

# PRIVATE SITE IMPROVEMENT PLAN FOR: THE COUNTRY CLUB AT MUIRFIELD VILLAGE PHASE 2 SITE IMPROVEMENTS

FRANKLIN COUNTY, DUBLIN, OHIO  
JUNE 2021



**LOCATION MAP**  
1" = 1,000'

**OWNER:**

THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
8715 MUIRFIELD DRIVE  
DUBLIN, OHIO 43017  
PHONE: 614-764-1714

**CONTRACTOR:**

SHAFFER CONSTRUCTION  
3675 TRABUE ROAD  
COLUMBUS, OHIO 43228  
PHONE: 614-488-4681

**SURVEYOR NOTES:**

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

DATE OF FIELD WORK: 05-17-2021  
EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

**BENCHMARKS:**

AS PER THE TOPOGRAPHIC SURVEY PREPARED BY HULL & ASSOCIATES, THE CONTRACTOR AND/OR HIS SURVEYOR SHALL BE RESPONSIBLE TO CROSS CHECK ALL CONTROL FOR DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

CONTROL POINTS LISTED BELOW ARE SUITABLE FOR PROJECT BENCHMARKS.

**CONTROL POINTS**

**BASIS OF BEARING:** TRUE NORTH, BASED ON OBSERVATIONS, GPS DATA COLLECTED WITH TRIMBLE R8 UNIT VRS CORRECTION ON OHIO STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD83, NAVD88, GEOID 12A.

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	780295.042	1785691.960	955.38	IRON PIN SET W/YELLOW TRAV. CAP
2	780062.425	1785935.752	955.49	IRON PIN SET W/YELLOW TRAV. CAP

**FLOODZONE INFORMATION**

THE SITE IS LOCATED IN ZONE X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, MAP NO. 39049C0019K, WITH AN EFFECTIVE DATE OF JUNE 17, 2008 IN FRANKLIN COUNTY, OHIO.

**STORMWATER MANAGEMENT**

SEE THE STORMWATER MANAGEMENT NARRATIVE PROVIDED ON SHEET C3.0 FOR ADDITIONAL INFORMATION.

**LIMIT OF DISTURBANCE**

PLATFORM TENNIS: 0.34 ACRES  
POOL IMPROVEMENTS: 0.61 ACRES  
TOTAL: 0.95 ACRES



**INDEX MAP**  
1" = 100'

INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
C1.0	COVER SHEET
C2.0	GENERAL NOTES
C3.0	GENERAL NOTES
C4.0	EXISTING CONDITIONS
C5.0	EXISTING CONDITIONS
C6.0	OVERALL STAKING PLAN
C7.0	PLATFORM TENNIS STAKING PLAN
C8.0	AQUATICS STAKING PLAN
C9.0	UTILITY PLAN
C10.0	PLATFORM TENNIS GRADING PLAN
C11.0	AQUATICS GRADING PLAN
C12.0	DRAINAGE PROFILES
C13.0	TYPICAL DETAILS

**APPROVALS**

CITY OF DUBLIN SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND THE GENERAL LOCATION OF THE PROJECT AND DO NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL CIVIL ENGINEER PREPARING THE PLANS.

\_\_\_\_\_  
PAUL A. HAMMERSMITH, P.E. DATE  
DIRECTOR OF ENGINEERING/CITY ENGINEER  
CITY OF DUBLIN, OHIO

\_\_\_\_\_  
JENNIFER M. RAUCH, AICP DATE  
DIRECTOR OF PLANNING  
CITY OF DUBLIN, OHIO

REVISION		
NO.	DATE	DESCRIPTION
0	05/24/21	FOR PERMIT
0	06/18/21	FOR PERMIT - ADDRESS CITY COMMENTS

Project Title:

THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
PHASE 2 SITE IMPROVEMENTS  
FRANKLIN COUNTY, DUBLIN, OHIO

Owner:



8715 MUIRFIELD DRIVE  
DUBLIN, OH 43017

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Mark Description Date

FOR PERMIT 05/24/2021  
FOR PERMIT 06/18/2021

Project No.: CMV005

Plot Date: 06/18/2021

Layout By: EJK

Drawn By: AET

Check By: EJK

Scale: AS NOTED

Issue Date: JUNE 2021

Sheet Title:

COVER SHEET

Sheet Number: 01 OF 13

C1.0



**PRE-CONSTRUCTION NOTICE**

THESE PLANS HAVE BEEN PREPARED USING THE MOST ACCURATE INFORMATION AND DATA AVAILABLE AT THE TIME OF PREPARATION. FIELD CONDITIONS MAY BE ENCOUNTERED DURING CONSTRUCTION WHICH VARY FROM THOSE DEPICTED HEREIN. MODIFICATIONS TO THE DESIGN AS SHOWN MAY BE REQUIRED BASED ON FIELD CONDITIONS AT THE TIME OF CONSTRUCTION. IN ANY EVENT, THE ENGINEERING OBJECTIVES OF THE DESIGN SHALL BE MET. IF FIELD CONDITIONS ARE ENCOUNTERED PRIOR TO CONSTRUCTION OR DURING CONSTRUCTION THAT DIFFER SIGNIFICANTLY FROM THE CONDITIONS SHOWN ON THE PLANS, THE CONTRACTOR MUST STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.



Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



**THE COUNTRY CLUB**  
 MUIRFIELD VILLAGE

8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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Mark	Description	Date
	FOR PERMIT	05/24/2021
	FOR PERMIT	06/18/2021

Project No.:	CMV005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

## GENERAL NOTES

### RUNOFF, SEDIMENTATION AND EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DISCRETION OF THE OWNER, ENGINEER, AND CITY ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL USING BMP INSTALLATION OR CONSTRUCTION SEQUENCING TECHNIQUES AT ALL POINTS WHERE PROJECT WATERS LEAVE THE LIMITS OF THE PROJECT, ALL POINTS WHERE PROJECT WATERS ENTER PORTIONS OF EXISTING UNDERGROUND PIPING, AND AROUND ANY AREA DESIGNATED FOR SOIL STOCKPILING OR MATERIAL STAGING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY SEDIMENT DEVICES AT THE CONCLUSION OF CONSTRUCTION BUT NOT BEFORE STABILIZATION OF PERMANENT EROSION CONTROLS.
- SEDIMENT CONTROL STRUCTURES AND SETTLING FACILITIES SHALL BE INSTALLED DURING CONSTRUCTION ACTIVITIES AS SHOWN IN THIS PLAN AND AS NEEDED TO PREVENT THE TRANSPORT OF SEDIMENT LADEN STORMWATER OFF THE SITE. IN ACCORDANCE WITH THE GENERAL CONSTRUCTION SCHEDULE ON THIS SHEET. THE SEDIMENT CONTROL STRUCTURES AND SETTLING FACILITIES SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT AND UNTIL FINAL STABILIZATION IS ACHIEVED. SEDIMENT BASINS/TRAPS AND PERIMETER SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN (7) DAYS FROM THE START OF GRUBBING. UPON COMPLETION OF CONSTRUCTION OF BASINS/TRAPS, SEEDING AND MULCHING SHALL IMMEDIATELY FOLLOW TO AID IN THE STABILIZATION AND MINIMIZE EROSION AND SEDIMENT TRANSPORT OF THE SOIL BEFORE WATER LEAVES THE BASINS/TRAPS. ALL EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED TO FUNCTION UNTIL UPLAND AREAS ARE PERMANENTLY STABILIZED.
- WHERE NOT OTHERWISE NOTED OR SHOWN, ALL EROSION AND SEDIMENT CONTROL PRACTICES SPECIFIED ON THIS PLAN SHALL CONFORM WITH DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR) "RAINWATER AND LAND DEVELOPMENT MANUAL".
- EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS, CONSTRUCTION PHASING, AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH-MOVING ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST RUNOFF, EROSION, AND SEDIMENT CONTROLS ACCORDINGLY.

### INSPECTION & MAINTENANCE NOTES:

- THE CONTRACTOR WILL BE RESPONSIBLE FOR KEEPING ROADWAYS CLEAN BY REMOVING ALL SOIL FROM THE ROADWAY. TRACKING OF SEDIMENT ONTO ROADWAYS BY VEHICLES SHALL BE MINIMIZED BY UTILIZING A STABILIZED CONSTRUCTION ENTRANCE AS THE ONLY ENTRANCE FOR VEHICLES. THIS ENTRANCE SHALL BE MAINTAINED WITH STONE AS NEEDED TO PREVENT DIRT AND MUD FROM TRACKING ONTO THE ROADWAY.
- THE CONTRACTOR SHALL INSPECT RUNOFF, EROSION, AND SEDIMENT CONTROLS DURING CONSTRUCTION OPERATIONS, AFTER RAIN EVENTS, AND ON A WEEKLY BASIS TO IDENTIFY MAINTENANCE ITEMS.
- THE CONTRACTOR SHALL PERFORM PROPER MAINTENANCE AND INSPECTIONS OF RUNOFF, SEDIMENTATION AND EROSION CONTROLS PER THE PROCEDURES AND FREQUENCY OUTLINED ON THIS SHEET. REGULAR INSPECTIONS AND MAINTENANCE BY THE CONTRACTOR SHALL BE PROVIDED FOR ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTION ACTIVITIES SHALL BE KEPT ON-SITE THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE AT A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN IN A 24-HOUR PERIOD. PROVIDE NAME OF INSPECTOR, DATE OF INSPECTION, MAJOR OBSERVATIONS (IDENTIFY TYPE AND LOCATION OF EACH SEPARATE BEST MANAGEMENT PRACTICE (BMP) REQUIRING ATTENTION, DESCRIBE CONDITION OF DAMAGED BMP, SPECIFY TYPE OF REMEDIAL ACTION REQUIRED, ETC.), AND SPECIFIC CORRECTIVE MEASURES TAKEN SINCE THE TIME OF THE PREVIOUS INSPECTION TO ACHIEVE COMPLIANCE WITH THE REQUIREMENTS OF THIS PLAN. ALL CORRECTIVE MEASURES SHALL BE MADE TO PROTECT AGAINST FURTHER FAILURES AS SOON AS POSSIBLE.

MAINTENANCE AND/OR REPAIR SHALL OCCUR AS DETAILED BELOW:

CORRECTIVE MEASURES SHALL BE MADE TO PROTECTED AGAINST FURTHER FAILURE AS SOON AS POSSIBLE.

- WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE, IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT BASIN, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE (3) DAYS OF THE INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN TEN (10) DAYS OF THE INSPECTION.
  - WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION, IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THIS PLAN MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN TEN (TEN) DAYS OF THE INSPECTION.
  - WHEN PRACTICES DEPICTED ON THIS PLAN ARE NOT INSTALLED, IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SCHEDULE, THE CONTROL PRACTICE MUST BE IMPLEMENTED WITHIN TEN (10) DAYS FROM THE DATE OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.
- ACCUMULATED SEDIMENT SHALL BE REMOVED FROM ALL CONTROLS BEFORE SEDIMENT OVERTOPS THE BARRIER. IT SHOULD TYPICALLY BE REMOVED WHEN THE SEDIMENT REACHES ONE-HALF THE BARRIER HEIGHT OR WHEN IT CAUSES THE BARRIER TO BULGE.
  - SEEDED AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE SITE REACHES FINAL STABILIZATION. FINAL STABILIZATION MEANS THE VEGETATION HAS ESTABLISHED UNIFORM PERENNIAL VEGETATIVE COVER (E.G., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF AT LEAST 70 PERCENT GRASS COVER FOR A PERIOD OF 1 YEAR FROM THE TIME OF PLANTING. ONCE FINAL STABILIZATION HAS BEEN ACHIEVED, THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES.

### STORMWATER MANAGEMENT:

STORMWATER MANAGEMENT OF THE PROPOSED PLATFORM TENNIS COURTS AND AQUATICS AREA AND SITE REDEVELOPMENT HAS BEEN EVALUATED AS ONE COMPLETE PROJECT IN TERMS OF CUMULATIVE EFFECTS RATHER THAN TWO SEPARATE PROJECTS. THE EXISTING STORMWATER NETWORK CONSISTS OF MULTIPLE PRIVATE AND PUBLIC CATCH BASIN INLETS AND STORM SEWERS WHICH ALL ROUTE TO AN EXISTING STRUCTURE EAST OF MUIRFIELD DRIVE APPROXIMATELY 315 FEET EAST OF THE PROJECT (DUBSCOVERY FACILITY ID 11213, 73-002-CIP). AS SUCH, BOTH THE PLATFORM TENNIS COURTS AND AQUATICS AREA ARE LOCATED WITHIN THE SAME TRIBUTARY AREA AND HAVE BEEN EVALUATED ACCORDINGLY.

THE PROJECT PROPOSES AN UNCOMPACTED ODOT NO. 57 GRAVEL LAYER BENEATH THE PLATFORM TENNIS COURTS. THE UNCOMPACTED GRAVEL LAYER WILL PROVIDE STORAGE DURING THE INITIAL STAGES OF A PRECIPITATION EVENT AND FOR THAT REASON WE HAVE ASSUMED THIS MATERIAL TO BE MORE PERVIOUS THAN A TRADITIONAL COMPACTED GRAVEL ROAD LAYER. ADDITIONALLY, THE PROJECT PROPOSES TO RESTORE 6,428 SQUARE FEET OF EXISTING ASPHALT TO VEGETATION COVER. THE CONVERTED AREA INCLUDES THE TENNIS PARKING LOT AND AN ELIMINATED ASPHALT PATH EAST OF THE AQUATICS AREA. THESE DESIGN MEASURES RESULT IN A CUMULATIVE NET DECREASE OF 628 SQUARE FEET OF IMPERVIOUS AREA FOR THE PROJECT.

A FEASIBILITY ASSESSMENT WAS PERFORMED PER TABLE 2-3 AND TABLE D-2 OF THE STORMWATER MANAGEMENT DESIGN MANUAL. THE USE OF A POROUS NO. 57 GRAVEL LAYER BENEATH THE PLATFORM TENNIS COURTS HAS BEEN SPECIFIED TO PROVIDE BOTH STORAGE AND FILTRATION TO ADDRESS WATER QUANTITY AND IMPROVE WATER QUALITY WHEN COMPARED TO AN ALTERNATIVE DESIGN OF ASPHALT BASE BELOW THE COURTS.

ADDITIONAL DESIGN, TREATMENT AND CONTROL MEASURES WERE DETERMINED TO BE INFEASIBLE BASED ON REASONING ALLOWED IN APPENDIX D, TABLE D-3 OF THE STORMWATER MANAGEMENT DESIGN MANUAL, E.G., SITE RE-GRADING TO THE POINT OF PERMANENT INTERFERENCE WITH THE EXISTING USE OF THE SITE, MECHANICAL ROUTING OF STORMWATER, AND REMOVAL OF MATURE TREES.

### EARTHWORK NOTES:

- FINAL GRADES SHALL BE IN ACCORDANCE WITH THE GRADING PLAN. AS-BUILT FINAL GRADE ELEVATIONS MAY DIFFER SLIGHTLY FROM THOSE SHOWN ON THE DESIGN PLANS DUE TO FIELD CONDITIONS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. HOWEVER, THE DESIGN INTENT SHALL STILL BE MET.
- FROZEN MATERIAL SHALL NOT BE UTILIZED FOR ANY GRADING ACTIVITIES, NOR SHALL CONTROLLED FILL MATERIAL BE PLACED ONTO FROZEN SUBGRADE MATERIAL. INSULATION BLANKETS, STRAW, A SACRIFICIAL SOIL LAYER, OR OTHER MEANS SHALL BE USED TO PROTECT SURFACE OR SUBGRADE MATERIAL WHEN FREEZING TEMPERATURES ARE EXPECTED. ALL FROZEN MATERIAL SHALL BE REMOVED AND DISCARDED PRIOR TO ANY GRADING ACTIVITIES.
- EXCAVATIONS SHALL BE SLOPED OR BRACED AS REQUIRED BY CURRENT OSHA REGULATIONS TO PROVIDE STABILITY AND SAFE WORKING CONDITIONS. EXCAVATIONS SHALL BE SHORED, SLOPED, OR BENCHES AS REQUIRED, TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. ALL EXCAVATIONS SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL SAFETY REGULATIONS, INCLUDING THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) EXCAVATION AND TRENCH SAFETY STANDARDS.

### DRAINAGE NOTES:

- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS, PER THESE PLANS.
- THE CONTRACTOR SHALL CONTROL STORMWATER ON THE SITE AND MINIMIZE EROSION AND TRANSPORTATION OF SEDIMENT-LADEN WATER OFF THE SITE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES DESIGN DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR) "RAINWATER AND LAND DEVELOPMENT MANUAL".
- THE CONTRACTOR SHALL CONTINUALLY CONTROL ALL GROUNDWATER AND/OR SURFACE WATER AS NECESSARY TO PERFORM THE CONSTRUCTION ACTIVITIES. THIS WORK INCLUDES CONSTRUCTING THE NECESSARY TEMPORARY DRAINAGE CHANNELS AND DIVERSIONS, AND FURNISHING, INSTALLING AND OPERATING ALL NECESSARY PUMPS, PIPING AND OTHER APPROPRIATE MEASURES NEEDED TO MAINTAIN THE SITE.
- ALL PUMP DISCHARGES, NOT INTO AN APPROVED BMP, SHALL BE PROTECTED BY SILT BAGS.

### SURVEY NOTES:

- THE CONTRACTOR SHALL REFERENCE ALL IRON PINS AND MONUMENTS BEFORE EXCAVATING AT OR NEAR SAID IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT, AT CONTRACTOR'S COST.
- HORIZONTAL AND VERTICAL CONTROL SHALL BE ESTABLISHED BY THE CONTRACTOR FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT, AND STAKING OF EASEMENTS.
- THE CONTRACTOR SHALL SUPPLY THE RESOURCES NECESSARY TO LAY OUT AND VERIFY THE LOCATION, ALIGNMENT, ELEVATION, AND GRADE OF THE WORK AS SHOWN, OR DESCRIBED, IN THE DRAWINGS.
- ALL WORK SHALL BE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. SURPLUS OR UNSUITABLE MATERIALS SHALL BE PLACED ON-SITE AT LOCATIONS APPROVED BY THE OWNER.

### EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR OR DEVELOPER IS RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT (NOI) TO BE REVIEWED AND APPROVED BY THE OHIO EPA. THE NOI MUST BE SUBMITTED TO OEPA 45 DAYS PRIOR TO THE START OF CONSTRUCTION AND MAY ENTITLE COVERAGE UNDER THE OHIO EPA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. A PROJECT LOCATION MAP MUST BE SUBMITTED WITH THE NOI. A SEDIMENT AND EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL IF A SEDIMENT AND EROSION CONTROL PLAN HAS NOT ALREADY BEEN INCLUDED WITH THE APPROVED CONSTRUCTION DRAWINGS. THIS PLAN MUST BE MADE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE DESIGN OF EROSION CONTROL SYSTEMS SHALL FOLLOW THE REQUIREMENTS OF OHIO EPA, ITEM 207 OF OHIO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND THE CITY ENGINEER. AN INDIVIDUAL NPDES STORMWATER DISCHARGE PERMIT MAY BE REQUIRED. THE CONTRACTOR SHALL BE CONSIDERED THE PERMITTEE.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER RUNOFF LEAVES THE PROJECT, INCLUDING WATERWAYS, OVERLAND SHEET FLOW, AND STORM SEWERS.
- ACCEPTED METHODS OF PROVIDING EROSION/SEDIMENT CONTROL INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT BASINS, SILT FILTER FENCE, AGGREGATE CHECK DAMS, AND TEMPORARY GROUND COVER. HAY OR STRAW BALES ARE NOT PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE OF THE WORK AREA AT ALL TIMES CONSISTENT WITH EROSION CONTROL PRACTICES.
- DISTURBED AREAS THAT WILL REMAIN UNWORKED FOR 30 DAYS OR MORE SHALL BE SEEDED OR PROTECTED WITHIN SEVEN CALENDAR DAYS OF THE DISTURBANCE. OTHER SEDIMENT CONTROLS THAT ARE INSTALLED SHALL BE MAINTAINED UNTIL VEGETATIVE GROWTH HAS BEEN ESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY SEDIMENT DEVICES AT THE CONCLUSION OF CONSTRUCTION BUT NOT BEFORE GROWTH OF PERMANENT GROUND COVER.

### TRAFFIC CONTROL NOTES:

- TRAFFIC CONTROL SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR ACCORDING TO OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD), CURRENT EDITION.
- ALL TRAFFIC LANES OF PUBLIC ROADWAYS SHALL BE FULLY OPEN TO TRAFFIC FROM 7:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM UNLESS AUTHORIZED DIFFERENTLY BY THE ENGINEER. AT ALL OTHER HOURS THE CONTRACTOR SHALL MAINTAIN MINIMUM ONE-LANE TWO-WAY TRAFFIC.
- IF THE ENGINEER DETERMINES THAT THE CONTRACTOR IS NOT PROVIDING PROPER PROVISIONS FOR TRAFFIC CONTROL, THE ENGINEER SHALL INITIATE FIELD CHANGES, SUCH AS POLICE CRUISERS, UNIFORMED POLICE OFFICERS, OR OTHER MEASURES FOR PUBLIC SAFETY AT NO COST TO THE CITY.
- STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.
- ACCESS FROM PUBLIC ROADWAYS TO ALL ADJOINING PROPERTIES FOR EXISTING RESIDENTS OR BUSINESSES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT FOR MAIL, PUBLIC WATER AND SANITARY SEWER SERVICE, AND EMERGENCY VEHICLES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN DETAILING THE PROPOSED MAINTENANCE OF TRAFFIC PROCEDURES, INCORPORATING ANY TRAFFIC CONTROL DETAILS CONTAINED HEREIN. THE CONTRACTOR MUST OBTAIN APPROVAL OF THE TRAFFIC CONTROL PLAN BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE WITHIN 72 HOURS, ALL TRAFFIC SIGNAL DETECTORS DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE WITHIN 24 HOURS, ALL STRIPING REMOVED OR DAMAGED BY CONSTRUCTION WORK.
- THE CONTRACTOR SHALL COVER EXISTING SIGNS THAT CONFLICT WITH TEMPORARY TRAFFIC CONTROL AND REMOVE COVERS WHEN TEMPORARY TRAFFIC CONTROL IS REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC CONTROL DEVICES 24 HOURS PER DAY AND 7 DAYS PER WEEK.
- A FLASHING ARROW BOARD IS REQUIRED ON ALL ARTERIAL STREET LANE CLOSURES.
- A MINIMUM OF 10-FOOT WIDE TRAVEL LANES MUST BE MAINTAINED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- TRENCHES MUST BE BACK FILLED OR PLATED DURING NON-WORKING HOURS.
- THE TRACKING OR SPILLAGE OF MUD, DIRT, OR DEBRIS UPON STATE, COUNTY, TOWNSHIP, OR CITY STREETS IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR.

### GENERAL CONSTRUCTION SCHEDULE

- INSTALL ROCK CONSTRUCTION ENTRANCE, IF REQUIRED.
- INSTALL TEMPORARY SEDIMENT CONTROL DEVICES, SUCH AS FILTER FABRIC FENCE AND CATCH BASIN INLET PROTECTION, AND RELOCATE TEMPORARY SEDIMENT CONTROL DEVICES AS NECESSARY FOR NEW TOPOGRAPHY AND AS DRAINAGE PATTERNS CHANGE THROUGHOUT CONSTRUCTION.
- REMOVE AND TEMPORARILY STOCKPILE TOPSOIL OR UNSUITABLE MATERIALS IN THE AREAS DESIGNATED BY THE OWNER.
- PERFORM SITE GRADING FOR THE PROPOSED IMPROVEMENTS.
- PERFORM SITE STRUCTURAL CONSTRUCTION FOR THE PROPOSED IMPROVEMENTS.
- INSTALL CONCRETE SURFACE.
- INSTALL SITE LIGHTING (BY OTHERS).
- DECOMPACT ACCESS ROUTES AND STAGING AREAS PRIOR TO PERMANENT STABILIZATION.
- INSTALL LANDSCAPING (BY OTHERS).
- PERFORM PERMANENT STABILIZATION FOR ALL VEGETATED AREAS.
- AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED (I.E. 70% GROWTH OVER VEGETATED AREAS), REMOVE TEMPORARY SEDIMENT CONTROLS.

### LEGEND

- |                       |                   |                             |                                      |
|-----------------------|-------------------|-----------------------------|--------------------------------------|
| AC UNIT               | FIRE HYDRANT      | SANITARY MANHOLE            | DRAINAGE PIPE - PROPOSED             |
| BUSH                  | GAS LINE MARKER   | STORM MANHOLE               | CONTOUR MAJOR - EXISTING             |
| CATCH BASIN ROUND     | GAS METER         | STUMP                       | CONTOUR MINOR - EXISTING             |
| CATCH BASIN SQUARE    | GAS SERVICE VALVE | DECIDUOUS TREE              | CURB - EXISTING                      |
| PIPE CLEAN OUT        | GAS VALVE         | TELEPHONE RISE/PEDESTAL/BOX | DRIVEWAY - EXISTING                  |
| CABLE TV              | LIGHT POLE        | EVERGREEN TREE              | EDGE OF PAVEMENT - EXISTING          |
| YARD DRAIN            | POST              | WATER METER                 | STEPS - EXISTING                     |
| GUY ANCHOR            | UNKNOWN OBJECT    | WATER MANHOLE               | SIDEWALK - EXISTING                  |
| ELECTRIC METER        | POWER POLE        | WATER SERVICE VALVE         | CONCRETE PAD - EXISTING              |
| ELECTRIC MANHOLE      | ROCK              | WATER GATE VALVE            | FENCE - EXISTING                     |
| ELECTRIC PULL BOX     | SIGN PUBLIC       | YARD LITE                   | UNDERGROUND ELECTRIC LINE - EXISTING |
| PAD MOUNT TRANSFORMER | SPRINKLER HEAD    | UNKNOWN MANHOLE             | GAS LINE - EXISTING                  |
|                       |                   |                             | SANITARY LINE - EXISTING             |
|                       |                   |                             | SANITARY EASEMENT - EXISTING         |
|                       |                   |                             | WATER SERVICE LINE - EXISTING        |
|                       |                   |                             | FLOWER BED - EXISTING                |
|                       |                   |                             | SHRUB LINE - EXISTING                |
|                       |                   |                             | TREE LINE - EXISTING                 |

### SURVEYOR NOTES:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

DATE OF FIELD WORK: 5-17-2021  
 EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

### BENCHMARKS:

AS PER THE TOPOGRAPHIC SURVEY PREPARED BY HULL & ASSOCIATES, THE CONTRACTOR AND/OR HIS SURVEYOR SHALL BE RESPONSIBLE TO CROSS CHECK ALL CONTROL FOR DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

CONTROL POINTS LISTED BELOW ARE SUITABLE FOR PROJECT BENCHMARKS.

### CONTROL POINTS

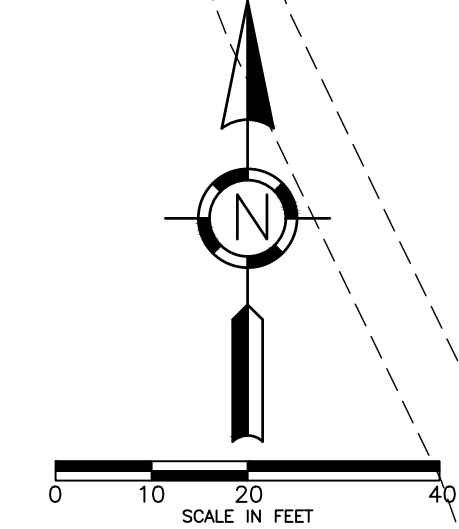
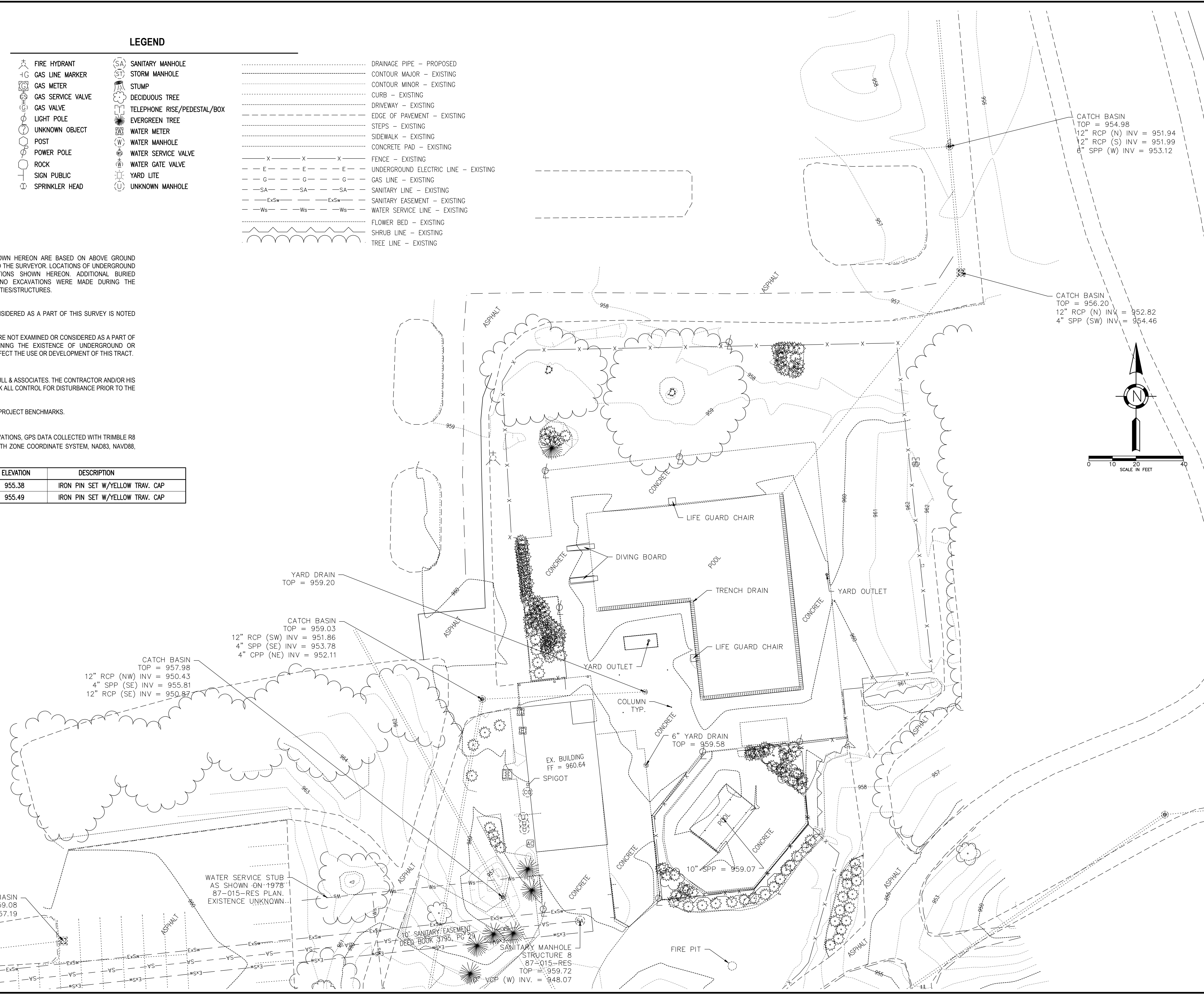
BASIS OF BEARING: TRUE NORTH, BASED ON OBSERVATIONS, GPS DATA COLLECTED WITH TRIMBLE R8 UNIT VRS CORRECTION ON OHIO STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD83, NAVD88, GEOID 12A.

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	780295.042	1785691.960	955.38	IRON PIN SET W/YELLOW TRAV. CAP
2	780062.425	1785935.752	955.49	IRON PIN SET W/YELLOW TRAV. CAP

FIRM COMMUNITY PANEL No.: 39049C0019K  
 FLOOD ZONE: X  
 EFFECTIVE DATE: 06/17/2008



F:\Clients\Active\CMV\CMV005\Design\Drawings\Sheets\Final Development Plan\CMV005\_Existing Conditions.dwg, HULL, Sheet 4, ekoch, Jun 18, 2021 - 2:56pm



Project Title:

## THE COUNTRY CLUB AT MUIRFIELD VILLAGE PHASE 2 SITE IMPROVEMENTS FRANKLIN COUNTY, DUBLIN, OHIO

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

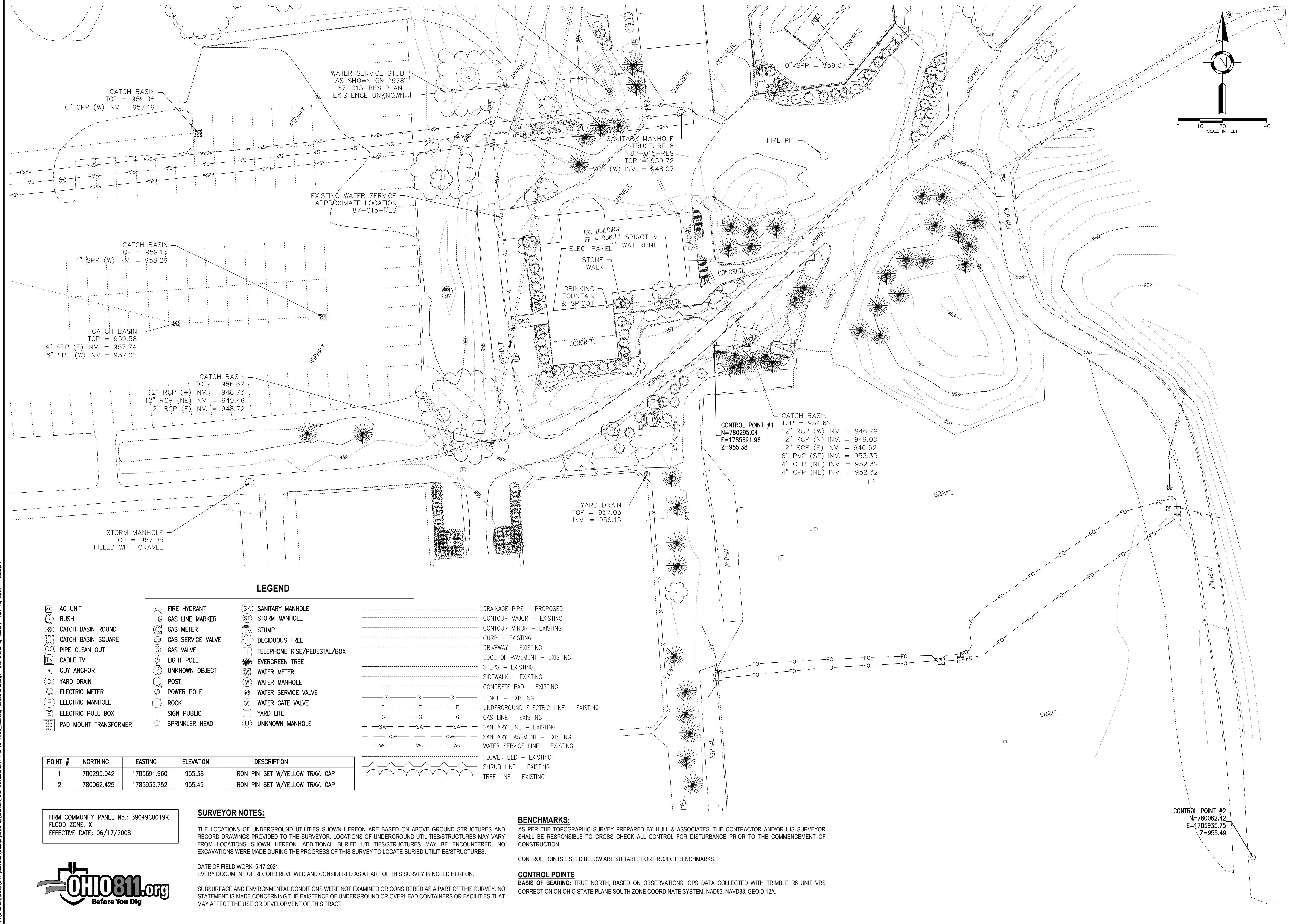
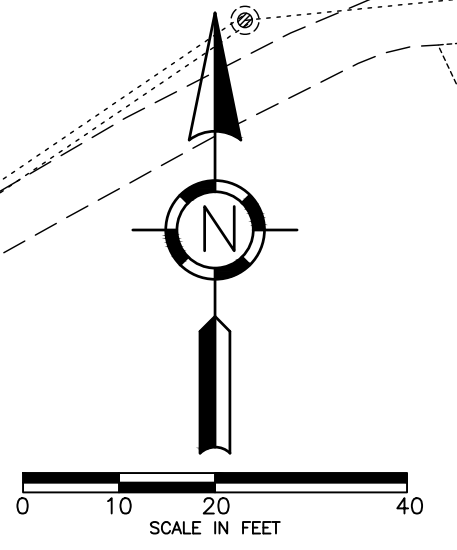
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Mark	Description	Date
FOR PERMIT		05/24/2021
FOR PERMIT		06/18/2021

Project No.:	CMV005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

### EXISTING CONDITIONS



**LEGEND**

AC UNIT	FIRE HYDRANT	SANITARY MANHOLE	DRAINAGE PIPE - PROPOSED
BUSH	GAS LINE MARKER	STORM MANHOLE	CONTOUR MAJOR - EXISTING
CATCH BASIN ROUND	GAS METER	STUMP	CONTOUR MINOR - EXISTING
CATCH BASIN SQUARE	GAS SERVICE VALVE	DECIDUOUS TREE	CURB - EXISTING
PIPE CLEAN OUT	GAS VALVE	TELEPHONE RISE/PEDESTAL/BOX	DRIVEWAY - EXISTING
CABLE TV	LIGHT POLE	EVERGREEN TREE	EDGE OF PAVEMENT - EXISTING
GUY ANCHOR	UNKNOWN OBJECT	WATER METER	STEPS - EXISTING
YARD DRAIN	POST	WATER MANHOLE	SIDEWALK - EXISTING
ELECTRIC METER	POWER POLE	WATER SERVICE VALVE	CONCRETE PAD - EXISTING
ELECTRIC MANHOLE	ROCK	WATER GATE VALVE	FENCE - EXISTING
ELECTRIC PULL BOX	SIGN PUBLIC	YARD LITE	UNDERGROUND ELECTRIC LINE - EXISTING
PAD MOUNT TRANSFORMER	SPRINKLER HEAD	UNKNOWN MANHOLE	GAS LINE - EXISTING
			SANITARY LINE - EXISTING
			SANITARY EASEMENT - EXISTING
			WATER SERVICE LINE - EXISTING
			FLOWER BED - EXISTING
			SHRUB LINE - EXISTING
			TREE LINE - EXISTING

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	780295.042	1785691.960	955.38	IRON PIN SET W/YELLOW TRAV. CAP
2	780062.425	1785935.752	955.49	IRON PIN SET W/YELLOW TRAV. CAP

FIRM COMMUNITY PANEL No.: 39049C0019K  
 FLOOD ZONE: X  
 EFFECTIVE DATE: 06/17/2008

**SURVEYOR NOTES:**

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

DATE OF FIELD WORK: 5-17-2021  
 EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

**BENCHMARKS:**

AS PER THE TOPOGRAPHIC SURVEY PREPARED BY HULL & ASSOCIATES. THE CONTRACTOR AND/OR HIS SURVEYOR SHALL BE RESPONSIBLE TO CROSS CHECK ALL CONTROL FOR DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

CONTROL POINTS LISTED BELOW ARE SUITABLE FOR PROJECT BENCHMARKS.

**CONTROL POINTS**

BASIS OF BEARING: TRUE NORTH, BASED ON OBSERVATIONS, GPS DATA COLLECTED WITH TRIMBLE R8 UNIT VRS CORRECTION ON OHIO STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD83, NAVD88, GEOID 12A.

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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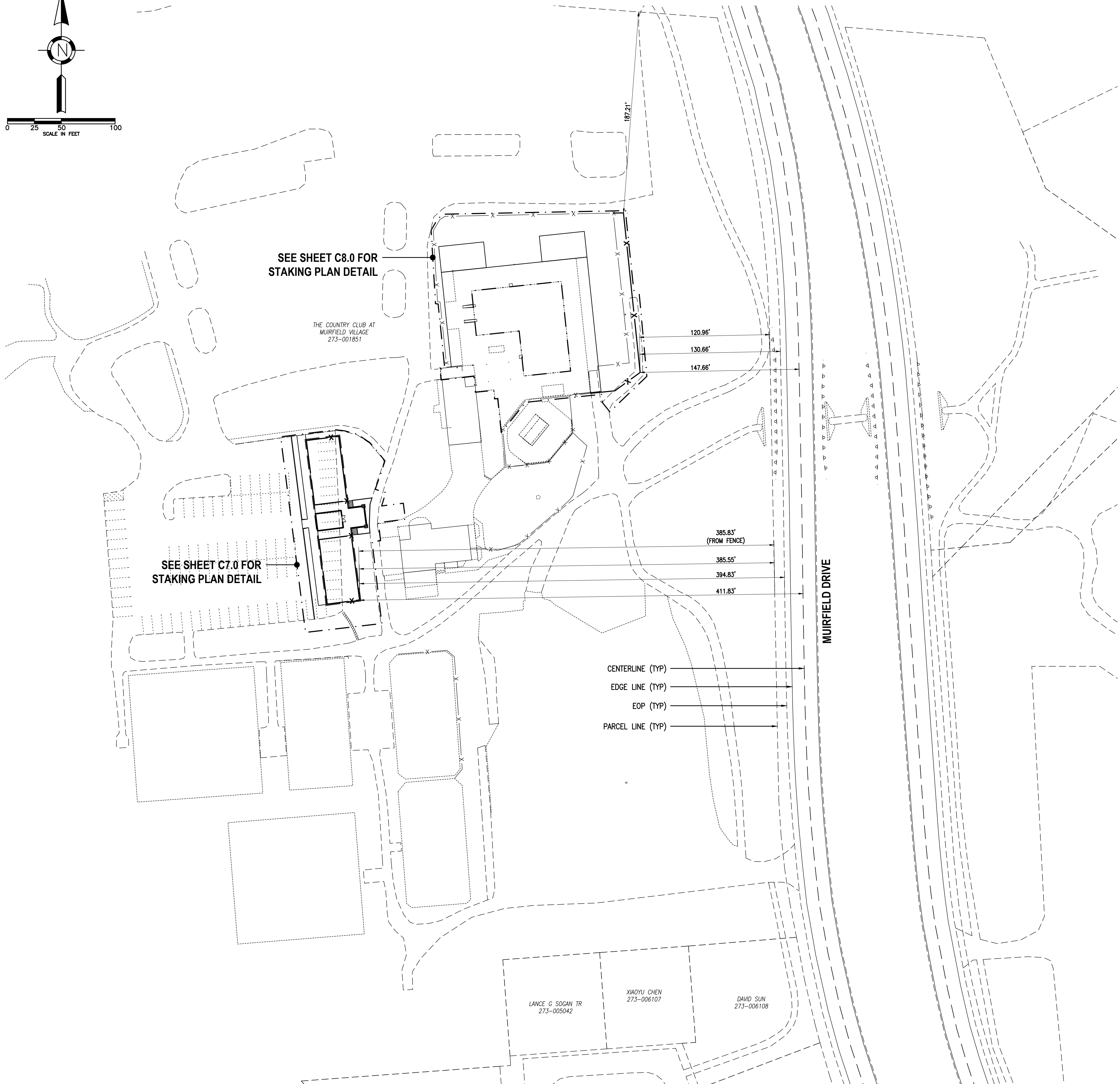
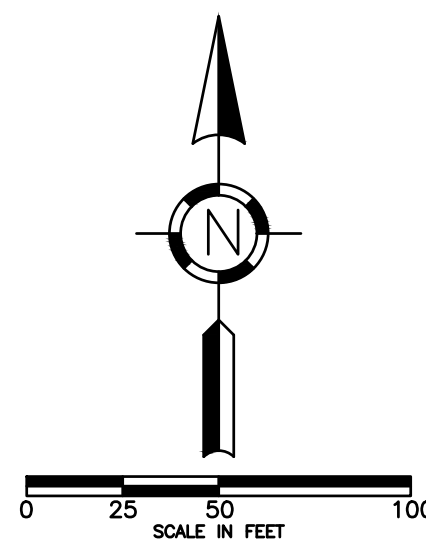
Mark	Description	Date
FOR PERMIT		05/24/2021
FOR PERMIT		06/18/2021

Project No.:	CM005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

**EXISTING CONDITIONS**

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TCCMV PARKING COUNT	
EXISTING CLUBHOUSE PARKING	188
EXISTING TENNIS PARKING	92
TOTAL EXISTING PARKING	280
PARKING ELIMINATED - PLATFORM TENNIS COURTS	19
PARKING ELIMINATED - DRIVE AISLE	10
TOTAL PARKING ELIMINATED	29
TOTAL PROPOSED PARKING	251

POOL EXPANSION			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS - CONCRETE	9762 SQ.FT.	13743 SQ.FT.	3981 SQ.FT.
IMPERVIOUS - ASPHALT	1053 SQ.FT.	0 SQ.FT.	-1053 SQ.FT.
PERVIOUS - VEGETATIVE	15633 SQ.FT.	12705 SQ.FT.	-2928 SQ.FT.
TOTAL	26448 SQ.FT.	26448 SQ.FT.	

PLATFORM TENNIS			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS - ASPHALT	8050 SQ.FT.	2505 SQ.FT.	-5545 SQ.FT.
IMPERVIOUS - CONCRETE	0 SQ.FT.	1605 SQ.FT.	1605 SQ.FT.
IMPERVIOUS - ROOF	0 SQ.FT.	384 SQ.FT.	384 SQ.FT.
PERVIOUS - VEGETATIVE	6664 SQ.FT.	5618 SQ.FT.	-1046 SQ.FT.
PERVIOUS - GRAVEL	0 SQ.FT.	4602 SQ.FT.	4602 SQ.FT.
TOTAL	14714 SQ.FT.	14714 SQ.FT.	

CUMULATIVE PROJECT SUMMARY			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS	18865 SQ.FT.	18237 SQ.FT.	-628 SQ.FT.
PERVIOUS	22297 SQ.FT.	22925 SQ.FT.	628 SQ.FT.
TOTAL	41162 SQ.FT.	41162 SQ.FT.	

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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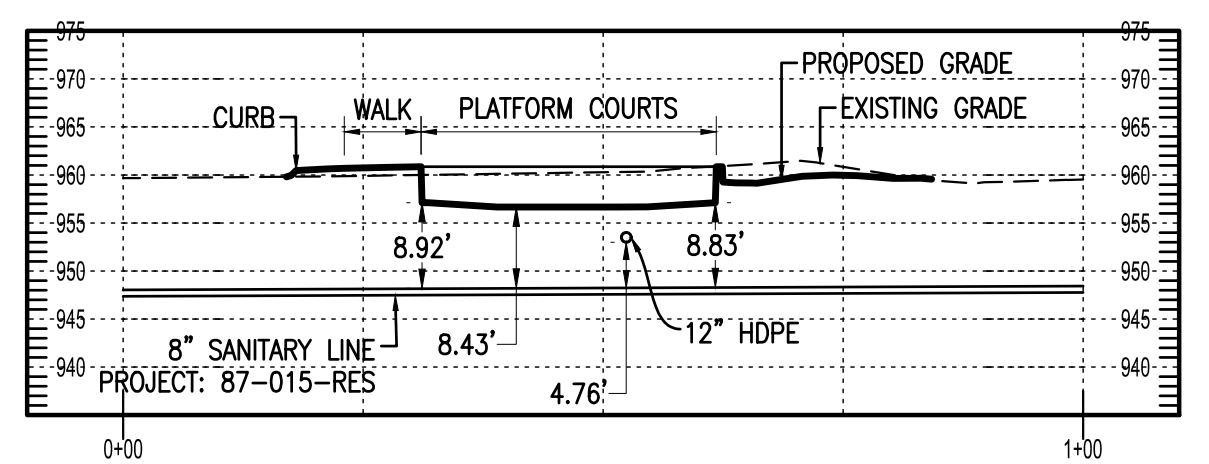
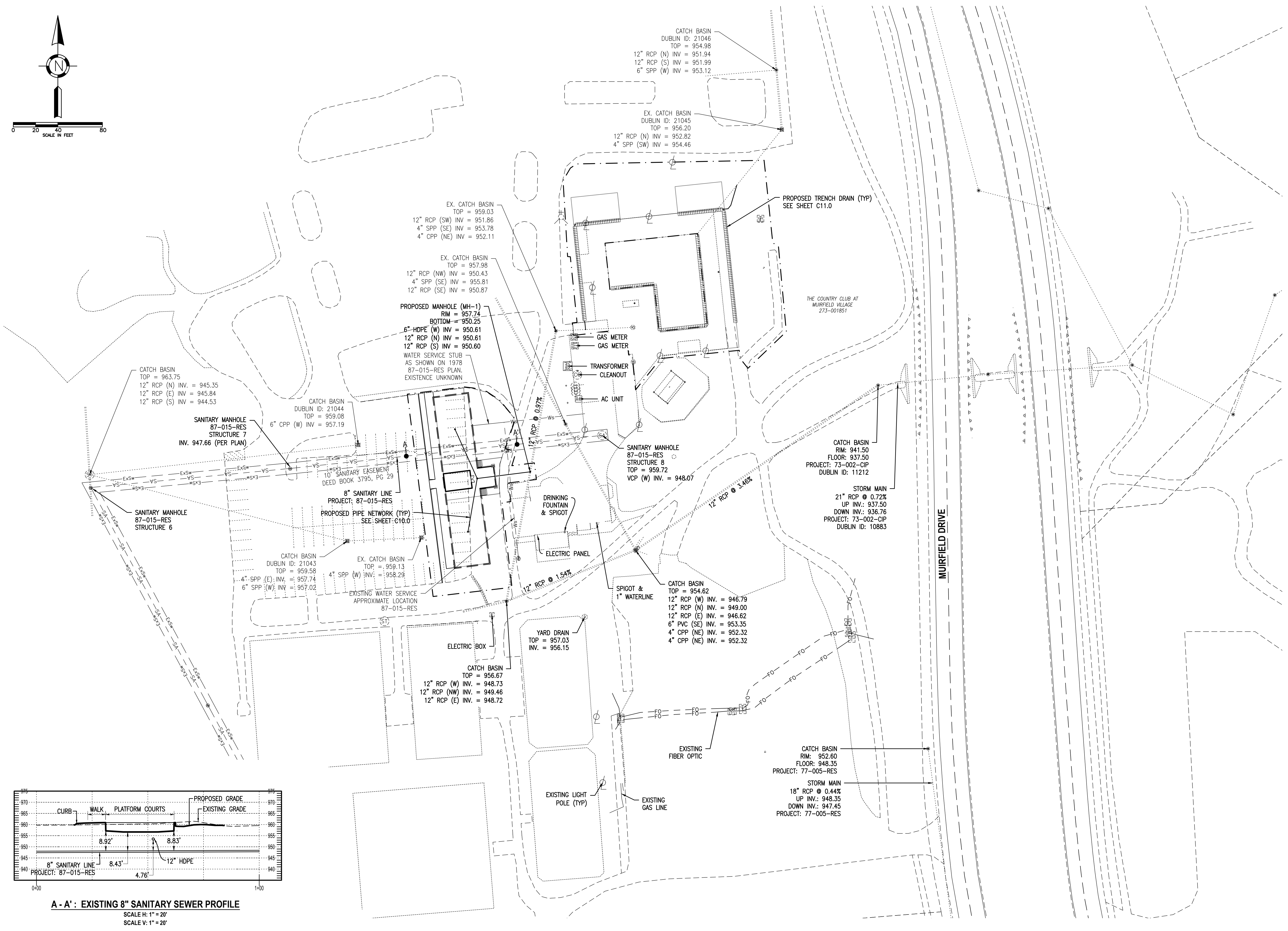
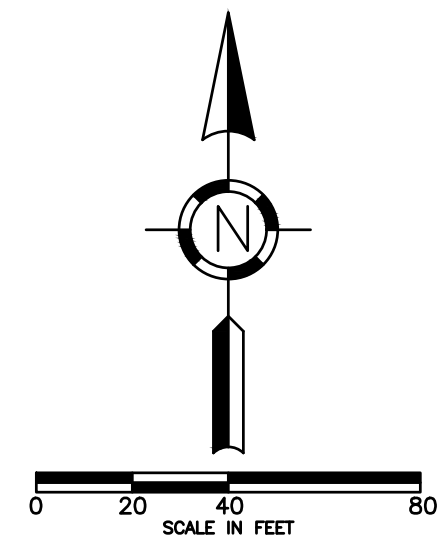
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Mark	Description	Date
	FOR PERMIT	05/24/2021
	FOR PERMIT	06/18/2021

Project No.:	CMV005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

**OVERALL  
 STAKING PLAN**

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**A - A' : EXISTING 8" SANITARY SEWER PROFILE**  
 SCALE H: 1" = 20'  
 SCALE V: 1" = 20'

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:  
  
**THE COUNTRY CLUB  
 MUIRFIELD VILLAGE**  
 8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

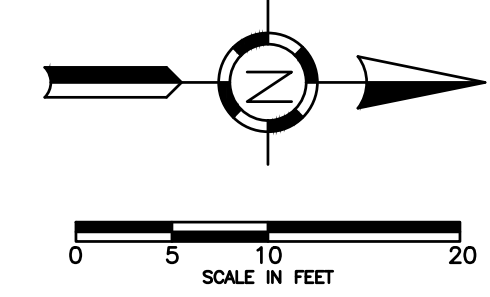
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Mark	Description	Date
	FOR PERMIT	05/24/2021
	FOR PERMIT	06/18/2021

Project No.: CM005  
 Plot Date: 06/18/2021  
 Layout By: EJK  
 Drawn By: AET  
 Check By: EJK  
 Scale: AS NOTED  
 Issue Date: JUNE 2021  
 Sheet Title:

**UTILITY PLAN**

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POOL EXPANSION			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS - CONCRETE	9762 SQ.FT.	13743 SQ.FT.	3981 SQ.FT.
IMPERVIOUS - ASPHALT	1053 SQ.FT.	0 SQ.FT.	-1053 SQ.FT.
PERVIOUS - VEGETATIVE	15633 SQ.FT.	12705 SQ.FT.	-2928 SQ.FT.
TOTAL	26448 SQ.FT.	26448 SQ.FT.	

PLATFORM TENNIS			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS - ASPHALT	8050 SQ.FT.	2505 SQ.FT.	-5545 SQ.FT.
IMPERVIOUS - CONCRETE	0 SQ.FT.	1605 SQ.FT.	1605 SQ.FT.
IMPERVIOUS - ROOF	0 SQ.FT.	384 SQ.FT.	384 SQ.FT.
PERVIOUS - VEGETATIVE	6664 SQ.FT.	5618 SQ.FT.	-1046 SQ.FT.
PERVIOUS - GRAVEL	0 SQ.FT.	4602 SQ.FT.	4602 SQ.FT.
TOTAL	14714 SQ.FT.	14714 SQ.FT.	

CUMULATIVE PROJECT SUMMARY			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS	18865 SQ.FT.	18237 SQ.FT.	-628 SQ.FT.
PERVIOUS	22297 SQ.FT.	22925 SQ.FT.	628 SQ.FT.
TOTAL	41162 SQ.FT.	41162 SQ.FT.	

### LEGEND

- ASPHALT PAVEMENT (P1)
- CONCRETE PAVEMENT (P2)
- POROUS AGGREGATE (P3)
- CONCRETE SIDEWALK (P4)
- STRAIGHT 18" CURB (P5)
- WARMING HUT
- IMPERVIOUS AREA RESTORATION
- RETAINING WALL
- PROJECT AREA
- PROPOSED FENCE
- PARKING STRIPING TO BE REMOVED
- ELIMINATED PARKING COUNT
- EX. EDGE OF PAVEMENT
- EX. PARKING STRIPING

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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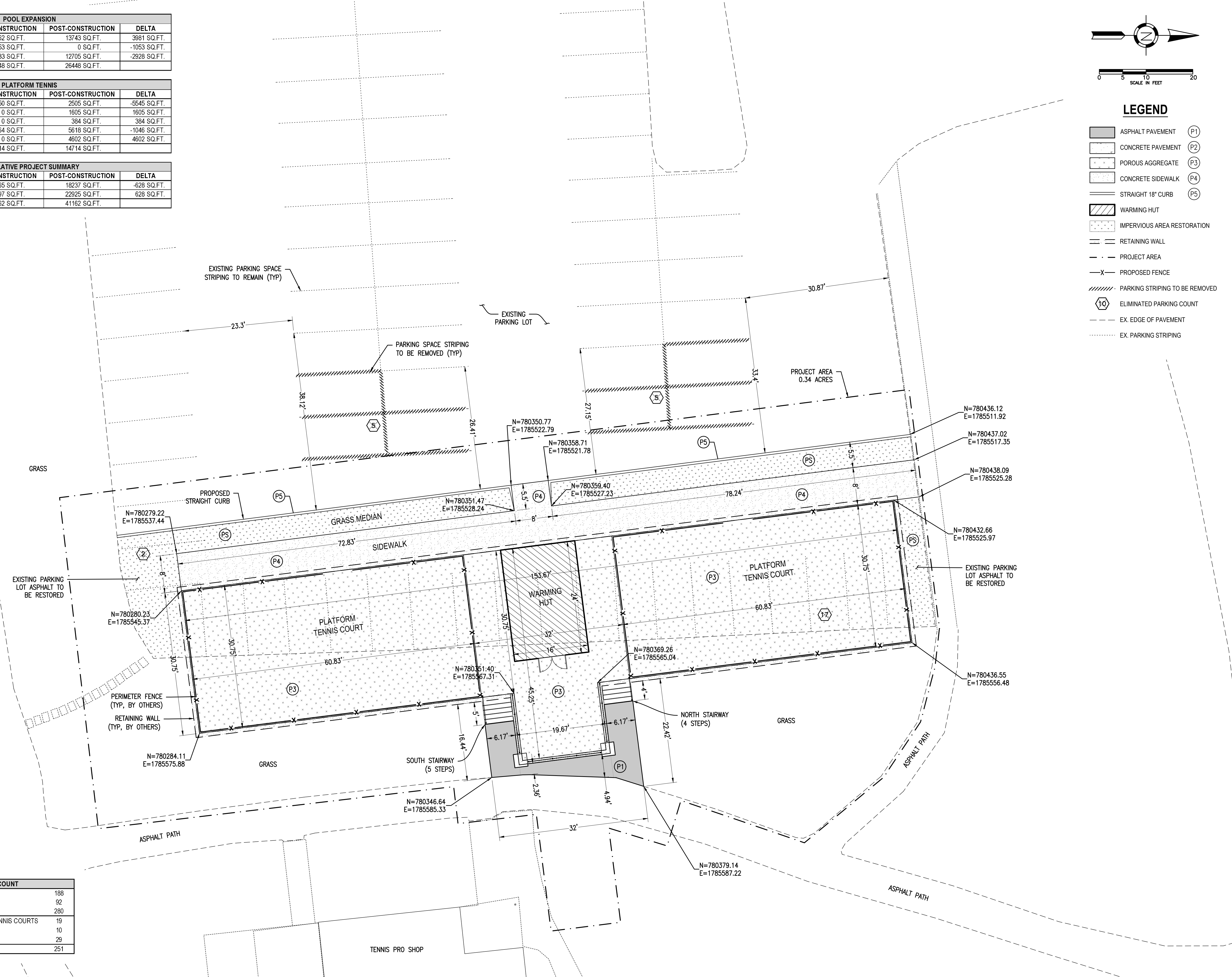
Mark	Description	Date
	FOR PERMIT	05/24/2021
	FOR PERMIT	06/18/2021

Project No.:	CM005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

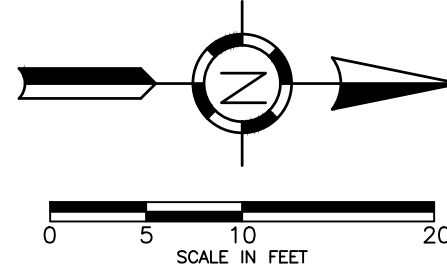
**PLATFORM TENNIS  
 STAKING PLAN**

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TCCMV PARKING COUNT	
EXISTING CLUBHOUSE PARKING	188
EXISTING TENNIS PARKING	92
TOTAL EXISTING PARKING	280
PARKING ELIMINATED - PLATFORM TENNIS COURTS	19
PARKING ELIMINATED - DRIVE AISLE	10
TOTAL PARKING ELIMINATED	29
TOTAL PROPOSED PARKING	251







**LEGEND**

- ASPHALT PAVEMENT (P1)
- CONCRETE PAVEMENT (P2)
- POROUS AGGREGATE (P3)
- CONCRETE SIDEWALK (P4)
- STRAIGHT 18" CURB (P5)
- WARMING HUT
- IMPERVIOUS AREA RESTORATION
- RETAINING WALL
- PROJECT AREA
- PROPOSED FENCE
- PARKING STRIPING TO BE REMOVED
- EXISTING EDGE OF PAVEMENT
- EXISTING PARKING STRIPING
- TOP: 960.86 TOP OF RETAINING WALL SPOT ELEV.
- BOT: 957.11 BOTTOM OF RETAINING WALL SPOT ELEV.
- PROPOSED STORM SEWER
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PLATFORM TENNIS COURT STRIPING

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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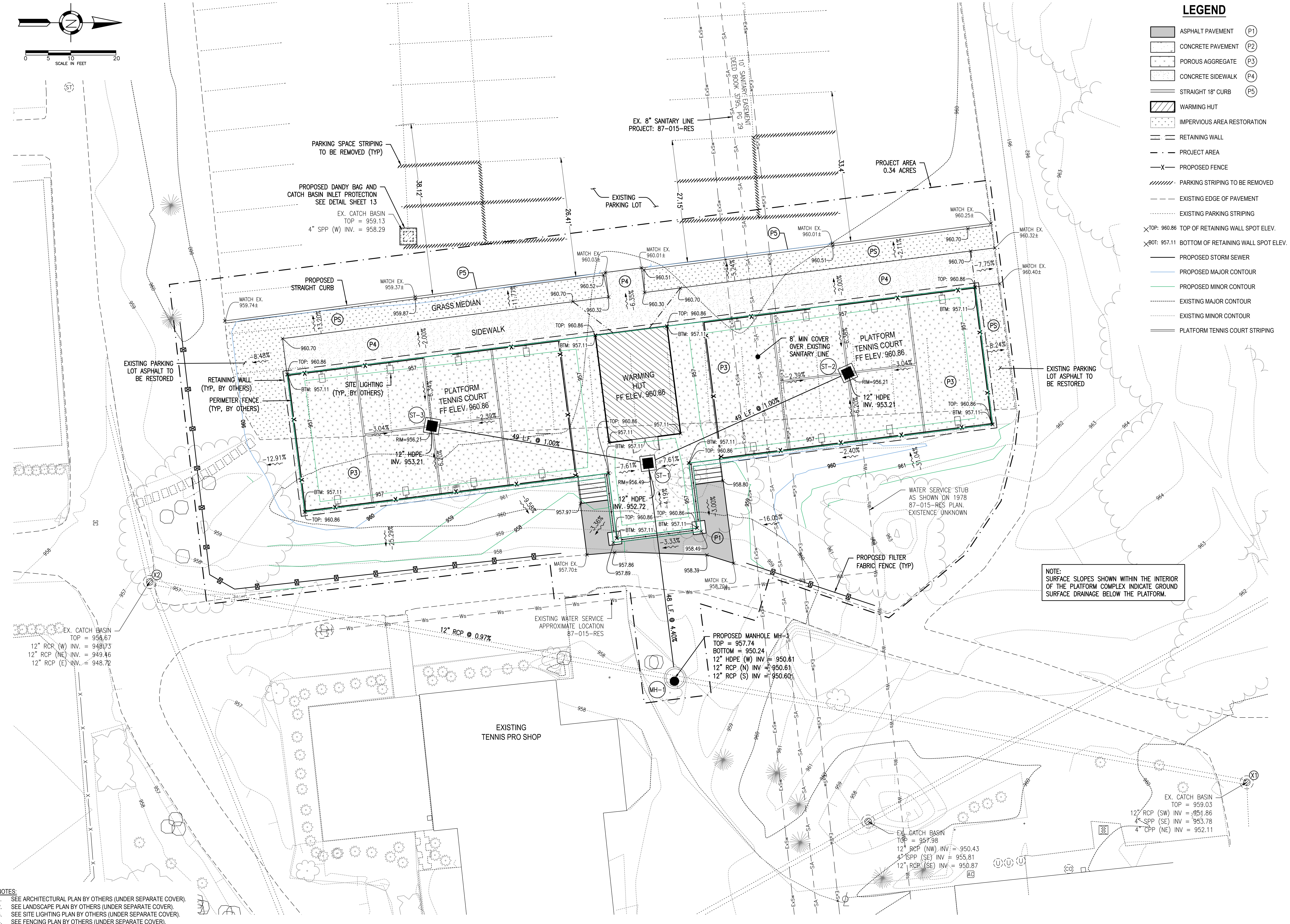
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Mark	Description	Date
FOR PERMIT		05/24/2021
FOR PERMIT		06/18/2021

Project No.:	CM005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

**PLATFORM TENNIS  
 GRADING PLAN**



NOTE: SURFACE SLOPES SHOWN WITHIN THE INTERIOR OF THE PLATFORM COMPLEX INDICATE GROUND SURFACE DRAINAGE BELOW THE PLATFORM.

EX. CATCH BASIN  
 TOP = 958.67  
 12" RCP (W) INV. = 948.73  
 12" RCP (NE) INV. = 949.46  
 12" RCP (E) INV. = 948.72

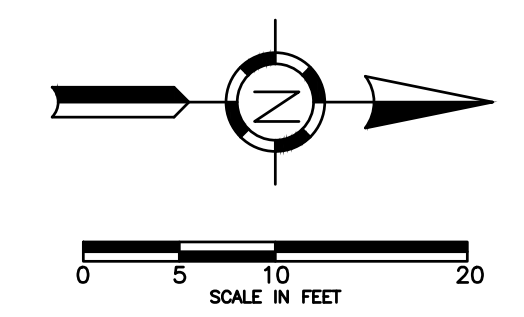
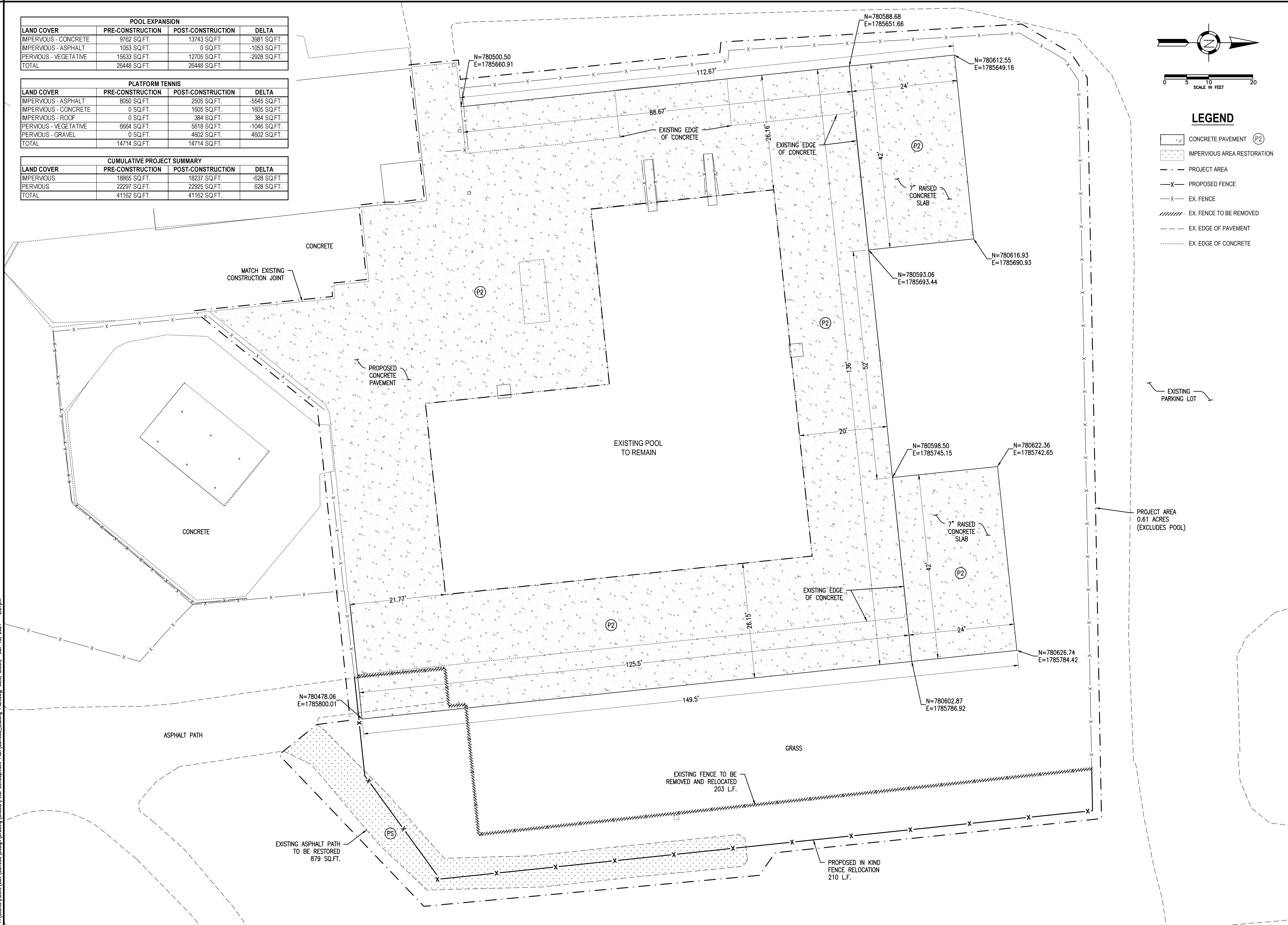
- NOTES:**
- SEE ARCHITECTURAL PLAN BY OTHERS (UNDER SEPARATE COVER).
  - SEE LANDSCAPE PLAN BY OTHERS (UNDER SEPARATE COVER).
  - SEE SITE LIGHTING PLAN BY OTHERS (UNDER SEPARATE COVER).
  - SEE FENCING PLAN BY OTHERS (UNDER SEPARATE COVER).

F:\Clients\Active\CMV\CM005\Design\Drawings\Sheets\Final Development Plan\CM005\_Grading Plan.dwg, C8.0, ekoct, Jun 18, 2021 - 2:58pm

POOL EXPANSION			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS - CONCRETE	9762 SQ.FT.	13743 SQ.FT.	3981 SQ.FT.
IMPERVIOUS - ASPHALT	1053 SQ.FT.	0 SQ.FT.	-1053 SQ.FT.
PERVIOUS - VEGETATIVE	15633 SQ.FT.	12705 SQ.FT.	-2928 SQ.FT.
TOTAL	26448 SQ.FT.	26448 SQ.FT.	

PLATFORM TENNIS			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS - ASPHALT	8050 SQ.FT.	2505 SQ.FT.	-5545 SQ.FT.
IMPERVIOUS - CONCRETE	0 SQ.FT.	1605 SQ.FT.	1605 SQ.FT.
IMPERVIOUS - ROOF	0 SQ.FT.	384 SQ.FT.	384 SQ.FT.
PERVIOUS - VEGETATIVE	6664 SQ.FT.	5618 SQ.FT.	-1046 SQ.FT.
PERVIOUS - GRAVEL	0 SQ.FT.	4602 SQ.FT.	4602 SQ.FT.
TOTAL	14714 SQ.FT.	14714 SQ.FT.	

CUMULATIVE PROJECT SUMMARY			
LAND COVER	PRE-CONSTRUCTION	POST-CONSTRUCTION	DELTA
IMPERVIOUS	18865 SQ.FT.	18237 SQ.FT.	-628 SQ.FT.
PERVIOUS	22297 SQ.FT.	22925 SQ.FT.	628 SQ.FT.
TOTAL	41162 SQ.FT.	41162 SQ.FT.	



**LEGEND**

- CONCRETE PAVEMENT (P2)
- IMPERVIOUS AREA RESTORATION
- PROJECT AREA
- PROPOSED FENCE
- EX. FENCE
- EX. FENCE TO BE REMOVED
- EX. EDGE OF PAVEMENT
- EX. EDGE OF CONCRETE

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
PHASE 2 SITE IMPROVEMENTS  
FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
DUBLIN, OH 43017

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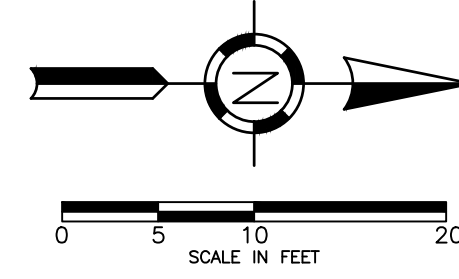
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Mark	Description	Date
FOR PERMIT		05/24/2021
FOR PERMIT		06/18/2021

Project No.:	CM005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

**AQUATICS  
STAKING PLAN**

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**LEGEND**

- CONCRETE PAVEMENT (P2)
- IMPERVIOUS AREA RESTORATION
- PROJECT AREA
- PROPOSED FENCE
- EX. FENCE
- EX. FENCE TO BE REMOVED
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF CONCRETE
- PROPOSED STORM SEWER
- PROPOSED TRENCH DRAIN
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
PHASE 2 SITE IMPROVEMENTS  
FRANKLIN COUNTY, DUBLIN, OHIO**



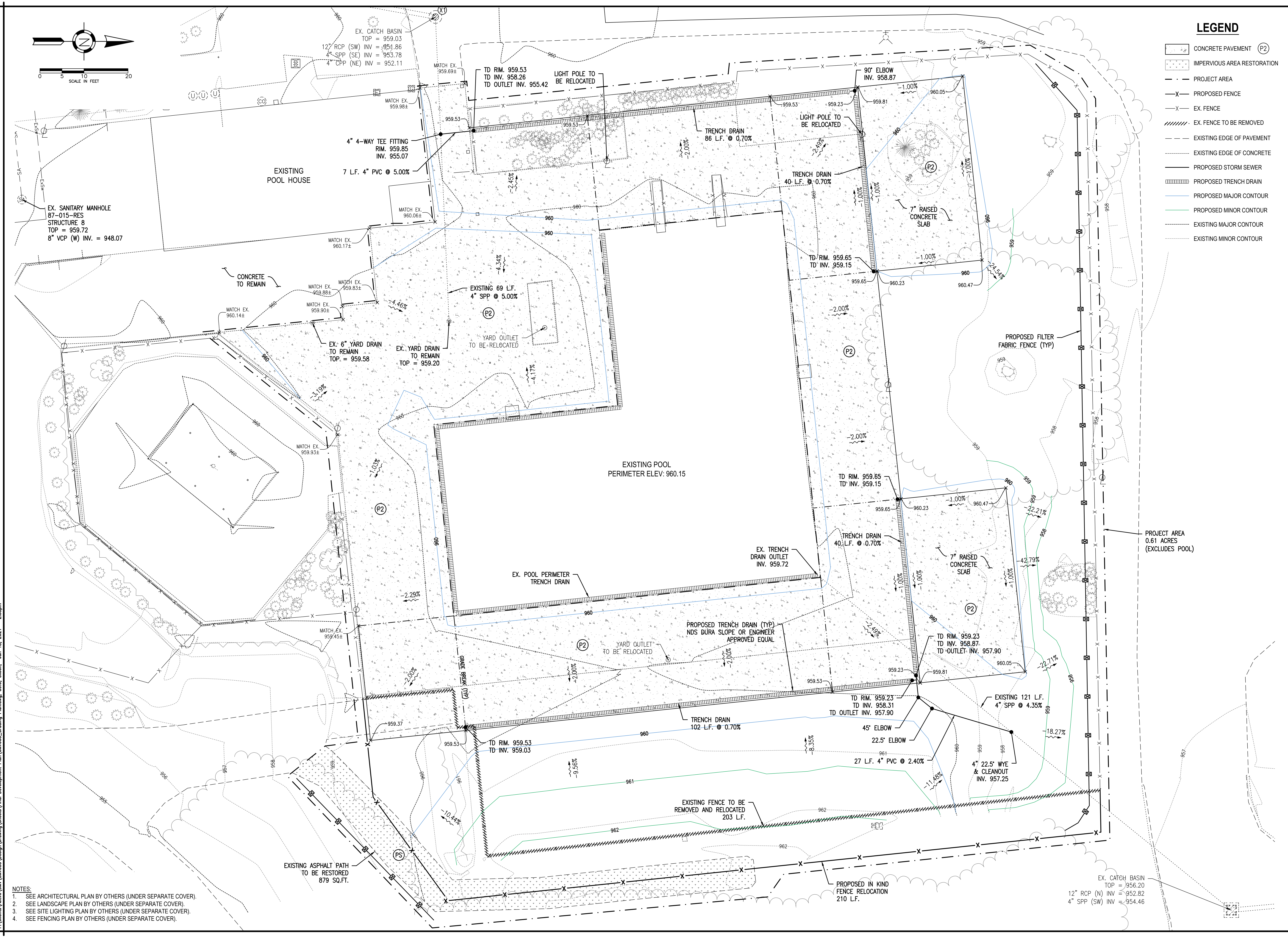
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Mark	Description	Date
FOR PERMIT		05/24/2021
FOR PERMIT		06/18/2021

Project No.:	CM005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

**AQUATICS  
GRADING PLAN**



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- NOTES:**
- SEE ARCHITECTURAL PLAN BY OTHERS (UNDER SEPARATE COVER).
  - SEE LANDSCAPE PLAN BY OTHERS (UNDER SEPARATE COVER).
  - SEE SITE LIGHTING PLAN BY OTHERS (UNDER SEPARATE COVER).
  - SEE FENCING PLAN BY OTHERS (UNDER SEPARATE COVER).

EX. CATCH BASIN  
TOP = 956.20  
12" RCP (N) INV = 952.82  
4" SPP (SW) INV = 954.46



Mark	Description	Date
FOR PERMIT		05/24/2021

Project No.:	CM005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

SEED MIX	SEEDING RATE		NOTES:
	LBS AC	LBS. 1,000 SF.	
<b>GENERAL USE</b>			
Creeping Red Fescue	20-40	$\frac{1}{2}$ - 1	FOR CLOSE MOWING & WATERWAYS W/ <2 FT/SEC
Domestic Ryegrass	10-20	$\frac{1}{4}$ - $\frac{1}{2}$	
Kentucky Bluegrass	20-40	$\frac{1}{2}$ - 1	
Tall Fescue	40-50	1 - $1\frac{1}{4}$	
Turf-type (dwarf) Fescue	90	$2\frac{1}{4}$	
<b>STEEP BANKS OR CUT SLOPES</b>			
Tall Fescue	40-50	1 - $1\frac{1}{4}$	
Tall Fescue	20-30	$\frac{1}{2}$ - $\frac{3}{4}$	Do not seed later than August
Flat Pea	20-25	$\frac{1}{2}$ - $\frac{3}{4}$	Do not seed later than August
Tall Fescue	20-30	$\frac{1}{2}$ - $\frac{3}{4}$	
<b>ROAD DITCHES AND SWALES</b>			
Tall Fescue	40-50	1 - $1\frac{1}{4}$	
Turf-type (dwarf) Fescue	90	$2\frac{1}{4}$	
Kentucky Bluegrass	5	0.1	
<b>LAWNS</b>			
Kentucky Bluegrass	100-120	2	
Perennial Ryegrass	100-120	2	
Kentucky Bluegrass	100-120	2	For shaded areas.
Creeping Red Fescue		$1\frac{1}{2}$	

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

**SITE PREPARATION:**

- SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

**SEEDBED PREPARATION:**

- LIME-AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000-SQ. FT. OR 2 TONS PER ACRE.
- FERTILIZER-FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN PLACE OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 POUNDS PER 1,000-SQ. FT. OR 1000 POUNDS PER ACRE OF A 10-10-10 OR 12-12-12 ANALYSES.

- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

**SEEDING DATES AND SOIL CONDITIONS:**

- SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.
- PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL BUT NO LATER THAN 48 HOURS AFTER FINAL GRADING. THIS INCLUDES SOD OR OTHER METHODS OF RETAINING SEEDING MATERIAL PRIOR TO MATURATION IN THE LOWER  $\frac{1}{2}$  OF ANY DRAINAGE DITCHES.
- LAND WHICH HAS BEEN CLEARED FOR DEVELOPMENT, AND UPON WHICH CONSTRUCTION HAS NOT COMMENCED WITHIN FOURTEEN (14) DAYS OF THIS INITIAL CLEARING SHALL BE PROTECTED FROM EROSION AND CONSEQUENT SEDIMENTATION BY APPROPRIATE VEGETATION AND LAND COVERING TECHNIQUES SUCH AS SEEDING, SODDING, MULCHING GROUND COVER INSTALLATION OR OTHER VEGETATION OR EARTH COVERING TECHNIQUES.

**DORMANT SEEDINGS:**

- SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER. THE FOLLOWING METHODS MAY BE USED FOR 'DORMANT SEEDING':
- FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED.
- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

**MULCHING:**

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE HYDROSEEDED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
- MATERIALS
  - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
  - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
- MULCH ANCHORING METHODS
  - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
  - WOOD CELLULOSE FIBER-WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

**IRRIGATION:**

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH. IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDED AREAS FROM EXCESSIVE RUNOFF.

**PS PERMANENT SEEDING**

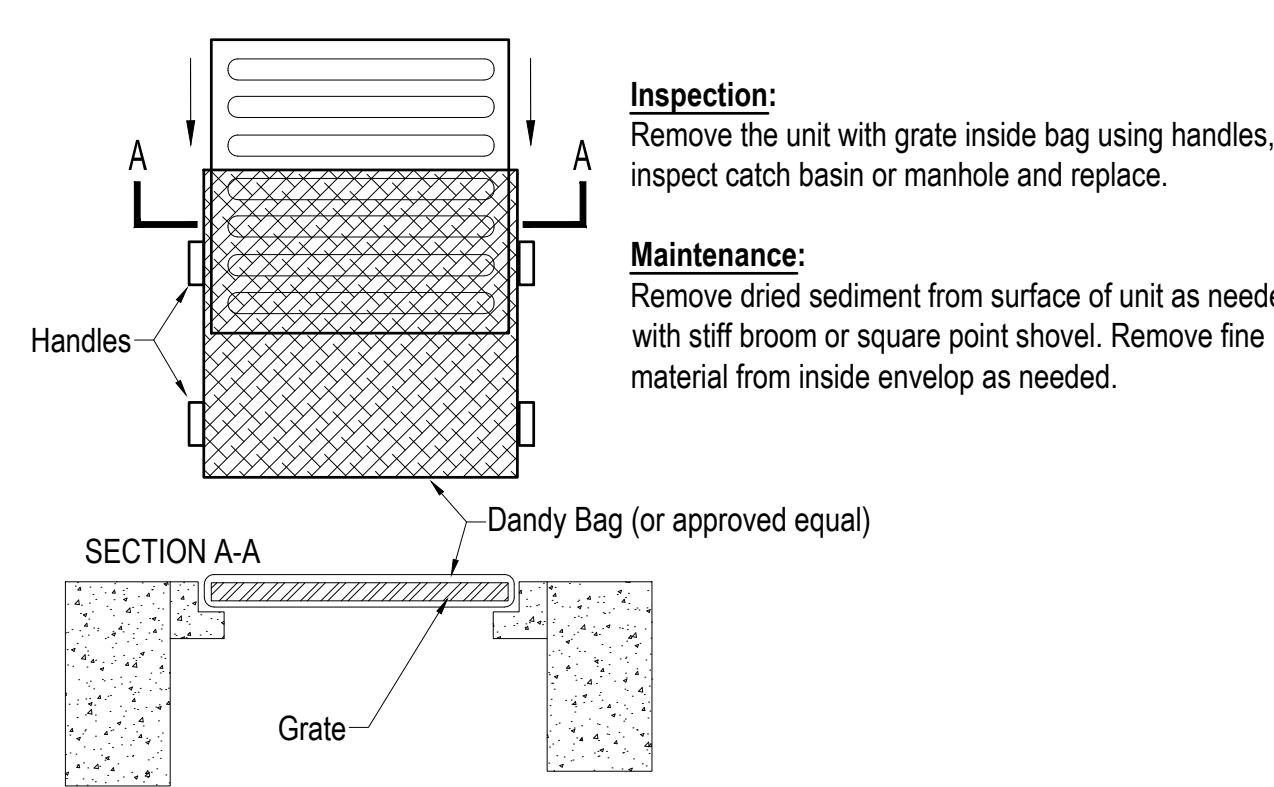
SEEDING DATES	SPECIES	Lb./ 1000 ft <sup>2</sup>	Lb. / Acre
March 1 to August 15	Oats	3	128 (4 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1.25	55
August 16 to November	Perennial Ryegrass	3.25	142
	Creeping Red Fescue	0.4	17
	Kentucky Bluegrass	0.4	17
	Oats	3	128 (3 bushel)
	Tall Fescue	1	40
	Annual ryegrass	1	40
	Rye	3	112 (2 bushel)
November 1 to Feb. 29	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Wheat	3	120 (2 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Rye	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Annual Ryegrass	1.25	40
	Perennial Ryegrass	3.25	40
Creeping Red Fescue	0.4	40	
Kentucky Bluegrass	0.4	40	

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

**MULCHING TEMPORARY SEEDING:**

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH, WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE, VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT. THESE MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF INITIAL DISTURBANCE. CRITICAL AREAS, AS THEY PERTAIN TO EROSION CONTROL MEASURES, ARE DEFINED IN APPENDIX XIV BY THE LICKING COUNTY ENGINEER OR LICKING COUNTY SOIL AND WATER CONSERVATION SERVICE.
- MATERIALS:
  - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LBS./ AC. OR 46 LB./ 1,000-SQ.-FT.
  - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
    - WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WT. OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. / 100 GAL.

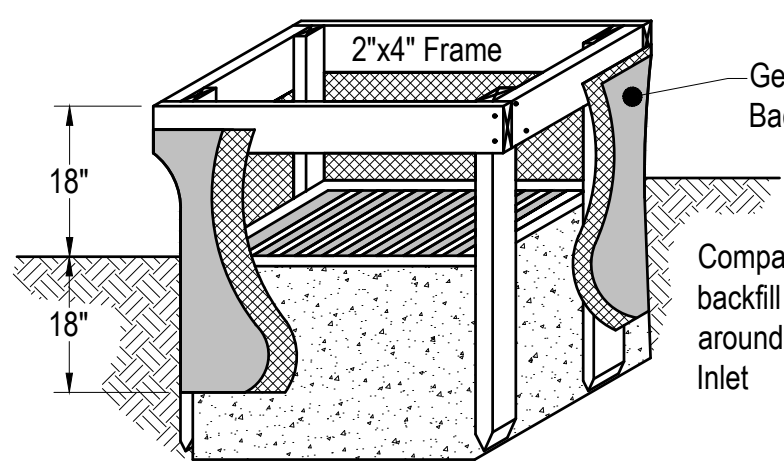
**TS TEMPORARY SEEDING**



**Inspection:**  
Remove the unit with grate inside bag using handles, inspect catch basin or manhole and replace.

**Maintenance:**  
Remove dried sediment from surface of unit as needed with stiff broom or square point shovel. Remove fine material from inside envelop as needed.

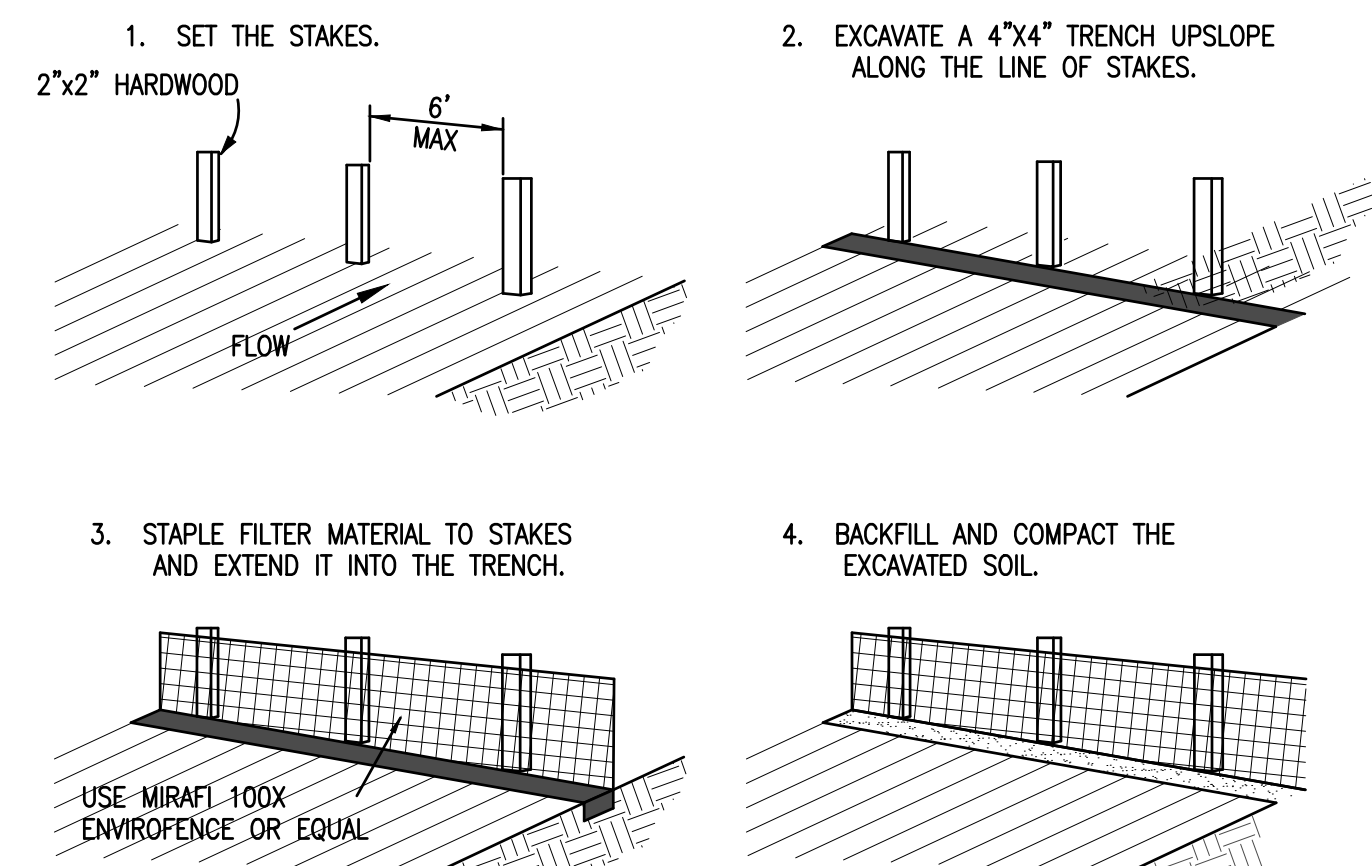
**DB DANDY BAG** (Not to Scale)



- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- The earth around the inlet shall be excavated completely to a depth at least 18 inches.

- The wooden frame shall be constructed of 2-inch by 4-inch construction grade lumber. The 2-inch by 4-inch posts shall be driven one (1) ft. into the ground at four corners of the inlet and the top portion of 2-inch by 4-inch frame assembled using the overlap joint shown. The top of the frame shall be at least 6 inches below adjacent roads if ponded water will pose a safety hazard to traffic.
- Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- Geotextile material shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 inches below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6-inch layers until the earth is even with notch elevation on ends and top elevation on sides.
- A compacted earth dike or check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression. The top of the dike shall be at least 6 inches higher than the top of the frame.

**IP GEOTEXTILE INLET PROTECTION** (Rainwater and Land Development rev.6-24-09)



**SF PERIMETER FILTER FABRIC FENCE** NOT TO SCALE

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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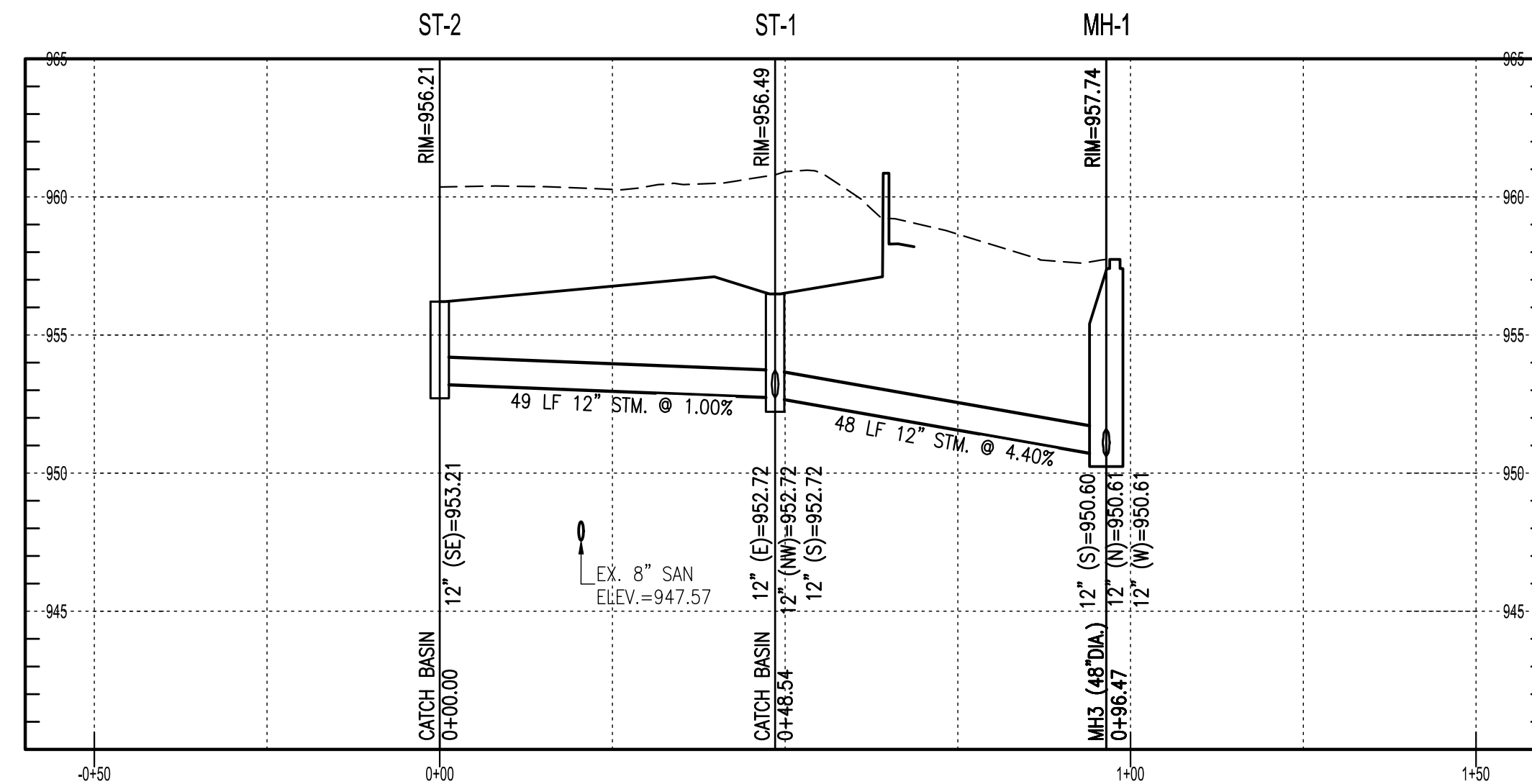
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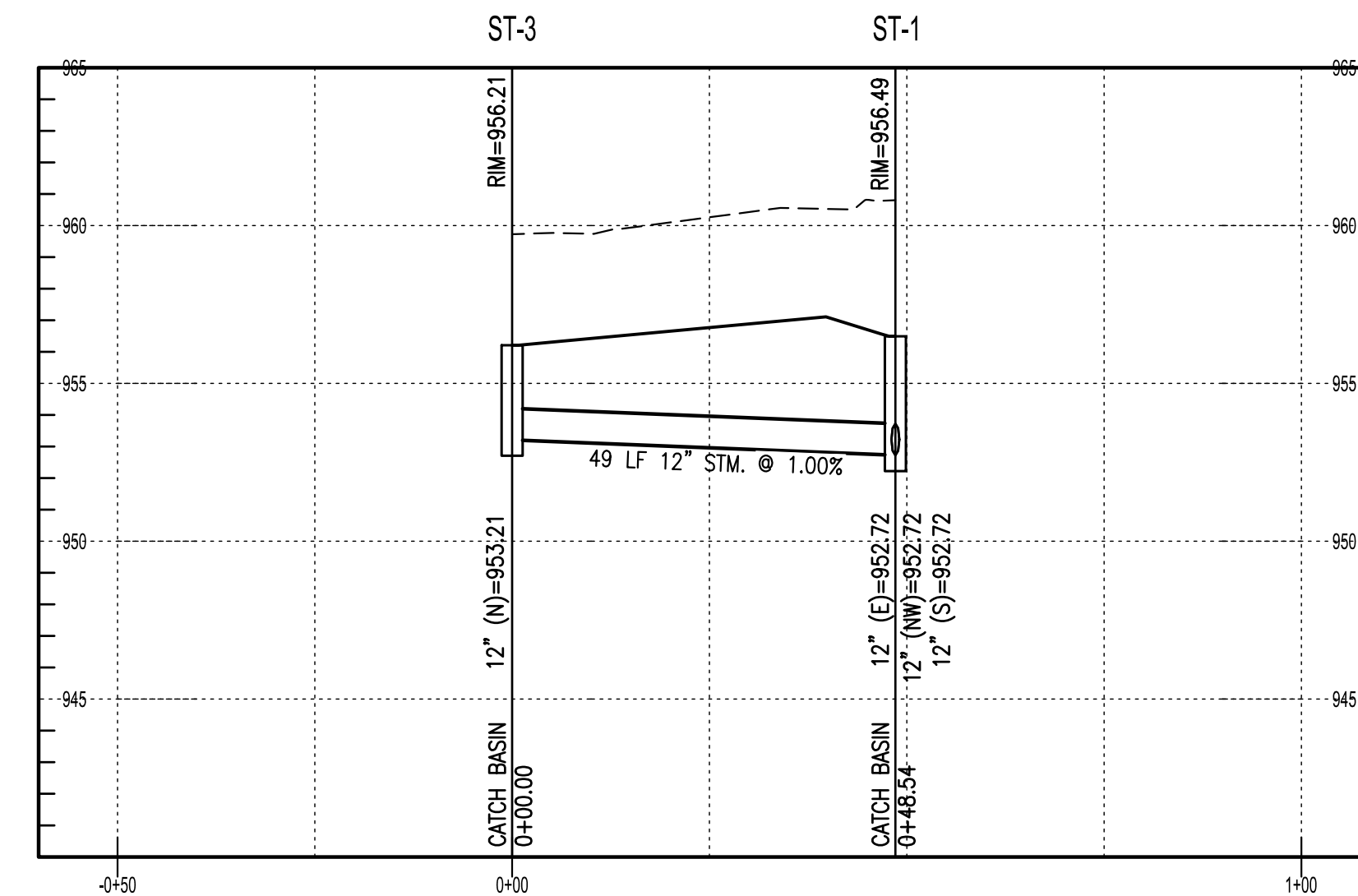
Mark	Description	Date
	FOR PERMIT	05/24/2021
	FOR PERMIT	06/18/2021

Project No.:	CM005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

**DRAINAGE  
 PROFILES**



**DRAINAGE PROFILE ST-2 TO MH-1**  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=5'



**DRAINAGE PROFILE ST-3 TO ST-1**  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=5'



# TCCMV-Masterplan Updates - Phase 2

**Design Collective**

<p><b>OWNER</b></p> <p><b>Country Club at Muirfield Village</b> 8715 Muirfield Drive Dublin, OH 43017 Tel: (614) 764-1714 Contact: Domenick Mancini E: dmancini@tccmv.com</p>	<p><b>ARCHITECT</b></p> <p><b>Design Collective Architecture</b> 151 East Nationwide Blvd. Columbus, OH 43215 Tel: (614) 464-2880 Contact: Matt Toddy E: mtoddy@dcollective.com</p>	<p><b>GENERAL CONTRACTOR</b></p> <p><b>Shaffer Construction</b> 3675 Trabue Road Columbus, OH 43228 Tel: (614) 402-2122 Contact: Greg Callaghan E: greg@shafferconstruction.com</p>	<p><b>CIVIL</b></p> <p><b>Hull &amp; Associates</b> 6397 Emerald Parkway, Suite 200 Dublin, OH 43016 Tel: (614) 793-8777 Contact: Eric Koch E: ekoch@hullinc.com</p>
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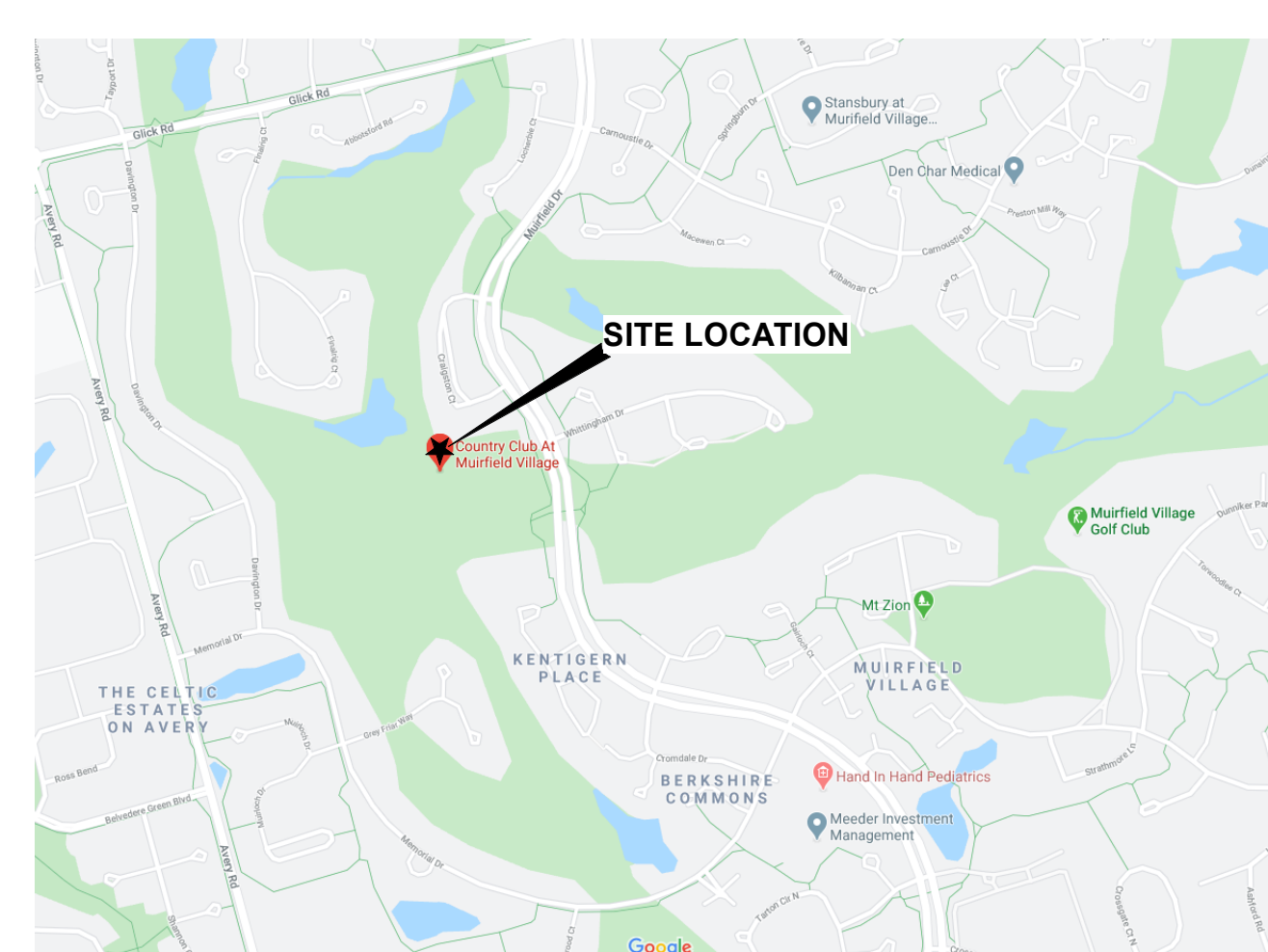
**GENERAL CONSTRUCTION NOTES**

- All work will comply with any and all fire and safety codes, or with any federal, state, county or municipal codes having jurisdiction. All applicable requirements in these regulations will apply to the work shown herein, whether specifically indicated as such or not. Conflicts between work set forth herein and any codes, laws or regulations shall be brought to the attention of the Architect prior to proceeding with any work.
- Any reference made in these documents to the "Contractor" shall apply equally to the general Contractor or construction manager, and any Subcontractors or vendors to the Contractor. Similarly, any reference made to a "Subcontractor" or "Vendor" shall be interpreted as meaning the General Contractor or Construction Manager, and does not imply the Architect's involvement in the Contractor's means or methods of executing the work.
- The organization or arrangement of these drawings and/or accompanying specifications is for convenience only, and shall not relieve the Contractor for responsibility of delivering a complete functioning project, of supervising and coordinating the work of all trades, or of dividing the work among his Subcontractors or in establishing the extent of work to be performed by any trade.
- All work shall be in strict conformance with the requirements of these documents and the requirements of the Owner (especially regarding scheduling, areas of work and temporary controls). It is the Contractor's responsibility to acquire "himself" with these requirements. Contractor is to investigate any special requirements and conditions of the site. Contractor's bid will be assumed to include the cost of fulfilling these requirements.
- Design and selection of supports, braces, anchors, attachments and related fasteners, unless shown on the drawings or in the specifications, are the responsibility of the installing contractor utilizing industry standard materials and methods suitable to the condition.
- The Owner is responsible to pay for, and the Contractor is responsible to obtain, all permits required by federal, state, county or municipal authorities; the Contractor shall include in the contract the cost of such permits.
- The Contractor is to arrange for elevator or other hoisting facilities for materials and equipment. Arrangements shall be made through the building management. Costs for delivery, storage, and/or handling of materials shall be included in the bid. The Contractor shall become familiar with and work within the Owners or building management's guidelines and procedures for security, registration, delivery, allowable working times, access to adjoining Tenants, noise, etc.; costs of complying with these requirements will not be justification for additional charges.
- The Contractor shall verify building opening sizes and clearances (doors, elevators, docks, corridors, etc.) To allow for the delivery of all required materials and project components.
- The Contractor will post material safety data (MSD) sheets on the jobsite for any hazardous materials in compliance with federal, state and local authorities.
- Install manufactured materials and equipment in strict accordance with the manufacturer's written instructions and guidelines. The Contractor is to inform the Architect of items specified which may not be readily available or which have long lead times.
- The Contractor shall provide barriers, temporary partitions or other measures for the protection of occupants, workers or occupied or finished areas and surfaces. This is to include noise barriers, vapor barriers, dust barriers or other protection as requested by the Owner. An allowance for these materials shall be included in the contract and costs for the materials above the allowance shall be approved by the Owner.
- The Contractor is to remove all debris and leave all areas broom clean at the end of each work day, and protect any portion of existing work to remain or work previously installed.
- The Contractor shall investigate ceiling plenums and report extent of interference of overhead construction (ie duct work, pipes, plumbing, etc.), to Architect prior to start of work so as to accommodate the specified ceiling, lighting and mechanical systems. If requested by the Architect, the Contractor shall prepare a coordination drawing indicating the interface of all trades.
- The Contractor will perform all work for the contract sum without adjustment in the event of labor disputes and/or work stoppages.
- Items specified in these drawings are for reference, and are not intended to be proprietary. The Contractor may submit a written request along with his bid for Architect's approval of equal substitutions.
- There will be no substitutions for specified products, equipment or systems other than those approved prior to signing the contract, unless the substitution can be shown to be of significant benefit to the Owner and place no additional expense on the Architect to process. The Owner and Architect must approve all substitutions.
- Level of drywall finishes (as specified in ASTM C840):  
A. Level 1 - areas above opaque ceiling  
B. Level 2 - as substrate for ceramic tile  
C. Level 4 - all areas not indicated to receive levels 1, 2 or 5. All wall areas above open cell ceilings.  
D. Level 5 - only where specifically indicated on plans.

**COMMON ABBREVIATIONS**

Abv	Above	Jan	Janitor
Acoust	Acoustic(al)	JT	Joint
Adj	Adjustable		
AFF	Above finish floor	KO	Knock-out
Alum	Aluminum	KP	Kick plate
B/C	Bottom of curb	Lab	Laboratory
BD	Board	Lam	Laminate
Blkg	Blocking	Lav	Lavatory
		Lkr	Locker
Cab	Cabinet	Lpc	Laminated plastic covered
Cpt	Carpet	Lgt	Light
Cem	Cement	LP	Low Point
CJ	Corner joint		
CG	Control joint	Max	Maximum
CL	Centerline	MDO	Medium density overlay
Clg	Ceiling	Mech	Mechanical
Clr	Clear	Mfr	Manufacturer
Cmu	Concrete masonry unit	Min	Minimum
Col	Column	Misc	Miscellaneous
Const	Construction	Mldg	Moulding
Cont	Continuous	Mrgwb	Moisture resistant GWB
Ctr	Center	N	North
		N/A	Not applicable
Dbl	Double	NIC	Not in contract
Demo	Demolish/ Demolition	No	Number
Dept	Department	Nom	Nominal
Dia	Diameter	NRC	Noise Reduction Coefficient
Diag	Diagonal	NTS	Not to Scale
Dim	Dimension		
Disp	Dispenser	OIC	On center
DN	Down	OD	Outside diameter
Dwg	Drawing		
EA	Each	Plwd	Plywood
EL	Elevation		
Elec	Electric(al)	R	Radius/ Riser
EQ	Equal	Ref	Refer/ Reference
Equip	Equipment	Rainf	Reinforced
Exist	Existing	Rm	Room
Ext	Exterior	RO	Rough Opening
		S	South
FD	Floor drain	Sched	Schedule(d)
Fin	Finish	Sect	Section
FL	Floor	Sim	Similar
Fluor	Fluorescent	Sim	Similar
FT	Foot/ Feet	SF	Square Foot/ Feet
FRT	Fire resistant treated	Spec(s)	Specification(s)
		SS	Stainless steel
GA	Gauge	Std	Standard
Glv	Galvanized	Sym	Symmetrical
GB	Grab Bars		
GL	Glass, Glazed	T&G	Tongue and groove
GR	Grade	Temp	Temporary/ Temporary
GWb	Gypsum wall board	Typ	Typical
Gyp	Gypsum	UNO	Unless noted otherwise
		VCT	Vinyl composition tile
HB	Hose Bibb	Vert	Vertical
HC	Handicapped/ Hollow core	VF	Verify in field
Hdw	Hardware	VWC	Vinyl wall covering
Hdw	Hardware		
HM	Hollow metal	W	West
Horiz	Horizontal	W/	With
HR	Hour/ Handrail	W/O	Without
Hgt	Height	W	Yard, Yard drain
HP	High point	YD	Yard, Yard drain
ID	Inside diameter		
Insul	Insulation	&	And
Int	Interior	@	At
		#	Point(s) or Number

**PROJECT LOCATION MAP**



**FINISH CLASSIFICATIONS**

Finishes within this project have been selected based on the appropriate classifications identified in chapter 6 of the building code and comply with all applicable regulations and testing requirements, including flame spread and smoke development.

**WALL AND CEILING FINISHES BY OCCUPANCY:**

Group	Sprinklered		Nonsprinklered	
	Exit enclosures and exit passageways	Corridors	Rooms and enclosed spaces	Exit enclosures and exit passageways
A-1 & A-2	B	B	C	A
A-3, A-4, A-5	B	B	C	A
B, E, M, R-1	B	C	C	A
R-4	B	C	C	A
F	C	C	C	B
H	B	B	C	A
I-1	B	C	C	A
I-2	B	B	B	A
I-3	A	A	C	A
I-4	B	B	B	A
R-2	C	C	C	B
R-3	C	C	C	C
S	C	C	C	B
U	←	←	←	←

Class A: flame spread index 0-25; smoke-developed index 0-450.  
Class B: flame spread index 26-75; smoke-developed index 0-450.  
Class C: flame spread index 76-200; smoke-developed index 0-450.

**FLOORING REQUIREMENTS:**

- Floors shall be class I in groups I-1, I-2 and I-3. They are permitted to be reduced to class II if building is equipped throughout with an automatic sprinkler system.
- Floors shall be a minimum of class II in groups A, B, E, H, I-4, M, R-1, R-2 and S.
- All floor covering materials shall comply with the DOFF-a "Pill Test"
- Class I: 0.45 watts/cm<sup>2</sup> or greater.
- Class II: 0.22 watts/cm<sup>2</sup> or greater.

**PROJECT MATRIX**

- Priority #1 Project - Platform Tennis Warming Hut**  
New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.
- Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area**  
Updated concrete work and expanded patio area at main pool.

**NOTICE TO BIDDERS**

Drawings contained within are a visual representation of the Scope of Work. It is the responsibility of the Bidding Contractors to perform a site visit to familiarize themselves with the unique characteristics of the project. Contact the Construction Manager or Owner to arrange a site visit.

The Contractor is to provide written notification to the Construction Manager or Owner of any discrepancies discovered between site conditions and these Documents. Submission of a bid is confirmation that the existing conditions have been accepted and fully accounted for in the costs provided.

Design Collective Architecture Inc. (Architect) does not handle the bidding process. Direct all bidding related questions to the Construction Manager or Owner.

**SUPPLY/INSTALLATION**

All items contained within these drawings are assumed to be supplied and installed by the General Contractor unless noted otherwise. It is the responsibility of the GC to coordinate delivery and install as applicable within the scope of work.

**SPECIAL INSPECTIONS AND TESTING**

Special inspections are required within the scope of the project. Refer to the attached special inspection statement and sheet S0.0 for a list of required inspection types. A third party agency shall be used.

**ASBESTOS DISCLAIMER**

The Architect hereby states, and the Owner acknowledges, that the Architect has no professional liability (errors and omissions) or other insurance, and is unable to reasonably obtain such insurance, for claims arising out of the performance of or failure to perform professional services, including but not limited to the preparation of reports, designs, drawings and specifications, related to the investigation, detection, abatement, replacement or removal of products, materials, or processes containing asbestos.

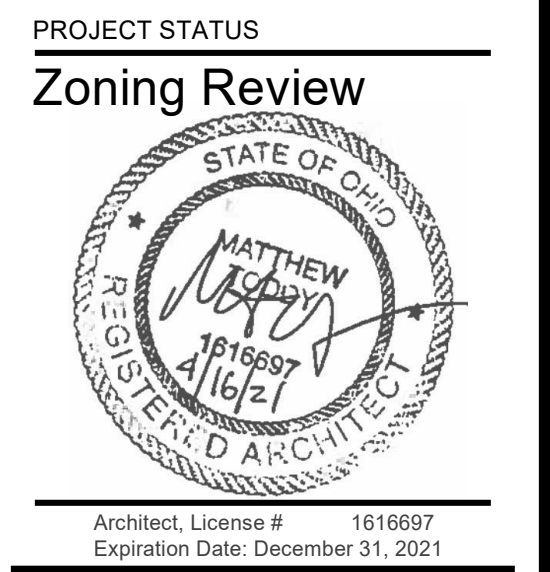
Accordingly, the Owner hereby agrees to bring no claim for negligence, breach of contract, indemnity or otherwise against the Architect, his principals, employees, agents, and consultants if such claim in any way would involve the Architect's services for the investigation of or remedial work related to asbestos in the project.

The Owner further agrees to defend, indemnify and hold the Architect and his principals, employees, agents, and consultants harmless from any such asbestos related claims that may be brought by third parties as a result of the services provided by the Architect pursuant to this agreement.

**DRAWING SHEET INDEX**

#	Sheet name	Current Revision	Revision Date
<b>GENERAL</b>			
G-1	Title Sheet		
G-2	Code Analysis		
G-3	Accessibility Guidelines	1	06/18/2021
G-4	Site Plan		
G-5	3D Views		
<b>CIVIL</b>			
C1.0	Cover Sheet		
C2.0	General Notes		
C3.0	General Notes		
C4.0	Existing Conditions	1	06/18/2021
C5.0	Existing Conditions	1	06/18/2021
C6.0	Staking Plan	1	06/18/2021
C7.0	Utility Plan	1	06/18/2021
C8.0	Grading Plan	1	06/18/2021
C9.0	General Notes	1	06/18/2021
C10.0	Typical Details	1	06/18/2021
C11	Aquatics Grading Plan	1	06/18/2021
C12	Drainage Profiles	1	06/18/2021
C13	Typical Details	1	06/18/2021
<b>STRUCTURAL</b>			
6P S-100	Breckenridge Pavilion 6-Post Structures		
6P S-101	Breckenridge Pavilion 6-Post Structures		
6P S-102	Breckenridge 3D View		
6P S-103	Breckenridge Elevation		
6P S-104	Breckenridge Elevation		
<b>ARCHITECTURAL</b>			
A-AQ1	Aquatics Project Matrix	1	06/18/2021
A-AQ2	Aquatics - Overall Plan	1	06/18/2021
A-AQ3	Aquatics - Overall Fun. Plan	1	06/18/2021
A-AQ4	Aquatics - Enlarged Plans	1	06/18/2021
<b>ARCHITECTURAL</b>			
A-PD1	Racquet Area Project Matrix	1	06/18/2021
A-PD2	Platform Court - Plan	1	06/18/2021
A-PD3	Platform Court - Enlarged Plans	1	06/18/2021
A-PD4	Platform Court - Sections/ Details	1	06/18/2021
A-PD5	Warming Hut - Plans	1	06/18/2021
<b>LANDSCAPE</b>			
L1.0	Tree Preservation Plan and Details	1	06/18/2021

Zoning Review



**THE COUNTRY CLUB MUIRFIELD VILLAGE**  
**TCCMV-Masterplan Updates - Phase 2**  
**The Country Club at Muirfield Village**  
 8715 Muirfield Drive Dublin, OH 43017

**REVISIONS**

#	Description	Date

INITIAL ISSUE DATE  
**June 18, 2021**

PROJECT NO.  
**0247.20**

Title Sheet

# G-1

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**APPLICABLE BUILDING CODES**

Building:	2017 Ohio Building Code	Energy:	2012 IECC and ASHRAE 90.1
Structural:	2017 Ohio Building Code	Gas:	2015 International Fuel Gas Code
Mechanical:	2017 Ohio Mechanical Code	Fire:	2017 Ohio Fire code (NFPA 13)
Plumbing:	2017 Ohio Plumbing Code	Accessibility:	2017 Ohio Building Code
Electrical:	2017 National Electric Code		2009 ICC/ANSI A117.1/ADAAG

**REQUIRED FIRE RATINGS AND SEPARATIONS**

**Per Table 601:**

Structural Frame:	0
Roof:	0
Floor construction:	0
Exterior Walls (Non-Loadbearing) table 602:	0
Interior Walls (Non-Loadbearing):	0
Exterior Walls (Loadbearing):	0
Interior Walls (Loadbearing):	0

- FRT wood required: No
- Fire barriers or partitions present: No
- Fire walls present: No

**POOLHOUSE**

**SCOPE AREA: AQUATICS - POOLHOUSE**

Parcel ID #:	273-00185-100
Zoning:	C - Commercial
No. Storeys:	1
Use/Occupancy Classifications:	A-2
Construction Types:	V-B
Fire Suppression:	None
Fire Alarm:	None
Gross Building Area:	1,838sf
Max Travel Distance:	75'-0" Allowed 73'-3" Provided
Exit Separation:	33'-3"

**HEIGHTS AND AREAS**

Allowable Height:	40'-0"
Existing height:	22'-8"
Allowable Stories:	1
Existing height:	1
Allowable Area:	6,000sf
Total Gross Area (Building):	1,838sf
Total Patio Area:	945sf

**PLUMBING FIXTURE CALCULATIONS**

NOTE: Existing occupancy and plumbing fixture counts will not be affected. Existing plumbing fixtures are located at the adjacent Tennis Pro Shop at a distance of 75'-0" from the Poolhouse.

**EGRESS CALCULATIONS**

<b>REQUIRED:</b> (Per Section 1005)	<b>PROVIDED:</b> Door # - A: 34" Clear (Primary) 170 person capacity Door # - A: 34" Clear (Secondary) 170 person capacity 68" Clear (Total)
1,838sf / 15sf/occupant = 122 occupants 0.2' x 185 Occupants: 24'	

**CLUBHOUSE**

**SCOPE AREA: CLUBHOUSE**

Parcel ID #:	273-00185-100
Zoning:	C - Commercial
No. Storeys:	1
Use/Occupancy Classifications:	A-2
Construction Types:	V-B
Fire Suppression:	Yes
Fire Alarm:	Yes
Gross Building Area:	26,282sf
Max Travel Distance:	Not impacted by project scope
Exit Separation:	Not impacted by project scope

**HEIGHTS AND AREAS**

Allowable Height:	40'-0"
Existing height:	39'-2"
Allowable Stories:	1
Existing height:	1
Allowable Area:	6,000sf
Total Gross Area (Building):	26,282sf
Total Area of Project Scope:	1,392sf
Total Patio Area:	8,290sf

\*NOTE: The existing clubhouse is comprised of a series of additions. The existing clubhouse area is not impacted by the project scope.

**PLUMBING FIXTURE CALCULATIONS**

NOTE: Existing occupancy and plumbing fixture counts will not be affected. Existing plumbing fixtures are located at the adjacent clubhouse locker rooms at a distance of 25'-0" from the Founder's Room.

**EGRESS CALCULATIONS**

<b>REQUIRED:</b> (Per Section 1005)	<b>PROVIDED:</b> Door # - E: 34" Clear (Primary) 170 person capacity 34" Clear (Total)
1,392sf / 15sf/occupant = 92 occupants 0.2' x 185 Occupants: 19'	



**OWNER**  
Country Club at Muirfield Village  
8715 Muirfield Drive  
Dublin, OH 43017  
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E: ekoch@hullinc.com

**PROJECT STATUS**

Zoning Review



Architect, License # 161607  
Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
MUIRFIELD VILLAGE  
TCCMV-Masterplan Updates - Phase 2  
The Country Club at Muirfield Village  
8715 Muirfield Drive Dublin, OH 43017

**REVISIONS**

#	Description	Date

INITIAL ISSUE DATE  
May 24, 2021

PROJECT NO.  
0247.20

Code Analysis

**G-2**

Project Title:

THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
PHASE 2 SITE IMPROVEMENTS  
FRANKLIN COUNTY, DUBLIN, OHIO

Owner:



8715 MUIRFIELD DRIVE  
DUBLIN, OH 43017

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Mark	Description	Date
FOR PERMIT		05/24/2021
FOR PERMIT		06/18/2021

Project No.:	CM005
Plot Date:	06/18/2021
Layout By:	EJK
Drawn By:	AET
Check By:	EJK
Scale:	AS NOTED
Issue Date:	JUNE 2021
Sheet Title:	

TYPICAL  
DETAILS

SEED MIX	SEEDING RATE		NOTES:
	LBS AC	LBS. 1,000 SF.	
GENERAL USE			
Creeping Red Fescue	20-40	$\frac{1}{2}$ -1	FOR CLOSE MOWING & WATERWAYS W/ <2 FT/SEC
Domestic Ryegrass	10-20	$\frac{1}{4}$ - $\frac{1}{2}$	
Kentucky Bluegrass	20-40	$\frac{1}{2}$ -1	
Tall Fescue	40-50	1-1 $\frac{1}{4}$	
Turf-type (dwarf) Fescue	90	2 $\frac{1}{2}$	
STEEP BANKS OR CUT SLOPES			
Tall Fescue	40-50	1-1 $\frac{1}{4}$	
Tall Fescue	20-30	$\frac{1}{2}$ - $\frac{3}{4}$	Do not seed later than August
Flat Pua	20-25	$\frac{1}{2}$ - $\frac{3}{4}$	Do not seed later than August
Tall Fescue	20-30	$\frac{1}{2}$ - $\frac{3}{4}$	
ROAD DITCHES AND SWALES			
Tall Fescue	40-50	1-1 $\frac{1}{4}$	
Turf-type (dwarf) Fescue	90	2 $\frac{1}{2}$	
Kentucky Bluegrass	5	0.1	
LAWNS			
Kentucky Bluegrass	100-120	2	
Perennial Ryegrass	100-120	2	
Kentucky Bluegrass	100-120	2	For shaded areas.
Creeping Red Fescue		1 $\frac{1}{2}$	

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

### SITE PREPARATION:

- SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

### SEEDBED PREPARATION:

- LIME-AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000-SQ. FT. OR 2 TONS PER ACRE.
- FERTILIZER-FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN PLACE OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 POUNDS PER 1,000-SQ. FT. OR 1000 POUNDS PER ACRE OF A 10-10-10 OR 12-12-12 ANALYSES.

- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

### SEEDING DATES AND SOIL CONDITIONS:

- SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.
- PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL BUT NO LATER THAN 48 HOURS AFTER FINAL GRADING. THIS INCLUDES SOD OR OTHER METHODS OF RETAINING SEEDING MATERIAL PRIOR TO MATURATION IN THE LOWER  $\frac{1}{2}$  OF ANY DRAINAGE DITCHES.
- LAND WHICH HAS BEEN CLEARED FOR DEVELOPMENT, AND UPON WHICH CONSTRUCTION HAS NOT COMMENCED WITHIN FOURTEEN (14) DAYS OF THIS INITIAL CLEARING SHALL BE PROTECTED FROM EROSION AND CONSEQUENT SEDIMENTATION BY APPROPRIATE VEGETATION AND LAND COVERING TECHNIQUES SUCH AS SEEDING, SODDING, MULCHING GROUND COVER INSTALLATION OR OTHER VEGETATION OR EARTH COVERING TECHNIQUES.

### DORMANT SEEDINGS:

- SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER. THE FOLLOWING METHODS MAY BE USED FOR 'DORMANT SEEDING':
- FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED.
- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

### MULCHING:

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE HYDROSEEDED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
- MATERIALS
  - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
  - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
- MULCH ANCHORING METHODS
  - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
  - WOOD CELLULOSE FIBER-WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

### IRRIGATION:

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH. IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDED AREAS FROM EXCESSIVE RUNOFF.

### PS PERMANENT SEEDING

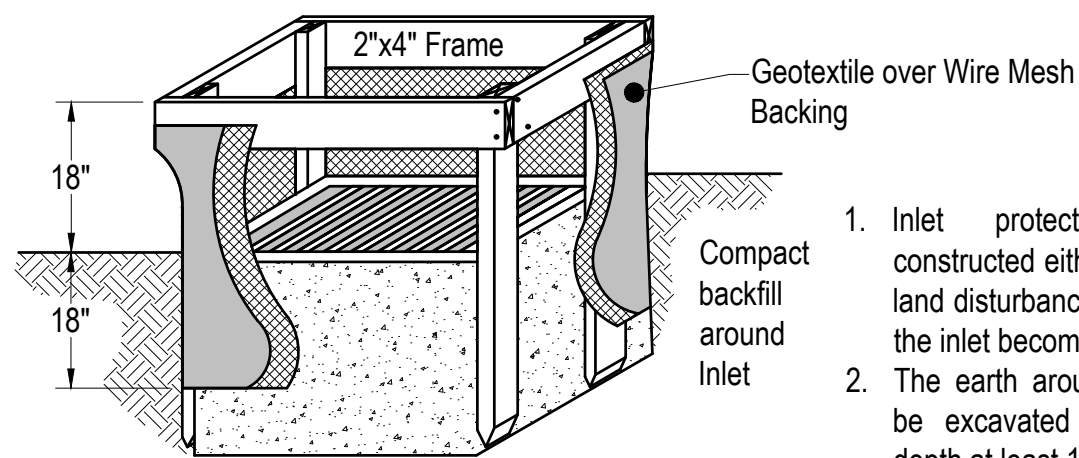
SEEDING DATES	SPECIES	Lb./ 1000 ft <sup>2</sup>	Lb / Acre	
March 1 to August 15	Oats	3	128 (4 bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Ryegrass	1	40	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Annual Ryegrass	1.25	55	
August 16 to November	Perennial Ryegrass	3.25	142	
	Creeping Red Fescue	0.4	17	
	Kentucky Bluegrass	0.4	17	
	Oats	3	128 (3 bushel)	
	Tall Fescue	1	40	
	Annual ryegrass	1	40	
	Rye	3	112 (2 bushel)	
November 1 to Feb. 29	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Wheat	3	120 (2 bushel)	
	Tall Fescue	1	40	
	Annual Ryegrass	1	40	
	Perennial Rye	1	40	
	Tall Fescue	1	40	
November 1 to Feb. 29	Annual Ryegrass	1	40	
	Annual Ryegrass	1.25	40	
	Perennial Ryegrass	3.25	40	
	Creeping Red Fescue	0.4	40	
	Kentucky Bluegrass	0.4	40	
	Use mulch only or dormant seeding.			

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

### MULCHING TEMPORARY SEEDING:

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH, WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE, VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT. THESE MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF INITIAL DISTURBANCE. CRITICAL AREAS, AS THEY PERTAIN TO EROSION CONTROL MEASURES, ARE DEFINED IN APPENDIX XIV BY THE LICKING COUNTY ENGINEER OR LICKING COUNTY SOIL AND WATER CONSERVATION SERVICE.
- MATERIALS:
  - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LBS./ AC. OR 46 LB./ 1,000-SQ.-FT.
- MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
  - WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WT. OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. / 100 GAL.

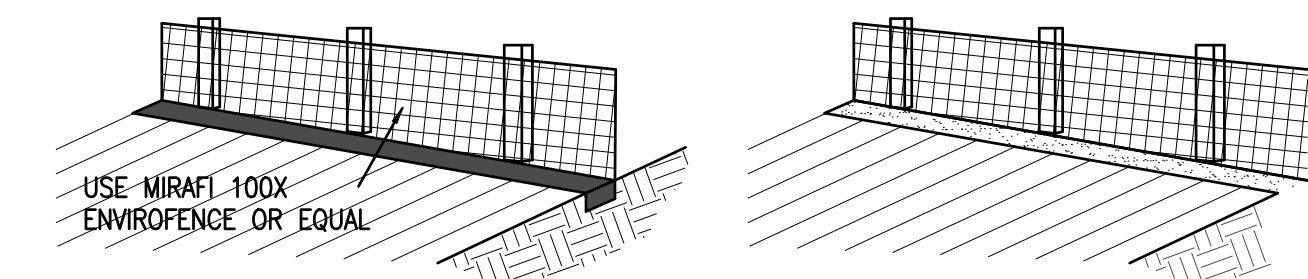
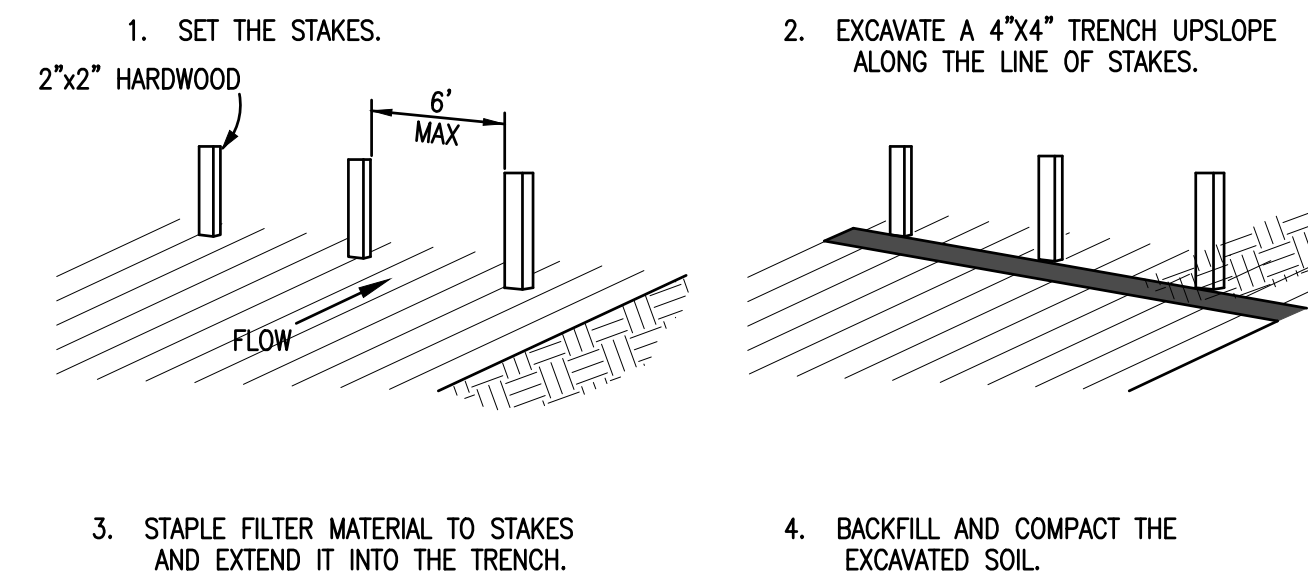
### TS TEMPORARY SEEDING



- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- The earth around the inlet shall be excavated completely to a depth at least 18 inches.
- The wooden frame shall be constructed of 2-inch by 4-inch construction grade lumber. The 2-inch by 4-inch posts shall be driven one (1) ft. into the ground at four corners of the inlet and the top portion of 2-inch by 4-inch frame assembled using the overlap joint shown. The top of the frame shall be at least 6 inches below adjacent roads if ponded water will pose a safety hazard to traffic.
- Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- Geotextile material shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 inches below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6-inch layers until the earth is even with notch elevation on ends and top elevation on sides.
- A compacted earth dike or check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression. The top of the dike shall be at least 6 inches higher than the top of the frame.

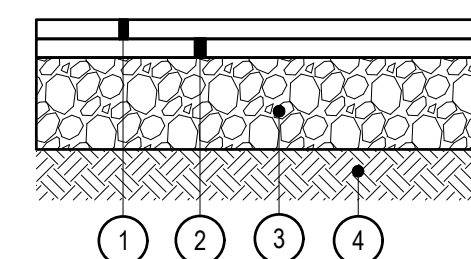
### IP GEOTEXTILE INLET PROTECTION

(Rainwater and Land Development rev.6-24-09)



### SF PERIMETER FILTER FABRIC FENCE

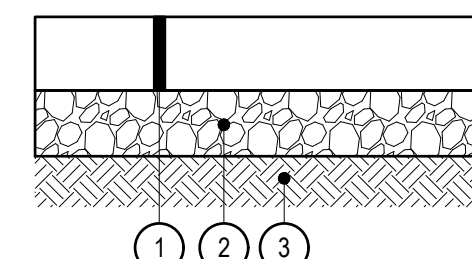
NOT TO SCALE



- ITEM 441 - 1.5" ASPHALT CONCRETE SURFACE COURSE, TYPE 1
- ITEM 301 - 3" ASPHALT CONCRETE BASE
- ITEM 304 - 6" AGGREGATE BASE
- ITEM 204 - SUBGRADE COMPACTION

### P1 ASPHALT PAVEMENT SECTION

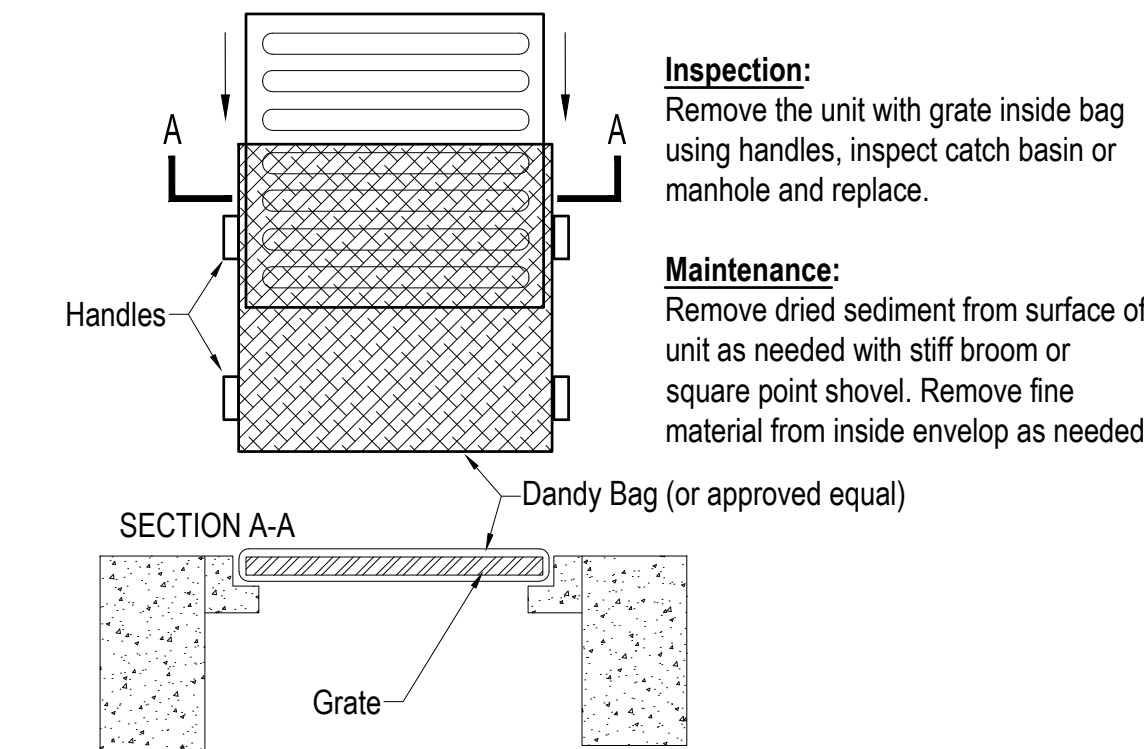
NOT TO SCALE



- ITEM 608 - 4" CONCRETE WALK, CLASS QC1
- ITEM 304 - 6" AGGREGATE BASE
- ITEM 204 - SUBGRADE COMPACTION

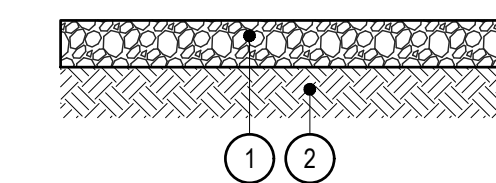
### P2 CONCRETE PAVEMENT SECTION

NOT TO SCALE



### DB DANDY BAG

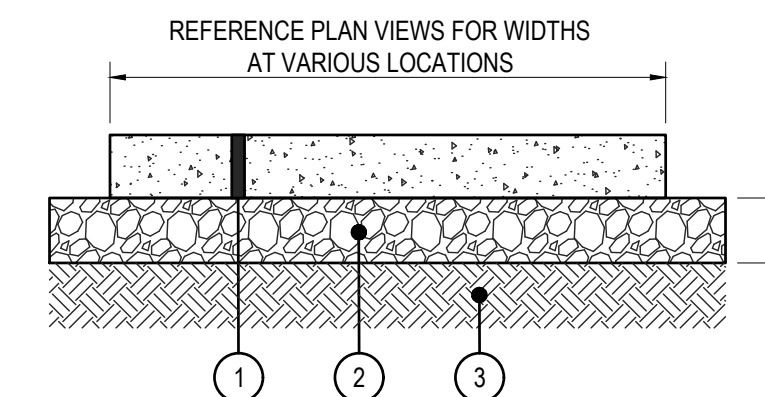
(Not to Scale)



- ITEM 703 - 2" NO. 57 AGGREGATE
- ITEM 204 - SUBGRADE COMPACTION

### P3 POROUS AGGREGATE SECTION

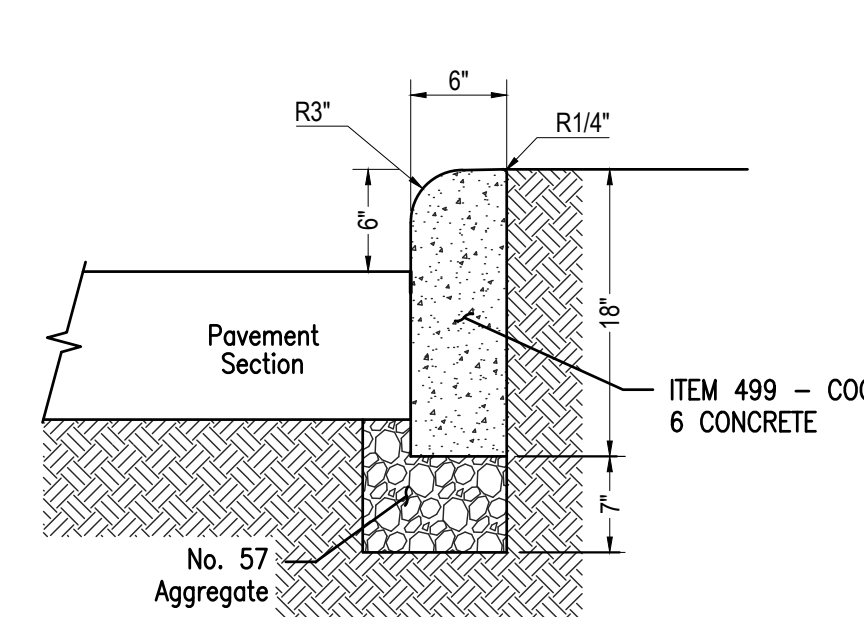
NOT TO SCALE



- ITEM 608 - 4" CONCRETE WALK, CLASS QC1
- ITEM 304 - 6" CRUSHED AGGREGATE BASE
- ITEM 204 - SUBGRADE COMPACTION

### P4 CONCRETE SIDEWALK SECTION

NOT TO SCALE

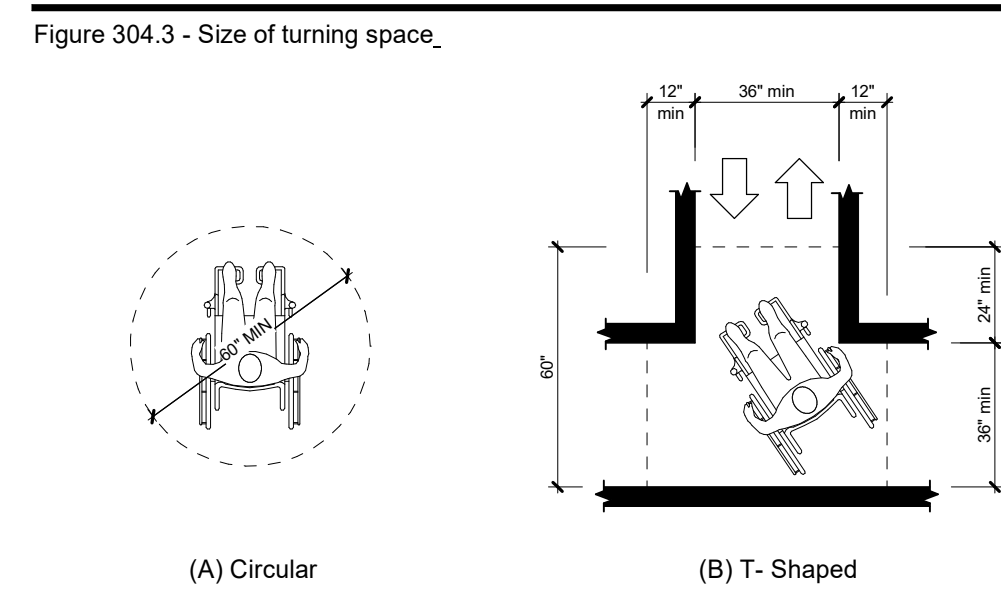


### P5 STRAIGHT 18" CONCRETE CURB

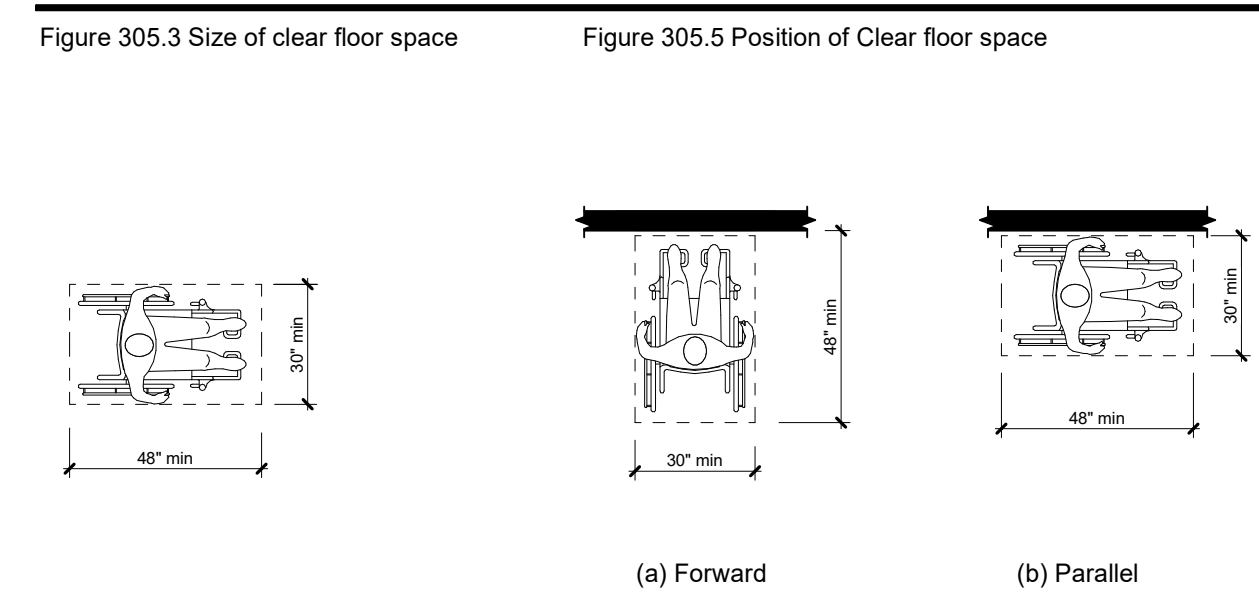
NOT TO SCALE



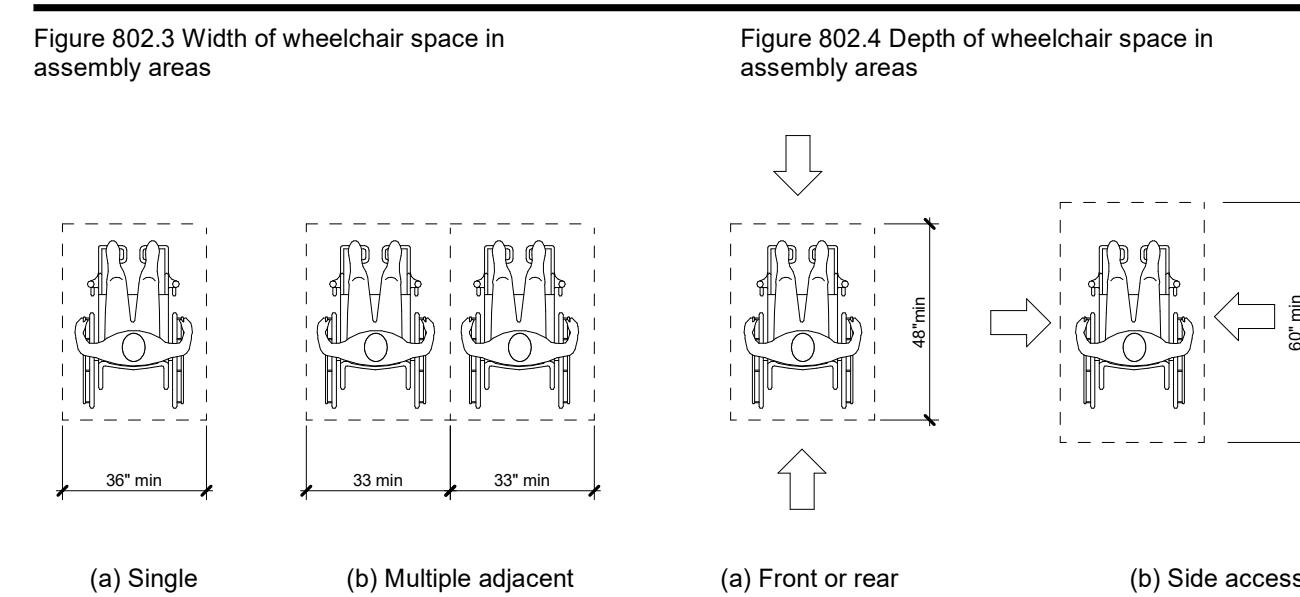
### TURNING SPACE



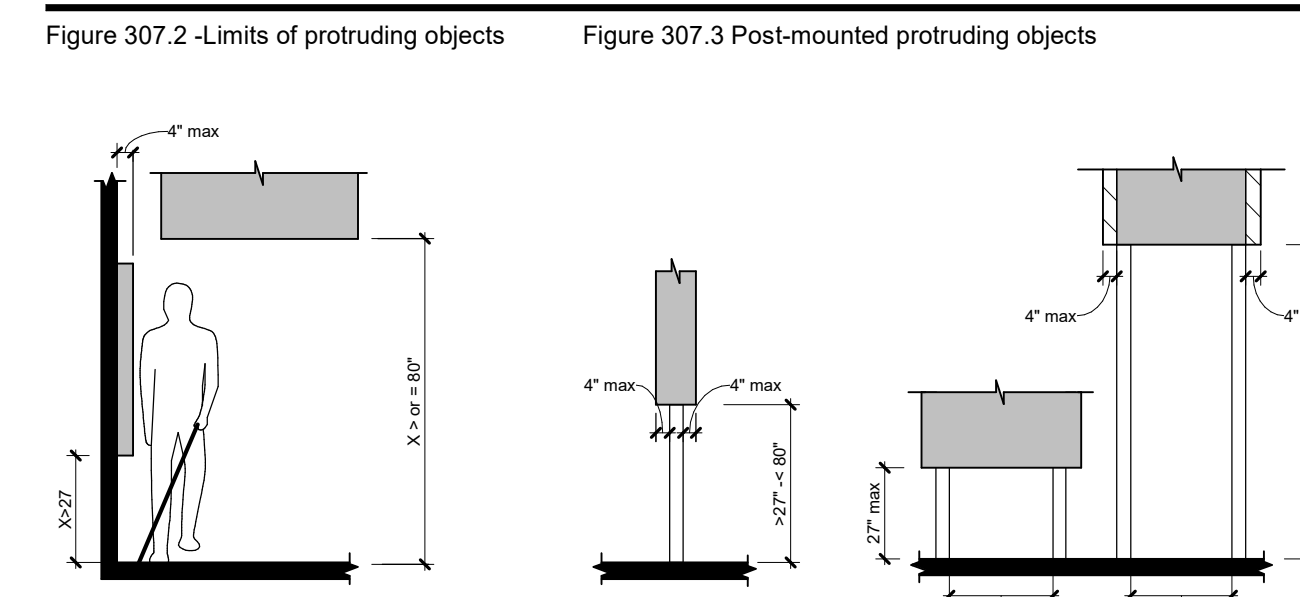
### CLEAR FLOOR SPACE



### ASSEMBLY AREAS



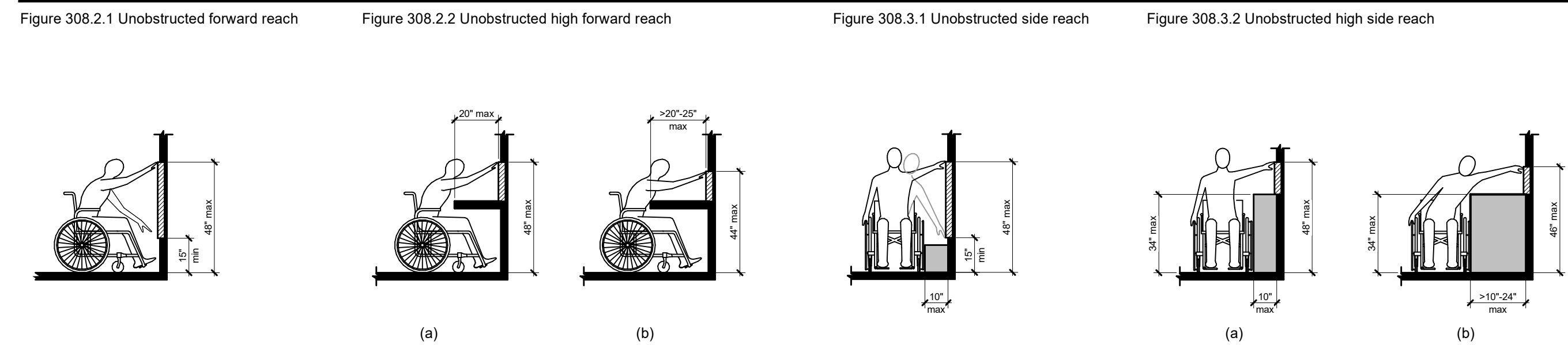
### PROTRUDING OBJECTS



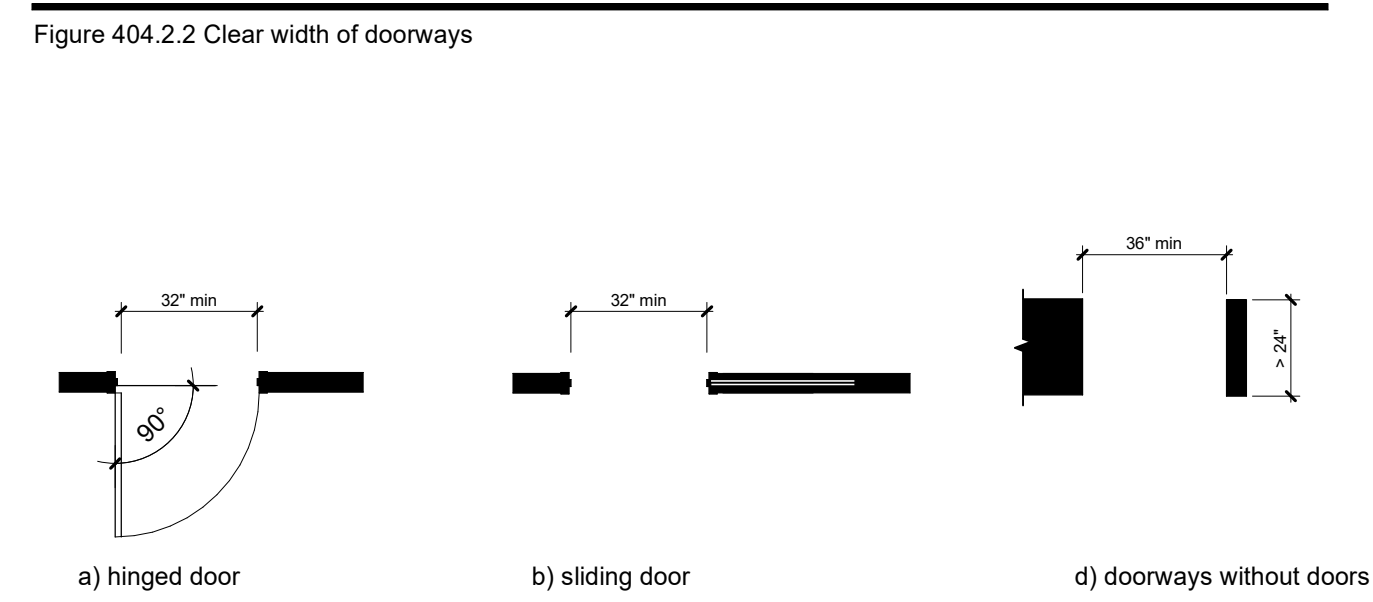
### GENERAL NOTES - ACCESSIBILITY

- All indicated dimensions are clear/finish values.
- Referenced standard as indicated on title sheet.
- The "General Accessibility Notes" and "Figures" on this sheet are provided as a general reference to illustrate common conditions addressed within the referenced standard. Some figures have been modified from those published in the standard to provide greater clarity. General contractor should reference the complete publication for any clarifications or questions.
- Protruding objects**  
Protruding objects on circulation paths shall comply with section 307.
- Operable Parts**  
Operable parts on accessible elements, accessible routes, and in accessible rooms and spaces shall comply sections 309 and 404.2.6.
- Accessible routes**  
Accessible routes shall comply with section 304 and chapter 4.
- Parking spaces**  
Where parking spaces are provided, parking spaces shall be provided in accordance with sections 406 and 502.
- Passenger loading zones and bus stops**  
Where provided, passenger loading zones shall comply with sections 503 and 805.
- Stairways**  
Where provided, interior and exterior stairs that are part of a means of egress shall comply with sections 504 and 505.
- Drinking fountains**  
Where drinking fountains are provided at an exterior site, on a floor, or within a secure area, they shall be provided in accordance with sections 305, 306, and 602.
- Kitchens, kitchenettes, and sinks**  
Where provided, kitchens, kitchenettes, and sinks shall comply with sections 308, 606, and 804.
- Toilet facilities and plumbing elements**  
Where toilet facilities are provided, they shall comply with section 305 and chapter 6.
- Signs**  
Signs shall be provided in accordance with section 703.
- Assembly areas**  
Assembly areas shall provide wheelchair spaces, companion seats, and designated aisle seats complying with sections 802 and 902.
- Dressing, fitting, and locker rooms**  
Where dressing, fitting, and locker rooms are provided, at least 5%, but no fewer than one of each type of use is each cluster provided shall comply with sections 803 and 903.
- Storage**  
Where storage is provided in accessible spaces, at least one of each type shall comply with sections 305 and 905.
- Dining surfaces and work surfaces**  
Where dining surfaces are provided for the consumption of food or drink, at least 5 percent of the seating spaces and standing spaces at the dining surfaces shall comply with sections 305 and 902. In addition, where work surfaces are provided for use by other than employees, at least 5% shall comply with sections 305 and 902.
- Sales and service**  
Where provided, check-out aisles, sales counters, service counters, food service lines, queues, and waiting lines shall comply with sections 305, 403, and 904.

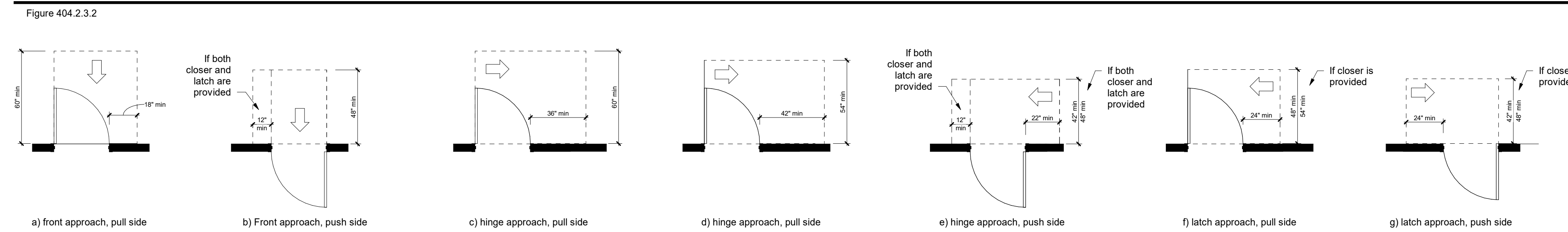
### REACH RANGES



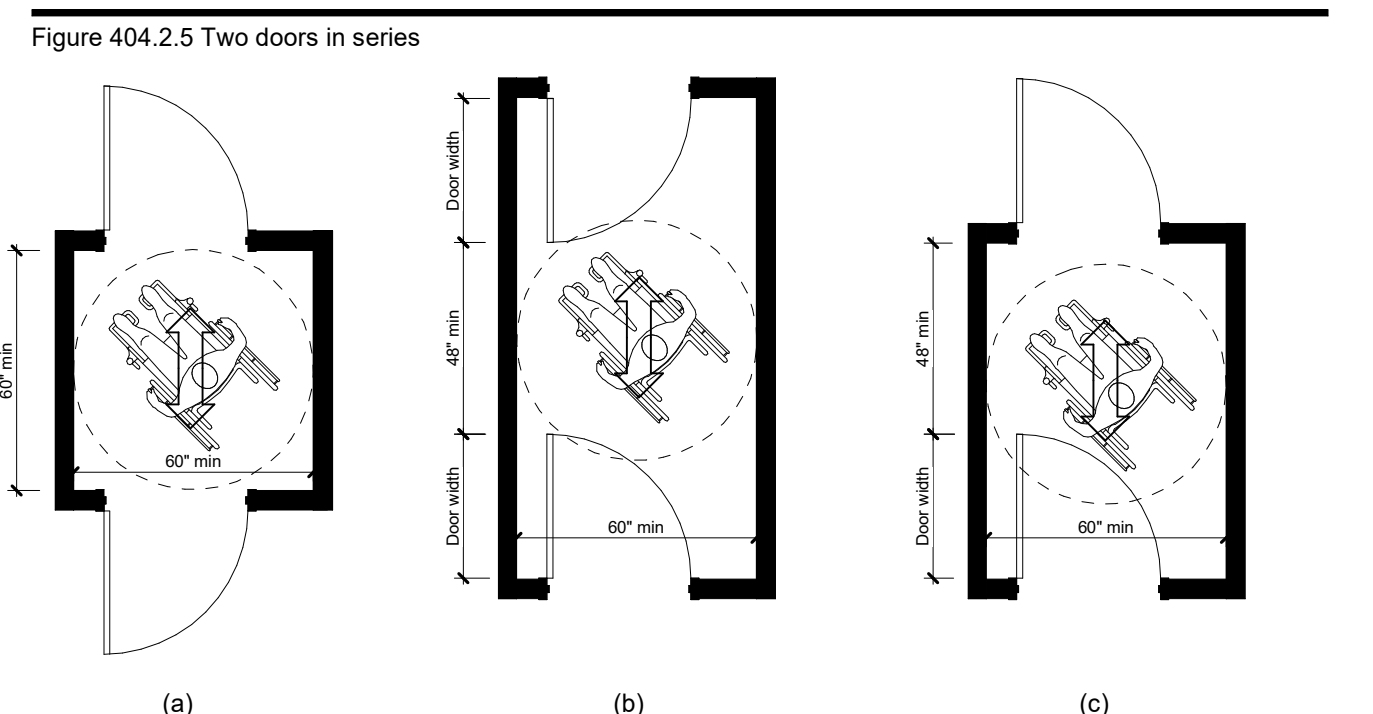
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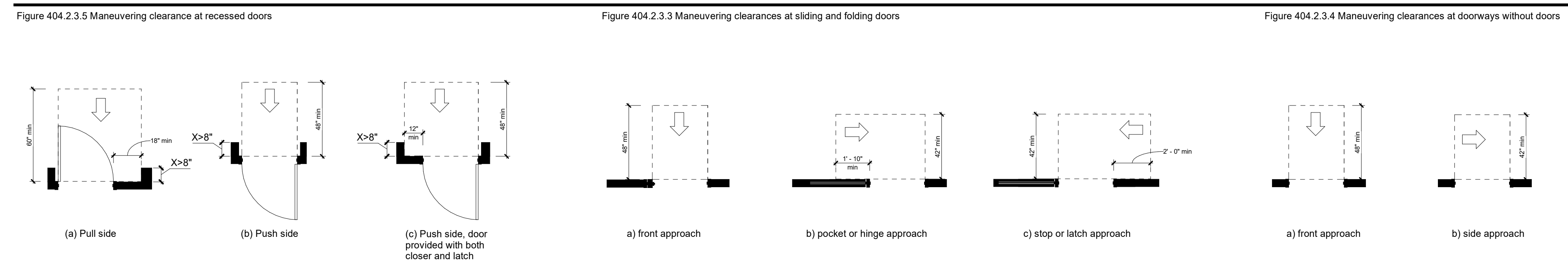
### DOORS AND DOORWAYS - MANEUVERING CLEARANCE



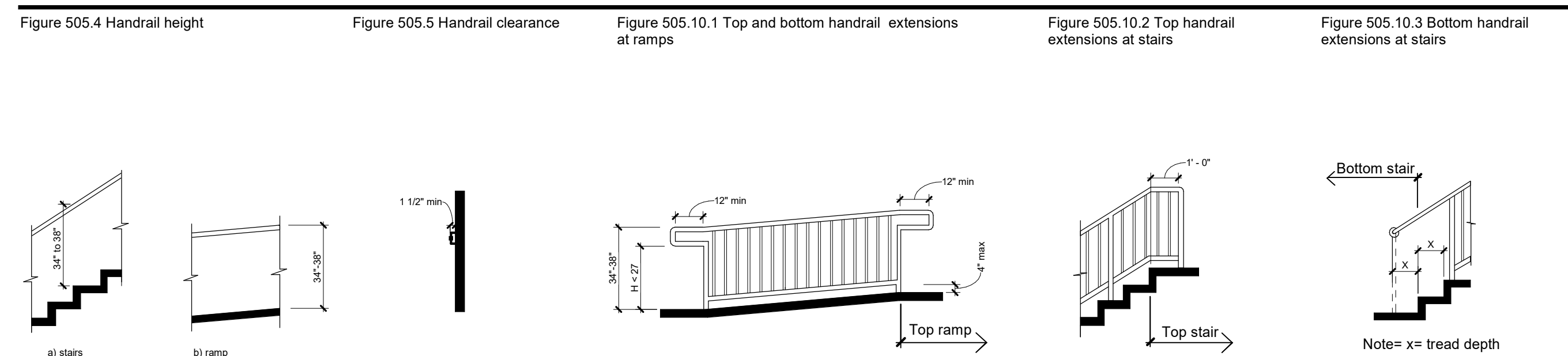
### ACCESSIBLE DOORS IN A SERIES



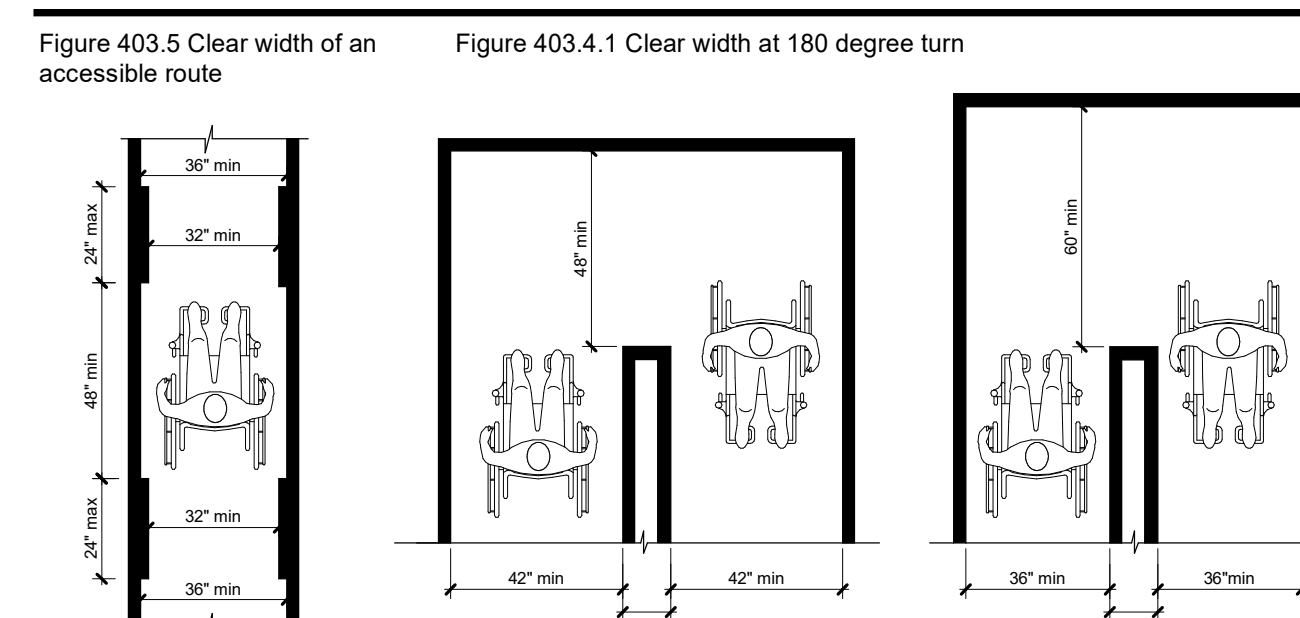
### DOORS AND DOORWAYS - MANEUVERING CLEARANCE



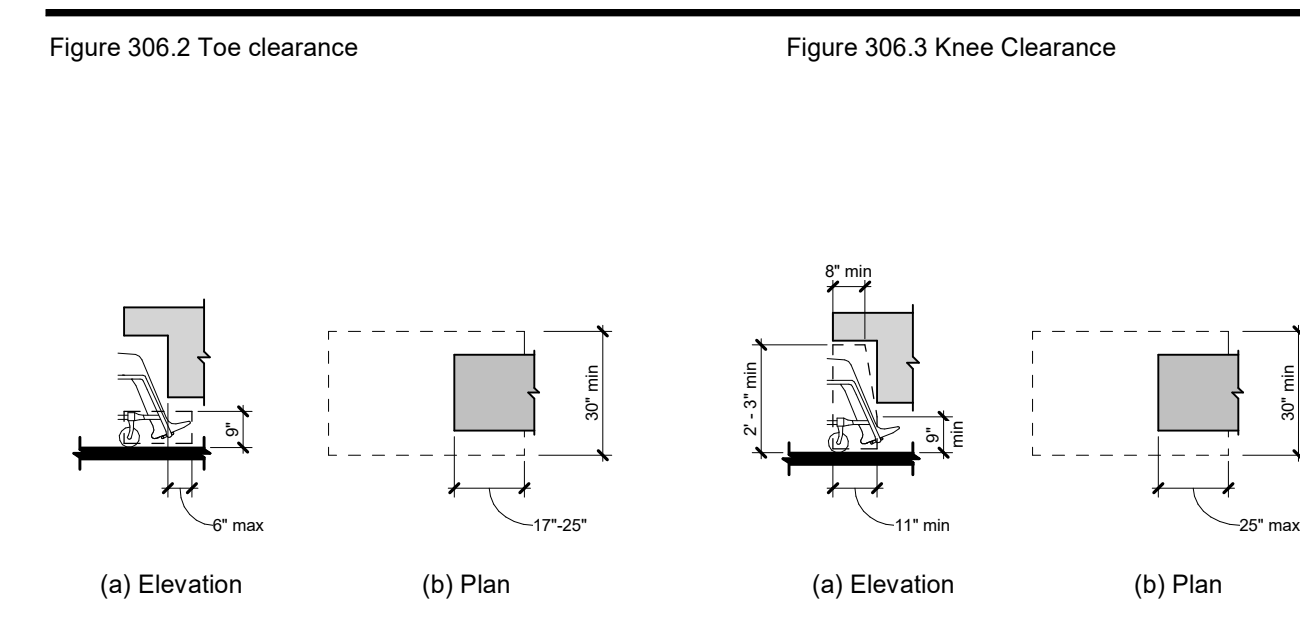
### HANDRAILS



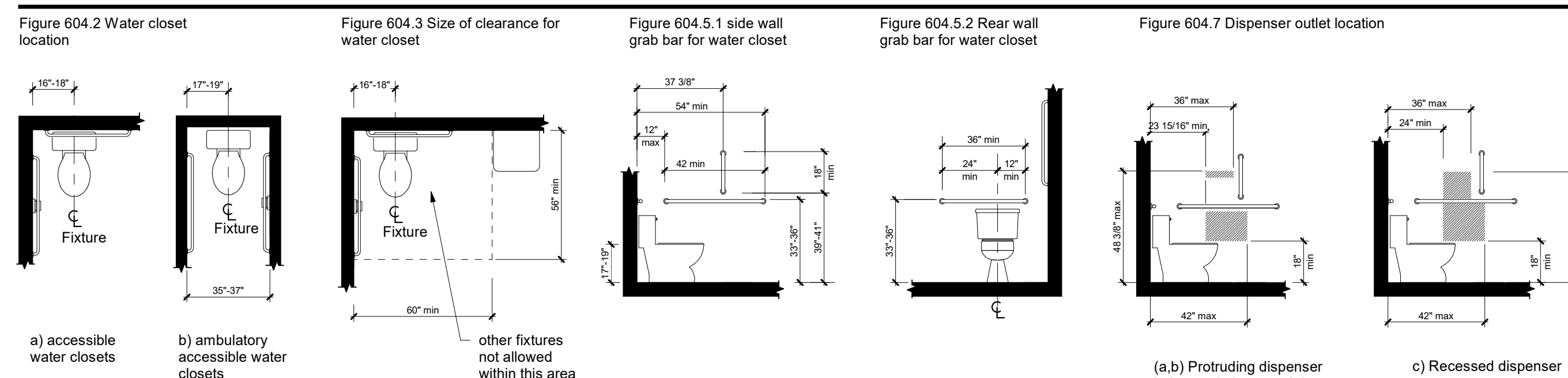
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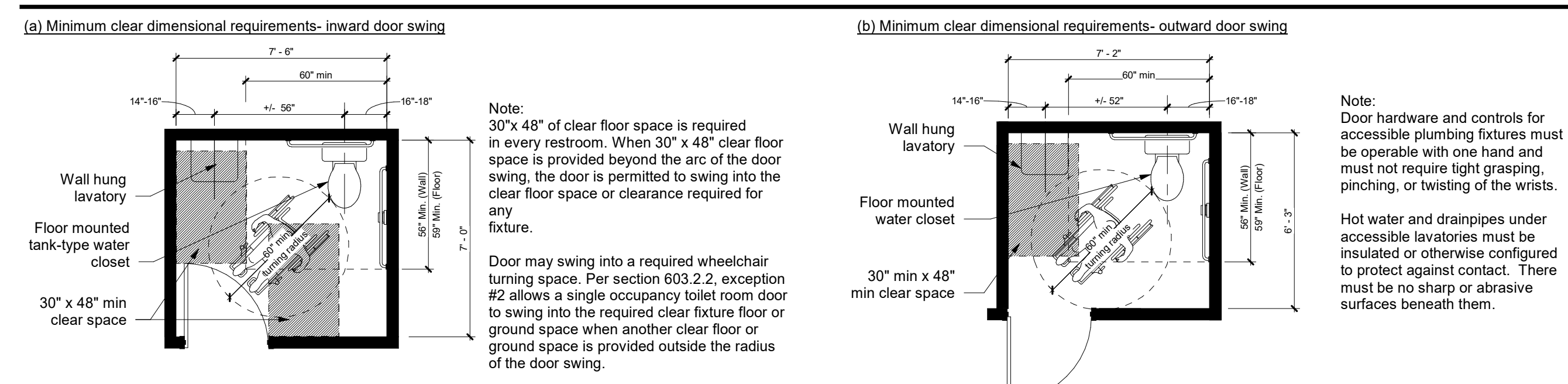
### KNEE & TOE CLEARANCES



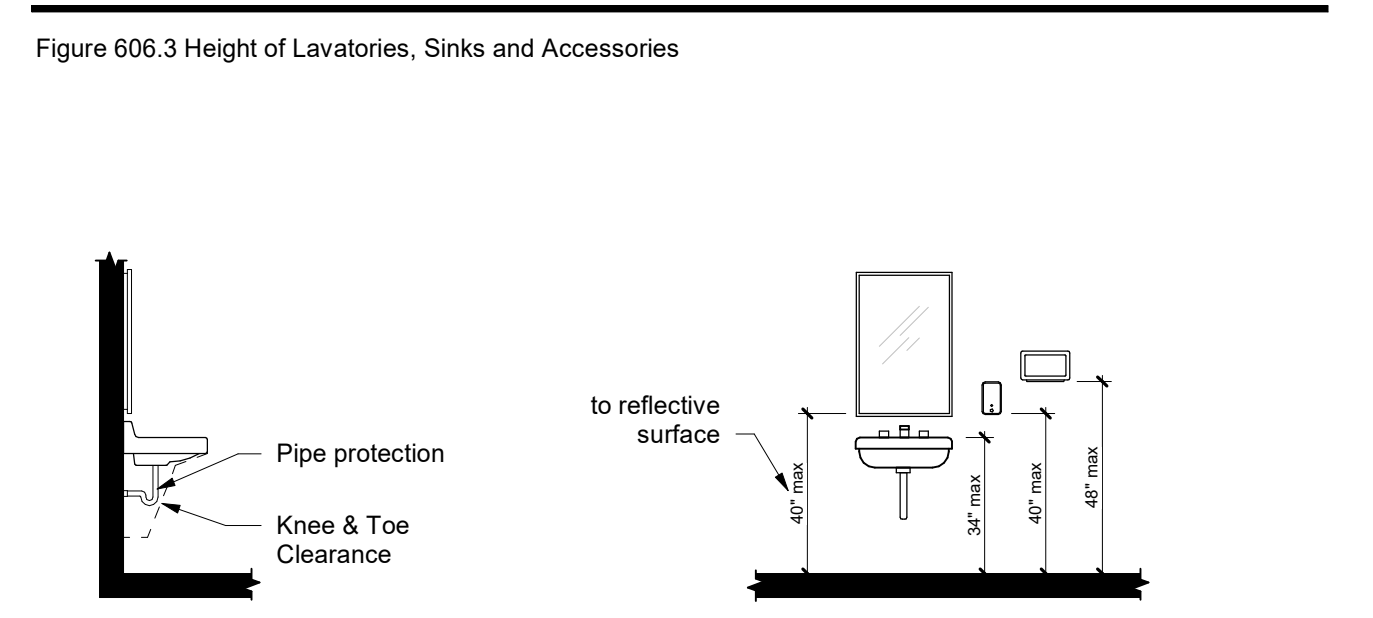
### WATER CLOSETS AND TOILET COMPARTMENTS



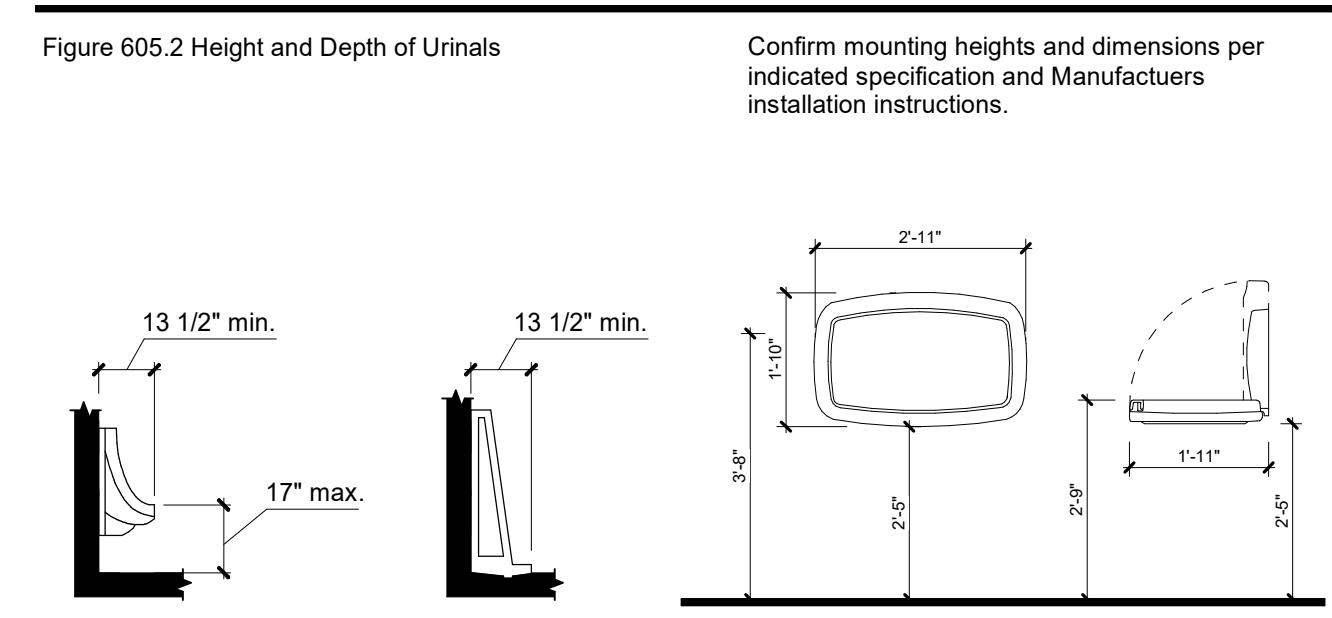
### ACCESSIBLE TOILET ROOMS



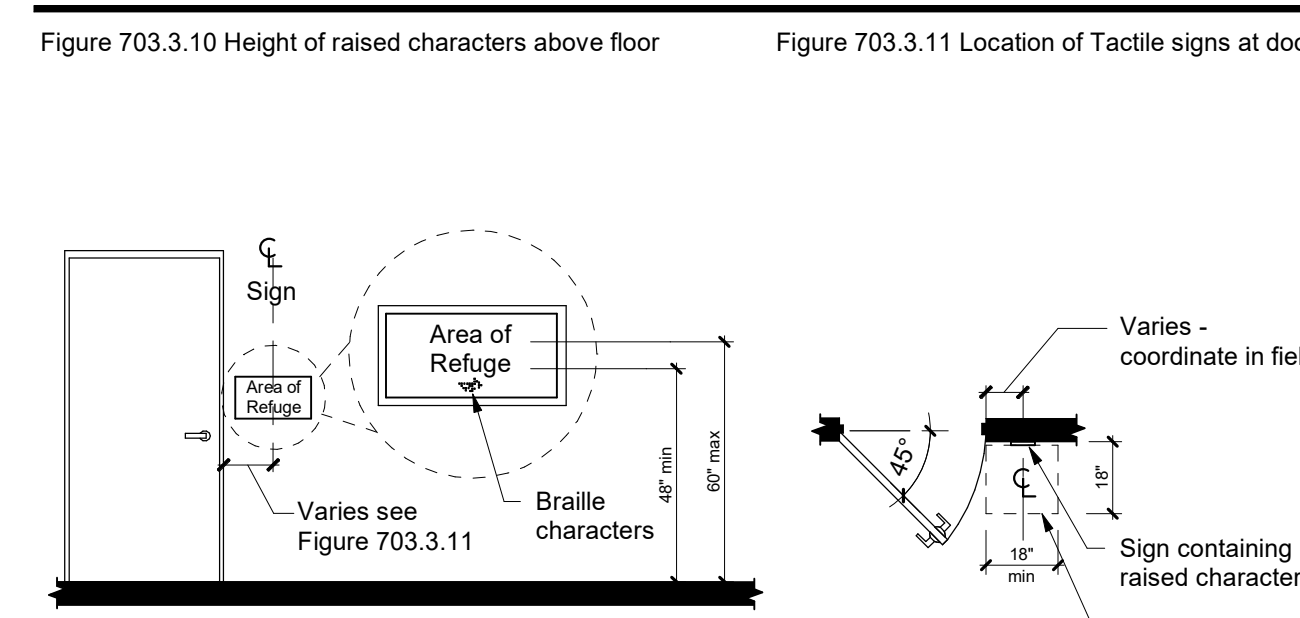
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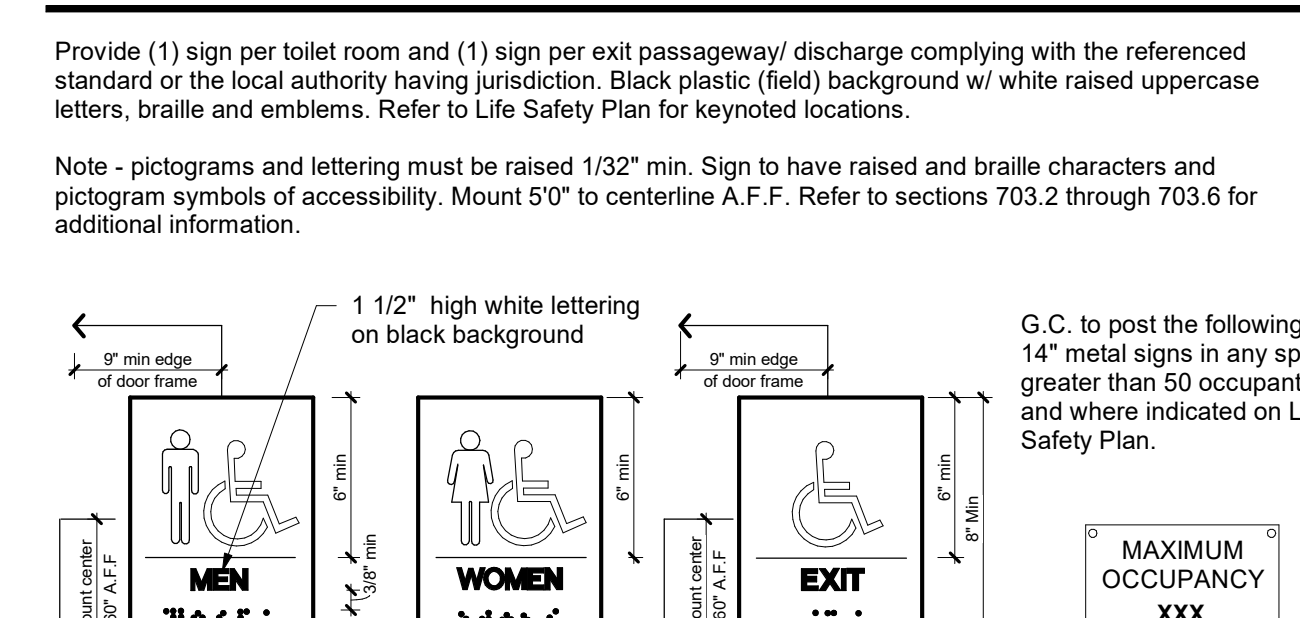
### URINALS AND CHANGING STATIONS



### SIGNS



### SIGNS - RAISED CHARACTERS



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**PROJECT STATUS**  
Zoning Review

Architect, License # 1616697  
Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
MUIRFIELD VILLAGE

**TCCMV-Masterplan Updates - Phase 2**  
The Country Club at Muirfield Village  
8715 Muirfield Drive Dublin, OH 43017

REVISIONS		
#	Description	Date

INITIAL ISSUE DATE  
**May 24, 2021**  
PROJECT NO.  
**0247.20**

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**GENERAL NOTES - SITE PLAN**

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
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- Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

**KEYNOTES - SITE PLAN**

- Priority #1 Project - Platform Tennis/ Warming Hut  
New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.
- Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area  
Updated concrete work and expanded patio area at main pool.

**PARKING CALCULATIONS**

Existing Club Parking:	188 spaces
Existing Tennis Parking:	92 spaces
<b>Total Existing Parking:</b>	<b>280 spaces</b>
Parking Lost - Platform:	19 spaces
Parking Lost - 30' Drive Aisle:	8 spaces
<b>Total Parking Lost:</b>	<b>27 spaces</b>
<b>Total Proposed Parking:</b>	<b>253 spaces</b>
Auxiliary Pickle Ball Parking:	111 spaces

**PERVIOUS/IMPERVIOUS AREA COUNTS**

Square footage of additional impervious surface for both the pool area improvements and platform tennis improvements.

Pool Expansion Improvements Area :		
Land Cover	Pre-Construction	Post Construction
Concrete	9,613 SF	13,415 SF
Vegetation	3,802 SF	0 SF
<b>Total</b>	<b>13,415 SF</b>	<b>13,415 SF</b>

Platform Tennis Improvements Area :		
Land Cover	Pre-Construction	Post Construction
Impervious	5,730 SF	2,071 SF
Vegetation	2,102 SF	1,053 SF
Aggregate	0 SF	4,708 SF
<b>Total</b>	<b>7,832 SF</b>	<b>7,832 SF</b>



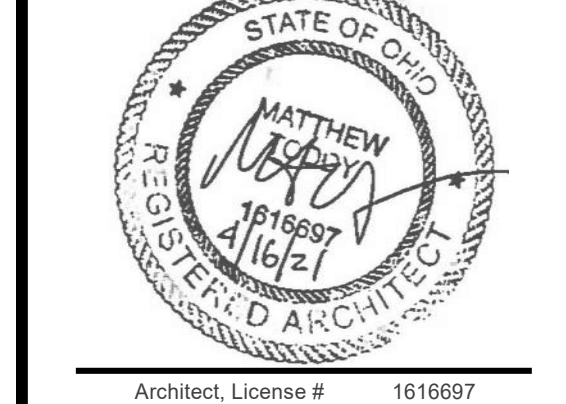
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**Zoning Review**



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**REVISIONS**

#	Description	Date
1	Review Comments	06/18/2021

**INITIAL ISSUE DATE**  
 June 18, 2021

**PROJECT NO.**  
 0247.20

**Site Plan**

**G-4**

3D VIEWS - PLATFORM TENNIS COURTS



3D VIEWS - AQUATIC CENTER



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0247.20

3D Views

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Overall Plan - Racquet Area (Project Matrix)  
Scale: 1/16" = 1'-0"

**GENERAL NOTES - RACQUET AREA**

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**PROJECT MATRIX -**

**Priority #1 Project - Platform Tennis/ Warming Hut**  
New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.

**Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area**  
Updated concrete work and expanded patio area at main pool.

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**THE COUNTRY CLUB**  
MUIRFIELD VILLAGE

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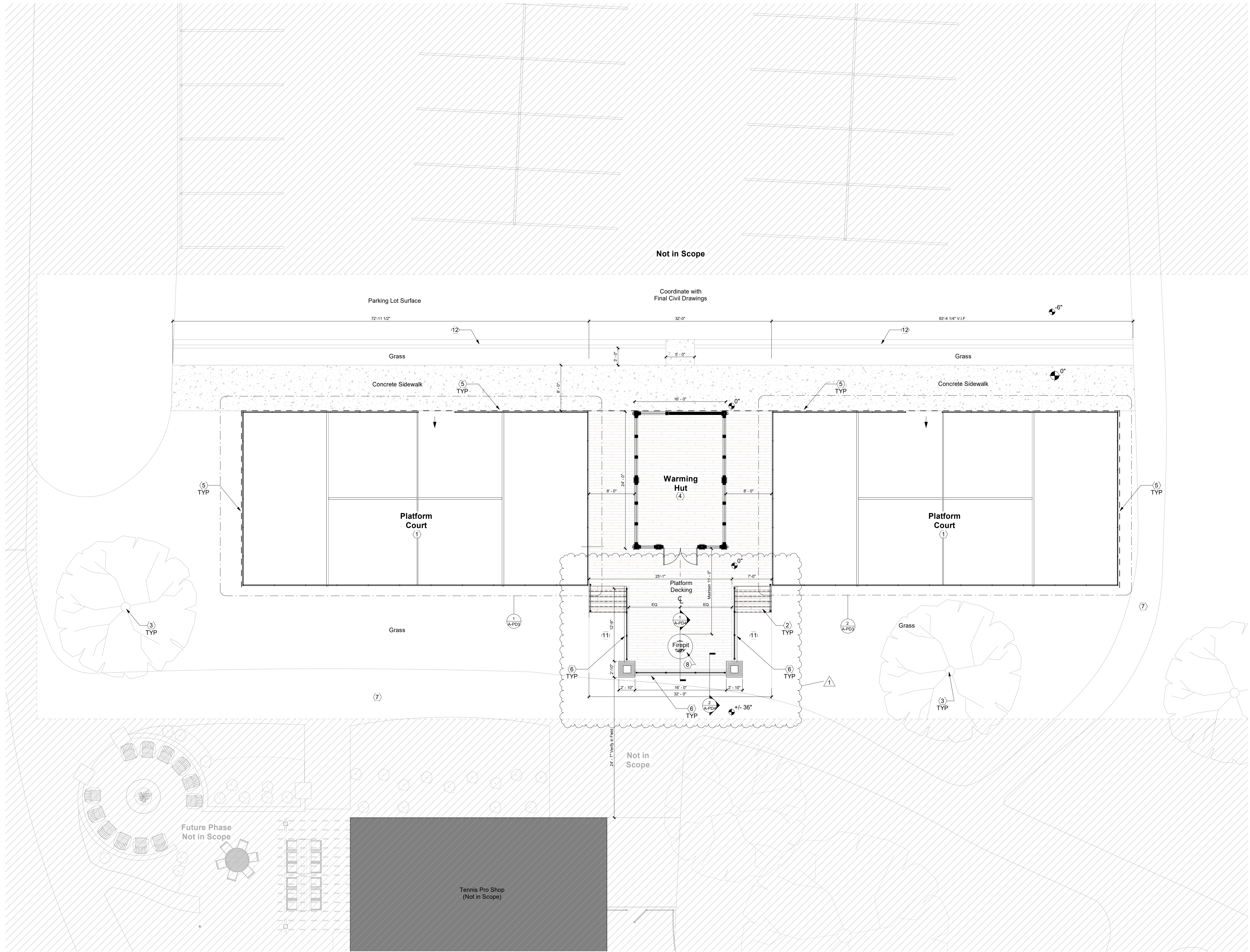
Racquet Area  
Project Matrix

**A-PD1**

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**GENERAL NOTES - PLATFORM COURT**

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2. All dimensions are from finished surface to finished surface, unless noted otherwise.

**KEYNOTES - PLATFORM COURT**

Not all notes appear on all sheets

- 1 Platform and courts by platform consultant. Refer to 'Total Platform Tennis' drawings. Provide power. Refer to electrical drawings.
- 2 Stairs by platform consultant. Refer to 'Total Platform Tennis' drawings. Actual riser count may vary. Verify elevations in field. Coordinate finishes and dimensions with Owner and Architect.
- 3 Existing donor tree, protect tree and root structure during duration of construction
- 4 Warming hut. Refer to plans, elevations, and details.
- 5 Dashed line denotes new retaining wall
- 6 Retaining wall with stone veneer. Refer to details.
- 7 Existing sidewalk and/or carpath to remain.
- 8 RFI Peterson Camplife Series gas burner and logset. Refer to details. Provide gas. Refer to plumbing plans.
- 10 Provide stamped concrete pad as indicated. Refer to structural details. Refer to legend for pattern basis-of-design. Verify extents of existing pavement in field. Coordinate with Owner and Architect.
- 11 New pavement to match existing. Verify extents in field. Coordinate location with Owner and Architect.
- 12 Refer to civil drawings for curb type location, and elevation.
- 13 Refer to grading plan for retaining wall elevations. Typ. all retaining wall locations

**PROJECT MATRIX - RACQUET AREA**

Priority #1 Project - Platform Tennis/Warming Hut  
New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.



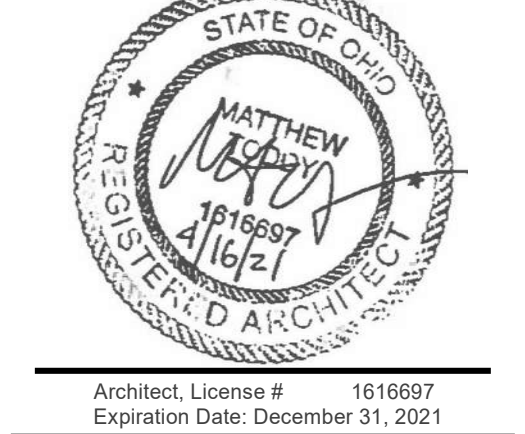
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**PROJECT STATUS**  
Zoning Review



**THE COUNTRY CLUB**  
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**REVISIONS**

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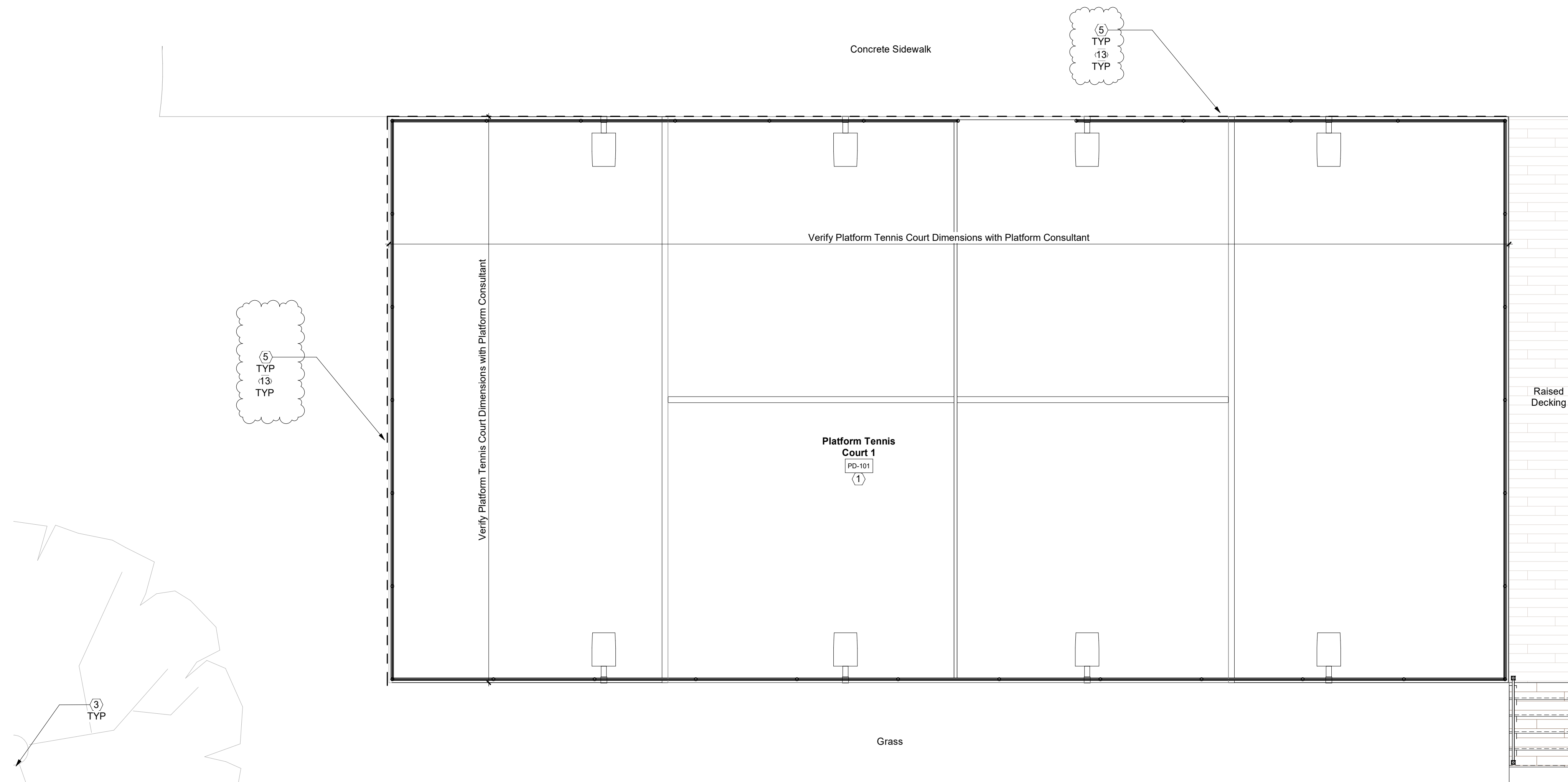
INITIAL ISSUE DATE  
**June 18, 2021**  
PROJECT NO.  
**0247.20**

Platform Court - Plan

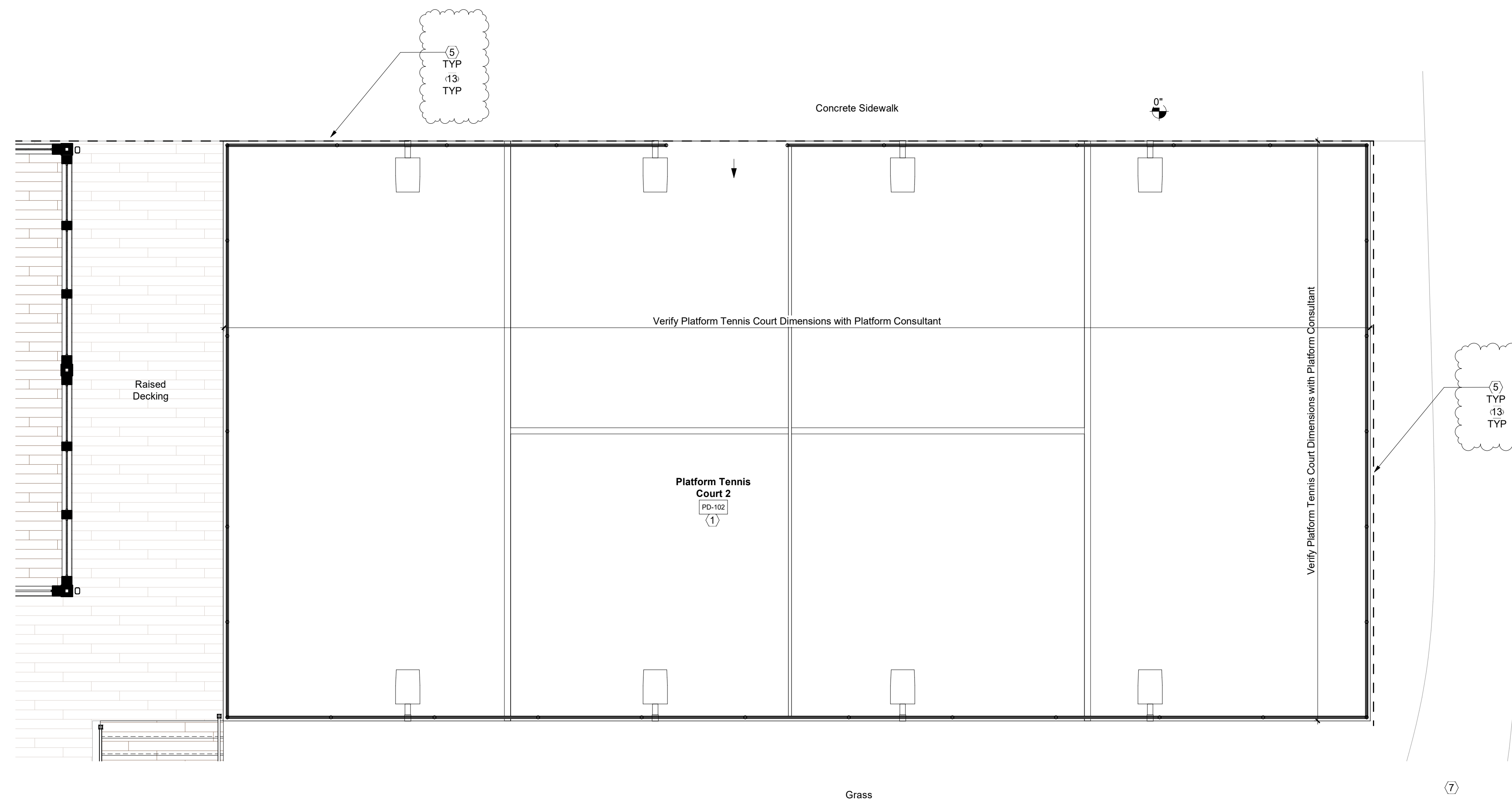
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Enlarged Plan - Platform Tennis Court (South)  
Scale: 1/4" = 1'-0"



Enlarged Plan - Platform Tennis Court (North)  
Scale: 1/4" = 1'-0"

**GENERAL NOTES - ENLARGED PLANS**

1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
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**KEYNOTES - PLATFORM COURT** Not all notes appear on all sheets

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- 5 Dashed line denotes new retaining wall
- 6 Retaining wall with stone veneer. Refer to details.
- 7 Existing sidewalk and/or cartpath to remain.
- 8 RH Peterson Campfire Series gas burner and logset. Refer to details. Provide gas. Refer to plumbing plans.
- 10 Provide stamped concrete pad as indicated. Refer to structural details. Refer to legend for pattern basis-of-design. Verify extents of existing pavement in field. Coordinate with Owner and Architect.
- 14 New pavement to match existing. Verify extents in field. Coordinate location with Owner and Architect.
- 12 Refer to civil drawings for curb type location, and elevation.
- 13 Refer to grading plan for retaining wall elevations. Typ. all retaining wall locations

**PROJECT MATRIX - RACQUET AREA**

Priority #2 Project - Platform Tennis/Warming Hut  
New platform tennis courts and warming hut. Updates include exterior site work and parking lot.

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**PROJECT STATUS**

**Zoning Review**



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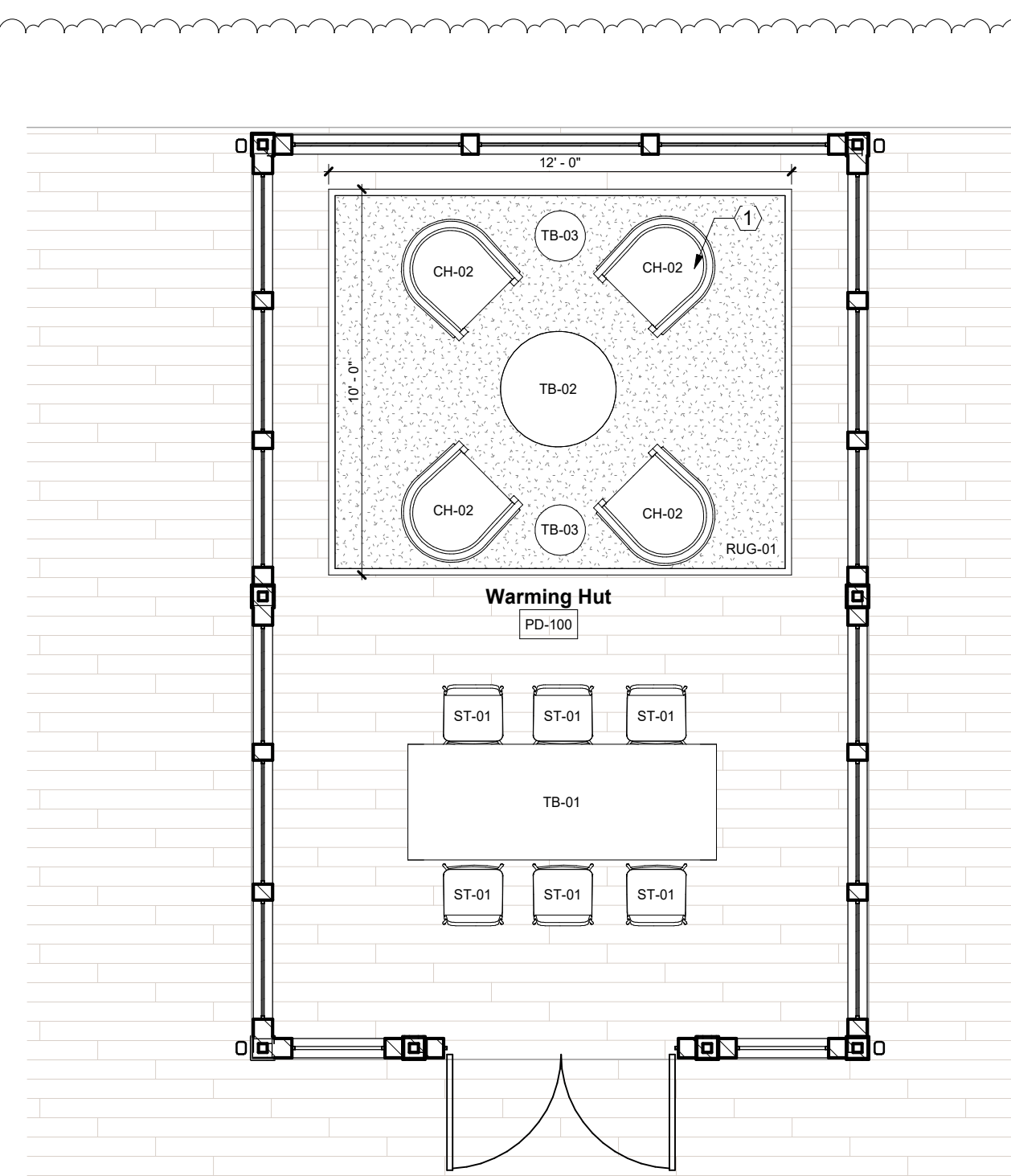
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**Platform Court - Enlarged Plans**

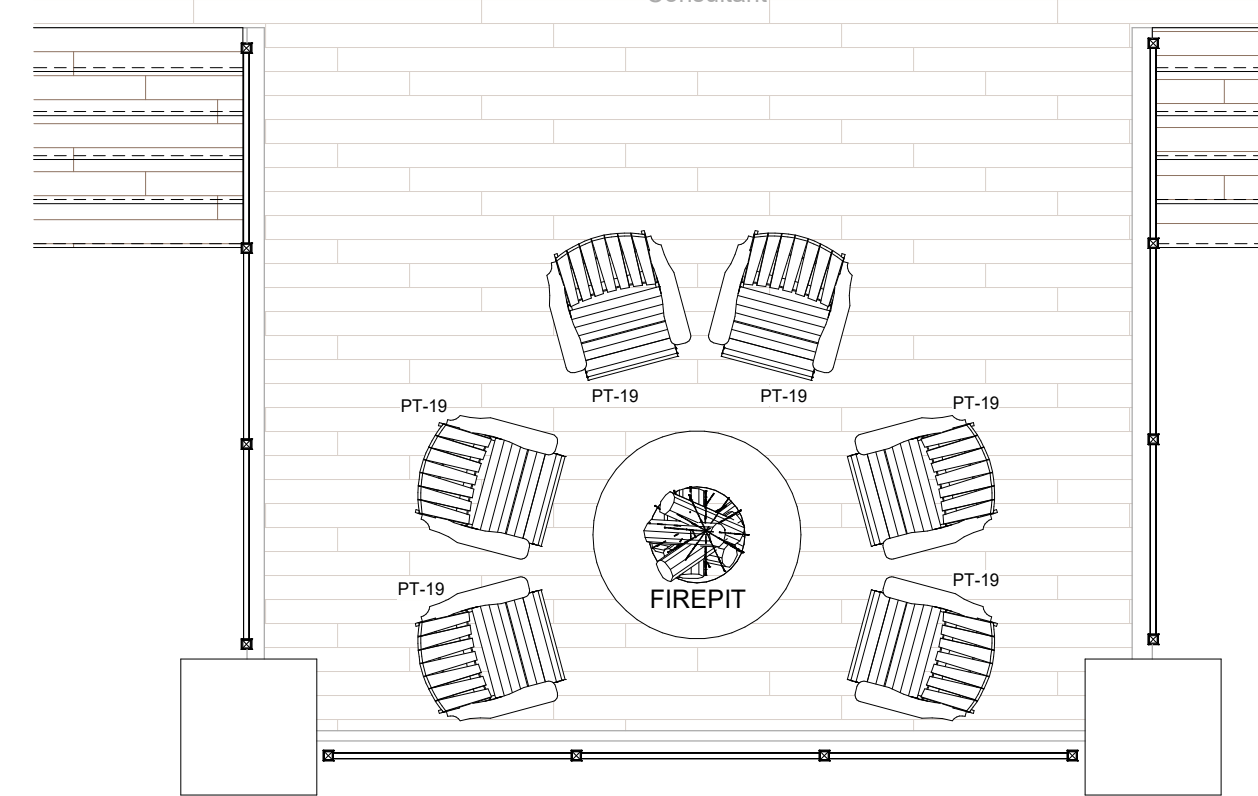
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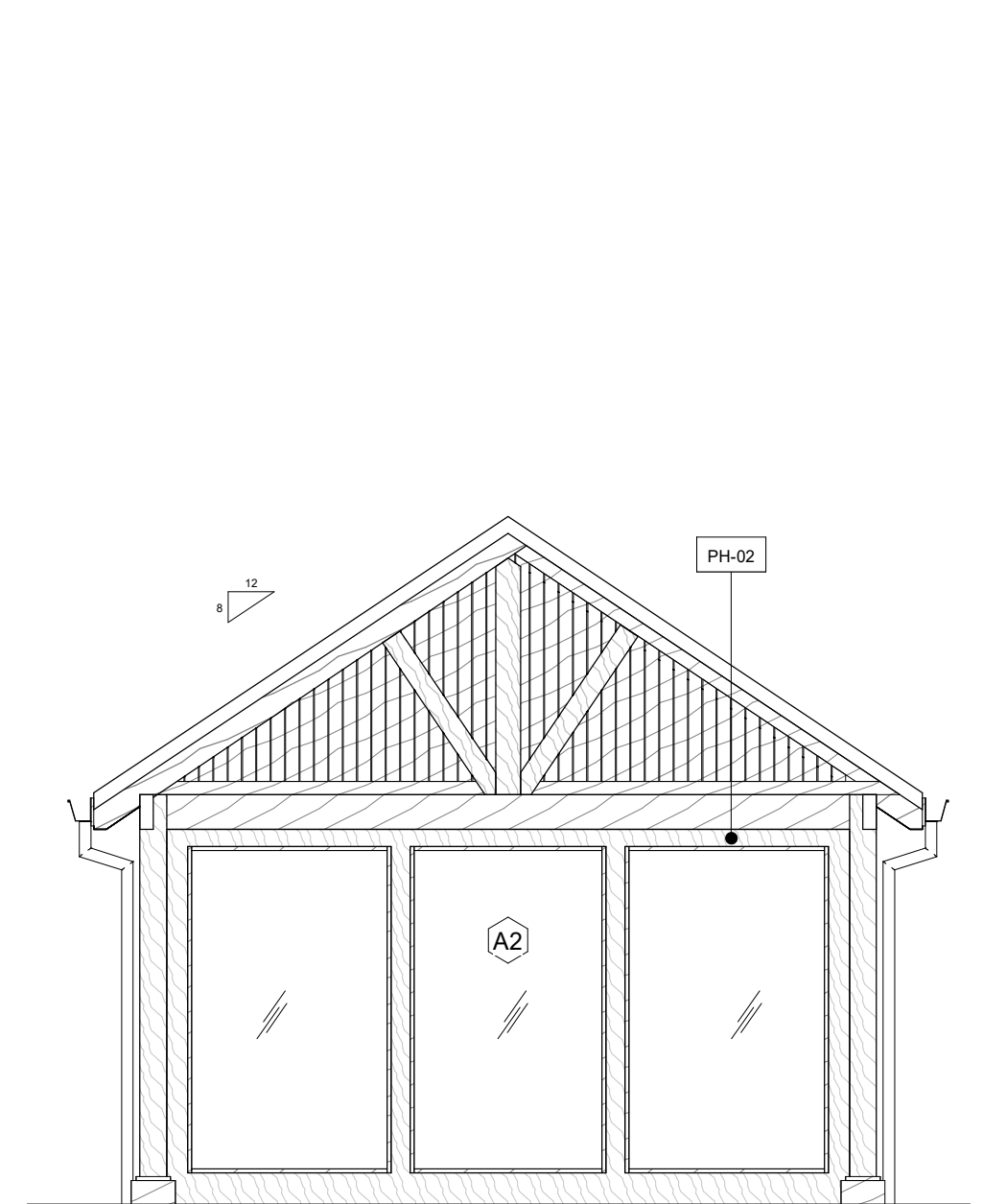
Decking Surface  
Provided by Platform  
Consultant.



**Platform Hut - Schematic Plan**  
Scale: 1/4" = 1'-0"



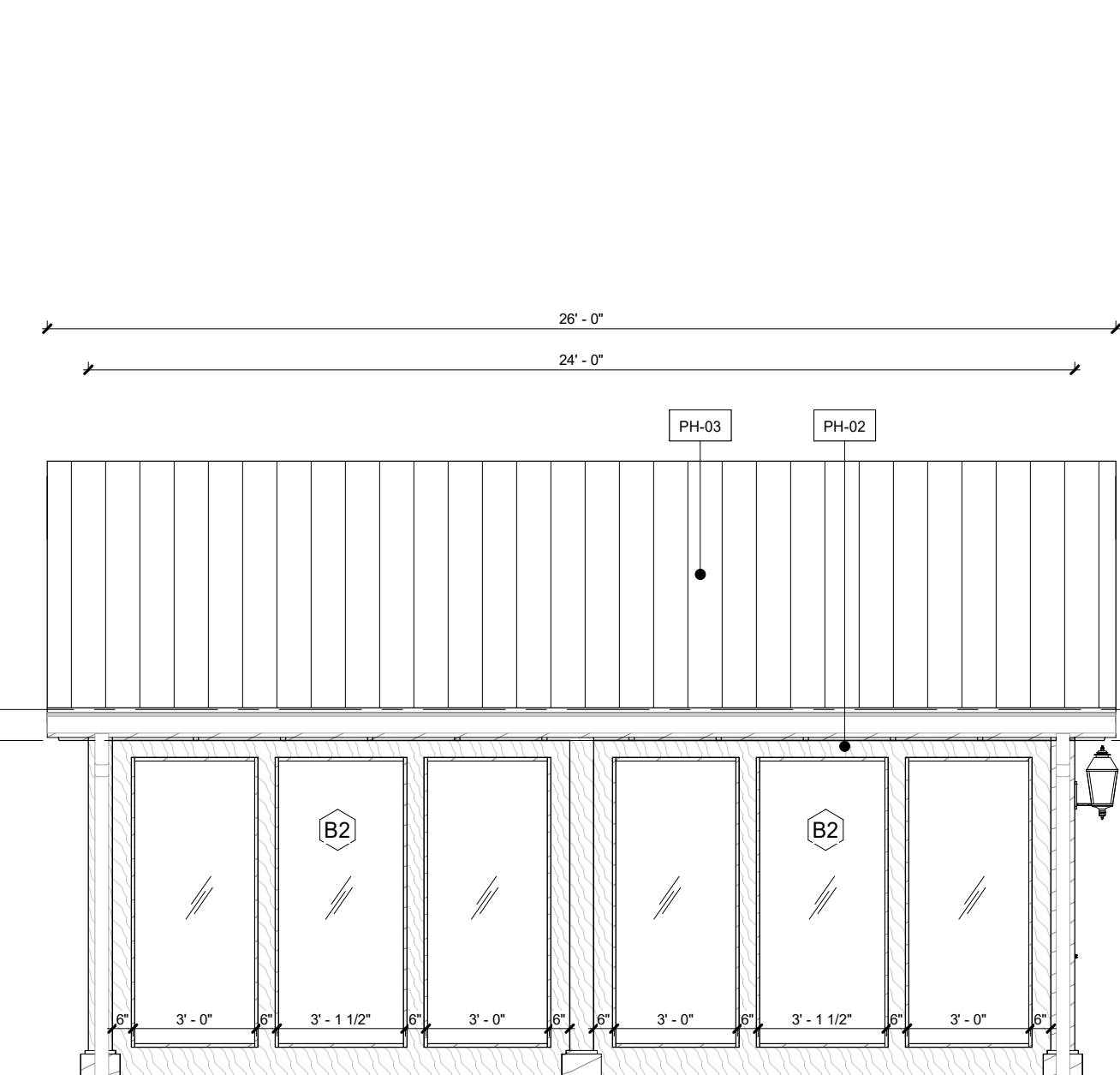
**1 Platform Hut - East**  
Scale: 1/4" = 1'-0"



**3 Platform - West**  
Scale: 1/4" = 1'-0"



**2 Platform Hut - South**  
Scale: 1/4" = 1'-0"



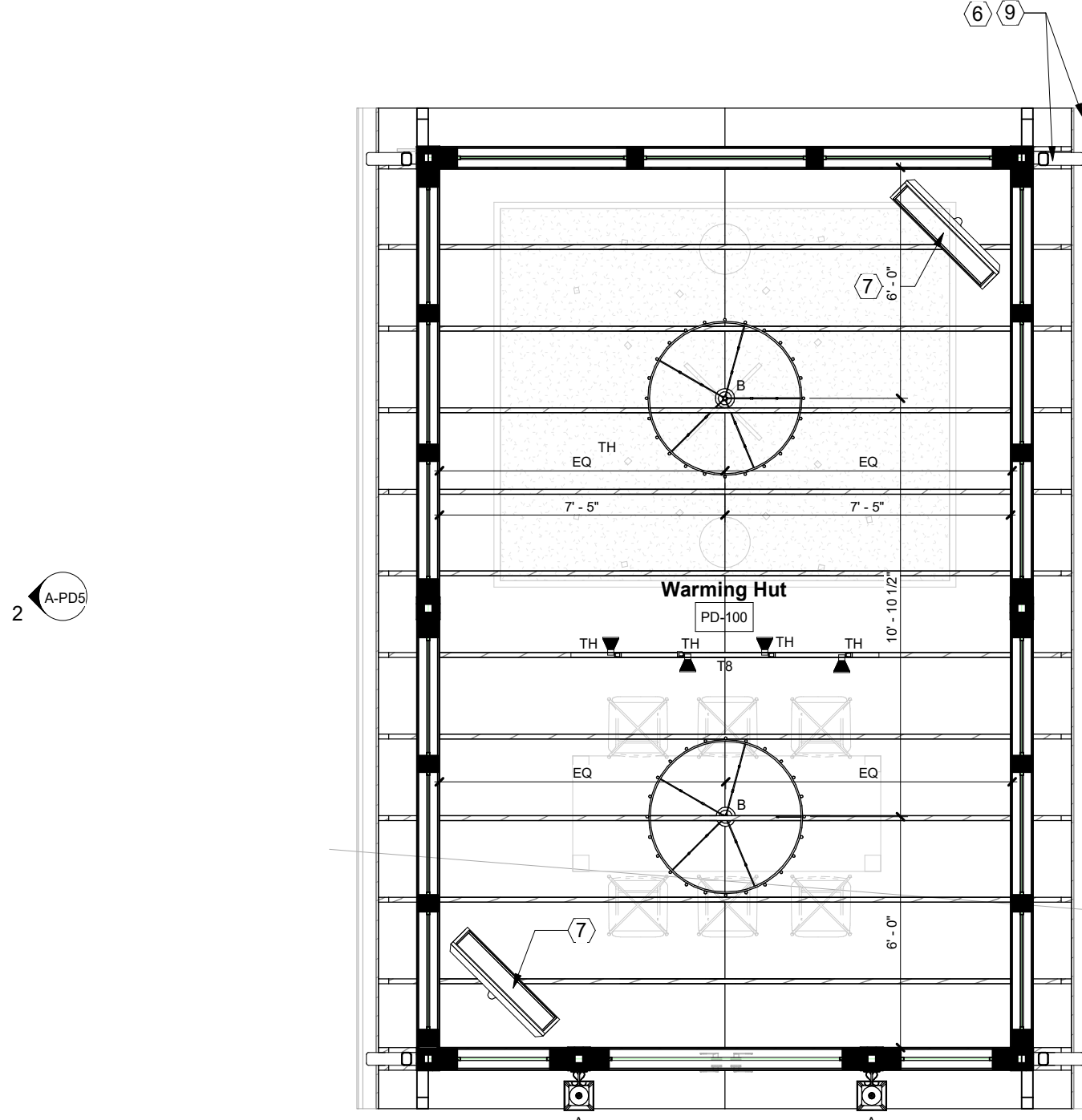
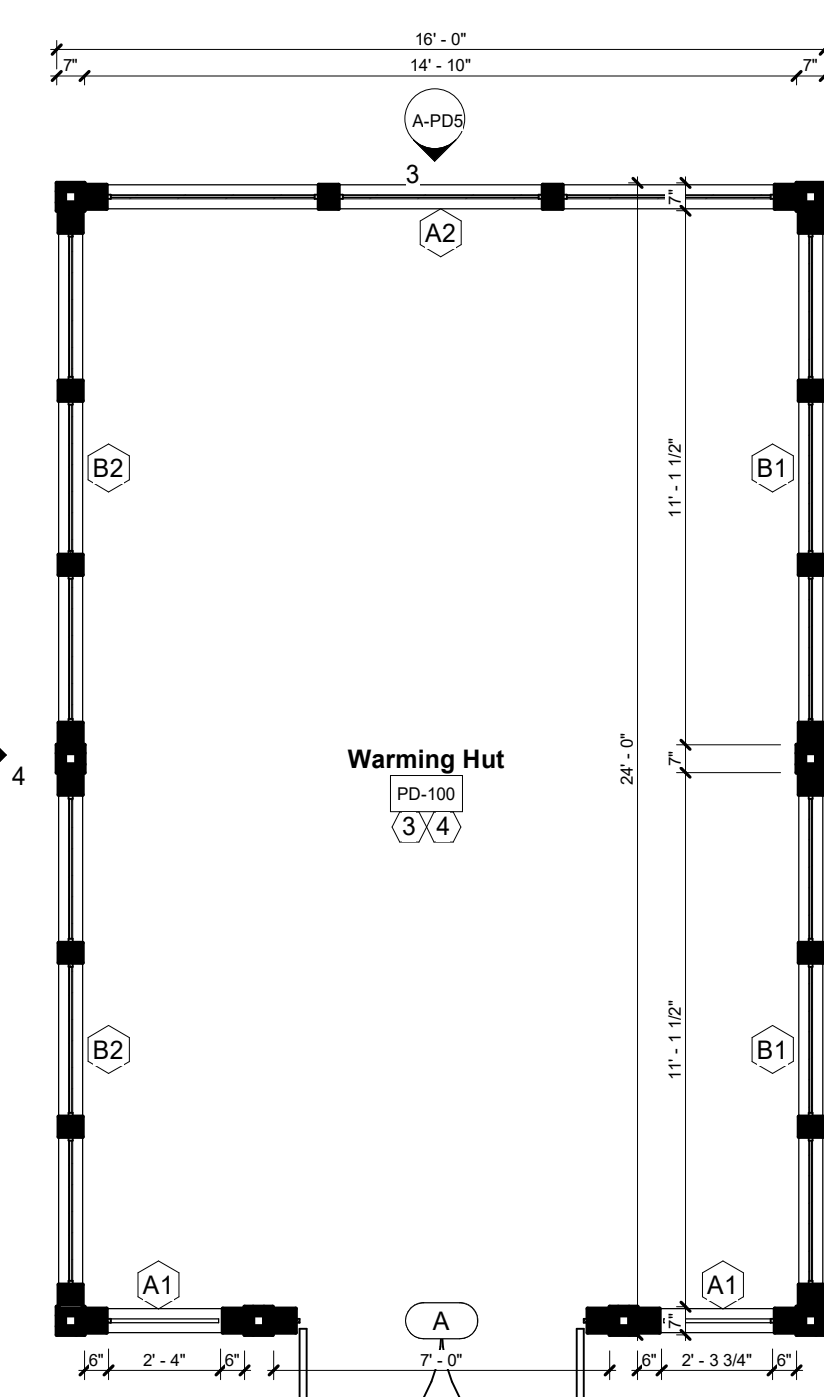
**4 Platform Hut - North**  
Scale: 1/4" = 1'-0"

**Platform Hut - Architectural Plan**  
Scale: 1/4" = 1'-0"

**Platform Hut - RCP**  
Scale: 1/4" = 1'-0"

**Platform Hut - Finish Plan**  
Scale: 1/4" = 1'-0"

Decking Surface  
(beyond) Provided by  
Platform Consultant



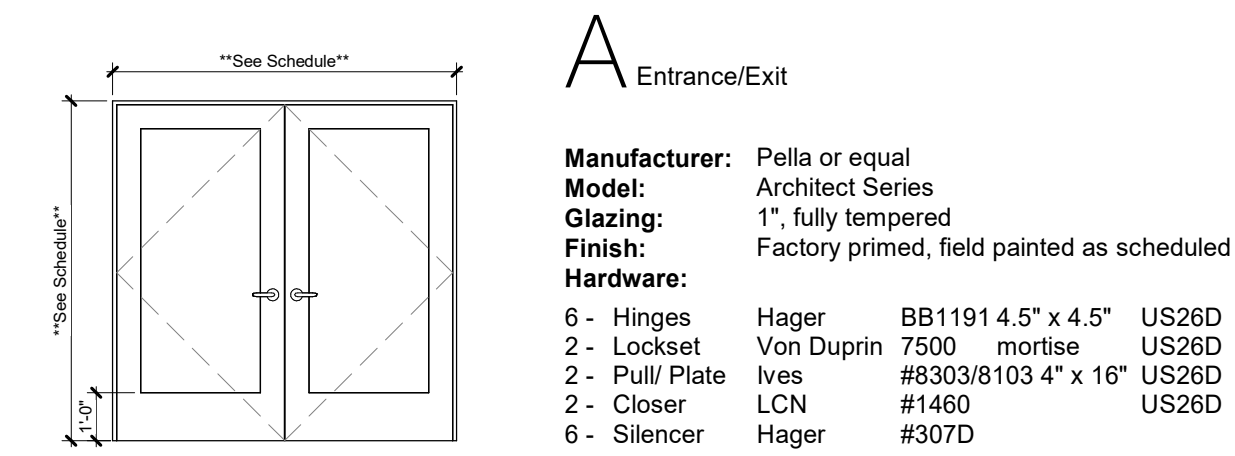
**KEYNOTES - PLATFORM HUT**

- 1 Millwork component with refrigerator incorporated. Provide cover.
- 3 Coordinate Warming Hut location, extents, and connection to tennis platform with platform tennis vendor. Verify extents in field.
- 4 Refer to elevations for window details.
- 6 Provide R-38 batt insulation above ceiling.
- 7 Wall-mounted TV with fully articulated adjustable arm. Provide blocking in wall as needed. Provide cable and power on wall behind. Refer to electrical drawings. Refer to elevations for mounting height.
- 9 4" prefinished gutter and downspout. Finish to match window trim.
- 11 Furniture and accessories provided and installed by Owner.

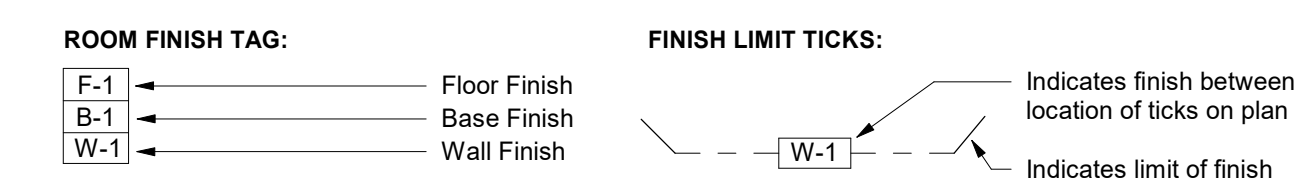
**SCHEDULE - DOORS**

Location	Door #	Description	Slab	Height	Width	Type	Finish	Frame	Hardware	Comments
Warming Hut	A	Full Lite Double Tempered Glass Door	7-8	7'-8"	5' - 11"	WD	Moch	WD	Moch	

1. All hardware to be ADA compliant.
2. Use wall or floor mounted floor stop as applicable.
3. All glazing in doors and sidelites to be tempered or safety glass per code requirements.
4. All door lever styles shall be schlage 'Saturm'; refer to hardware information for finish and lockset. Coordinate with Architect.
5. All hardware finishes shall match existing hardware finish.
6. The unlatching of any door or leaf shall not require more than one operation per chapter 10. Notify Architect immediately if conflict arises.



**LEGEND - FINISH PLAN SYMBOLS**



**SCHEDULE - INTERIOR FINISHES**

Type	Description	Manufacturer	Model	Comments
PH-01	Tile (Wood look)	Landmark Ceramics	Emotions, 8" x 40" Wood Look Planks, Color: 'Happy Walnut'	Grout: TBD to match, 1/4" install waterproof floor membrane beneath tile as directed by Owner.
PH-02	Medium Wood Stain	By Contractor	Mocha Wood Stain to Match Architects Sample	Install per Mfgs Recommendations, Refer to Berlin Gardens drawings for additional details.
PH-03	Metal Roof	By Contractor	Metal standing seam roof, Finish: Antique Bronze with finished T&G ceiling on the underside of warming hut.	Install per Mfgs Recommendations, Refer to Berlin Gardens drawings for additional details.

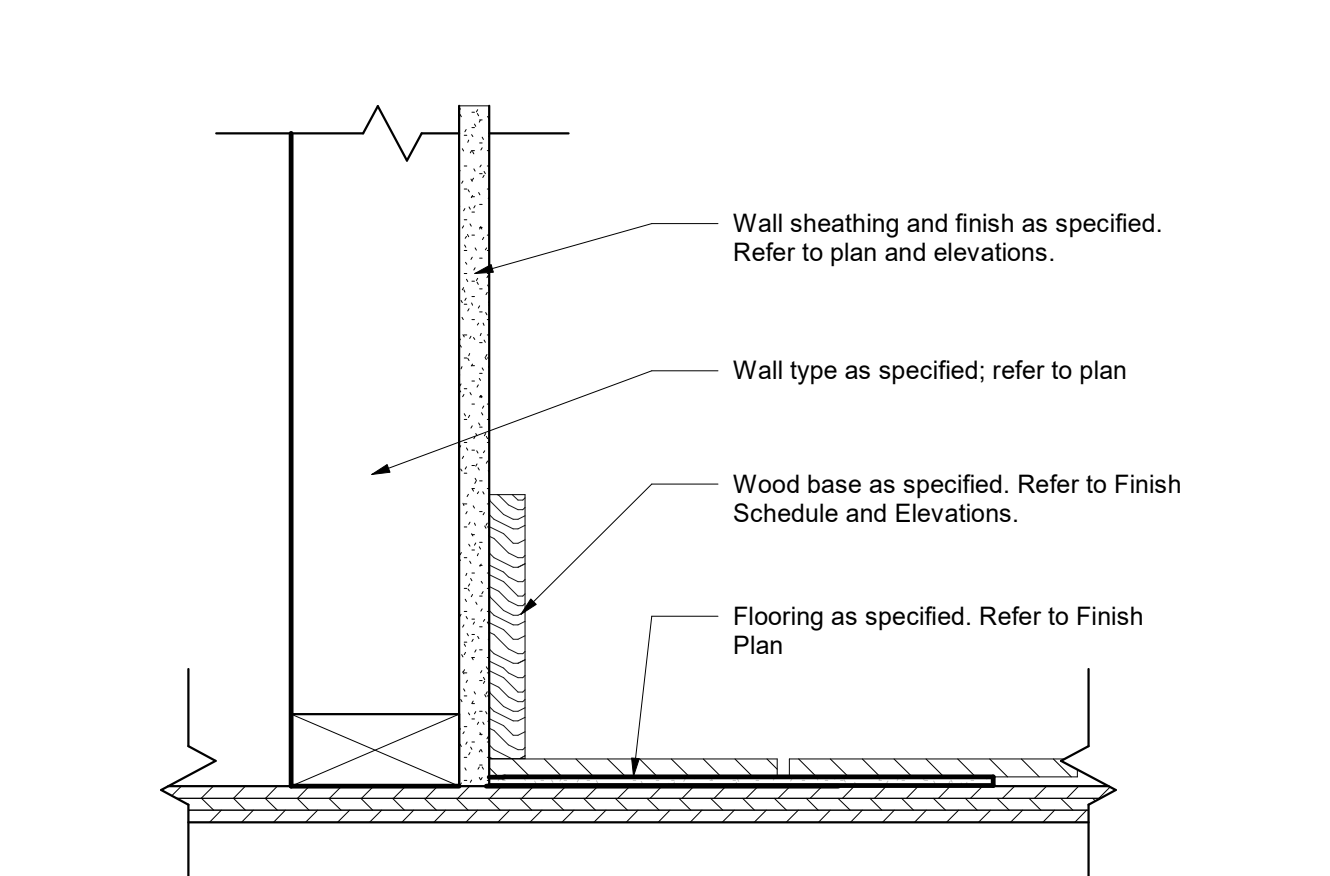
**SCHEDULE - FURNITURE**

Type	Description	Manufacturer	Model
CH-02	Lounge Chair	TBD	TBD
PT-19	Adirondack (Patio)	Dave's Amish Furniture	Adirondack Chair, Finish: Grey Composite
ST-01	Barstool	TBD	TBD
TB-01	Communal High Top table	TBD	TBD
TB-02	Coffee Table	TBD	TBD
TB-03	Tri Base 15.75 Round Top	TBD	TBD



PT-19 Adirondack Lounge Chair

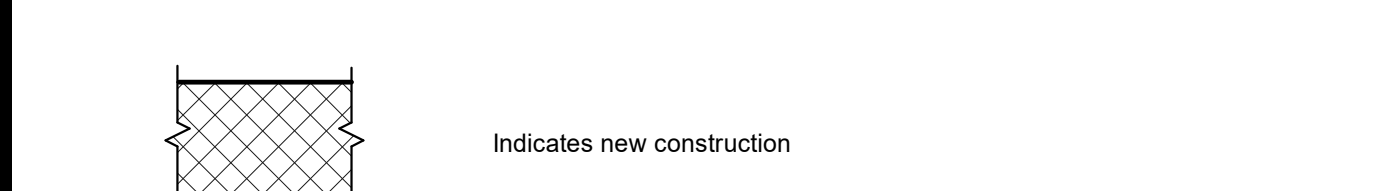
**FLOOR FINISH BASE DETAIL**



**GENERAL NOTES - PLATFORM HUT**

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2. All dimensions are from finished surface to finished surface, unless noted otherwise.
3. All items noted as removed or demolished become the property of the contractor, and are to be disposed of in a manner complying with all local, state, and federal regulations.
4. Notify architect of all existing construction not specifically noted on the drawings and remove or retain those items only as directed by the architect.
5. Contractor is solely responsible for all temporary bracing and shoring of existing structure and all construction during demolition and new construction.
6. Remove damaged corner beads and any beads at existing corners where new walls align with existing trim.
7. Remove promptly from the premises all products of demolition not designated for reuse. No debris shall be allowed to accumulate. Take appropriate measures to control dust.
8. Pipes, conduit and ductwork encountered in demolished partitions and ceilings which are to remain will be re-routed and concealed. Those which are to be abandoned shall be capped and completely concealed in the floor, wall, or ceiling.
9. General contractor is to install floor-to-ceiling 6mil polyethylene barrier between occupied areas and renovated areas. Maintain existing walls as temporary protective barriers until phasing requires demolition of existing partitions. Protect doors, moldings, and walls with non-staining paper.
10. The contractor is to promptly repair all damage caused to adjacent areas by demolition at no additional expense to the tenant/owner with matching material, finish, and color.
11. The contractor is responsible for moving any furniture which may be necessary for demolition or new construction.
12. All work causing excessive noise or requiring shutdown of any services, utilities, or risers serving occupied areas of the building shall be carried out only by arrangement with the tenant/owner/building management.
13. All areas where demolition causes unevenness or voids in the floor are to be patched to level with r-dex or equal material.
14. Remove all residual carpet, padding, tack strips, or adhesive from the areas designated.
15. Remove existing ceiling tile as indicated on reflective ceiling plans. Existing black iron may be reused at contractor's option and architect's approval.
16. Architectural reflected ceiling plans are for the purpose of indicating the design intent only. Indicated location of HVAC diffusers, return air grilles, light fixtures, etc., are shown only for coordination of these items with the architectural design elements. Refer to Engineer's drawings for specifications and exact locations of these items. If discrepancies between the engineering drawings and architectural drawings are discovered, Contractor shall notify Architect for clarification prior to installing work in question.
17. Ceiling grid layout is to be centered both ways in rooms or spaces unless noted otherwise.
18. HVAC diffusers and return air grilles are to be centered between light fixtures unless noted otherwise.
19. The Contractor shall provide access panels, where equipment requiring access is located above finished, non-accessible ceilings. Match access panel to adjacent finish. Coordinate specific access panel details with Architect.
20. Do not install light fixtures lenses or remove protective plastic film until carpet has been installed and vacuumed.
21. Install acoustical ceiling panels with grain/texture running in the same direction unless indicated otherwise.
22. If acoustical ceiling panels have been specified, Contractor shall include an allowance to provide Owner with a five percent attic stock of each panel type used on the project, in unopened cartons for maintenance and replacement use. Verify actual quantity with Owner prior to order.
23. Gypsum board ceilings and soffits as indicated on these drawings are to be attached or suspended according to construction procedures described in latest edition of *The Gypsum Construction Handbook* by USG, published by Wiley.
24. All ceiling mounted items shall be installed per manufacturer's instructions. Contractor shall identify and provide all required blocking for their proper attachment.
25. All flooring finish material shall have a classification complying with code required minimums. Refer to Title Sheet for additional information. Copies of test reports for flooring materials shall be provided at the request of the code official.
26. All wall and ceiling finish materials shall have a classification complying with code minimums. Refer to Title Sheet for additional information. Copies of test reports for these materials shall be provided at the request of the code official.
27. Interior finish materials shall be applied or attached in such a manner that such materials will not readily become detached when subjected to room temperatures of 200 degrees Fahrenheit (93 degrees Celsius), for not less than thirty (30) minutes.
28. All areas not specifically designated are to receive a smooth paint finish.
29. Gypsum board walls, ceilings, soffits, fascias, light pockets, drapery pockets, etc. Are to be prepared for smooth paint finish. See schedule for paint color or application of other finish material.
30. Contractor is to provide a covering to protect new flooring material after installation.
31. Paint is to be applied over properly prepared surface meeting manufacturer's recommendations. Provide minimum two finish coats over primer on uncoated materials, two finish coats over previously finished materials.
32. Repainting of surfaces across entire areas to a change of plane may be required if touch ups are visible. Such repainting will be at the architect's sole discretion.
33. Surfaces receiving wall covering shall be given one coat of primer. Sizing shall be applied as recommended by the wallcovering manufacturer.
34. Wall covering is to be applied in strict accordance with the manufacturer's recommendations. Examine material for color variations, defects, or shading, and advise architect of such prior to cutting of material. Failure to do so could result in general replacement and/or reinstallation of the goods.
35. Submit to architect three (3) samples, 8" x 10" minimum size, of all paints, wall coverings, wood veneers & stains, trim, etc. Finish shall match that specified for the material (ie gloss, flat, eggshell, etc.)
36. Paint brands and colors specified reflect the precise color and finish result desired. Architect will review alternative products when requested and clearly designated in writing by the contractor, and three sets of samples are submitted. Acceptance or rejection of such alternatives is solely at the discretion of the Architect, and minor variations in color and/or texture may constitute grounds for rejection.
37. Where different height flooring materials abut, provide aluminum reducer strips, unless specified otherwise.
38. Wall and ceiling mounted items, including, but not limited to, registers, diffusers, grilles, speakers, clean-outs, cover plates, outlets, switches and thermostats, whether factory pre-finished or not, which do not match the adjacent wall or ceiling color shall be field painted to match adjacent wall U.N.O. within these documents.
39. Drywall control joints shall be provided as shown on drawings and/or as recommended by ASTM C840.
40. Fabrics shall be separately fire treated by the GC if not pre-treated by the Manufacturer.

**LEGEND - ARCHITECTURAL PLAN**



**SCHEDULE - LIGHT FIXTURES**

Type	Description	Manufacturer	Model	Type	Mounting Height
A	Outdoor Wall Sconce	Rejuvenation	Yeon Single Sconce Finish: Oil-Rubbed Bronze and Seeded Shade	60W E26 LED	Install per Manuf. recommendations, refer to Elevations for mounting heights
B	Chandelier	Restoration Hardware	Camino Vintage Filament 50" Round Chandelier Finish: Iron	(24) 25W E12 Candelabra bulbs	Install per Manu. recommendations, refer to Elevations for mounting heights
T8	Track - 8" (Ceiling Mounted)	ConTech Lighting	LT-8-B (Black)		Ceiling Mounted
TH	Track Head	ConTech Lighting	CTL1216T-B	MR16	n/a



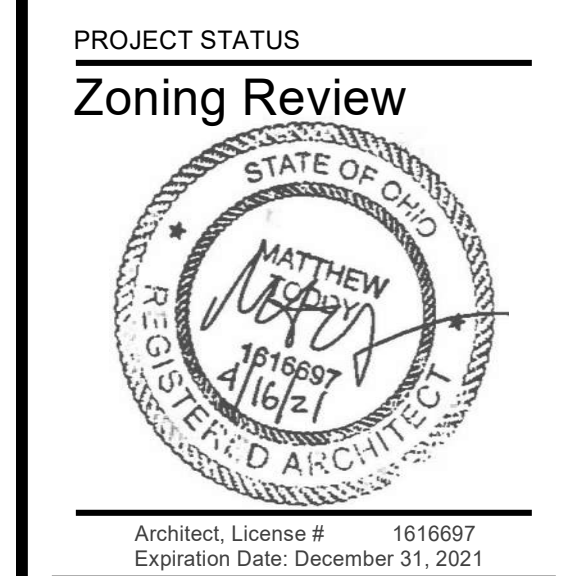
Type A : Outdoor Wall Sconce    Type B : Chandelier    Type TH : Track Head

**OWNER**  
Country Club at Muirfield Village  
8715 Muirfield Drive  
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**PROJECT STATUS**  
**Zoning Review**  
THE COUNTRY CLUB  
MUIRFIELD VILLAGE  
TCCMV-Masterplan Updates - Phase 2  
The Country Club at Muirfield Village  
8715 Muirfield Drive Dublin, OH 43017

**REVISIONS**

#	Description	Date
1	Review Comments	06/18/2021

**INITIAL ISSUE DATE**  
June 18, 2021  
**PROJECT NO.**  
0247.20

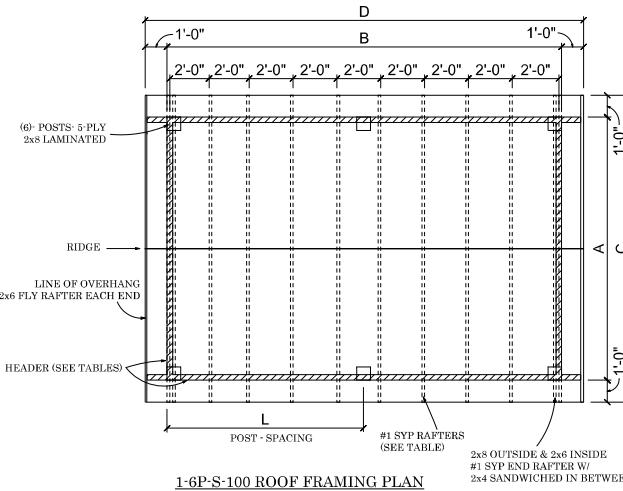
**Warming Hut - Plans**

**A-PD5**



# BRECKENRIDGE PAVILIONS

OTHERS RESPONSIBLE FOR BUILDING DEPARTMENT SUBMITTAL



6- POST PAVILION TABLE

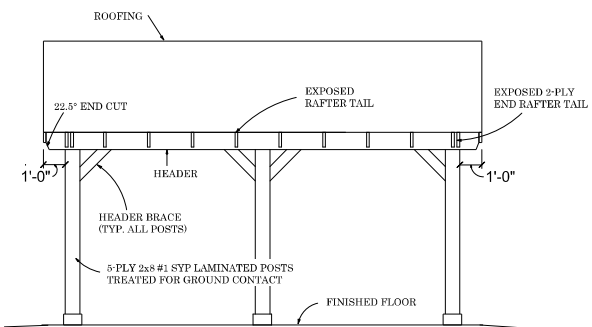
SIZE	A	B	C	D	HEADERS*	HEIGHT (G)	AREA (SQ. FT.)	RAFTER (#) ON CENTER SPACING	FOOTER DIAMETER - (I) REBAR CALLOUT
10X18	10'-0"	18'-0"	12'-0"	20'-0"	2- PLY	11'- 4"	180	2x4 @ 24"	16" - (5) #4 VERTICAL
10X20	10'-0"	20'-0"	12'-0"	22'-0"	2- PLY	11'- 4"	220	2x4 @ 24"	16" - (5) #4 VERTICAL
12X18	12'-0"	18'-0"	14'-0"	20'-0"	2- PLY	12'- 0"	216	2x4 @ 24"	16" - (5) #4 VERTICAL
12X20	12'-0"	20'-0"	14'-0"	22'-0"	2- PLY	12'- 0"	240	2x4 @ 24"	16" - (5) #4 VERTICAL
14X18	14'-0"	18'-0"	16'-0"	20'-0"	2- PLY	12'- 8"	252	2x4 @ 24"	16" - (5) #4 VERTICAL
14X20	14'-0"	20'-0"	16'-0"	22'-0"	3- PLY	12'- 8"	280	2x4 @ 24"	16" - (5) #4 VERTICAL
14X24	14'-0"	24'-0"	16'-0"	26'-0"	3- PLY	12'- 8"	336	2x4 @ 24"	16" - (5) #4 VERTICAL
16X18	16'-0"	18'-0"	18'-0"	20'-0"	2- PLY	13'- 4"	288	2x6 @ 24"	20" - (5) #4 VERTICAL
16X20	16'-0"	20'-0"	18'-0"	22'-0"	3- PLY	13'- 4"	320	2x6 @ 24"	20" - (5) #4 VERTICAL
16X24	16'-0"	24'-0"	18'-0"	26'-0"	3- PLY	13'- 4"	384	2x6 @ 24"	20" - (5) #4 VERTICAL
18X18	18'-0"	18'-0"	20'-0"	20'-0"	3- PLY	14'- 0"	324	2x6 @ 24"	20" - (5) #4 VERTICAL
18X20	18'-0"	20'-0"	20'-0"	22'-0"	3- PLY	14'- 0"	360	2x6 @ 24"	20" - (5) #4 VERTICAL
18X24	18'-0"	24'-0"	20'-0"	26'-0"	3- PLY	14'- 0"	432	2x6 @ 24"	20" - (5) #4 VERTICAL
20X20	20'-0"	20'-0"	22'-0"	22'-0"	3- PLY	14'- 8"	400	2x6 @ 24"	20" - (5) #4 VERTICAL
20X24	20'-0"	24'-0"	22'-0"	26'-0"	3- PLY	14'- 8"	480	2x6 @ 24"	20" - (5) #4 VERTICAL

Design Complies with Ohio Residential Code 2019 and The Ohio Building Code 2017 Structural Design Based On ASCE 7 - 10  
 Snow Load:  
 Ground Snow Load = 20 Psf  
 Snow Exposure Factor For Terrain Category B = 1.0  
 Thermal Factor 1.2 -  
 Slope Factor 1.0 -  
 Importance Factor For Category II = 1.0  
 Unbalanced Snow Load, Does Not Apply -  
 Roof LL = 20 psf  
 Roof DL = 10 psf

Wind Load:  
 Basic Wind Speed Per Figure = 115 MPH  
 Wind Pressure For Exposure B Per Table  
 Importance Factor For Category II = 1.0

### SEISMIC DESIGN

S5 = 15  
 S1 = 6  
 Site Class = D  
 Designed Using Simplified Lateral Force Analysis Procedures.  
 F = 1.0  
 Fa = 1.4  
 Sds = 1.0  
 R = 7



\*HEADER NOTES:  
 2- PLY IS (2)- 2x10 #1 SYP FASTENED TOGETHER.  
 3- PLY IS (3)- 2x10 #1 SYP FASTENED TOGETHER.  
 HEADER PLYS ARE GLUED TOGETHER  
 (6) #1 SYP RAFTERS W/ #1 SYP COLLAR TIE @ 6' O.C.  
 INSTALL 3'-6" FROM RIDGE.

NOTE:  
 ALL MATERIALS, UNLESS OTHERWISE NOTED, ARE SOUTHERN YELLOW PINE #2 or BETTER GRADE.

Fasteners Are GRK-RSS Construction Screws or Saber Drive Screws At Length and Diameter Specified w/ Coating Approved For Use In Preservative Treated Wood w/ The Treatment Used Unless Noted Otherwise.

- 5-PLY 2x8 #1 LAMINATED SYP POSTS (TREATED FOR GROUND CONTACT)

FOUNDATION NOTES:  
 - CONCRETE - 4,000 psi w/  
 5- 7% AIR ENTREATMENT

ROOF STRUCTURE OPTIONS:  
 - PINE SHEATHING w/ EITHER  
 - ALL TRUSSES

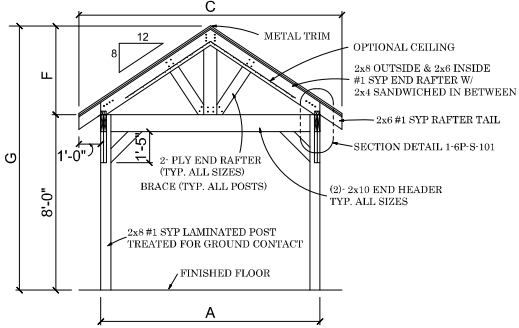
ROOFING OPTIONS:  
 - 30 YEAR ASPHALT SHINGLES  
 - 29 GA. PAINTED STEEL ROOF

OPTIONAL CEILING:  
 - 1x6 PINE T&G BOARDS

ROOFING OPTIONS:  
 - 30 YEAR ASPHALT SHINGLES  
 - 29 GA. PAINTED STEEL ROOF

Note:  
 Footings Shown Are Applicable For Pavilions Listed in Tables.  
 The Soils Strengths Is Code Allowed Minimum 1,500 psf. The Design Is Based On Level Ground For At Least 10 ft. Beyond Building Line In All Directions. If These Conditions DO NOT Exist, A Registered Engineer Must Do The Final Foundation Design.

NOTE:  
 ALL BOXED SPECS. ARE APPLICABLE FOR SPECIFIC JOBS.



INFORMATIONAL COPY ONLY SEALED PLANS AVAILABLE UPON REQUEST

BERLIN GARDENS LLC  
 5029 TOWNSHIP HIGHWAY 359  
 MILLERSBURG, OH 44654  
 HOLMES COUNTY

REVISIONS		
MARK	DATE	DESCRIPTION
1	3-12-20	AG-CO FOOTER

PROJECT NO: xxx  
 DRAWN BY: KK  
 DATE: 4/28/2020  
 SHEET TITLE:

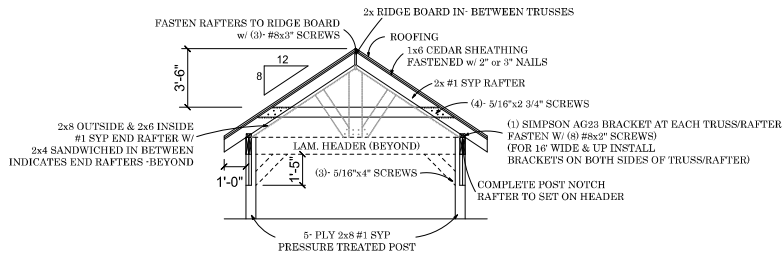
BRECKENRIDGE PAVILION  
 6- POST STRUCTURES

6P S-100



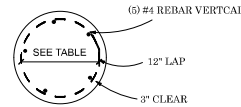
**BERLIN GARDENS LLC**  
*take life outdoors™*

Breckenridge Pavillion  
 SCALE: 3/8" = 1'-0"

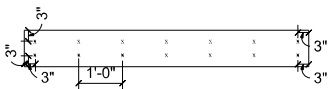


**8-6P-S-101 CROSS SECTION - RAFTERS**  
SCALE: 3/8" = 1'-0"

NOTE:  
OPTIONAL CEILING CAN BE INSTALLED

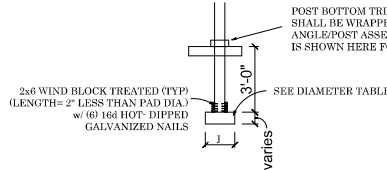


**Rebar Diagram**  
SCALE: 1.0000" = 1'-0"

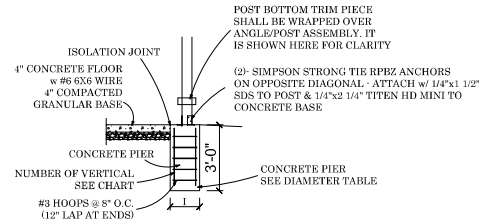


2- PLY FASTENER PATTERN w/ #8x2 1/2" SCREWS  
3- PLY FASTENER PATTERN IS SAME W/ #8x3" SCREWS  
4- PLY FASTENER PATTERN IS SAME W/ #9x4" SCREWS  
"X" S' INDICATE SCREWS INSTALLED  
FOR 3- PLY, INSTALL 3rd PLY BETWEEN THE POSTS.

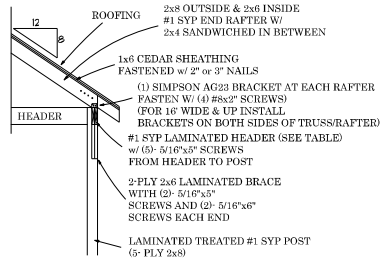
**6-6P-S-101 HEADER LAMINATING FASTENER PATTERN**



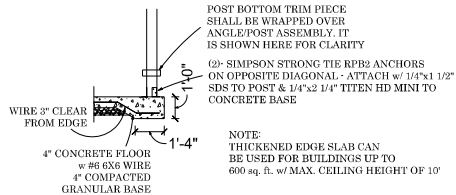
**5-6P-S-101 AG-CO PRODUCTS, INC.**  
FP MOLDED COMPOSITE FOOTING PAD



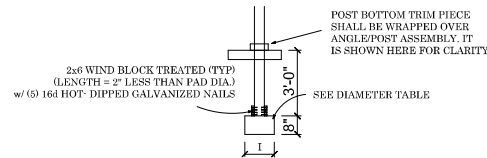
**4-6P-S-101 CONCRETE PIER POST ANCHOR**



**1-6P-S-101 2x10 HEADER CONNECTION DETAIL**



**2-6P-S-101 FOUNDATION DETAIL - ON CONCRETE**  
WHERE PERMITTED BY BUILDING CODE



**3-6P-S-101 EMBEDDED POST - FROST PROTECTED**

**Breckenridge Pavilion**  
SCALE: 3/8" = 1'-0"



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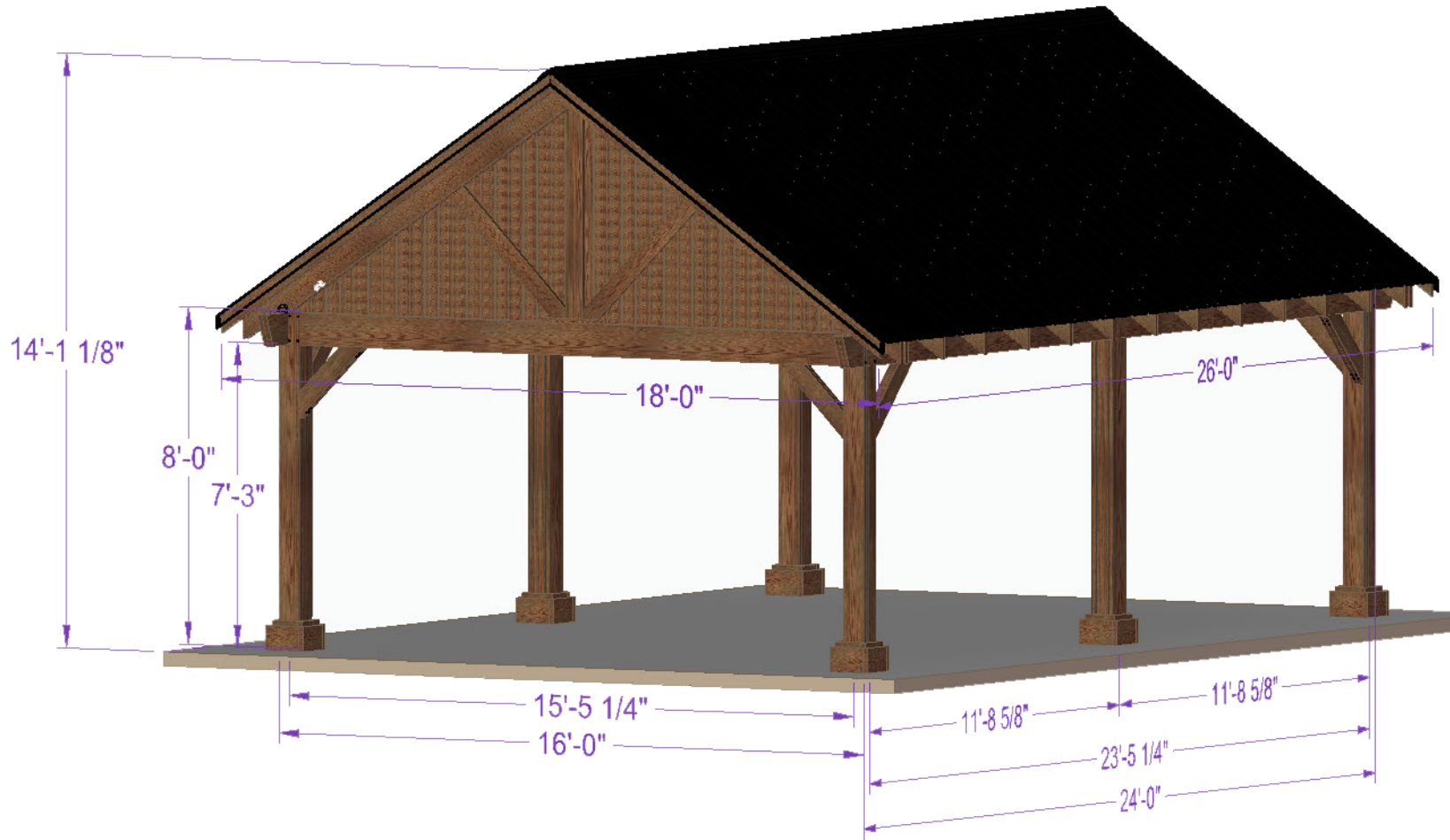
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5029 TOWNSHIP HIGHWAY 359  
MILLERSBURG, OH 44654  
HOLMES COUNTY

REVISIONS		
MARK	DATE	DESCRIPTION
1	3-12-20	AG-CO FOOTER

PROJECT NO: xxx  
DRAWN BY: KK  
DATE: 4/28/2020  
SHEET TITLE:

BRACKENRIDGE PAVILION  
6 - POST STRUCTURES

6P S-101



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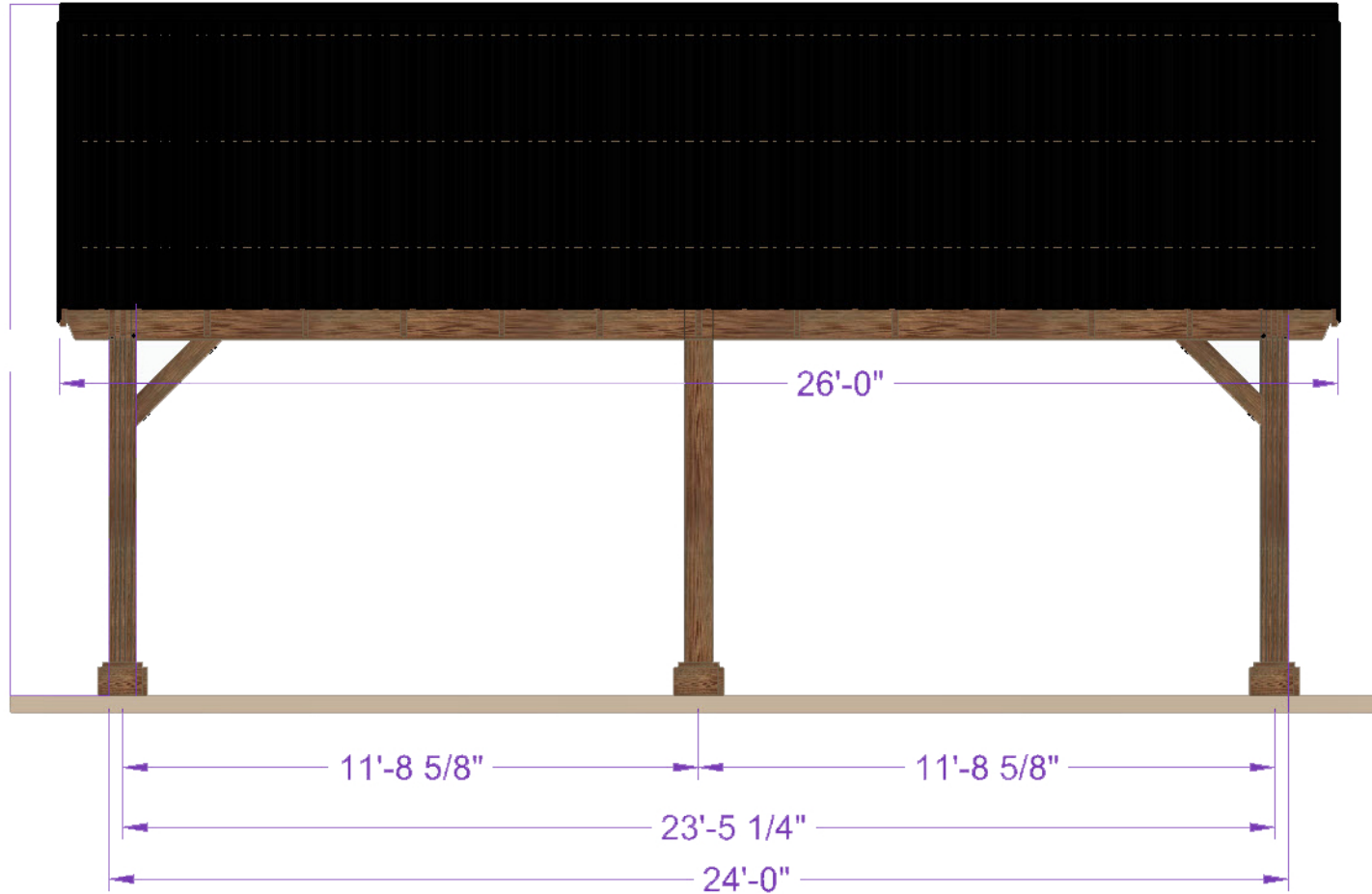
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HOLMES COUNTY

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PROJECT NO: xxx  
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6 - POST STRUCTURES





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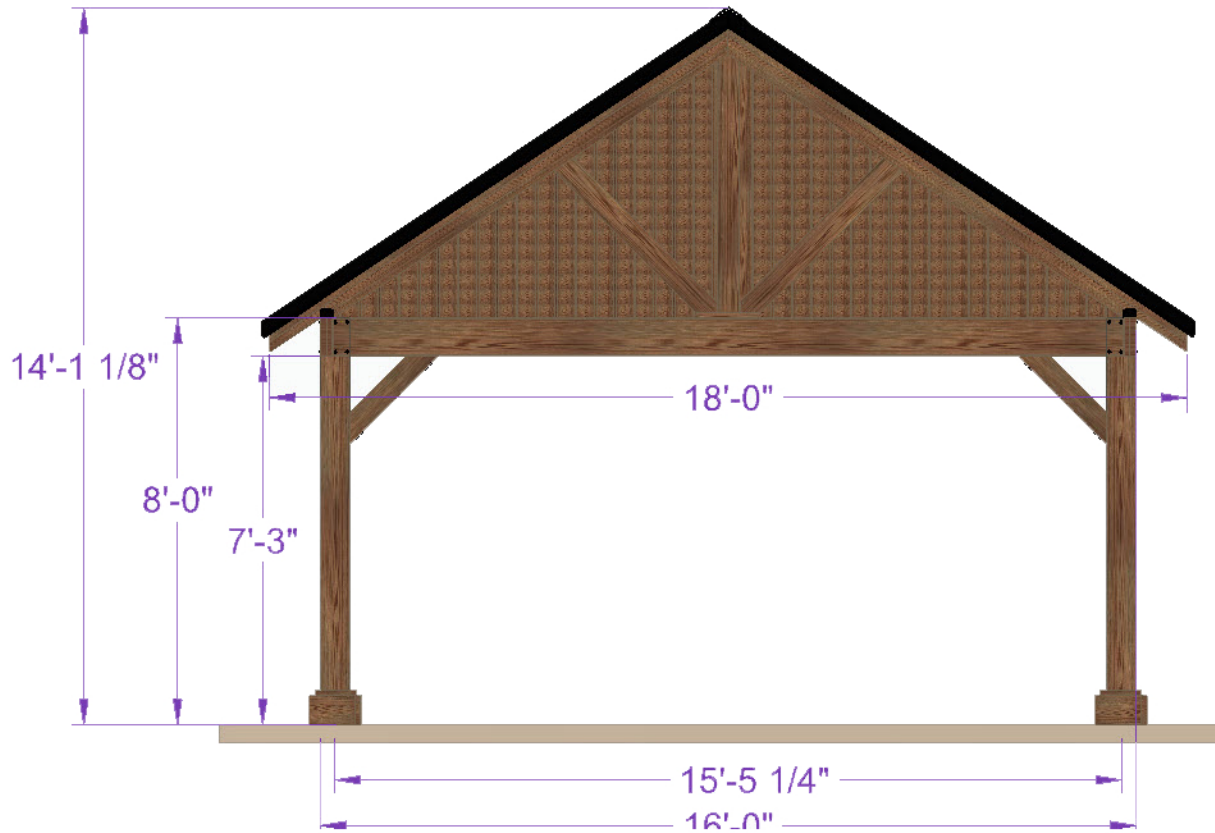
BERLIN GARDENS LLC  
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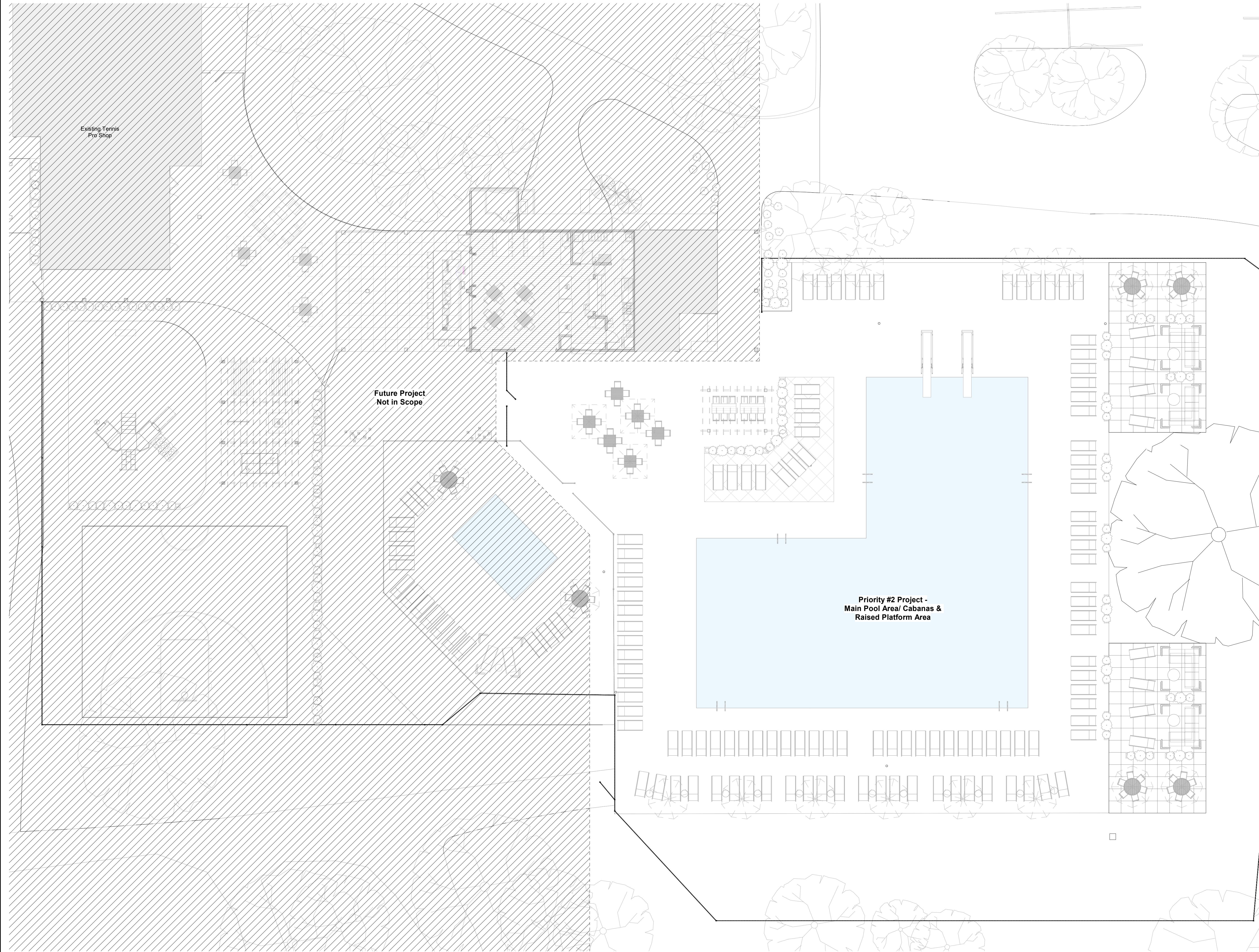
REVISIONS			
MARK	DATE	DESCRIPTION	
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DATE: 4/28/2020  
SHEET TITLE:

BRECKENRIDGE PAVILION  
6 - POST STRUCTURES



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**GENERAL NOTES - AQUATICS**

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3. It is the General Contractor's responsibility to resolve any discrepancies (if any) between work shown on the Architectural drawings and existing conditions by submitting an RFI to the Architect prior to submitting bids.
4. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

**PROJECT MATRIX -**

**Priority #1 Project - Platform Tennis/ Warming Hut**  
 New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.

**Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area**  
 Updated concrete work and expanded patio area at main pool.

**Design Collective**

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 E: mtoddy@dccollective.com

**GENERAL CONTRACTOR**

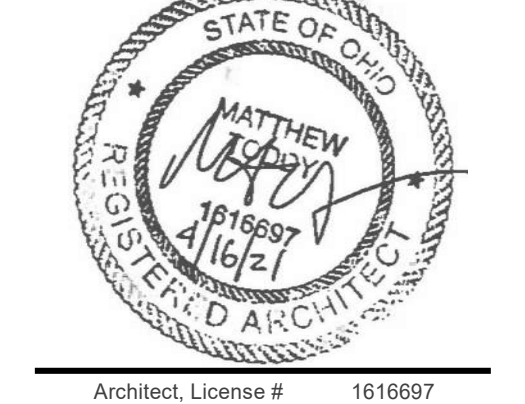
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**PROJECT STATUS**

**Zoning Review**



Architect, License # 1616097  
 Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
 MUIRFIELD VILLAGE

**TCCMV-Masterplan Updates - Phase 2**  
**The Country Club at Muirfield Village**  
 8715 Muirfield Drive Dublin, OH 43017

**REVISIONS**

#	Description	Date

**INITIAL ISSUE DATE**

May 24, 2021

**PROJECT NO.**

0247.20

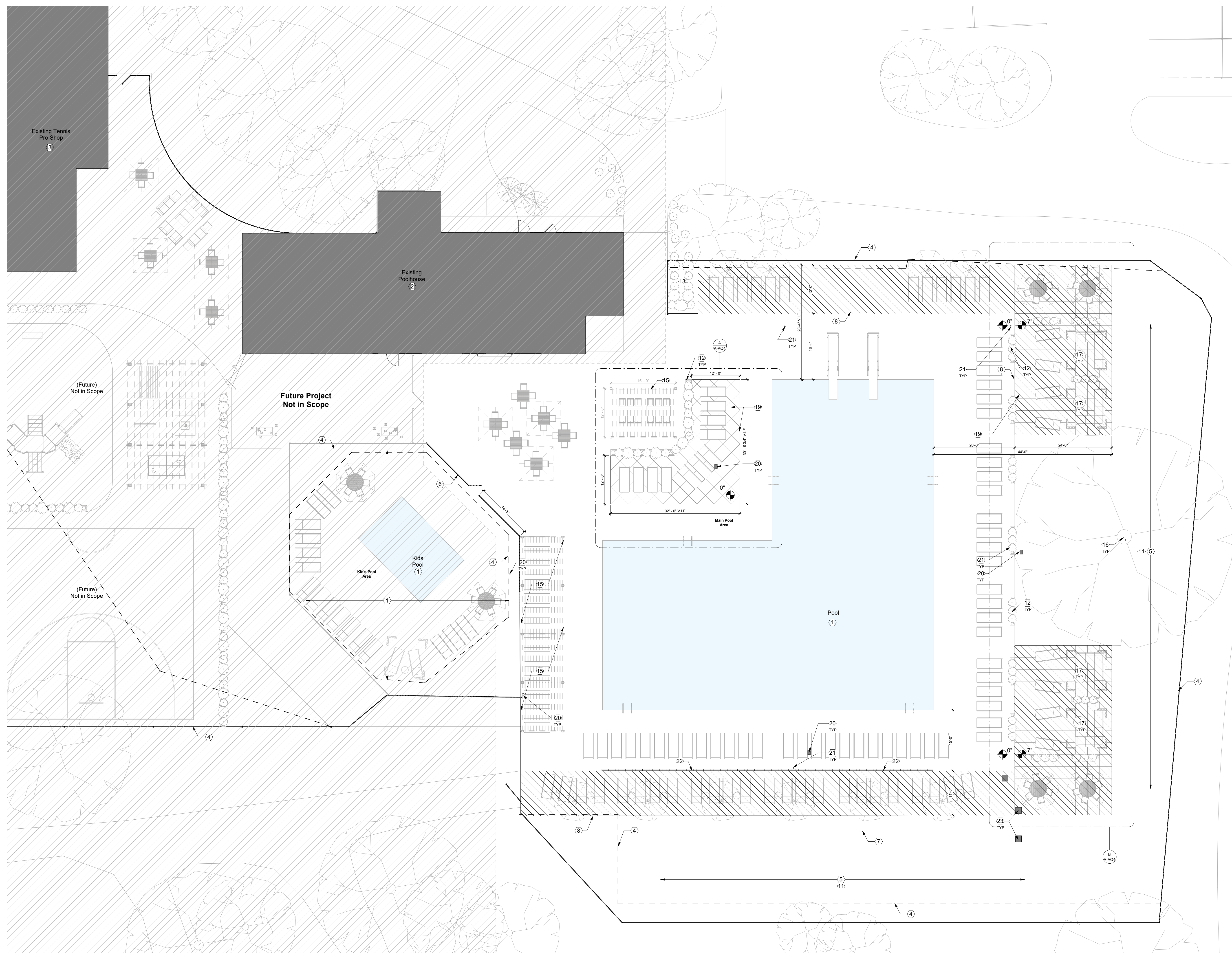
**Aquatics Project Matrix**

**A-AQ1**

5/24/2021 9:57:54 AM



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**GENERAL NOTES - AQUATICS**

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  4. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.
- 
- KEYNOTES - AQUATICS**
1. Existing pool, accessories, and equipment to remain.
  2. Refer to enlarged plans for Pool House updates.
  3. Existing Tennis Pro Shop to remain.
  4. Verify extents and height of existing fencing in field. Extend/alter fencing as required to match existing. Reinstall salvaged fencing where possible.
  5. Rework grade as necessary for lawn and raised areas to accommodate new concrete. Verify extents of earthwork in field.
  6. Relocate aluminum railing to create new access and gate to kids pool, match existing.
  7. Existing railing to be removed. Salvage for reinstallation as indicated.
  8. Shaded region indicates extents of new concrete. Verify existing extents in field. Coordinate final installation and color with Architect and Owner.
  9. Demolish existing concrete and replace with new. Verify existing extents in field. Coordinate final installation and color with Architect and Owner.
  10. Kintec Play Surfaces or equal poured in place bonded rubber surface. Coordinate final extents and colors with Architect and Owner.
  11. Lawn area. Coordinate sod/planting with Owner.
  12. Raised planter bed. Cityscapes Planix or equal. Dimensions as indicated. Finish: Kona.
  13. Planting area/mulch bed. Plantings by Owner.
  14. Sliding gate to match Plans planters in style and finish. Refer to elevation and detail.
  15. Pergola as indicated by Owner and installed by GC.
  16. Verify locations of existing trees. Coordinate preservation with Architect and Owner. Protect trees to be preserved during all phases of construction. Refer to tree preservation plan for detailed information.
  17. Cabana provided by Owner and installed by GC. Tucci Equinox Cabana or equal. Finish: Alumina-Teak Weathered. Coordinate final specifications with Architect.
  18. Pattern indicates the proposed extents of stamped concrete.
  20. Pool lighting junction box to be relocated, typ of 3. Owner to provide new locations.
  21. Existing light/pole fixture to be removed/replaced, typ of 6. Verify locations in field and remove/replace. Coordinate with Owner.
  22. New trench drain.
  23. Existing/abandoned utility to be relocated, typ of 3. Owner to determine locations.

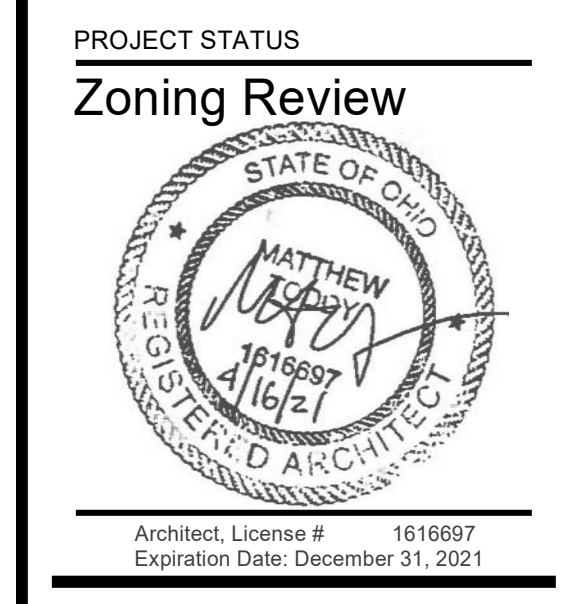


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**THE COUNTRY CLUB**  
 MUIRFIELD VILLAGE

**TCCMV-Masterplan Updates - Phase 2**  
**The Country Club at Muirfield Village**  
 8715 Muirfield Drive Dublin, OH 43017

**REVISIONS**

#	Description	Date
1	Review Comments	06/18/2021

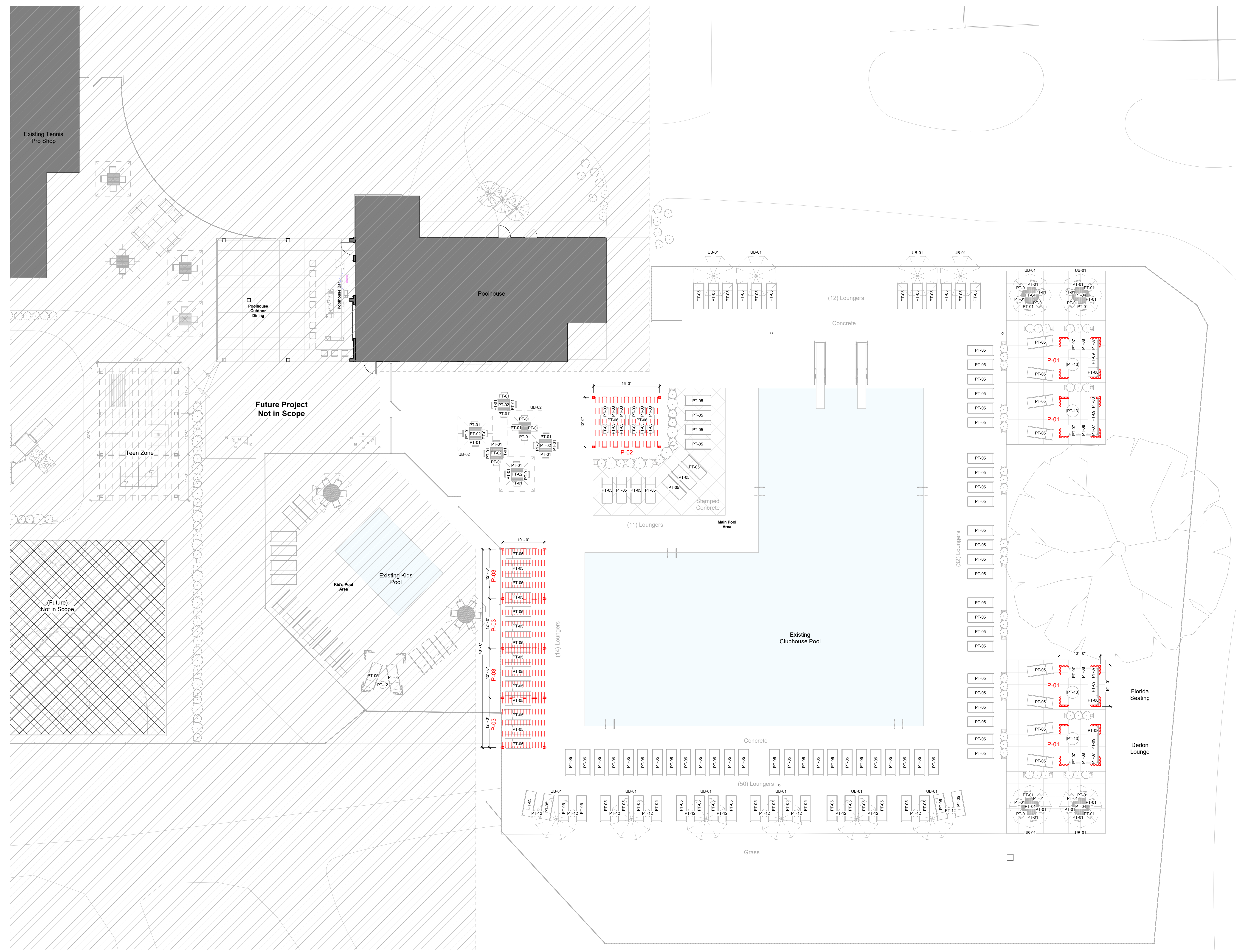
**INITIAL ISSUE DATE**  
 June 18, 2021

**PROJECT NO.**  
 0247.20

**Aquatics - Overall Plan**

**A-AQ2**

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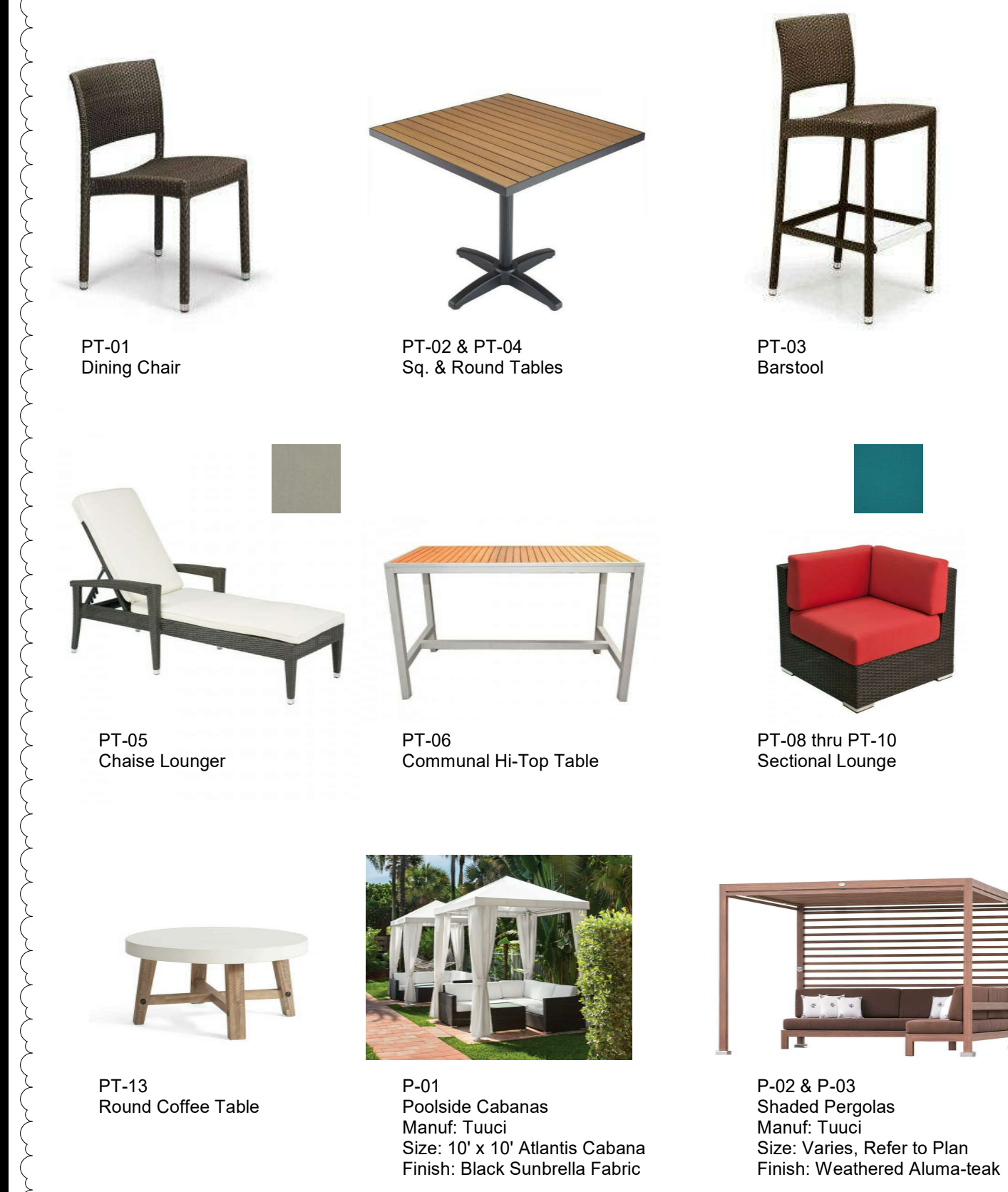


**GENERAL NOTES - AQUATICS**

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- All dimensions are from finished surface to finished surface, unless noted otherwise.

**SCHEDULE - FURNITURE**

Type	Description	Manufacturer	Model
PT-01	Dining Chair (Patio)	Dedon	Holiday Side Chair, Finish: Bronze
PT-02	Square Patio Table	Florida Seating	TA-PT 36" Square Table, Finish: Black Frame/Faux Teak
PT-03	Barstool (Patio)	Dedon	Holiday Side Chair, Finish: Bronze
PT-04	Round Patio Table	Florida Seating	TA-PT 48" Round Table, Finish: Black Frame/Faux Teak
PT-05	Lounger (Patio)	Florida Seating	Apollo Beach Sunlounger, Finish: Indo Wicker; Upholstry: Sunbrella Spectrum 48032 Dowel
PT-06	Hi Top Table	Florida Seating	Teak Inlay Table 36x70 Bar Height, Finish: Black Frame/Faux Teak
PT-07	Sectional Lounge (Patio)	Florida Seating	Crystal Beach Corner Chair, Finish: Indo Wicker; Upholstry: Sunbrella Spectrum 48081 'Peacock'
PT-08	Sectional Lounge (Patio)	Florida Seating	Crystal Beach Side Chair, Finish: Indo Wicker; Upholstry: Sunbrella Spectrum 48081 'Peacock'
PT-09	Sectional Lounge (Patio)	Florida Seating	Crystal Beach Double Seater, Finish: Indo Wicker; Upholstry: Sunbrella Spectrum 48081 'Peacock'
PT-12	Accent Table (Patio)	Pottery Barn	Abbott Outdoor Side Table
PT-13	Coffee Table	Pottery Barn	Capitola Round Coffee Table
UB-01	Patio Umbrella	Tucci	Ocean Master Classic 11.5 Octagon
UB-02	Patio Umbrella	Tucci	Ocean Master Classic Square



**STAMPED CONCRETE PATTERN DETAIL**



Provide patterned stamped concrete similar to highlighted area, match club standard  
 3'x3' Slate stamped concrete pattern  
 Color: Desert Tan #750

**Design Collective**

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**PROJECT STATUS**  
 Zoning Review

Architect, License # 1616697  
 Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
 MUIRFIELD VILLAGE

**TCCMV-Masterplan Updates - Phase 2**  
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**REVISIONS**

#	Description	Date
1	Review Comments	06/18/2021

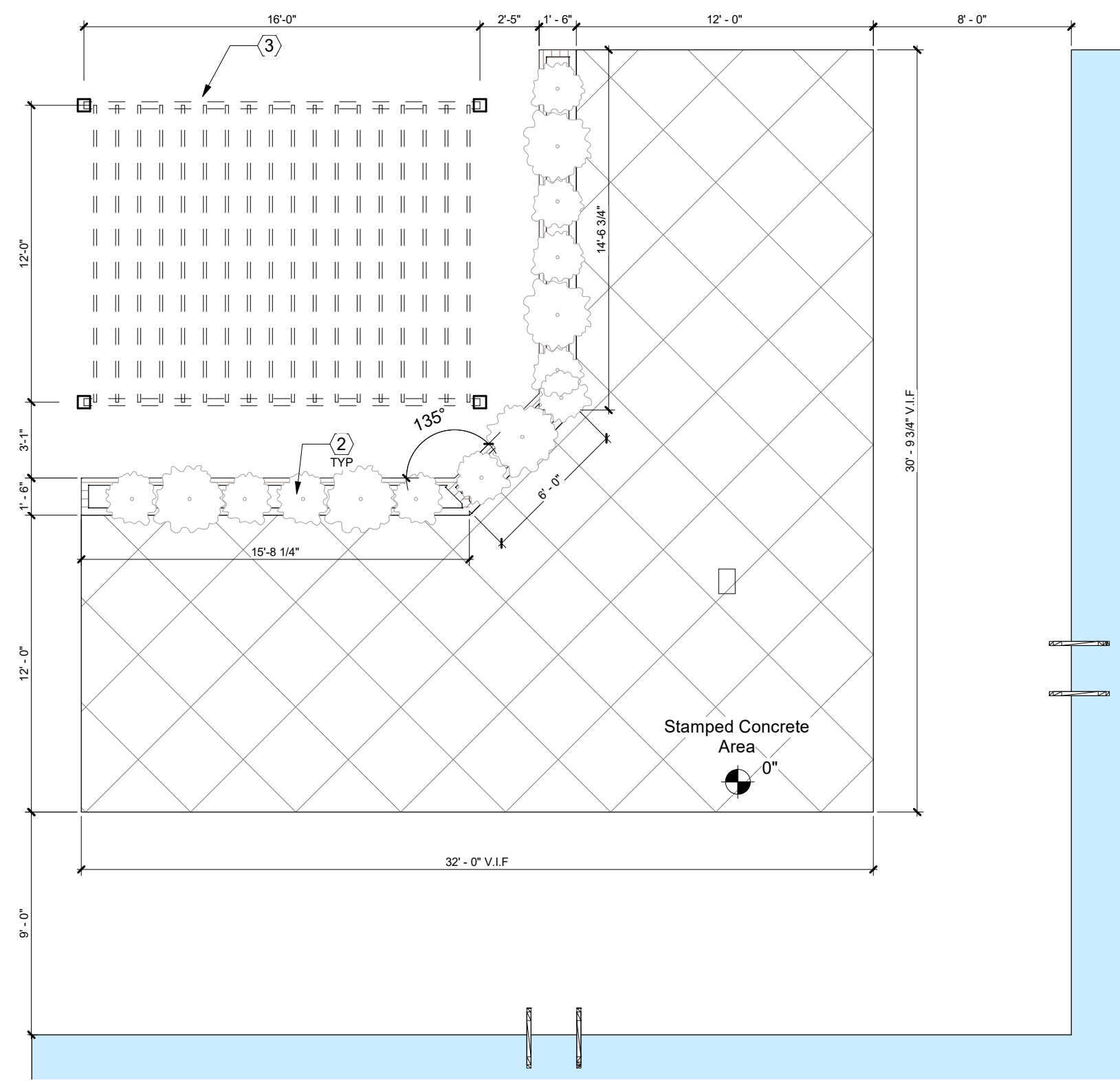
**INITIAL ISSUE DATE**  
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**PROJECT NO.**  
 0247.20

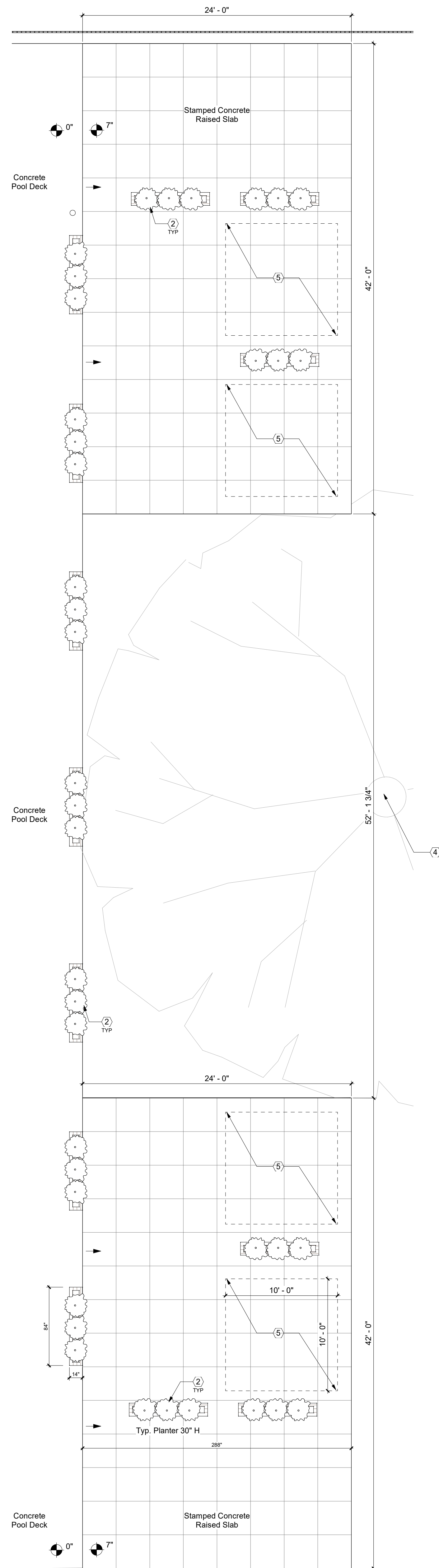
**Aquatics - Overall Furn. Plan A-AQ3**



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**A** Enlarged Plan - Raised Deck  
Scale: 3/16" = 1'-0"



**B** Enlarged Plan - Poolside Cabanas  
Scale: 3/16" = 1'-0"

**GENERAL NOTES - AQUATICS**

1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
2. All dimensions are from finished surface to finished surface, unless noted otherwise.

**KEYNOTES - ENLARGED PLANS**

- 1 Raised synthetic wood deck. Refer to details.
- 2 Raised planter bed. Cityscapes Planx or equal. Dimensions as indicated. Finish: Kona.
- 3 Pergola as indicated by Owner and installed by GC.
- 4 Verify locations of existing trees. Coordinate preservation with Architect and Owner. Protect trees to be preserved during all phases of construction. Refer to tree preservation plan prepared for detailed information.
- 5 Cabana provided by Owner and installed by GC. Tucci Equinox Cabana or equal. Finish: Alumina-Teak Weathered. Coordinate final specifications with Architect.
- 7 Verify extents and height of existing fencing in field. Extend/alter fencing as required to match existing. Reinstall salvaged fencing where possible.

**STAMPED CONCRETE PATTERN DETAIL**



Provide patterned stamped concrete similar to highlighted area, match club standard

3'x3' Slate stamped concrete pattern  
Color: Desert Tan #750

**Design Collective**

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**PROJECT STATUS**  
Zoning Review



Architect, License # 161609  
Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
MURFIELD VILLAGE  
TCCMV-Masterplan Updates - Phase 2  
The Country Club at Murfield Village  
8715 Murfield Drive Dublin, OH 43017

**REVISIONS**

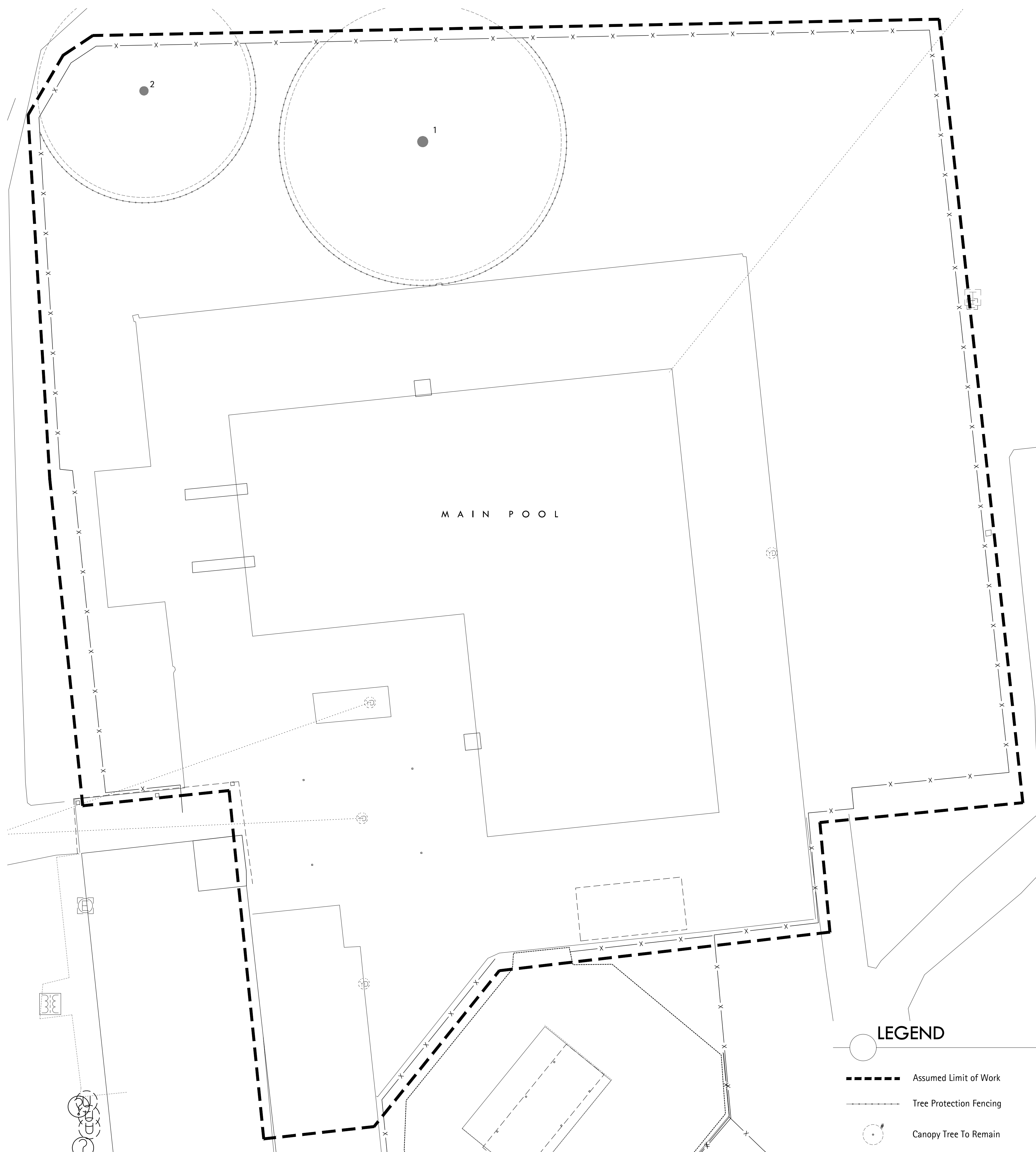
#	Description	Date
1	Review Comments	06/18/2021

INITIAL ISSUE DATE  
June 18, 2021

PROJECT NO.  
0247.20

Aquatics -  
Enlarged Plans

**A-AQ4**



### TREE REPLACEMENT DATA

- Total Site Acreage: 0.68 Acre (29675 sf)
- Total Trees Destroyed: 0
- Replacement Trees Required: 0 Caliper Inches  
*(The total number of caliper inches of replacement trees for a site shall equal or exceed the combined diameter of the protected tree(s) removed)*
- Existing Trees to Remain: 44 Caliper Inches
- Proposed Replacement Trees: 0 Caliper Inches
- Overall Total Trees Provided: 44 Caliper Inches

### TREE INVENTORY

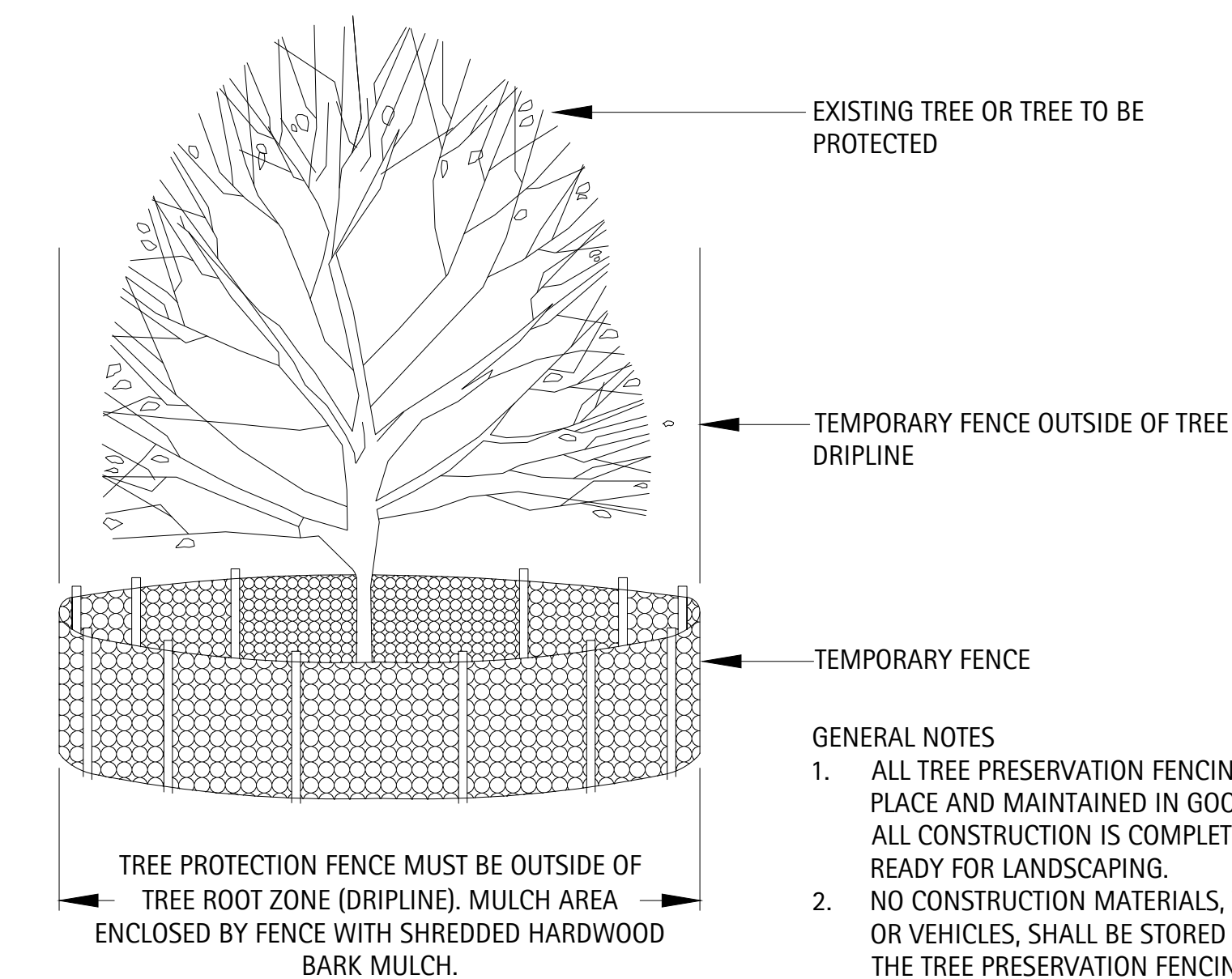
Existing Trees Table - The Country Club at Muirfield Village					
Tree Number	Size (caliper inches)	Species	Condition	Status	Replacement Size (caliper inches)
1	24	Honey Locust	Good	Protect	0
2	20	Honey Locust	Fair	Protect	0
Total Existing Trees to Remain (caliper inches):					44
Total Required Replacement Trees (caliper inches):					0
Overall Site Trees to be Provided (caliper inches):					44

### TREE PRESERVATION NOTES

- All curbs are to be hand formed if encroaching into the critical root zone areas of a tree to be preserved
- Field verify final root pruning and tree protection fence locations with the Landscape Architect/Arborist prior to start of work.
- Refer to tree inventory provided by the Arborist/Landscape Architect.
- If applicable see additional tree preservation specifications prepared by arborist.
- All final Grades to be determined by Final Site Engineering Plans.
- Root prune impacted root zones within construction overdig limits as acceptable by City Forester/Arborist.
- All trees to be removed must include complete removal of the tree stump.
- All transplanted trees not identified in the landscape plans will be transplanted to an area on the premises outside of the limits of the project. Final transplant locations to be coordinated with the City, Owner, and Landscape Architect.
- See this Sheet for Tree Preservation Details.

### LEGEND

- Assumed Limit of Work
- Tree Protection Fencing
- Canopy Tree To Remain



#### GENERAL NOTES

- ALL TREE PRESERVATION FENCING IS TO BE LEFT IN PLACE AND MAINTAINED IN GOOD CONDITION UNTIL ALL CONSTRUCTION IS COMPLETED AND THE AREA IS READY FOR LANDSCAPING.
- NO CONSTRUCTION MATERIALS, TOOLS, EQUIPMENT, OR VEHICLES, SHALL BE STORED OR DRIVEN INSIDE THE TREE PRESERVATION FENCING.

2 Axonometric - Typical Tree Preservation Fencing Installation  
Scale: 1" = 1'-0"

1 Tree Preservation Plan  
Scale: 1" = 10'-0"



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landscapepros.com

PREPARED FOR  
**The Country Club at  
Muirfield Village**

8715 Muirfield Dr,  
Dublin, OH 43017

PROJECT  
**Pickleball  
Court**  
8715 Muirfield Dr,  
Dublin, OH 43017

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ISSUED  
June 16, 2021

REVISIONS

No	Date	Issue

CHECKED BY  
AC

DRAWN BY  
AC

SHEET TITLE

**Tree Preservation  
Plan and Details**

SCALE IN FEET  
1" = 10'-0"

NORTH

SHEET NUMBER

**L1.0**  
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