



DIVISION OF BUILDING STANDARDS

RESIDENTIAL BASEMENT FINISH

Building permits are required for all construction work necessary to finish a basement.

Electrical, plumbing, and HVAC permits may also be required depending on the nature of the work which is being completed.

All work is to be performed in conjunction with the provisions of the 2019 Residential Code of Ohio, as amended and the city of Dublin Zoning Code.

When contractors are being hired to complete the work, please contact the City regarding Contractor Registration. If you, as the homeowner, are performing the work, a Homeowner's Affidavit must be completed. :

Submittal

The applicant will submit the following electronically:

- Completed application including: address, and a contact name and phone number
- Site Plan on 8 1/2"x14" or 11"x17" (only if changing the building footprint or adding a window well)
- Complete set of construction drawings
- Current City of Dublin Contractor Registration*

**Homeowner Affidavit is required if a City of Dublin registered contractor is not performing all of the work*

Electronic Plan Submittal

Electronic Plan Submittal is required. ePlan is the City of Dublin's Electronic Plan Review system. It is a web-based solution that allows documents and drawings to be submitted electronically, replacing the traditional paper-based plan review method. ePlan improves the plan review cycle, reduces costs associated with obtaining permit approvals and supports the City of Dublin's green initiatives. Please call (614) 410-4608 to become an ePlan user and for more information on how to use ePlan.

Site Plan (see attached)

A site plan is not required with a basement finish submittal (unless changes are made to the building footprint or a window well is added)

See Basement Finish Package for details

A site plan is a drawing or a survey that shows the property lines of a tract of property and all structures built upon it. The information must be drawn to scale. Copied Site Plans may change the scale of the drawing, thus these processes should be avoided.

The following items must be shown on the site plan:

- All existing structures on a lot and distances to property lines
- The exact location of the proposed addition or window well
- The distance from the addition or window well to the property lines

All distances must be measured at right angles to the property or easement lines





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Construction Drawing Requirements

The following items must be shown on construction drawings (drawings must be to scale and show all dimensions):

- Floor plan showing – layout of proposed rooms, w/dimensions and room use (include electrical, smoke detectors, CO alarms, plumbing details, and ceiling heights).
- Means of egress information if adding a bedroom (egress opening information and window well details, see sample)
- Combustion Air calculations if enclosing gas fired appliances
- Finished basement wall section (see sample)

Accurate and complete information provided in accordance with the attached documentation will expedite a thorough review of the project.

Applicant may request a pre-submittal meeting with Residential Plans Examiner (410-4613)

Plan Review

- Engineering will review the site plan. Please direct any questions to Engineering at (614) 410-4614
- Zoning will review the site plan. Please direct any Zoning questions to (614) 410-4600
- The Residential Plans Examiner will review the construction drawings for compliance with the 2019 Residential Code of Ohio, as amended. Please direct Building questions to (614) 410-4613

Disapprovals

If a submittal is disapproved, the applicant will be notified by telephone and will receive a Unified Response Letter, which includes comments from the reviewers. The applicant must pick up the disapproved submittal, make revisions and resubmit the project. Include the previously disapproved set in addition to the revised set.

Plan Approval & Permit Issuance

The applicant is notified when all approvals are granted. ***After the fees are paid and the permit is picked up, construction may begin.***





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Inspections

Approved plans and paperwork must be on site for all inspections. All inspections except plumbing are scheduled by calling the automated inspection line (see below). The following inspections are required:

- Rough plumbing and rough gas piping, if applicable
- Rough electric
- Rough frame & HVAC (insulation may be installed after approval of this inspection)
- Insulation, insulation and vapor barriers are inspected
- Final electric and final plumbing, if applicable
- Building final & HVAC, when all work has been completed (including floor finishes) and electric and plumbing have been signed off; at this time, the building inspector will issue a Certificate of Occupancy

To Schedule an inspection:

Please access the citizen access portal, <https://aca-prod.accela.com/dublinoh/default.aspx>, to schedule an inspection. If the request is made before 6:00 a.m., the inspection will be conducted that same business day. Please have the following information at hand when requesting the inspection: type of inspection, address where the inspection is to be conducted and permit number. Building inspectors will not enter a home when the owner or the owner's representative is not in attendance. If a representative is only available at certain hours, please state this information along with a phone number so that the inspectors may call to confirm, if necessary. Inspections are generally conducted from 8:30 a.m. to 4:00 p.m., Monday through Friday (except Thursday, when inspections will be from 9:45 a.m. to 4:00 p.m.). The building inspectors are available from 7:30-8:00 a.m. and 3:30-4:30 p.m. daily to answer questions, by phoning 614-410-4670.

IF YOU HAVE FURTHER QUESTIONS ABOUT THESE PROCEDURES, PLEASE FEEL FREE TO CONTACT BUILDING STANDARDS AT (614) 410-4670 FROM 8:00 A.M. – 4:00 P.M. MONDAY, TUESDAY, WEDNESDAY AND FRIDAY AND 9:30 A.M. – 4:00 P.M. THURSDAY.



PLEASE TAKE NOTE:

IF YOU HAVE BEEN ISSUED ANY OF THE FOLLOWING PERMITS, YOU MAY REQUIRE SEPARATE ELECTRIC, HEATING & VENTILATION AND PLUMBING PERMITS.

REMODEL BASEMENT FINISH

DECK

SCREENED PORCH

SWIMMING POOL





DIVISION OF BUILDING STANDARDS

HOMEOWNER AFFIDAVIT

5800 Shier-Rings Road Dublin, Ohio 43016

Phone: (614) 410-4670

Inspection Line: (614) 410-4680

Homeowner: _____ **Phone Number:** _____

Address: _____

By signing this affidavit, I do hereby swear and/or affirm that I am the Owner and occupant of the single-family dwelling located at the above address. I am making application for a Permit. If granted, **I WILL PERSONALLY PERFORM THE WORK ASSOCIATED WITH THIS PROJECT, OR CONTRACT ONLY WITH A CONTRACTOR REGISTERED WITH THE CITY OF DUBLIN.** I understand I am personally responsible to assure all work performed under the permit is compliant with all related building codes and ordinances of the City of Dublin. As prescribed by Chapter 150.140-150.146 of the Codified Ordinances of the City of Dublin,

I UNDERSTAND VIOLATION OF THE TERMS OF THIS AFFIDAVIT ARE A BASIS FOR REVOKING THE PERMIT, AND PROSECUTION OF ANY PARTY INVOLVED.

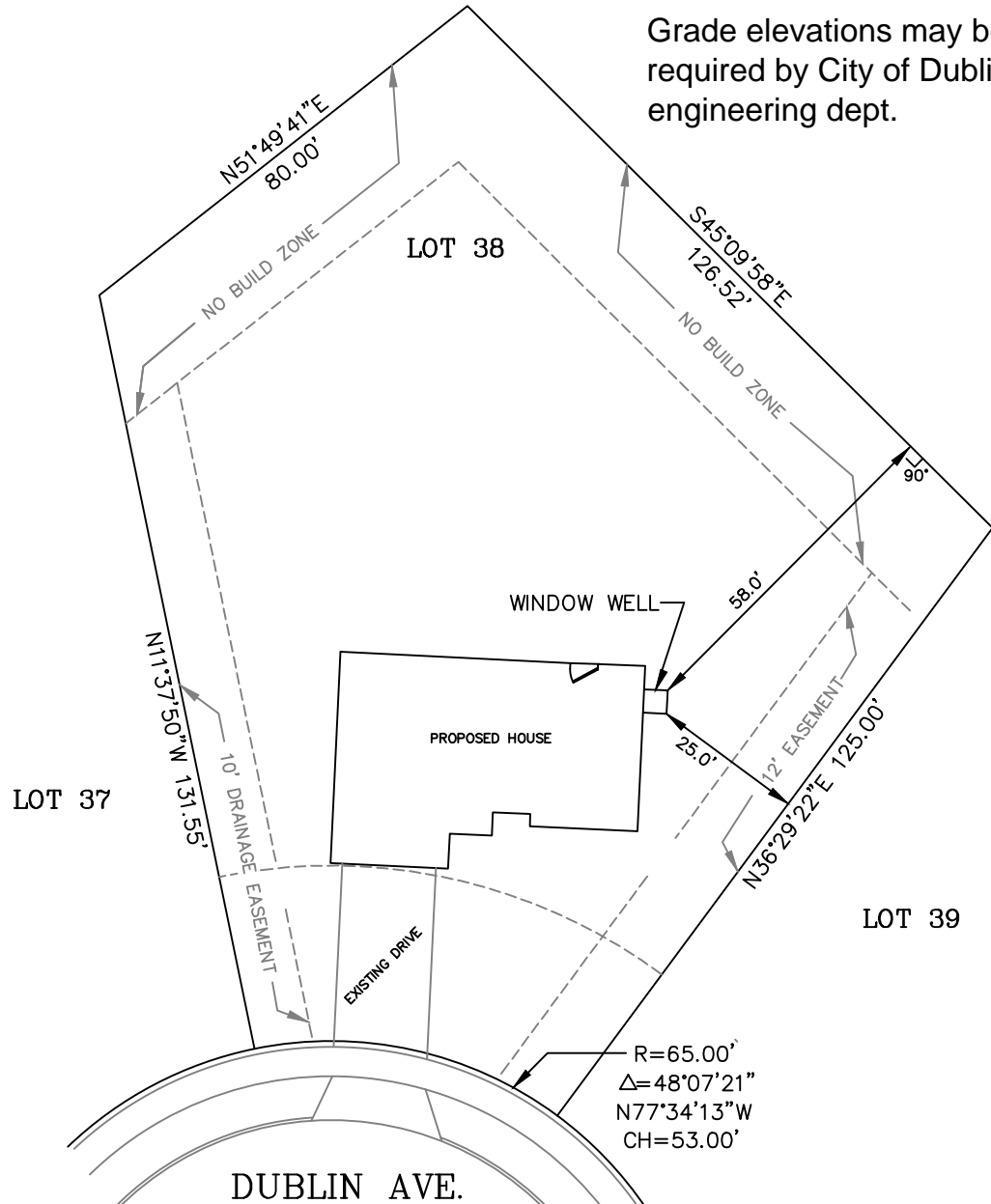
Sworn to and subscribed before me this _____ day of _____, 20____

Homeowner: _____ **Notary:** _____

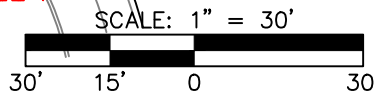


Basement Site Plan

1. Show all existing structures on a lot and distances to property lines.
2. Show the exact location of the window well, stair, etc.
3. Provide dimensions from all sides of window well to the property lines.
4. All dimensions from new home to property lines must be at right angles to the property lines.



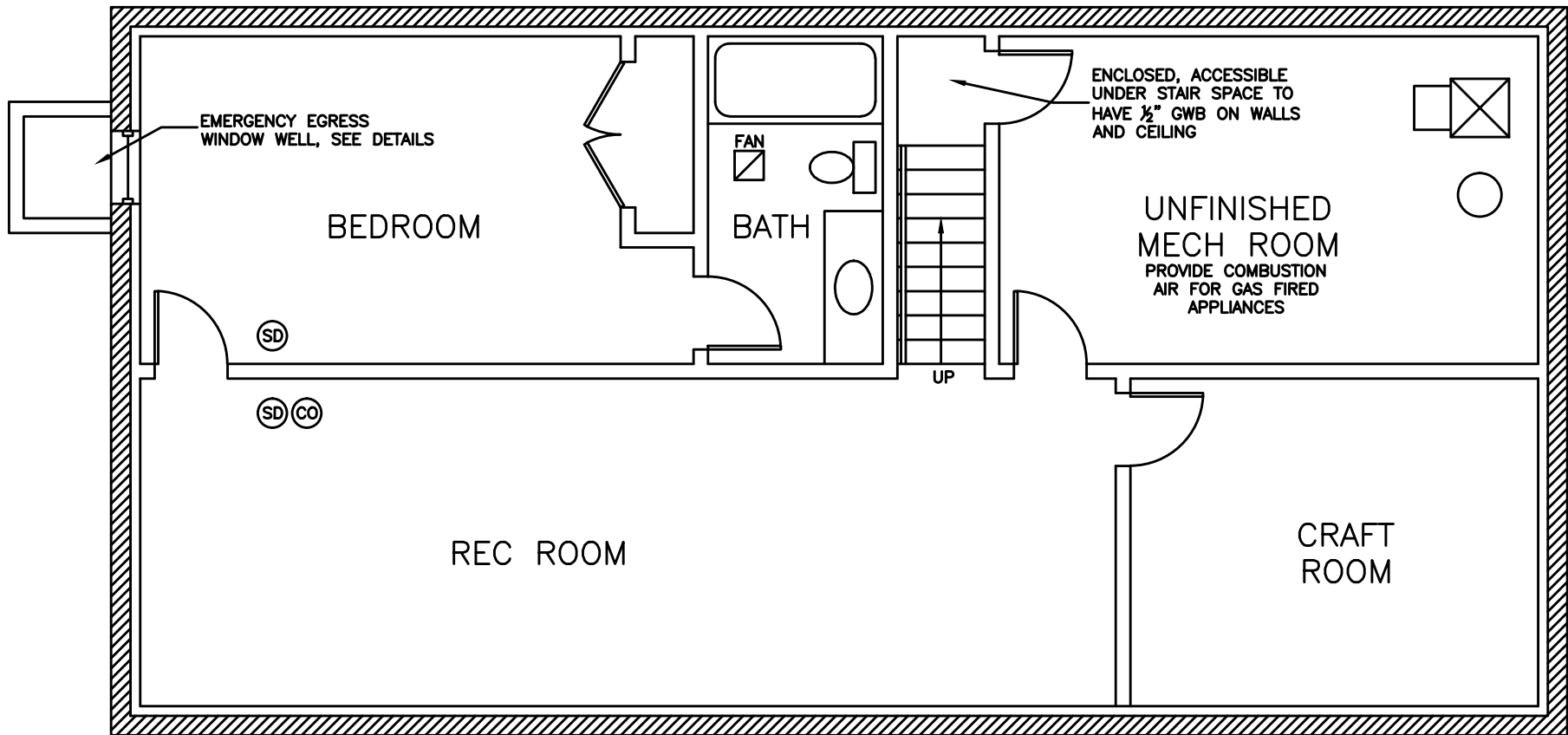
SAMPLE SITE PLAN



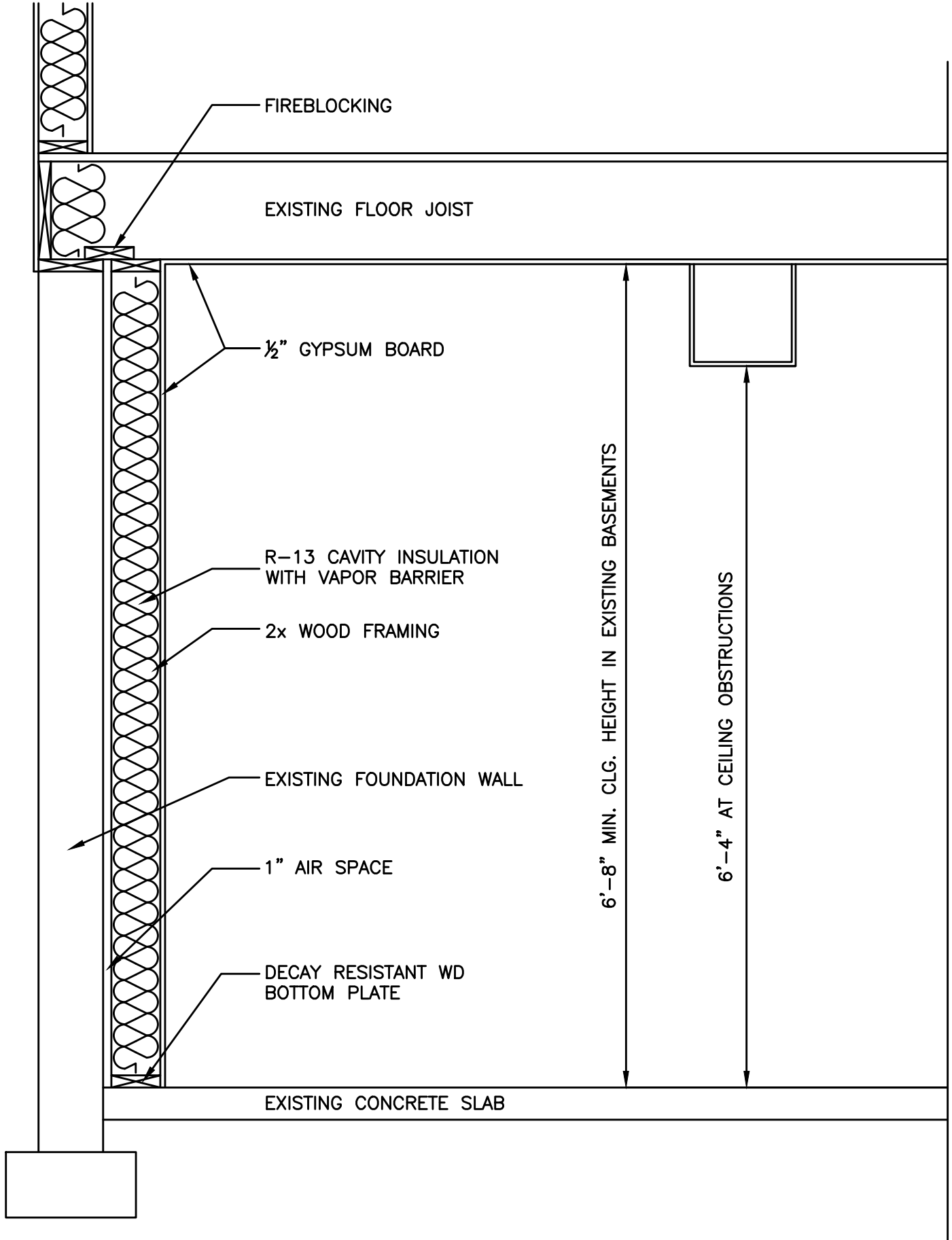
THIS SHEET SHOULD BE ON
 A 8 1/2" X 14" AND TO SCALE



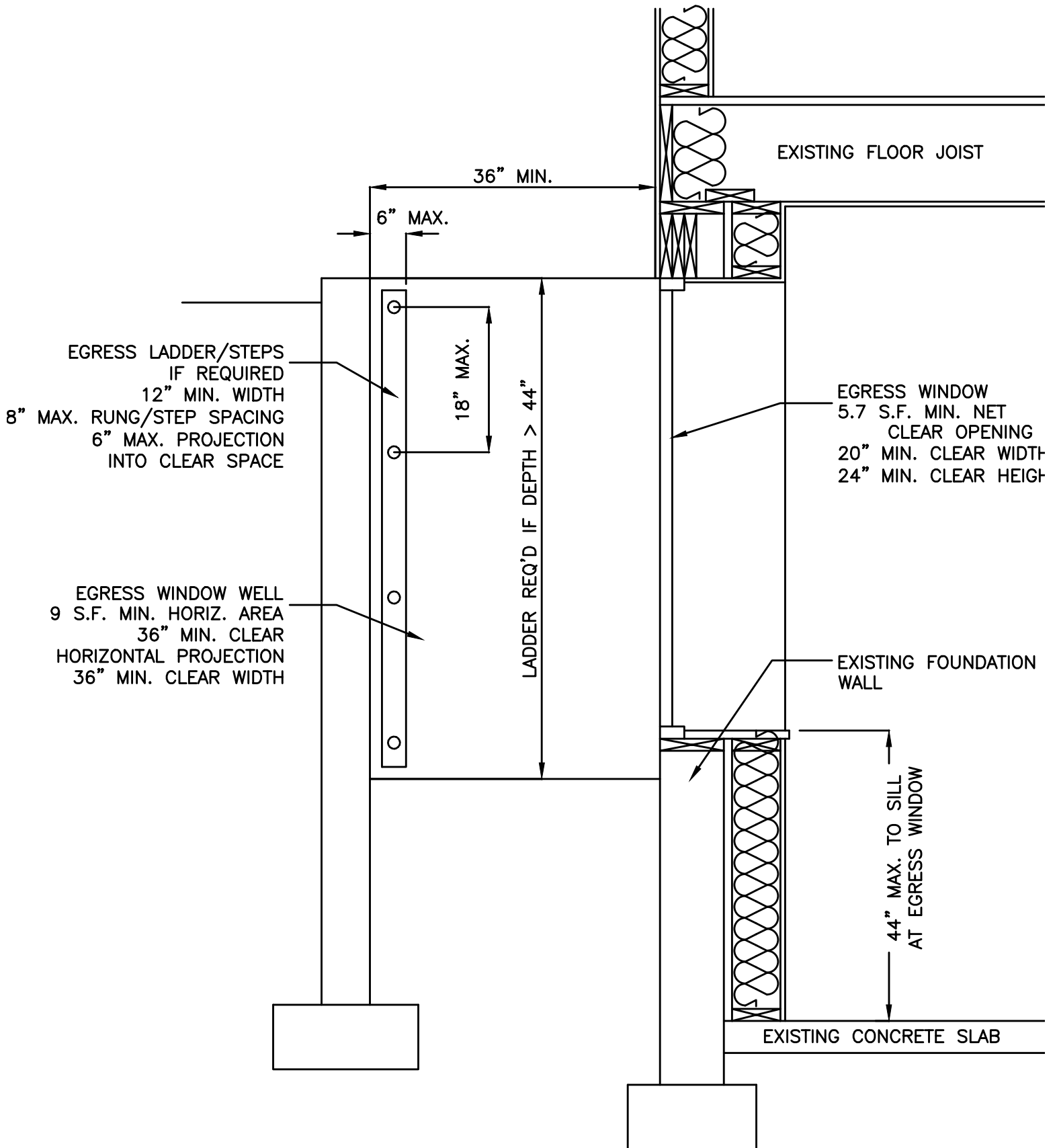
FINISHED BASEMENT SAMPLE PLAN



BASEMENT WALL SECTION



BASEMENT EGRESS WINDOW





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Combustion Air Requirements for gas burning appliances

Finishing a basement may restrict the amount of combustion air needed for gas utilizing equipment, located in the basement. New walls and ceilings may block air flow to the equipment resulting in incomplete fuel combustion, which greatly increases the risk of carbon monoxide discharge. Therefore, it is extremely important that adequate combustion air is provided for the equipment. Follow the steps listed below to determine the combustion air requirements

Step 1

Add the BTU's of all gas burning appliances in the basement (furnace, dryer, hot water heater, etc.) to obtain the Total BTU's.

Step 2

Calculate the Required Air Volume in cubic feet to supply the gas appliances.

$$(Total\ BTU's \times 50) / 1,000 = Required\ Air\ Volume$$

Step 3

Calculate the Available Air Volume in cubic feet for the gas appliances.

$$Volume\ in\ cubic\ feet\ of\ the\ room\ containing\ the\ gas\ appliances\ (width \times length \times height)$$

Step 4

Compare the Required Air Volume to the Available Air Volume. If the Available Volume is greater than the Required Volume no further work is required.

If the Required Air Volume is greater than the Available Air Volume continue to Step 5

Step 5

If you do need additional combustion air volume, the typical method is to cut openings between the spaces where the appliances are located and a secondary space, generally the improved area of the basement. One opening must be located within 12 inches of the ceiling of the room and a second opening must be located within 12 inches of the floor of the room.

Each opening must have a free opening in square inches equal to 1 square inch per 1,000 BTU's.

$$Total\ BTU's / 1,000 = square\ inches\ required\ free\ area\ in\ opening$$

The actual area of the opening will be larger than the required free area because the louver which will cover the opening reduces the amount of free area in the opening.

$$Required\ free\ opening\ area \times 4 = required\ wood\ louver\ size$$

$$Required\ free\ opening\ area \times 1.33 = required\ metal\ louver\ size$$

Step 6

If the combined volume of finished and unfinished portions of the basement do not meet the minimum Required Air Volume the combustion air must be obtained from outdoors. Refer to the International Fuel Gas Code and Ohio Mechanical Code for complete information regarding combustion air and for how to utilize combustion air from the outdoors.

