGS OF SOUTH 08° 03' 32" EAST, AS DETERMINED FOR THE CENTERLINE OF DUBLIN ROAD, AS BASED ON THE STATE OF OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83 (2011 ADJUSTMENT).

FLOODPLAIN DATA

BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN BOTH A ZONE "AE" WITH A BASE FLOOD ELEVATION OF 812.00 AND ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY MAP NO. 39049C0153K WITH AN EFFECTIVE DATE OF JUNE 17, 2008 IN CLARK COUNTY, OHIO.



SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF A FIELD SURVEY MADE BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.

Timothy L. Guider
TIMOTHY L. GUIDER R.S. #7752

2/24/21
DATE



WDP
Wink Development Partners, LLC
47 GREENFIELD DRIVE
MILFORD CENTER, OH 43045
E: WINKLEDEVPT@GMAIL.COM
P: (614) 507-6316

GUIDERSURVEYING INC.
PROFESSIONAL SURVEYING & CONSULTING
19550 DELAWARE COUNTY LINE ROAD
MARYSVILLE, OH 43040
E: GUIDERSURVEYING@GMAIL.COM
P: (740) 666-5902

PREPARED BY: _____

PROFESSIONAL STAMP:

NO.	DATE	DESCRIPTION

JOHN & LORI BEGLEY
TOPOGRAPHIC & BOUNDARY SURVEY
6199 DUBLIN ROAD, DUBLIN, OH 43017

SHEET NAME: _____

DATE: 02/24/2021

DRAWN BY: CAW

SHEET: **1 / 1**

TOPOGRAPHIC SURVEY

JOB # 21-010-019