

# SITE CONSTRUCTION DOCUMENTS FOR:

# THE COUNTRY CLUB AT MUIRFIELD VILLAGE

## PHASE 2 SITE IMPROVEMENTS

### FRANKLIN COUNTY, DUBLIN, OHIO

### MAY 2021



**LOCATION MAP**  
1" = 1,000'

**OWNER:**

THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
8715 MUIRFIELD DRIVE  
DUBLIN, OHIO 43017  
PHONE: 614-764-1714

**CONTRACTOR:**

SHAFFER CONSTRUCTION  
3675 TRABUE ROAD  
COLUMBUS, OHIO 43228  
PHONE: 614-488-4681

**SURVEYOR NOTES:**

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

DATE OF FIELD WORK: 05-17-2021  
EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

**BENCHMARKS:**

AS PER THE TOPOGRAPHIC SURVEY PREPARED BY HULL & ASSOCIATES. THE CONTRACTOR AND/OR HIS SURVEYOR SHALL BE RESPONSIBLE TO CROSS CHECK ALL CONTROL FOR DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

CONTROL POINTS LISTED BELOW ARE SUITABLE FOR PROJECT BENCHMARKS.

**CONTROL POINTS**

**BASIS OF BEARING:** TRUE NORTH, BASED ON OBSERVATIONS. GPS DATA COLLECTED WITH TRIMBLE R8 UNIT VRS CORRECTION ON OHIO STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD83, NAVD88, GEOID 12A.

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	780295.042	1785691.960	955.38	IRON PIN SET W/YELLOW TRAV. CAP
2	780062.425	1785935.752	955.49	IRON PIN SET W/YELLOW TRAV. CAP

**FLOODZONE INFORMATION**

THE SITE IS LOCATED IN ZONE X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, MAP NO. 39049C0019K, WITH AN EFFECTIVE DATE OF JUNE 17, 2008 IN FRANKLIN COUNTY, OHIO.

**PRE-CONSTRUCTION NOTICE**

THESE PLANS HAVE BEEN PREPARED USING THE MOST ACCURATE INFORMATION AND DATA AVAILABLE AT THE TIME OF PREPARATION. FIELD CONDITIONS MAY BE ENCOUNTERED DURING CONSTRUCTION WHICH VARY FROM THOSE DEPICTED HEREIN. MODIFICATIONS TO THE DESIGN AS SHOWN MAY BE REQUIRED BASED ON FIELD CONDITIONS AT THE TIME OF CONSTRUCTION. IN ANY EVENT, THE ENGINEERING OBJECTIVES OF THE DESIGN SHALL BE MET. IF FIELD CONDITIONS ARE ENCOUNTERED PRIOR TO CONSTRUCTION OR DURING CONSTRUCTION THAT DIFFER SIGNIFICANTLY FROM THE CONDITIONS SHOWN ON THE PLANS, THE CONTRACTOR MUST STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.



**INDEX MAP**  
1" = 100'

INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
C1.0	COVER SHEET
C2.0	GENERAL NOTES
C3.0	GENERAL NOTES
C4.0	EXISTING CONDITIONS
C5.0	EXISTING CONDITIONS
C6.0	STAKING PLAN
C7.0	UTILITY PLAN
C8.0	GRADING PLAN
C9.0	GRADING PLAN
C10.0	TYPICAL DETAILS

**APPROVALS**

CITY OF DUBLIN SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND THE GENERAL LOCATION OF THE PROJECT AND DO NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

PAUL A. HAMMERSMITH, P.E. DATE  
CITY ENGINEER  
CITY OF DUBLIN, OHIO

JENNIFER M. RAUCH, AICP DATE  
DIRECTOR OF LAND USE AND LONG RANGE PLANNING  
CITY OF DUBLIN, OHIO

REVISION		
NO.	DATE	DESCRIPTION
0	05/24/21	FOR PERMIT

Project Title:

THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
PHASE 2 SITE IMPROVEMENTS  
FRANKLIN COUNTY, DUBLIN, OHIO

Owner:



8715 MUIRFIELD DRIVE  
DUBLIN, OH 43017

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Mark	Description	Date
FOR PERMIT		05/24/2021

Project No.:	CM005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

**COVER SHEET**

Sheet Number: 01 OF 10

C1.0





GENERAL NOTES:

- 1. CITY OF COLUMBUS AND OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITIONS, AND ANY SUPPLEMENTS THERETO (HEREAFTER REFERRED TO AS STANDARD SPECIFICATIONS), SHALL GOVERN ALL CONSTRUCTION ITEMS UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS IS FOUND, THE MORE STRICT SPECIFICATION WILL APPLY AS DECIDED BY THE CITY ENGINEER. ITEM NUMBERS LISTED REFER TO CITY OF COLUMBUS ITEM NUMBERS UNLESS OTHERWISE NOTED.
2. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE WORK SITE, OR FOR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.
3. THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS INCLUDING BUT NOT LIMITED TO OHIO EPA PERMITS TO INSTALL (PTI) AND NOTICES OF INTENT (NOI), BUILDING PERMITS, ETC.
4. THE CONTRACTOR SHALL NOTIFY THE CITY OF DUBLIN DIVISION OF ENGINEERING IN WRITING AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.
6. FOLLOWING COMPLETION OF CONSTRUCTION OF THE SITE IMPROVEMENTS AND BEFORE REQUESTING OCCUPANCY, A PROOF SURVEY SHALL BE PROVIDED TO THE DIVISION OF ENGINEERING THAT DOCUMENTS "AS-BUILT" ELEVATIONS, DIMENSIONS, SLOPES AND ALIGNMENTS OF ALL ELEMENTS OF THIS PROJECT. THE PROOF SURVEY SHALL BE PREPARED, SIGNED AND SUBMITTED BY THE PROFESSIONAL ENGINEER WHO SEALED THE CONSTRUCTIONS DRAWINGS.
7. THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITY TO PUBLIC RIGHT-OF-WAY AND AREAS DEFINED AS PERMANENT AND/OR TEMPORARY CONSTRUCTION EASEMENTS, UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
8. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTLEMENT OF MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR AS APPROVED BY THE CITY ENGINEER.
9. NON RUBBER Tired VEHICLES SHALL NOT BE MOVED ON OR ACROSS PUBLIC STREETS OR HIGHWAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
10. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS SECTIONS THAT EXISTED BEFORE CONSTRUCTION.
11. TRACKING OR SPILLING MUD, DIRT OR DEBRIS UPON STREETS, RESIDENTIAL OR COMMERCIAL DRIVES, SIDEWALKS OR BIKE PATHS IS PROHIBITED ACCORDING TO SECTION 97.38 OF THE DUBLIN CODE OF ORDINANCES. ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE CITY. IF THE CONTRACTOR FAILS TO REMOVE SAID MUD, DIRT, DEBRIS, OR SPILLAGE, THE CITY RESERVES THE RIGHT TO REMOVE THESE MATERIALS AND CLEAN AFFECTED AREAS, THE COST OF WHICH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. DISPOSAL OF EXCESS EXCAVATION WITHIN SPECIAL FLOOD HAZARD AREAS (100-YEAR FLOODPLAIN) IS NOT PERMITTED.
13. ALL SIGNS, LANDSCAPING, STRUCTURES OR OTHER APPURTENANCES WITHIN RIGHT-OF-WAY DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. ALL FIELD TILE BROKEN OR ENCOUNTERED DURING EXCAVATION SHALL BE REPLACED OR REPAIRED AND CONNECTED TO THE PUBLIC STORM SEWER SYSTEM AS DIRECTED BY THE CITY ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. ALL PRECAST CONCRETE PRODUCTS SHALL BE INSPECTED AT THE LOCATION OF MANUFACTURE. APPROVED PRECAST CONCRETE PRODUCTS WILL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT INSPECTION HAS BEEN CONDUCTED BY THE CITY OF COLUMBUS. PRECAST CONCRETE PRODUCTS WITHOUT PROOF OF INSPECTION SHALL NOT BE APPROVED FOR INSTALLATION.
16. BACKFILL WITHIN A 1:1 INFLUENCE LINE OF EXISTING STRUCTURES (HOUSES, GARAGES, ETC.) OR PUBLIC INFRASTRUCTURE (PAVEMENT, CURBS, SIDEWALKS, BIKE PATHS, ETC.) SHALL BE COMPACTED GRANULAR BACKFILL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR FLOWABLE CDF, TYPE III ACCORDING TO ITEM 636. ITEM 911 OF THE STANDARD SPECIFICATIONS SHALL BE USED ELSEWHERE.
17. THE CONTRACTOR SHALL SUBMIT A COPY OF THE APPROVED CONSTRUCTION DRAWINGS AND A LIST OF PROPOSED PRECAST CONCRETE PRODUCT MANUFACTURERS TO THE CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION BEFORE COMMENCING CONSTRUCTION.
SEND THE INFORMATION TO THE FOLLOWING ADDRESS:
CONSTRUCTION INSPECTION DIVISION
CITY OF COLUMBUS
1800 EAST 17TH AVENUE
COLUMBUS, OHIO 43219
SEND A COPY OF THE TRANSMITTAL LETTER TO THE FOLLOWING ADDRESS:
DIVISION OF ENGINEERING
CITY OF DUBLIN
6555 SHIER RINGS ROAD
DUBLIN, OHIO 43016
18. ALL TRENCHES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS OR SECURELY PLATED DURING NONWORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACKFILLED OR SHALL BE PROTECTED BY APPROVED TEMPORARY FENCING OR BARRICADES DURING NONWORKING HOURS. CLEAN UP SHALL FOLLOW CLOSELY BEHIND THE TRENCHING OPERATION.
19. ALL TREES WITHIN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY FENCING PLACED A MINIMUM 15 FEET FROM THE TREE TRUNK. TREES 6- INCHES OR GREATER AT DBH (DIAMETER BREAST HEIGHT) MUST BE PROTECTED WITH FENCING PLACED AT THE CRITICAL ROOT ZONE OR 15 FEET, WHICHEVER IS GREATER. TREES NOT INDICATED ON THE APPROVED CONSTRUCTION DRAWINGS FOR REMOVAL MAY NOT BE REMOVED WITHOUT PRIOR APPROVAL OF THE DIVISION OF ENGINEERING.
20. CONDUIT MUST BE DIRECTIONALLY BORED ACROSS STREETS INSTEAD OF OPEN CUT, UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. USE OF PNEUMATIC AIR RAM DEVICES IS NOT PERMITTED. PERMITS TO CONSTRUCT IN THE RIGHT-OF-WAY OF EXISTING STREETS MUST BE OBTAINED FROM THE CITY OF DUBLIN DIVISION OF ENGINEERING BEFORE COMMENCING CONSTRUCTION. SHOULD OPEN CUTTING OF EXISTING PAVEMENT BE PERMITTED, CONTROLLED DENSITY BACKFILL (TYPE III) SHALL BE USED IN PLACE OF COMPACTED GRANULAR BACKFILL, ACCORDING TO ITEM 636 OF THE STANDARD SPECIFICATIONS.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF TRENCHES WITHIN THE RIGHT-OF-WAY AND PUBLIC EASEMENTS FOR A PERIOD OF ONE YEAR FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE CITY.
22. PAVEMENTS SHALL BE CUT IN NEAT, STRAIGHT LINES THE FULL DEPTH OF THE EXISTING PAVEMENT, OR AS REQUIRED BY THE CITY ENGINEER. PAVEMENT REPLACEMENT SHALL BE CONDUCTED ACCORDING TO CITY OF COLUMBUS STANDARD DRAWING 1441 DR. A AND APPLICABLE CITY OF DUBLIN STANDARD DRAWINGS. THE REPLACEMENT OF DRIVEWAYS, HANDICAPPED RAMPS, SIDEWALKS, BIKE PATHS, PARKING LOT PAVEMENT, ETC. SHALL BE PROVIDED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS AND CITY OF DUBLIN STANDARD CONSTRUCTION DRAWINGS.
23. TREE TRIMMING WITHIN THE CONSTRUCTION ZONE IS TO BE COMPLETED BY A CERTIFIED ARBORIST. AT THE COMPLETION OF THE PROJECT, THE ARBORIST IS TO RETURN AND TRIM ANY BROKEN BRANCHES AS NEEDED.
24. ANY MODIFICATION TO THE WORK SHOWN ON DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY ENGINEER, CITY OF DUBLIN.
25. ALL INLETS SHALL BE CHANNELIZED.
26. PARK AREAS SHALL BE FINE\_GRADED AND SEEDED WITH THE FOLLOWING MIXTURE:
IMPROVED KENTUCKY BLUEGRASS: 40% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)
IMPROVED PERENNIAL RYE: 60% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)
GERMINATION RATE: 85%
APPLICATION RATE: 7 LBS PER 1000 SQ FT OR AS DIRECTED BY THE DIVISION OF PARKS AND RECREATION, CITY OF DUBLIN, OHIO.
27. TRAFFIC CONTROL AND OTHER REGULATORY SIGNS SHALL BE TYPE S WITH A SQUARE POST ANCHOR BASE INSTALLATION AND MEET ALL REQUIREMENTS OF ODOT TC-41.20 AND APPLICABLE CITY OF DUBLIN SPECIFICATIONS.
28. STREET SIGNS SHALL MEET ALL CITY OF DUBLIN SPECIFICATIONS WITH LETTERING COLORED IN WHITE DISPLAYED OVER A BROWN BACKGROUND. SIGN TUBING SHALL BE BROWN IN COLOR AND CONFORM WITH THE TYPE S, SQUARE POST ANCHOR BASE INSTALLATION REQUIREMENTS OF ODOT TC-41.20.

UTILITY NOTES:

THE FOLLOWING UTILITIES ARE KNOWN TO BE LOCATED WITHIN THE LIMITS OF THIS PROJECT:

- INSIDE LIMITS OF DISTURBANCE: 8" SANITARY SEWER (87-015-RES) CITY OF DUBLIN 614-410-4750
OUTSIDE LIMITS OF DISTURBANCE: 21" STORM DRAIN (73-002-CIP) CITY OF DUBLIN 614-410-4750
2. THE CONTRACTOR SHALL GIVE NOTICE OF INTENT TO CONSTRUCT TO OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 811 OR 800-362-2764, OIL AND GAS PRODUCER'S UNDERGROUND PROTECTION SERVICE (OGPUPS) AT 811 OR 614-715-2984, AND TO OWNERS OF UNDERGROUND UTILITIES THAT ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE. NOTICE SHALL BE GIVEN AT LEAST 2 WORKING DAYS, BUT NOT MORE THAN 10 WORKING DAYS BEFORE THE START OF CONSTRUCTION.
3. THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE CITY OF DUBLIN AND THE CITY ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.
4. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICES BID FOR THE VARIOUS BID ITEMS OF THE CONTRACT.
5. WHEN UNKNOWN OR INCORRECTLY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE CITY ENGINEER OR HIS REPRESENTATIVE.
6. PUBLIC STREET LIGHTING MAY BE IN THE VICINITY OF THIS PROJECT. CONTACT THE CITY OF DUBLIN, DIVISION OF ENGINEERING AT 410-4637, TWO DAYS PRIOR TO BEGINNING WORK.

SANITARY SEWER NOTES:

- 1. CONNECTIONS TO THE SANITARY SEWER WILL BE PERMITTED UPON RECEIVING AN OSPA PERMIT TO INSTALL (PTI), AND UPON RECEIVING A SATISFACTORY LETTER FROM THE DESIGN ENGINEER STATING THAT THE PROJECT HAS BEEN CONSTRUCTED AS PER THE PLANS, AND ALL OF THE CONDITIONS OF THE PTI HAVE BEEN MET. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL REQUIRED OHIO EPA APPROVALS AND PAYING REVIEW FEES.
2. SANITARY SEWAGE COLLECTION SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES, REGULATIONS, STANDARDS AND SPECIFICATIONS OF THE CITY OF DUBLIN, OHIO EPA, OHIO DEPARTMENT OF HEALTH AND THE CURRENT EDITION OF THE GREAT LAKES-UPPER MISSISSIPPI RIVER BOARD (TEN STATES) - RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES.
3. THE MINIMUM REQUIREMENTS FOR SANITARY SEWER PIPE WITH DIAMETERS 15 INCHES AND SMALLER SHALL BE REINFORCED CONCRETE PIPE ASTM C76 CLASS 3, OR PVC SEWER PIPE ASTM D3034, SDR 35. PIPE FOR 6-INCH DIAMETER HOUSE SERVICE LINES SHALL BE PVC PIPE ASTM D3034, SDR 35. PVC PIPE SHALL NOT BE USED AT DEPTHS GREATER THAN 28 FEET. PIPE MATERIALS AND RELATED STRUCTURES SHALL BE SHOP TESTED IN ACCORDANCE WITH CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION QUALITY CONTROL REQUIREMENTS.
4. THE MINIMUM REQUIREMENTS FOR SANITARY SEWER PIPES WITH DIAMETERS GREATER THAN 15 INCHES SHALL BE REINFORCED CONCRETE PIPE ASTM C76 WITH CLASS DESIGNATION SPECIFIED IN THE APPROVED CONSTRUCTION DRAWINGS.
5. ALL IN-LINE WYE AND TEE CONNECTIONS IN CONCRETE SEWERS, 18-INCH DIAMETER AND LARGER, SHALL BE EITHER KOR-N-TEE OR KOR-N-SEAL CONNECTIONS CONFORMING TO THE MANUFACTURER'S RECOMMENDATIONS.
6. GRANULAR BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR CONTROLLED DENSITY BACKFILL ACCORDING TO ITEM 636, TYPE III OF THE STANDARD SPECIFICATIONS AS DIRECTED BY THE CITY ENGINEER.
7. ALL MANHOLE LIDS SHALL BE PROVIDED WITH CONTINUOUS SELF-SEALING GASKETS. THE APPROVED CONSTRUCTION DRAWINGS SHALL SHOW WHERE BOLT-DOWN LIDS ARE REQUIRED. SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE OR AS APPROVED BY THE CITY ENGINEER AND CONFORM TO THE CITY OF DUBLIN SANITARY MANHOLE STANDARD DRAWING. MANHOLE LIDS SHALL INCLUDE CITY OF DUBLIN LOGO.
8. ALL PVC SEWER PIPES SHALL BE DEFLECTION TESTED NO LESS THAN 60 DAYS AFTER COMPLETION OF BACKFILLING OPERATIONS. ALL OTHER REQUIREMENTS SHALL BE ACCORDING TO ITEM 901.21 OF THE STANDARD SPECIFICATIONS.
9. TEMPORARY BULKHEADS SHALL BE PLACED IN PIPES AT LOCATIONS SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AND SHALL REMAIN IN PLACE UNTIL THE PERMIT TO INSTALL (PTI) HAS BEEN ISSUED BY THE OSPA AND THE SEWERS HAVE BEEN APPROVED FOR USE BY THE CITY ENGINEER. THE COST FOR FURNISHING, INSTALLING, MAINTAINING, AND REMOVING BULKHEADS SHALL BE INCLUDED IN THE CONTRACT UNIT BID PRICE FOR THE VARIOUS SANITARY SEWER ITEMS.
10. ALL SANITARY SEWERS INCLUDING SANITARY SEWER SERVICE LINES SHALL BE SUBJECTED TO AND PASS INFILTRATION OR EXFILTRATION TESTS ACCORDING TO ITEM 901 OF THE STANDARD SPECIFICATIONS AND MUST BE APPROVED FOR USE BY THE CITY ENGINEER BEFORE ANY SERVICE CONNECTIONS ARE TAPPED INTO SEWERS.
11. FOR SANITARY SEWER INFILTRATION, LEAKAGE THROUGH JOINTS SHALL NOT EXCEED 100 GALLONS PER INCH OF TRIBUTARY SEWER DIAMETER PER 24 HOURS PER MILE OF LENGTH OR THE COMPUTED EQUIVALENT. ALL SANITARY SEWERS SHALL BE TESTED.
12. AT THE DETERMINATION OF THE CITY ENGINEER, THE CONTRACTOR MAY BE REQUIRED TO PERFORM A TV INSPECTION OF THE SANITARY SEWER SYSTEM PRIOR TO FINAL ACCEPTANCE BY THE CITY. THIS WORK SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
13. VISIBLE LEAKS OR OTHER DEFECTS OBSERVED OR DISCOVERED DURING TV INSPECTION SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER.
14. ROOF DRAINS, FOUNDATION DRAINS, FIELD TILE OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE STRICTLY PROHIBITED ACCORDING TO SECTION 51.23 OF THE DUBLIN CODE OF ORDINANCES.
15. ALL WATER LINES SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY, FROM SANITARY SEWERS AND STORM SEWERS, TO THE GREATEST EXTENT PRACTICABLE. WHERE SANITARY SEWERS CROSS WATER MAINS OR OTHER SEWERS OR OTHER UTILITIES, TRENCH BACKFILL SHALL BE PLACED BETWEEN THE PIPES CROSSING AND SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS. IN THE EVENT THAT A WATER LINE MUST CROSS WITHIN 18 INCHES OF A SANITARY SEWER, THE SANITARY SEWER SHALL BE CONCRETE ENCASED OR CONSIST OF DUCTILE IRON PIPE MATERIAL.
16. SERVICE RISERS SHALL BE INSTALLED WHERE THE DEPTH FROM WYES TO PROPOSED GROUND ELEVATION EXCEEDS 10 FEET. TOPS OF RISERS SHALL BE NO LESS THAN 9 FEET BELOW PROPOSED GROUND ELEVATION IF BASEMENT SERVICE IS INTENDED.
17. WHERE SERVICE RISERS ARE NOT INSTALLED, A MINIMUM 5-FOOT LENGTH OF SANITARY SEWER SERVICE PIPE OF THE SAME SIZE AS THE WYE OPENING SHALL BE INSTALLED.
18. THE CONTRACTOR SHALL FURNISH AND PLACE, AS DIRECTED, APPROVED WYE POLES MADE OF 2 INCHES X 2 INCHES LUMBER AT ALL WYE LOCATIONS, ENDS OF EXTENDED SERVICES, OR AT THE END OF EACH RISER WHERE RISERS ARE REQUIRED. WYE POLES SHALL BE VISIBLE BEFORE ACCEPTANCE BY THE CITY. THE COST OF THESE POLES SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS SEWER ITEMS.
19. EXISTING SANITARY SEWER FLOWS SHALL BE MAINTAINED AT ALL TIMES. COSTS FOR PUMPING AND BYPASSING SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE BID FOR THE RELATED ITEMS.
20. THE CONTRACTOR SHALL FURNISH ALL MATERIAL, EQUIPMENT, AND LABOR TO MAKE CONNECTIONS TO EXISTING MANHOLES. THE SEWER PIPE TO MANHOLE CONNECTIONS FOR ALL SANITARY SEWERS SHALL BE FLEXIBLE AND WATERTIGHT. ALL HOLES SHALL BE NEATLY CORED. THE SEWER PIPE BARREL AT THE SPRINGLINE SHALL NOT EXTEND MORE THAN 1 INCH BEYOND THE INSIDE FACE OF THE MANHOLE. TO MAINTAIN FLEXIBILITY IN THE CONNECTION, A 1 INCH SPACE SHALL BE LEFT BETWEEN THE END OF THE PIPE INSIDE THE MANHOLE AND THE CONCRETE CHANNEL. THIS SPACE SHALL BE FILLED WITH A WATERPROOF FLEXIBLE JOINT FILLER. ANY METAL THAT IS USED SHALL BE TYPE 300 SERIES STAINLESS STEEL. THE CONNECTION MAY BE ANY OF THE FOLLOWING TYPES:
A. RUBBER SLEEVE WITH STAINLESS STEEL BANDING.
1) KOR-N-SEAL AS MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS, INC.
2) LOCK JOINT FLEXIBLE MANHOLE SLEEVE AS MANUFACTURED BY INTERPACE CORPORATION.
3) OR EQUAL AS APPROVED BY THE CITY ENGINEER.
B. RUBBER GASKET COMPRESSION.
1) PRESS WEDGE II AS MANUFACTURED BY PRESS\_SEAL GASKET CORPORATION.
2) DURA SEAL III AS MANUFACTURED BY DURA TECH, INC.
3) LINK-SEAL AS MANUFACTURED BY THUNDERLINE CORPORATION.
4) OR EQUAL AS APPROVED BY THE CITY ENGINEER.

THE COST FOR THIS WORK ALONG WITH A NEW CHANNELIZED BASE FOR THE MANHOLE SHALL BE INCLUDED IN THE UNIT BID PRICE FOR THE RELATED ITEMS OF WORK.

SANITARY SEWER NOTES (CONT):

WATER LINE

- 1. ALL WATER LINE MATERIALS SHALL BE PROVIDED AND INSTALLED ACCORDING TO CURRENT SPECIFICATIONS OF THE CITY OF COLUMBUS DIVISION OF WATER.
2. ALL PUBLIC WATER PIPE WITH A DIAMETER 3 INCHES TO 8 INCHES SHALL BE DUCTILE IRON, CLASS 53. PUBLIC WATER PIPE 12 INCHES IN DIAMETER OR LARGER SHALL BE DUCTILE IRON, CLASS 54. PUBLIC WATER PIPE 20 INCHES IN DIAMETER OR LARGER MAY BE PRESTRESSED CONCRETE PIPE. PRIVATE WATER PIPE SHALL MEET THE APPROVAL OF THE CITY OF COLUMBUS DIVISION OF WATER PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS.
3. ONLY FIRE HYDRANTS CONFORMING TO CITY OF COLUMBUS STANDARDS WILL BE APPROVED FOR USE.
4. PUBLIC WATER LINES SHALL BE DISINFECTED BY THE CITY OF COLUMBUS DIVISION OF WATER. REQUESTS FOR WATER LINE CHLORINATION SHALL BE MADE THROUGH THE CITY OF DUBLIN DIVISION OF ENGINEERING. THE COST FOR CHLORINATION SHALL BE PAID FOR BY THE CONTRACTOR.
5. ALL WATER LINES SHALL BE DISINFECTED ACCORDING TO ITEM 801.13 OF THE STANDARD SPECIFICATIONS. SPECIAL ATTENTION IS DIRECTED TO APPLICABLE SECTIONS OF AMERICAN WATER WORKS ASSOCIATION SPECIFICATION C.651, PARTICULARLY FOR FLUSHING (SECTION 5) AND FOR CHLORINATING VALVES AND FIRE HYDRANTS (SECTION 7). PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 801.12 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS. WHEN WATER LINES ARE READY FOR DISINFECTION, THE CITY OF DUBLIN SHALL SUBMIT TWO (2) SETS OF "AS-BUILT" PLANS, AND A LETTER STATING THAT THE WATER LINES HAVE BEEN PRESSURE TESTED AND NEED TO BE DISINFECTED, TO THE CITY OF COLUMBUS, DIVISION OF WATER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE DISINFECTION OF ALL WATER LINES CONSTRUCTION PER THIS PLAN. PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 801.12 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS.
6. THE CONTRACTOR SHALL PAINT ALL FIRE HYDRANTS ACCORDING TO CITY OF DUBLIN STANDARDS. THE COST OF PAINTING FIRE HYDRANTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR FIRE HYDRANTS.
7. NO WATER TAPS OR SERVICE CONNECTIONS (E.G., TO CURB STOPS OR METER PITS) MAY BE ISSUED UNTIL ADJACENT PUBLIC WATER LINES SERVING THE CONSTRUCTION SITE HAVE BEEN DISINFECTED BY THE CITY OF COLUMBUS DIVISION OF WATER AND HAVE BEEN ACCEPTED BY THE CITY ENGINEER. A TAP PERMIT FOR EACH WATER SERVICE MUST BE OBTAINED FROM THE CITY OF DUBLIN AND THE CITY OF COLUMBUS DIVISION OF WATER BEFORE MAKING ANY TAPS INTO PUBLIC WATER LINES.
8. THE CONTRACTOR SHALL NOTIFY THE CITY OF COLUMBUS DIVISION OF WATER AT 645\_7788 AND THE CITY OF DUBLIN DIVISION OF ENGINEERING AT LEAST 24 HOURS BEFORE TAPPING INTO EXISTING WATER LINES.
9. ALL WATER MAIN STATIONING SHALL BE BASED ON STREET CENTERLINE STATIONING.
10. ALL BENDS, JOINT DEFLECTIONS AND FITTINGS SHALL BE BACKED WITH CONCRETE PER CITY OF COLUMBUS STANDARDS.
11. THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO ALL AFFECTED PROPERTY OWNERS AT LEAST 1 WORKING DAY BUT NOT MORE THAN 3 WORKING DAYS PRIOR TO ANY TEMPORARY INTERRUPTION OF WATER SERVICE. INTERRUPTION OF WATER SERVICE SHALL BE MINIMIZED AND MUST BE APPROVED BY THE CITY ENGINEER.
12. WATER METERS SHALL BE INSTALLED INSIDE PROPOSED STRUCTURES UNLESS A METER PIT INSTALLATION IS APPROVED BY THE CITY OF COLUMBUS DIVISION OF WATER. METER PITS MUST CONFORM TO STANDARD DRAWINGS L-7103, A&B FOR 5/8" THROUGH 1" METERS OR L-6317, A, B, C&D FOR 1-1/2" OR LARGER METERS.
13. WATER LINES TO BE INSTALLED IN EMBANKMENT AREAS SHALL BE PLACED AFTER THE EMBANKMENT HAS BEEN PLACED AND COMPACTED ACCORDING TO THE STANDARD SPECIFICATIONS.
14. CURB STOP BOXES SHALL BE LOCATED AT LEAST 1 FOOT INSIDE THE RIGHT\_OF\_WAY AND SET AT FINISHED GRADE.
15. IF THE TOP OF THE OPERATING NUT OF ANY VALVE IS GREATER THAN 36 INCHES BELOW FINISHED GRADE, AN EXTENSION STEM SHALL BE FURNISHED TO BRING THE TOP OF THE OPERATING NUT TO WITHIN 24 INCHES OF FINISHED GRADE ELEVATION.
16. ALL WATER LINES SHALL BE PLACED AT A MINIMUM DEPTH OF 4 FEET MEASURED FROM TOP OF FINISHED GRADE TO TOP OF WATER LINE. WATER LINES SHALL BE SET DEEPER AT ALL POINTS WHERE NECESSARY TO CLEAR EXISTING OR PROPOSED UTILITY LINES OR OTHER UNDERGROUND RESTRICTIONS BY A MINIMUM OF 18 INCHES.
17. TWO 3/4 INCH TAPS SHALL BE INSTALLED WITHIN 2 FEET OF THE END OF THE LINE ON ALL DEAD-END WATER LINES.
USE OF FIRE HYDRANTS
1. THE CONTRACTOR SHALL MAKE PROPER ARRANGEMENTS WITH THE DUBLIN SERVICE DEPARTMENT AND THE COLUMBUS DIVISION OF WATER FOR THE USE OF FIRE HYDRANTS WHEN USED FOR WORK PERFORMED UNDER THIS CONTRACT AND PROVIDE THE CITY OF DUBLIN A COPY OF THE HYDRANT USAGE PERMIT OBTAINED FROM THE CITY OF COLUMBUS. THE CONTRACTOR SHALL ALSO SEND A COPIES OF PERMITS OBTAINED FROM DUBLIN AND COLUMBUS TO THE WASHINGTON AND/OR PERRY TOWNSHIP FIRE DEPARTMENT. PERMITS SHALL BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES.
2. BEFORE THE FINAL ESTIMATE IS PAID, THE CONTRACTOR SHALL SUBMIT A LETTER FROM THE CITY OF COLUMBUS DIVISION OF WATER TO THE CITY ENGINEER STATING THAT THE CONTRACTOR HAS RETURNED THE SIAMSE VALVE TO THE CITY OF COLUMBUS AND HAS PAID ALL COSTS ARISING FROM THE USE OF THE FIRE HYDRANTS.

STORM SEWER NOTES:

- 1. ALL STORM WATER DETENTION AND RETENTION AREAS AND MAJOR FLOOD ROUTING SWALES SHALL BE CONSTRUCTED TO FINISH GRADE AND HYDRO-SEEDED AND HYDRO-MULCHED ACCORDING TO ITEMS 203 AND 659 OF THE STANDARD SPECIFICATIONS.
2. WHERE PRIVATE STORM SEWERS CONNECT TO PUBLIC STORM SEWERS, THE LAST RUN OF PRIVATE STORM SEWER CONNECTING TO THE PUBLIC STORM SEWER SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM DESIGNATION C76, WALL B, CLASS IV FOR PIPE DIAMETERS 12 INCHES TO 15 INCHES, CLASS III FOR 18 INCHES TO 24 INCH PIPES, AND 27 INCHES AND LARGER PIPE SHALL BE CLASS II, UNLESS OTHERWISE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. INSPECTION IS REQUIRED BY THE CITY OF DUBLIN'S DIVISION OF ENGINEERING.
3. GRANULAR BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR CONTROLLED DENSITY BACKFILL ACCORDING TO ITEM 636, TYPE III OF THE STANDARD SPECIFICATIONS AS DIRECTED BY THE CITY ENGINEER.
4. ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM DESIGNATION C76, WALL B, CLASS IV FOR PIPE DIAMETERS 12 INCHES TO 15 INCHES, CLASS III FOR 18 INCHES TO 24 INCH PIPES, AND 27 INCHES AND LARGER PIPE SHALL BE CLASS II, UNLESS OTHERWISE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.
5. HEADWALLS AND ENDWALLS SHALL BE REQUIRED AT ALL STORM SEWER INLETS OR OUTLETS TO AND FROM STORMWATER MANAGEMENT FACILITIES. NATURAL STONE AND/OR BRICK APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED ON ALL VISIBLE HEADWALLS AND/OR ENDWALLS SURFACES.
6. STORM INLETS OR CATCH BASINS SHALL BE CHANNELIZED AND HAVE BICYCLE SAFE GRATES. MANHOLE LIDS SHALL INCLUDE CITY OF DUBLIN LOGO AND ALL CURB INLET AND CATCH BASIN GRATES SHALL INCLUDE ENGRAVED LETTERING: "DUMP NO WASTE; DRAINS TO RIVER."
7. STORM SEWER OUTLETS GREATER THAN 18 INCHES IN DIAMETER ACCESSIBLE FROM STORMWATER MANAGEMENT FACILITIES OR WATERCOURSES SHALL BE PROVIDED WITH SAFETY GRATES, AS APPROVED BY THE CITY ENGINEER.



Project Title:

THE COUNTRY CLUB AT MUIRFIELD VILLAGE
PHASE 2 SITE IMPROVEMENTS
FRANKLIN COUNTY, DUBLIN, OHIO

Owner:



8715 MUIRFIELD DRIVE
DUBLIN, OH 43017

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Plot Date: 05/24/2021
Layout By: ELK
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Scale: AS NOTED
Issue Date: MAY 2021
Sheet Title:

GENERAL NOTES



Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



THE COUNTRY CLUB  
 MUIRFIELD VILLAGE

8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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Mark	Description	Date
	FOR PERMIT	05/24/2021

Project No.:	CM005
Plot Date:	05/24/2021
Layout By:	EJK
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Check By:	EJK
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### GENERAL NOTES

### RUNOFF, SEDIMENTATION AND EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DISCRETION OF THE OWNER, ENGINEER, AND CITY ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL USING BMP INSTALLATION OR CONSTRUCTION SEQUENCING TECHNIQUES AT ALL POINTS WHERE PROJECT WATERS LEAVE THE LIMITS OF THE PROJECT, ALL POINTS WHERE PROJECT WATERS ENTER PORTIONS OF EXISTING UNDERGROUND PIPING, AND AROUND ANY AREA DESIGNATED FOR SOIL STOCKPILING OR MATERIAL STAGING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY SEDIMENT DEVICES AT THE CONCLUSION OF CONSTRUCTION BUT NOT BEFORE STABILIZATION OF PERMANENT EROSION CONTROLS.
- SEDIMENT CONTROL STRUCTURES AND SETTLING FACILITIES SHALL BE INSTALLED DURING CONSTRUCTION ACTIVITIES AS SHOWN IN THIS PLAN AND AS NEEDED TO PREVENT THE TRANSPORT OF SEDIMENT LADEN STORMWATER OFF THE SITE. IN ACCORDANCE WITH THE GENERAL CONSTRUCTION SCHEDULE ON THIS SHEET. THE SEDIMENT CONTROL STRUCTURES AND SETTLING FACILITIES SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT AND UNTIL FINAL STABILIZATION IS ACHIEVED. SEDIMENT BASINS/TRAPS AND PERIMETER SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN (7) DAYS FROM THE START OF GRUBBING. UPON COMPLETION OF CONSTRUCTION OF BASINS/TRAPS, SEEDING AND MULCHING SHALL IMMEDIATELY FOLLOW TO AID IN THE STABILIZATION AND MINIMIZE EROSION AND SEDIMENT TRANSPORT OF THE SOIL BEFORE WATER LEAVES THE BASINS/TRAPS. ALL EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED TO FUNCTION UNTIL UPLAND AREAS ARE PERMANENTLY STABILIZED.
- WHERE NOT OTHERWISE NOTED OR SHOWN, ALL EROSION AND SEDIMENT CONTROL PRACTICES SPECIFIED ON THIS PLAN SHALL CONFORM WITH DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR) "RAINWATER AND LAND DEVELOPMENT MANUAL".
- EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS, CONSTRUCTION PHASING, AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH-MOVING ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST RUNOFF, EROSION, AND SEDIMENT CONTROLS ACCORDINGLY.

### INSPECTION & MAINTENANCE NOTES:

- THE CONTRACTOR WILL BE RESPONSIBLE FOR KEEPING ROADWAYS CLEAN BY REMOVING ALL SOIL FROM THE ROADWAY. TRACKING OF SEDIMENT ONTO ROADWAYS BY VEHICLES SHALL BE MINIMIZED BY UTILIZING A STABILIZED CONSTRUCTION ENTRANCE AS THE ONLY ENTRANCE FOR VEHICLES. THIS ENTRANCE SHALL BE MAINTAINED WITH STONE AS NEEDED TO PREVENT DIRT AND MUD FROM TRACKING ONTO THE ROADWAY.
- THE CONTRACTOR SHALL INSPECT RUNOFF, EROSION, AND SEDIMENT CONTROLS DURING CONSTRUCTION OPERATIONS, AFTER RAIN EVENTS, AND ON A WEEKLY BASIS TO IDENTIFY MAINTENANCE ITEMS.
- THE CONTRACTOR SHALL PERFORM PROPER MAINTENANCE AND INSPECTIONS OF RUNOFF, SEDIMENTATION AND EROSION CONTROLS PER THE PROCEDURES AND FREQUENCY OUTLINED ON THIS SHEET. REGULAR INSPECTIONS AND MAINTENANCE BY THE CONTRACTOR SHALL BE PROVIDED FOR ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTION ACTIVITIES SHALL BE KEPT ON-SITE THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE AT A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN IN A 24-HOUR PERIOD. PROVIDE NAME OF INSPECTOR, DATE OF INSPECTION, MAJOR OBSERVATIONS (IDENTIFY TYPE AND LOCATION OF EACH SEPARATE BEST MANAGEMENT PRACTICE (BMP) REQUIRING ATTENTION, DESCRIBE CONDITION OF DAMAGED BMP, SPECIFY TYPE OF REMEDIAL ACTION REQUIRED, ETC.), AND SPECIFIC CORRECTIVE MEASURES TAKEN SINCE THE TIME OF THE PREVIOUS INSPECTION TO ACHIEVE COMPLIANCE WITH THE REQUIREMENTS OF THIS PLAN. ALL CORRECTIVE MEASURES SHALL BE MADE TO PROTECT AGAINST FURTHER FRAILER AS SOON AS POSSIBLE.

MAINTENANCE AND/OR REPAIR SHALL OCCUR AS DETAILED BELOW:

CORRECTIVE MEASURES SHALL BE MADE TO PROTECTED AGAINST FURTHER FAILURE AS SOON AS POSSIBLE.

- WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE, IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT BASIN, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE (3) DAYS OF THE INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN TEN (10) DAYS OF THE INSPECTION.
  - WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION, IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THIS PLAN MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN TEN (TEN) DAYS OF THE INSPECTION.
  - WHEN PRACTICES DEPICTED ON THIS PLAN ARE NOT INSTALLED, IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SCHEDULE, THE CONTROL PRACTICE MUST BE IMPLEMENTED WITHIN TEN (10) DAYS FROM THE DATE OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.
- ACCUMULATED SEDIMENT SHALL BE REMOVED FROM ALL CONTROLS BEFORE SEDIMENT OVERTOPS THE BARRIER. IT SHOULD TYPICALLY BE REMOVED WHEN THE SEDIMENT REACHES ONE-HALF THE BARRIER HEIGHT OR WHEN IT CAUSES THE BARRIER TO BULGE.
  - SEEDED AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE SITE REACHES FINAL STABILIZATION. FINAL STABILIZATION MEANS THE VEGETATION HAS ESTABLISHED UNIFORM PERENNIAL VEGETATIVE COVER (E.G., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF AT LEAST 70 PERCENT GRASS COVER FOR A PERIOD OF 1 YEAR FROM THE TIME OF PLANTING. ONCE FINAL STABILIZATION HAS BEEN ACHIEVED, THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES.

### EARTHWORK NOTES:

- FINAL GRADES SHALL BE IN ACCORDANCE WITH THE GRADING PLAN. AS-BUILT FINAL GRADE ELEVATIONS MAY DIFFER SLIGHTLY FROM THOSE SHOWN ON THE DESIGN PLANS DUE TO FIELD CONDITIONS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. HOWEVER, THE DESIGN INTENT SHALL STILL BE MET.
- FROZEN MATERIAL SHALL NOT BE UTILIZED FOR ANY GRADING ACTIVITIES, NOR SHALL CONTROLLED FILL MATERIAL BE PLACED ONTO FROZEN SUBGRADE MATERIAL. INSULATION BLANKETS, STRAW, A SACRIFICIAL SOIL LAYER, OR OTHER MEANS SHALL BE USED TO PROTECT SURFACE OR SUBGRADE MATERIAL WHEN FREEZING TEMPERATURES ARE EXPECTED. ALL FROZEN MATERIAL SHALL BE REMOVED AND DISCARDED PRIOR TO ANY GRADING ACTIVITIES.
- EXCAVATIONS SHALL BE SLOPED OR BRACED AS REQUIRED BY CURRENT OSHA REGULATIONS TO PROVIDE STABILITY AND SAFE WORKING CONDITIONS. EXCAVATIONS SHALL BE SHORED, SLOPED, OR BENCHED AS REQUIRED, TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. ALL EXCAVATIONS SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL SAFETY REGULATIONS, INCLUDING THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) EXCAVATION AND TRENCH SAFETY STANDARDS.

### DRAINAGE NOTES:

- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL ADJACENT ROADS AND LANDS, PER THESE PLANS.
- THE CONTRACTOR SHALL CONTROL STORMWATER ON THE SITE AND MINIMIZE EROSION AND TRANSPORTATION OF SEDIMENT-LADEN WATER OFF THE SITE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES DESIGN DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR) "RAINWATER AND LAND DEVELOPMENT MANUAL".
- THE CONTRACTOR SHALL CONTINUALLY CONTROL ALL GROUNDWATER AND/OR SURFACE WATER AS NECESSARY TO PERFORM THE CONSTRUCTION ACTIVITIES. THIS WORK INCLUDES CONSTRUCTING THE NECESSARY TEMPORARY DRAINAGE CHANNELS AND DIVERSIONS, AND FURNISHING, INSTALLING AND OPERATING ALL NECESSARY PUMPS, PIPING AND OTHER APPROPRIATE MEASURES NEEDED TO MAINTAIN THE SITE.
- ALL PUMP DISCHARGES, NOT INTO AN APPROVED BMP, SHALL BE PROTECTED BY SILT BAGS.

### SURVEY NOTES:

- THE CONTRACTOR SHALL REFERENCE ALL IRON PINS AND MONUMENTS BEFORE EXCAVATING AT OR NEAR SAID IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT, AT CONTRACTOR'S COST.
- HORIZONTAL AND VERTICAL CONTROL SHALL BE ESTABLISHED BY THE CONTRACTOR FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SURVEYS TO COMPLETE THE PROJECT INCLUDING REESTABLISHMENT OF CONTROL POINTS, PROJECT LAYOUT, AND STAKING OF EASEMENTS.
- THE CONTRACTOR SHALL SUPPLY THE RESOURCES NECESSARY TO LAY OUT AND VERIFY THE LOCATION, ALIGNMENT, ELEVATION, AND GRADE OF THE WORK AS SHOWN, OR DESCRIBED, IN THE DRAWINGS.
- ALL WORK SHALL BE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. SURPLUS OR UNSUITABLE MATERIALS SHALL BE PLACED ON-SITE AT LOCATIONS APPROVED BY THE OWNER.

### EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR OR DEVELOPER IS RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT (NOI) TO BE REVIEWED AND APPROVED BY THE OHIO EPA. THE NOI MUST BE SUBMITTED TO OEPA 45 DAYS PRIOR TO THE START OF CONSTRUCTION AND MAY ENTITLE COVERAGE UNDER THE OHIO EPA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. A PROJECT LOCATION MAP MUST BE SUBMITTED WITH THE NOI. A SEDIMENT AND EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL IF A SEDIMENT AND EROSION CONTROL PLAN HAS NOT ALREADY BEEN INCLUDED WITH THE APPROVED CONSTRUCTION DRAWINGS. THIS PLAN MUST BE MADE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE DESIGN OF EROSION CONTROL SYSTEMS SHALL FOLLOW THE REQUIREMENTS OF OHIO EPA, ITEM 207 OF OHIO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND THE CITY ENGINEER. AN INDIVIDUAL NPDES STORMWATER DISCHARGE PERMIT MAY BE REQUIRED. THE CONTRACTOR SHALL BE CONSIDERED THE PERMITTEE.
- THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER RUNOFF LEAVES THE PROJECT, INCLUDING WATERWAYS, OVERLAND SHEET FLOW, AND STORM SEWERS.
- ACCEPTED METHODS OF PROVIDING EROSION/SEDIMENT CONTROL INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT BASINS, SILT FILTER FENCE, AGGREGATE CHECK DAMS, AND TEMPORARY GROUND COVER. HAY OR STRAW BALES ARE NOT PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE OF THE WORK AREA AT ALL TIMES CONSISTENT WITH EROSION CONTROL PRACTICES.
- DISTURBED AREAS THAT WILL REMAIN UNWORKED FOR 30 DAYS OR MORE SHALL BE SEEDED OR PROTECTED WITHIN SEVEN CALENDAR DAYS OF THE DISTURBANCE. OTHER SEDIMENT CONTROLS THAT ARE INSTALLED SHALL BE MAINTAINED UNTIL VEGETATIVE GROWTH HAS BEEN ESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY SEDIMENT DEVICES AT THE CONCLUSION OF CONSTRUCTION BUT NOT BEFORE GROWTH OF PERMANENT GROUND COVER.

### TRAFFIC CONTROL NOTES:

- TRAFFIC CONTROL SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR ACCORDING TO OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD), CURRENT EDITION.
- ALL TRAFFIC LANES OF PUBLIC ROADWAYS SHALL BE FULLY OPEN TO TRAFFIC FROM 7:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM UNLESS AUTHORIZED DIFFERENTLY BY THE ENGINEER. AT ALL OTHER HOURS THE CONTRACTOR SHALL MAINTAIN MINIMUM ONE-LANE TWO-WAY TRAFFIC.
- IF THE ENGINEER DETERMINES THAT THE CONTRACTOR IS NOT PROVIDING PROPER PROVISIONS FOR TRAFFIC CONTROL, THE ENGINEER SHALL INITIATE FIELD CHANGES, SUCH AS POLICE CRUISERS, UNIFORMED POLICE OFFICERS, OR OTHER MEASURES FOR PUBLIC SAFETY AT NO COST TO THE CITY.
- STEADY-BURNING, TYPE "C" LIGHTS SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.
- ACCESS FROM PUBLIC ROADWAYS TO ALL ADJOINING PROPERTIES FOR EXISTING RESIDENTS OR BUSINESSES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT FOR MAIL, PUBLIC WATER AND SANITARY SEWER SERVICE, AND EMERGENCY VEHICLES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN DETAILING THE PROPOSED MAINTENANCE OF TRAFFIC PROCEDURES, INCORPORATING ANY TRAFFIC CONTROL DETAILS CONTAINED HEREIN. THE CONTRACTOR MUST OBTAIN APPROVAL OF THE TRAFFIC CONTROL PLAN BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE WITHIN 72 HOURS, ALL TRAFFIC SIGNAL DETECTORS DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE WITHIN 24 HOURS, ALL STRIPING REMOVED OR DAMAGED BY CONSTRUCTION WORK.
- THE CONTRACTOR SHALL COVER EXISTING SIGNS THAT CONFLICT WITH TEMPORARY TRAFFIC CONTROL AND REMOVE COVERS WHEN TEMPORARY TRAFFIC CONTROL IS REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC CONTROL DEVICES 24 HOURS PER DAY AND 7 DAYS PER WEEK.
- A FLASHING ARROW BOARD IS REQUIRED ON ALL ARTERIAL STREET LANE CLOSURES.
- A MINIMUM OF 10-FOOT WIDE TRAVEL LANES MUST BE MAINTAINED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- TRENCHES MUST BE BACK FILLED OR PLATED DURING NON-WORKING HOURS.
- THE TRACKING OR SPILLAGE OF MUD, DIRT, OR DEBRIS UPON STATE, COUNTY, TOWNSHIP, OR CITY STREETS IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR.

### GENERAL CONSTRUCTION SCHEDULE

- INSTALL ROCK CONSTRUCTION ENTRANCE, IF REQUIRED.
- INSTALL TEMPORARY SEDIMENT CONTROL DEVICES, SUCH AS FILTER FABRIC FENCE AND CATCH BASIN INLET PROTECTION, AND RELOCATE TEMPORARY SEDIMENT CONTROL DEVICES AS NECESSARY FOR NEW TOPOGRAPHY AND AS DRAINAGE PATTERNS CHANGE THROUGHOUT CONSTRUCTION.
- REMOVE AND TEMPORARILY STOCKPILE TOPSOIL OR UNSUITABLE MATERIALS IN THE AREAS DESIGNATED BY THE OWNER.
- PERFORM SITE GRADING FOR THE PROPOSED IMPROVEMENTS.
- PERFORM SITE STRUCTURAL CONSTRUCTION FOR THE PROPOSED IMPROVEMENTS.
- INSTALL CONCRETE SURFACE.
- INSTALL SITE LIGHTING (BY OTHERS).
- DECOMPACT ACCESS ROUTES AND STAGING AREAS PRIOR TO PERMANENT STABILIZATION.
- INSTALL LANDSCAPING (BY OTHERS).
- PERFORM PERMANENT STABILIZATION FOR ALL VEGETATED AREAS.
- AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED (I.E. 70% GROWTH OVER VEGETATED AREAS), REMOVE TEMPORARY SEDIMENT CONTROLS.



### LEGEND

- |                       |                   |                             |                                      |
|-----------------------|-------------------|-----------------------------|--------------------------------------|
| AC UNIT               | FIRE HYDRANT      | SANITARY MANHOLE            | DRAINAGE PIPE - PROPOSED             |
| BUSH                  | GAS LINE MARKER   | STORM MANHOLE               | CONTOUR MAJOR - EXISTING             |
| CATCH BASIN ROUND     | GAS METER         | STUMP                       | CONTOUR MINOR - EXISTING             |
| CATCH BASIN SQUARE    | GAS SERVICE VALVE | DECIDUOUS TREE              | CURB - EXISTING                      |
| PIPE CLEAN OUT        | GAS VALVE         | TELEPHONE RISE/PEDESTAL/BOX | DRIVEWAY - EXISTING                  |
| CABLE TV              | LIGHT POLE        | EVERGREEN TREE              | EDGE OF PAVEMENT - EXISTING          |
| YARD DRAIN            | UNKNOWN OBJECT    | WATER METER                 | STEPS - EXISTING                     |
| GUY ANCHOR            | POST              | WATER MANHOLE               | SIDEWALK - EXISTING                  |
| ELECTRIC METER        | POWER POLE        | WATER SERVICE VALVE         | CONCRETE PAD - EXISTING              |
| ELECTRIC MANHOLE      | ROCK              | WATER GATE VALVE            | FENCE - EXISTING                     |
| ELECTRIC PULL BOX     | SIGN PUBLIC       | YARD LITE                   | UNDERGROUND ELECTRIC LINE - EXISTING |
| PAD MOUNT TRANSFORMER | SPRINKLER HEAD    | UNKNOWN MANHOLE             | GAS LINE - EXISTING                  |
|                       |                   |                             | SANITARY LINE - EXISTING             |
|                       |                   |                             | WATER LINE - EXISTING                |
|                       |                   |                             | FLOWER BED - EXISTING                |
|                       |                   |                             | SHRUB LINE - EXISTING                |
|                       |                   |                             | TREE LINE - EXISTING                 |

### SURVEYOR NOTES:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

DATE OF FIELD WORK: 5-17-2021  
 EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

### BENCHMARKS:

AS PER THE TOPOGRAPHIC SURVEY PREPARED BY HULL & ASSOCIATES, THE CONTRACTOR AND/OR HIS SURVEYOR SHALL BE RESPONSIBLE TO CROSS CHECK ALL CONTROL FOR DISTURBANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

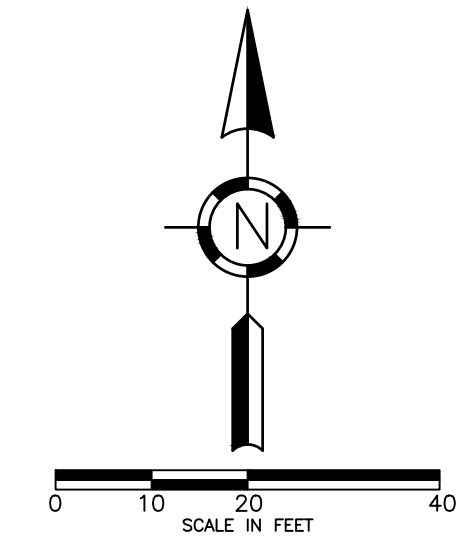
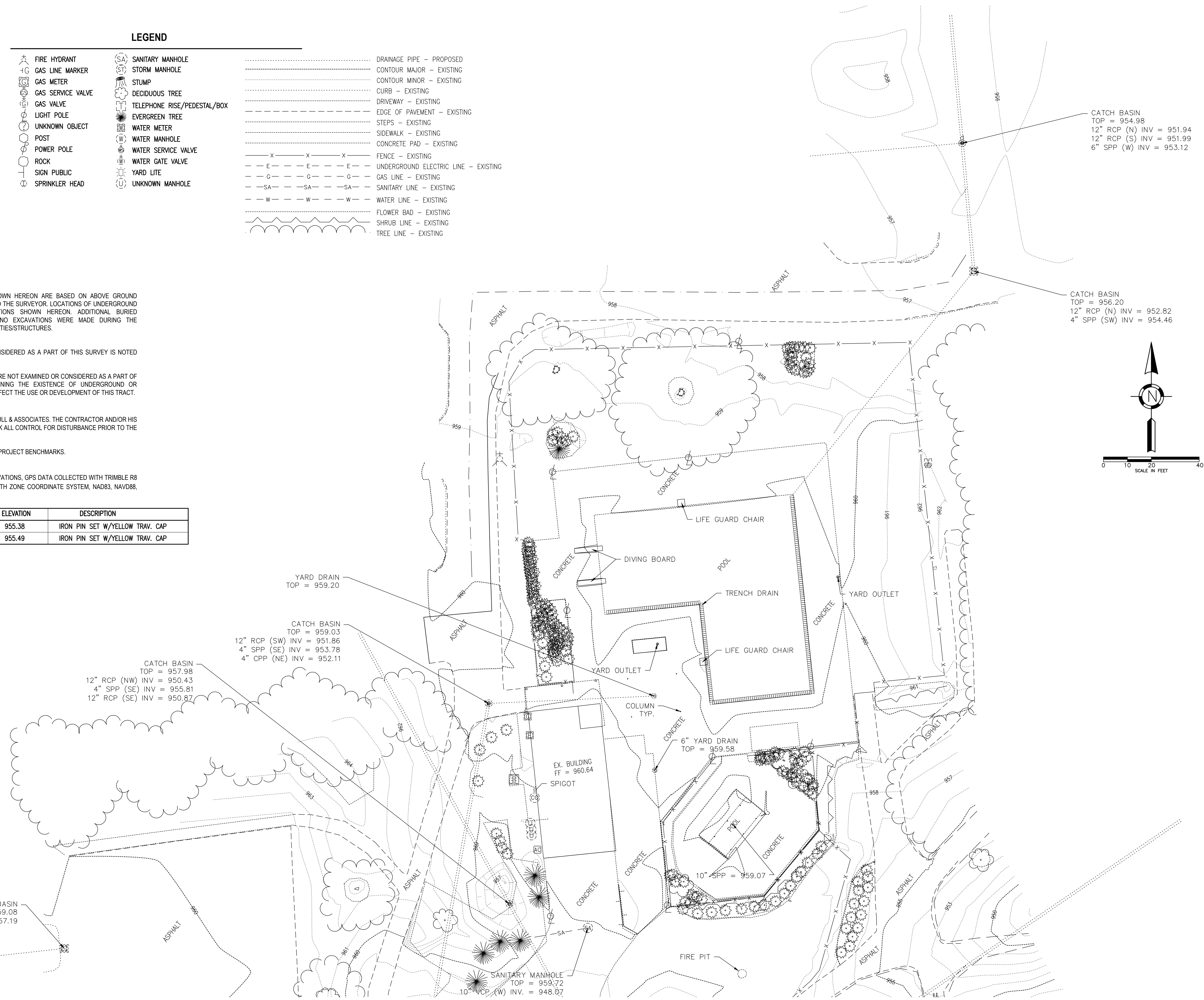
CONTROL POINTS LISTED BELOW ARE SUITABLE FOR PROJECT BENCHMARKS.

### CONTROL POINTS

BASIS OF BEARING: TRUE NORTH, BASED ON OBSERVATIONS, GPS DATA COLLECTED WITH TRIMBLE R8 UNIT VRS CORRECTION ON OHIO STATE PLANE SOUTH ZONE COORDINATE SYSTEM, NAD83, NAVD88, GEOID 12A.

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	780295.042	1785691.960	955.38	IRON PIN SET W/YELLOW TRAV. CAP
2	780062.425	1785935.752	955.49	IRON PIN SET W/YELLOW TRAV. CAP

FIRM COMMUNITY PANEL No.: 39049C0019K  
 FLOOD ZONE: X  
 EFFECTIVE DATE: 06/17/2008



## THE COUNTRY CLUB AT MUIRFIELD VILLAGE PHASE 2 SITE IMPROVEMENTS FRANKLIN COUNTY, DUBLIN, OHIO

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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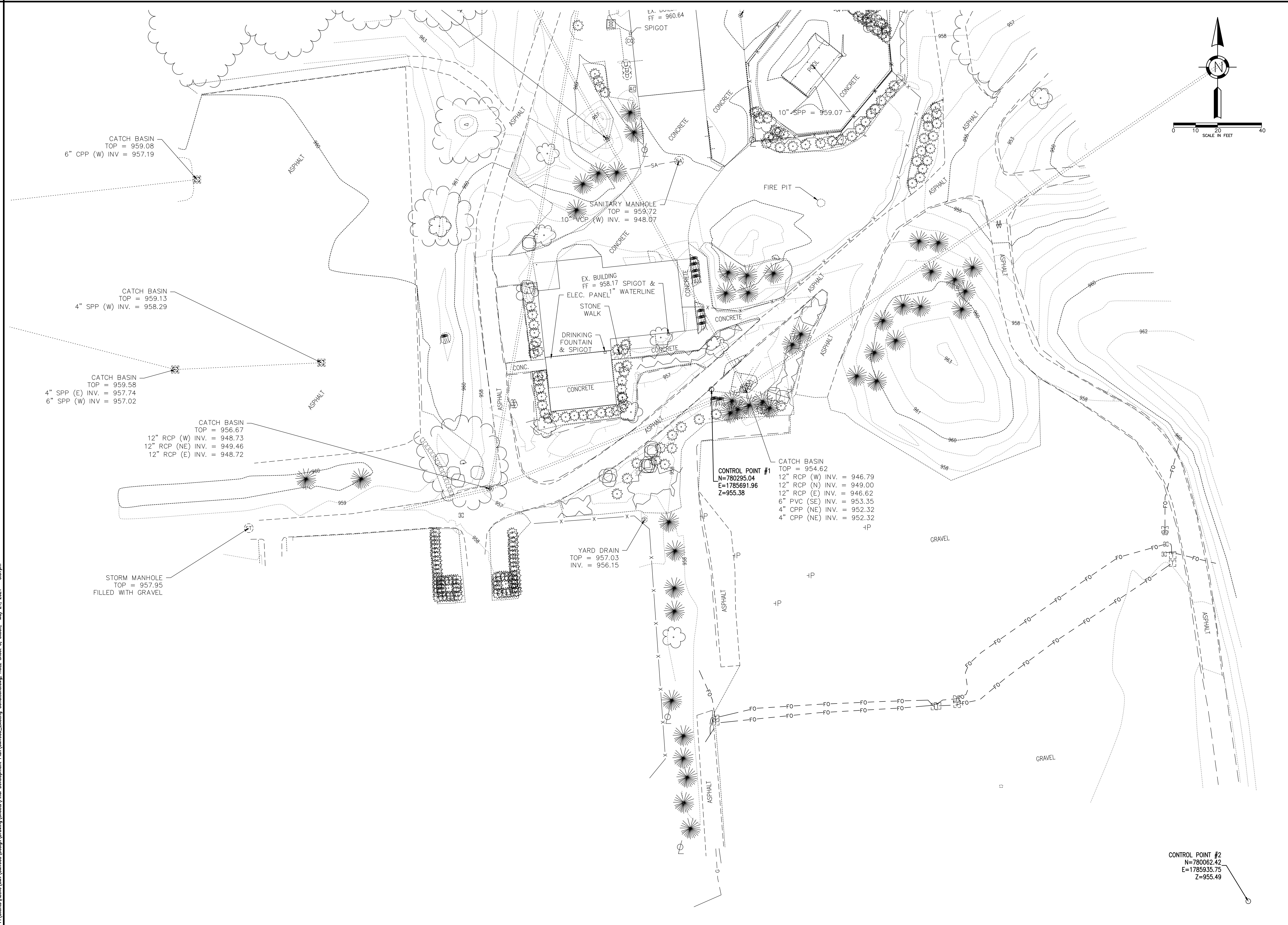
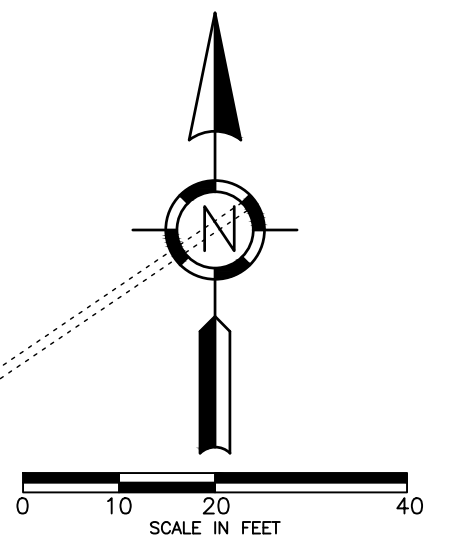
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Mark	Description	Date
FOR PERMIT		05/24/2021

Project No.:	CM005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

### EXISTING CONDITIONS





CATCH BASIN  
 TOP = 959.08  
 6" CPP (W) INV = 957.19

CATCH BASIN  
 TOP = 959.13  
 4" SPP (W) INV = 958.29

CATCH BASIN  
 TOP = 959.58  
 4" SPP (E) INV = 957.74  
 6" SPP (W) INV = 957.02

CATCH BASIN  
 TOP = 956.67  
 12" RCP (W) INV = 948.73  
 12" RCP (NE) INV = 949.46  
 12" RCP (E) INV = 948.72

STORM MANHOLE  
 TOP = 957.95  
 FILLED WITH GRAVEL

YARD DRAIN  
 TOP = 957.03  
 INV. = 956.15

CONTROL POINT #1  
 N=780295.04  
 E=1785691.96  
 Z=955.38

CATCH BASIN  
 TOP = 954.62  
 12" RCP (W) INV. = 946.79  
 12" RCP (N) INV. = 949.00  
 12" RCP (E) INV. = 946.62  
 6" PVC (SE) INV. = 953.35  
 4" CPP (NE) INV. = 952.32  
 4" CPP (NE) INV. = 952.32

CONTROL POINT #2  
 N=780062.42  
 E=1785935.75  
 Z=955.49

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



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 DUBLIN, OH 43017

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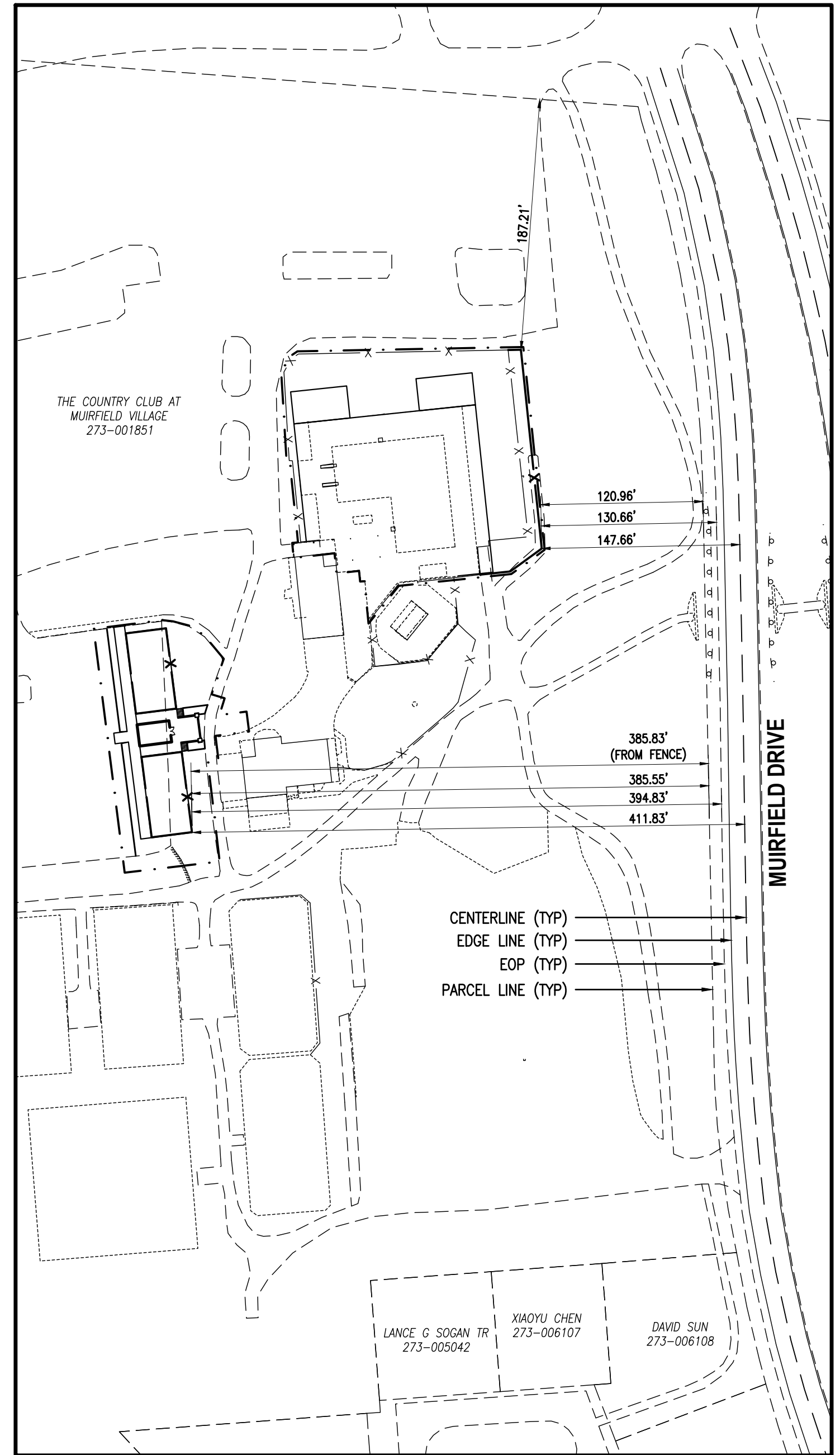
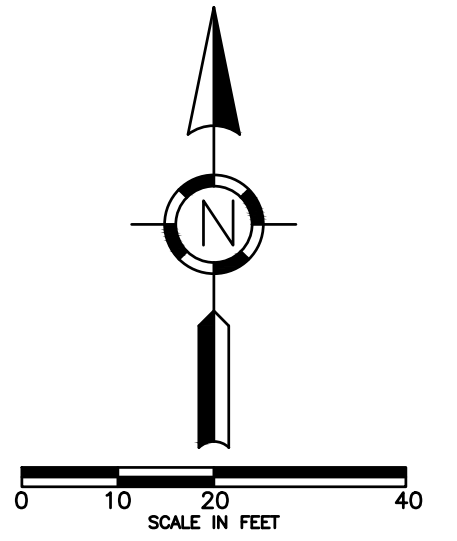
Mark	Description	Date
	FOR PERMIT	05/24/2021

Project No.:	CMV005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

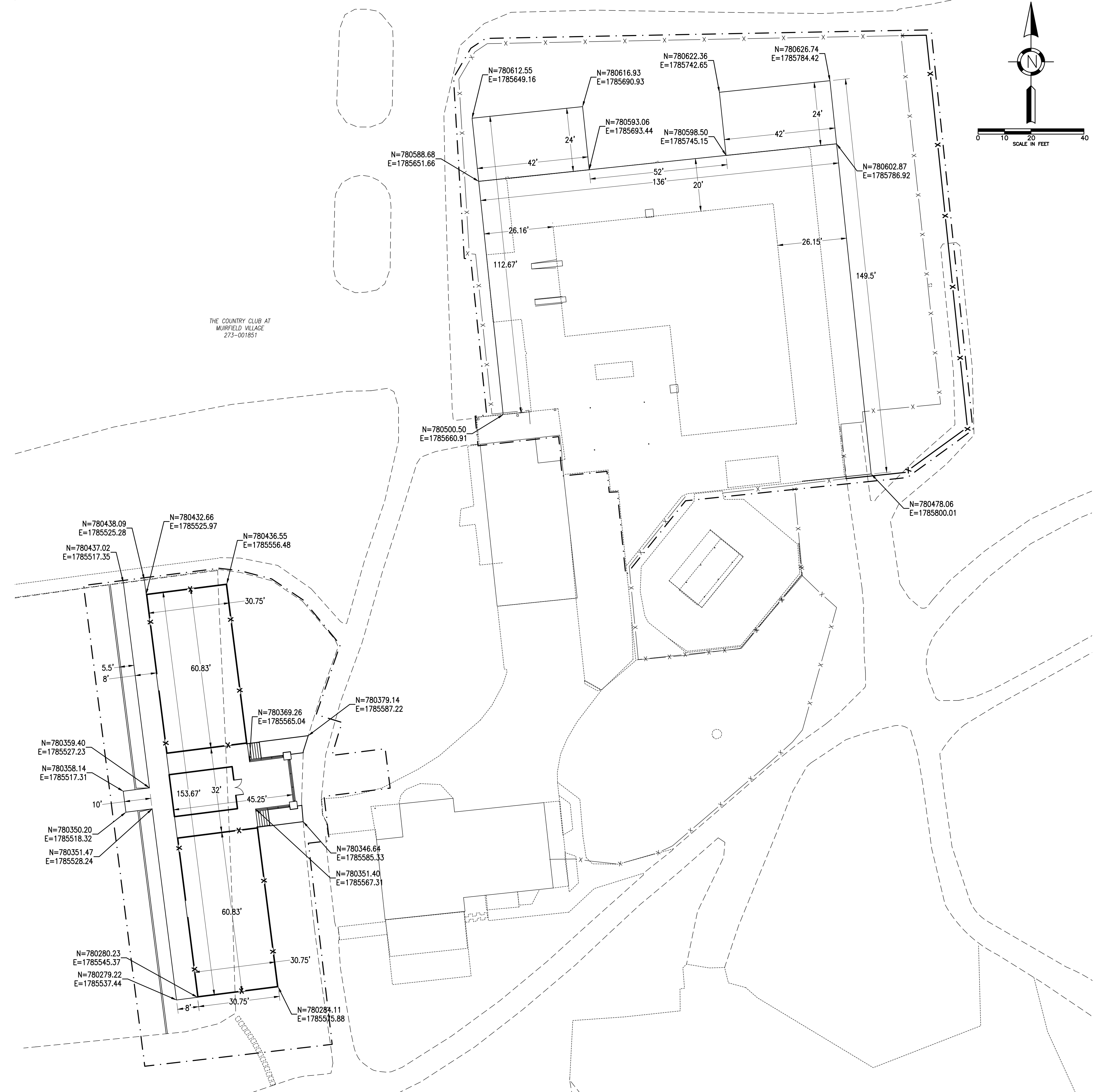
**EXISTING  
 CONDITIONS**

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**STAKING OVERVIEW**  
SCALE: 1" = 80'



Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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Project No.:	CMV005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

**STAKING PLAN**

F:\Clients\Active\CMV\CMV005\Design\Drawings\Sheets\Final Development Plan\CMV005\_Staking\_Plan.dwg, Layout, ektch, May 21, 2021 - 3:58pm



Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
PHASE 2 SITE IMPROVEMENTS  
FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



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DUBLIN, OH 43017

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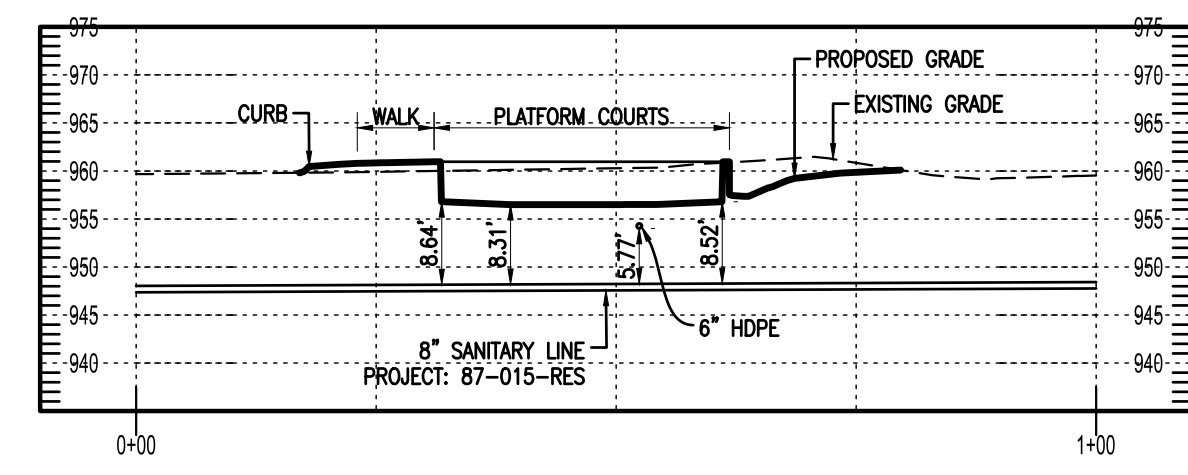
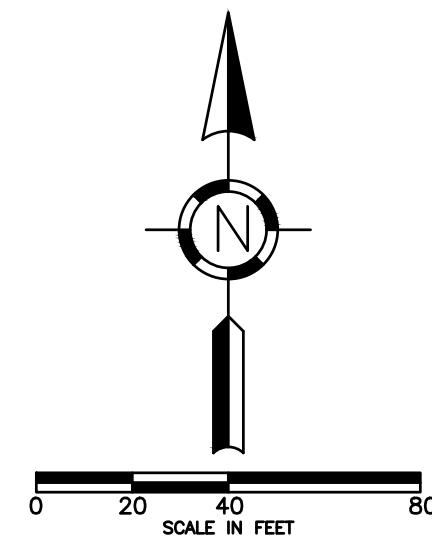
Mark	Description	Date
FOR PERMIT		05/24/2021

Project No.:	CM005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

**UTILITY PLAN**

Sheet Number: 07 OF 10

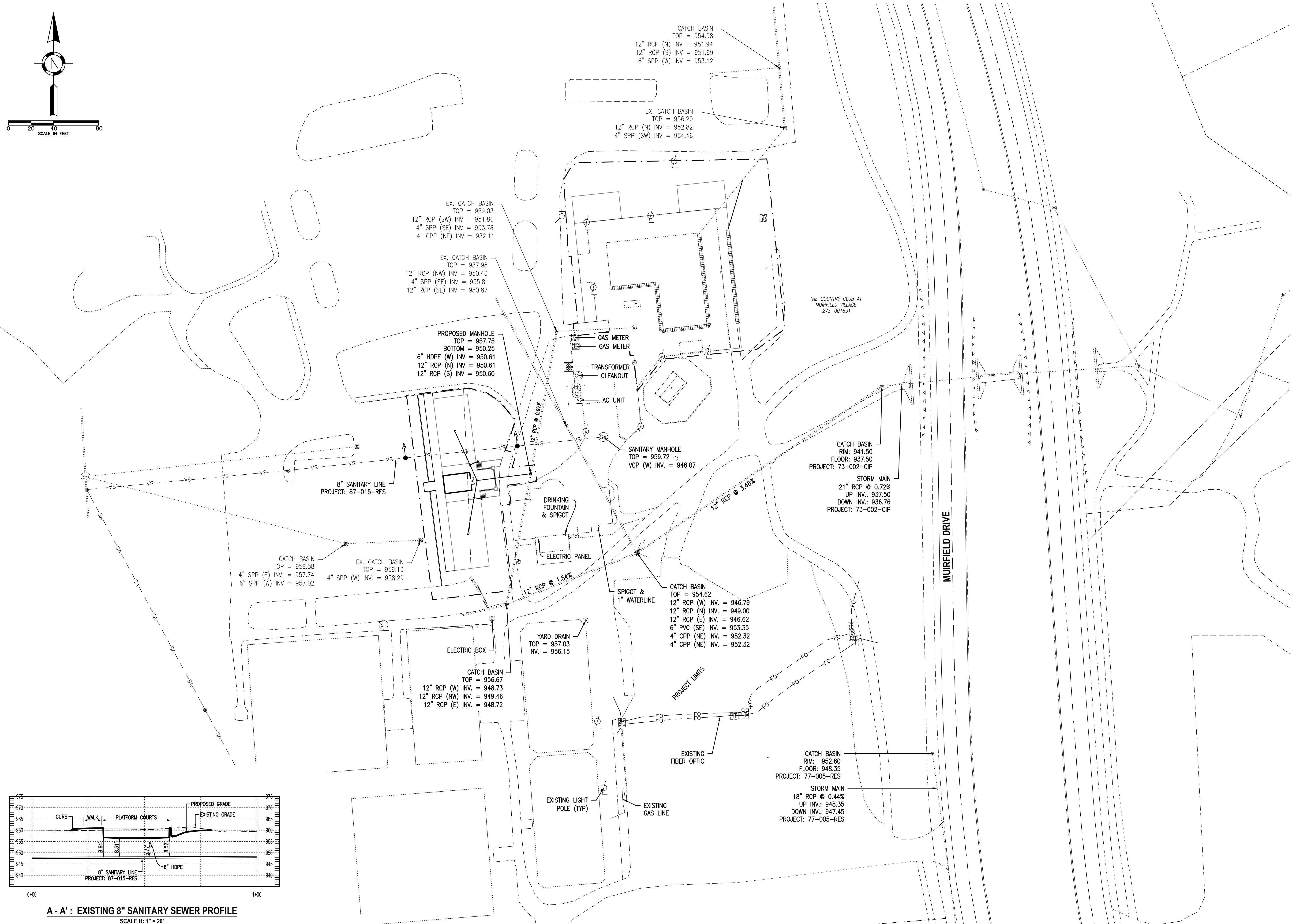
C7.0



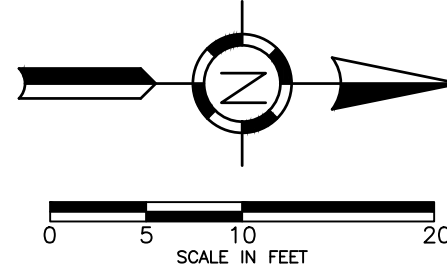
**A - A' : EXISTING 8" SANITARY SEWER PROFILE**

SCALE H: 1" = 20'  
SCALE V: 1" = 20'

F:\Clients\Active\CMV\CM005\Design\Drawings\Final Development Plan\CM005\_UTILITY Plan.dwg, Layout, aloc, May 21, 2021 - 3:58pm







- NOTES:
1. SEE ARCHITECTURAL PLAN BY OTHERS (UNDER SEPARATE COVER).
  2. SEE LANDSCAPE PLAN BY OTHERS (UNDER SEPARATE COVER).
  3. SEE SITE LIGHTING PLAN BY OTHERS (UNDER SEPARATE COVER).
  4. SEE FENCING PLAN BY OTHERS (UNDER SEPARATE COVER).

Project Title:

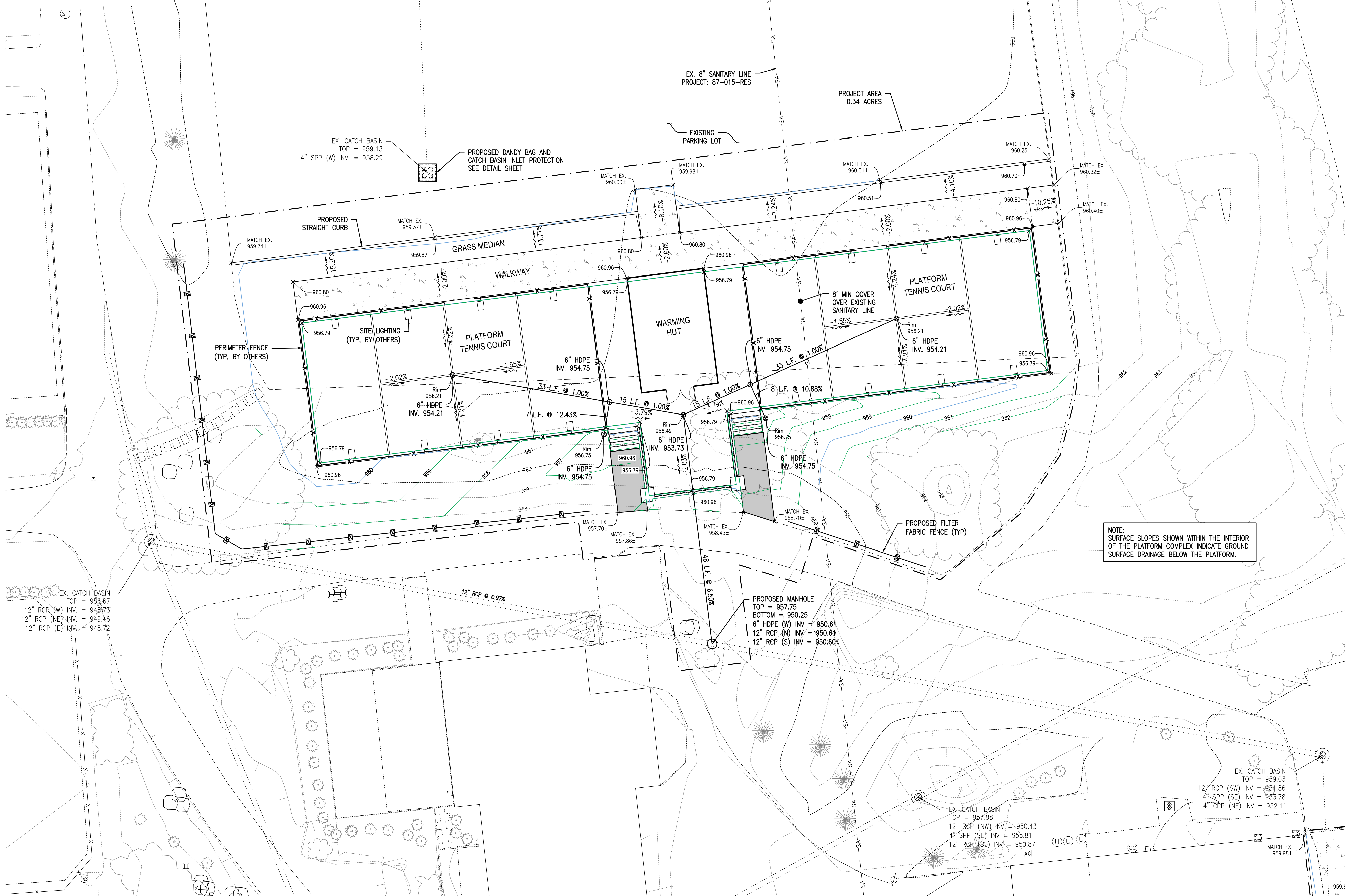
**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
 PHASE 2 SITE IMPROVEMENTS  
 FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:  
  
 8715 MUIRFIELD DRIVE  
 DUBLIN, OH 43017

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	FOR PERMIT	05/24/2021

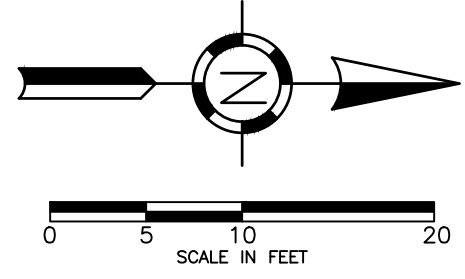
Project No.:	CM005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	



NOTE:  
 SURFACE SLOPES SHOWN WITHIN THE INTERIOR OF THE PLATFORM COMPLEX INDICATE GROUND SURFACE DRAINAGE BELOW THE PLATFORM.

F:\Clients\Active\CMV\CM005\Design\Drawings\Sheets\Final Development Plan\CM005\_Grading Plan.dwg, C8.0, ekoct, May 21, 2021 - 3:59pm





EX. CATCH BASIN  
TOP = 959.03  
12" RCP (SW) INV = 951.86  
4" SPP (SE) INV = 953.78  
4" CPP (NE) INV = 952.11

950.43  
4" SPP (SE) INV = 955.81  
12" RCP (SE) INV = 950.87

EX. SANITARY MANHOLE  
TOP = 959.72  
8" VCP (W) INV. = 948.07

EXISTING  
POOL HOUSE

LIGHT POLE TO  
BE RELOCATED

LIGHT POLE TO  
BE RELOCATED

7" RAISED  
CONCRETE  
SLAB

PROPOSED FILTER  
FABRIC FENCE (TYP)

EXISTING POOL  
PERIMETER ELEV: 960.15

PROJECT AREA  
0.71 ACRES  
0.59 ACRES LESS POOL

EX. POOL PERIMETER  
TRENCH DRAIN

EX. TRENCH  
DRAIN OUTLET  
INV. 959.72

7" RAISED  
CONCRETE  
SLAB

YARD OUTLET  
TO BE RELOCATED

PROPOSED 84 L.F.  
TRENCH DRAIN

4" 22.5' WYE  
& CLEANOUT  
INV. 957.04

EXISTING FENCE TO BE  
REMOVED AND RELOCATED  
203 L.F.

PROPOSED IN KIND  
FENCE RELOCATION  
210 L.F.

EX. CATCH BASIN  
TOP = 956.20  
12" RCP (N) INV = 952.82  
4" SPP (SW) INV = 954.46

F:\Clients\Active\CMV\CMV005\Design\Drawings\Sheets\Final Development Plan\CMV005\_Grading Plan.dwg, CS 0, ekoct, May 21, 2021 - 3:59pm

- NOTES:
1. SEE ARCHITECTURAL PLAN BY OTHERS (UNDER SEPARATE COVER).
  2. SEE LANDSCAPE PLAN BY OTHERS (UNDER SEPARATE COVER).
  3. SEE SITE LIGHTING PLAN BY OTHERS (UNDER SEPARATE COVER).
  4. SEE FENCING PLAN BY OTHERS (UNDER SEPARATE COVER).

Project Title:

**THE COUNTRY CLUB AT MUIRFIELD VILLAGE  
PHASE 2 SITE IMPROVEMENTS  
FRANKLIN COUNTY, DUBLIN, OHIO**

Owner:



8715 MUIRFIELD DRIVE  
DUBLIN, OH 43017

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Mark	Description	Date
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Project No.:	CMV005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

**GRADING PLAN**





Mark	Description	Date
FOR PERMIT		05/24/2021

Project No.:	CM005
Plot Date:	05/24/2021
Layout By:	EJK
Drawn By:	ANT
Check By:	EJK
Scale:	AS NOTED
Issue Date:	MAY 2021
Sheet Title:	

SEED MIX	SEEDING RATE		NOTES:
	LBS AC	LBS. 1,000 SF.	
<b>GENERAL USE</b>			
Creeping Red Fescue	20-40	$\frac{1}{2}$ - 1	FOR CLOSE MOWING & WATERWAYS W/ <2 FT/SEC
Domestic Ryegrass	10-20	$\frac{1}{4}$ - $\frac{1}{2}$	
Kentucky Bluegrass	20-40	$\frac{1}{2}$ - 1	
Tall Fescue	40-50	1 - $1\frac{1}{4}$	
<b>STEEP BANKS OR CUT SLOPES</b>			
Tall Fescue	40-50	1 - $1\frac{1}{4}$	
Tall Fescue	20-30	$\frac{1}{2}$ - $\frac{3}{4}$	Do not seed later than August
Flat Pea	20-25	$\frac{1}{2}$ - $\frac{3}{4}$	Do not seed later than August
Tall Fescue	20-30	$\frac{1}{2}$ - $\frac{3}{4}$	
<b>ROAD DITCHES AND SWALES</b>			
Tall Fescue	40-50	1 - $1\frac{1}{4}$	
Turf-type (dwarf) Fescue	90	$2\frac{1}{2}$	
Kentucky Bluegrass	5	0.1	
<b>LAWNS</b>			
Kentucky Bluegrass	100-120	2	
Perennial Ryegrass	100-120	2	
Kentucky Bluegrass	100-120	2	For shaded areas.
Creeping Red Fescue		$1\frac{1}{2}$	

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

### SEEDING DATES AND SOIL CONDITIONS:

- SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.
- PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL BUT NO LATER THAN 48 HOURS AFTER FINAL GRADING. THIS INCLUDES SOD OR OTHER METHODS OF RETAINING SEEDING MATERIAL PRIOR TO MATURATION IN THE LOWER  $\frac{1}{2}$  OF ANY DRAINAGE DITCHES.
- LAND WHICH HAS BEEN CLEARED FOR DEVELOPMENT, AND UPON WHICH CONSTRUCTION HAS NOT COMMENCED WITHIN FOURTEEN (14) DAYS OF THIS INITIAL CLEARING SHALL BE PROTECTED FROM EROSION AND CONSEQUENT SEDIMENTATION BY APPROPRIATE VEGETATION AND LAND COVERING TECHNIQUES SUCH AS SEEDING, SODDING, MULCHING GROUND COVER INSTALLATION OR OTHER VEGETATION OR EARTH COVERING TECHNIQUES.

### DORMANT SEEDINGS:

- SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER. THE FOLLOWING METHODS MAY BE USED FOR 'DORMANT SEEDING':
- FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED.
- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

### MULCHING:

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE HYDROSEEDED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
- MATERIALS
  - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
  - OTHER-OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
- MULCH ANCHORING METHODS
  - MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
  - WOOD CELLULOSE FIBER-WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

### IRRIGATION:

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH. IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDED AREAS FROM EXCESSIVE RUNOFF.

### PS PERMANENT SEEDING

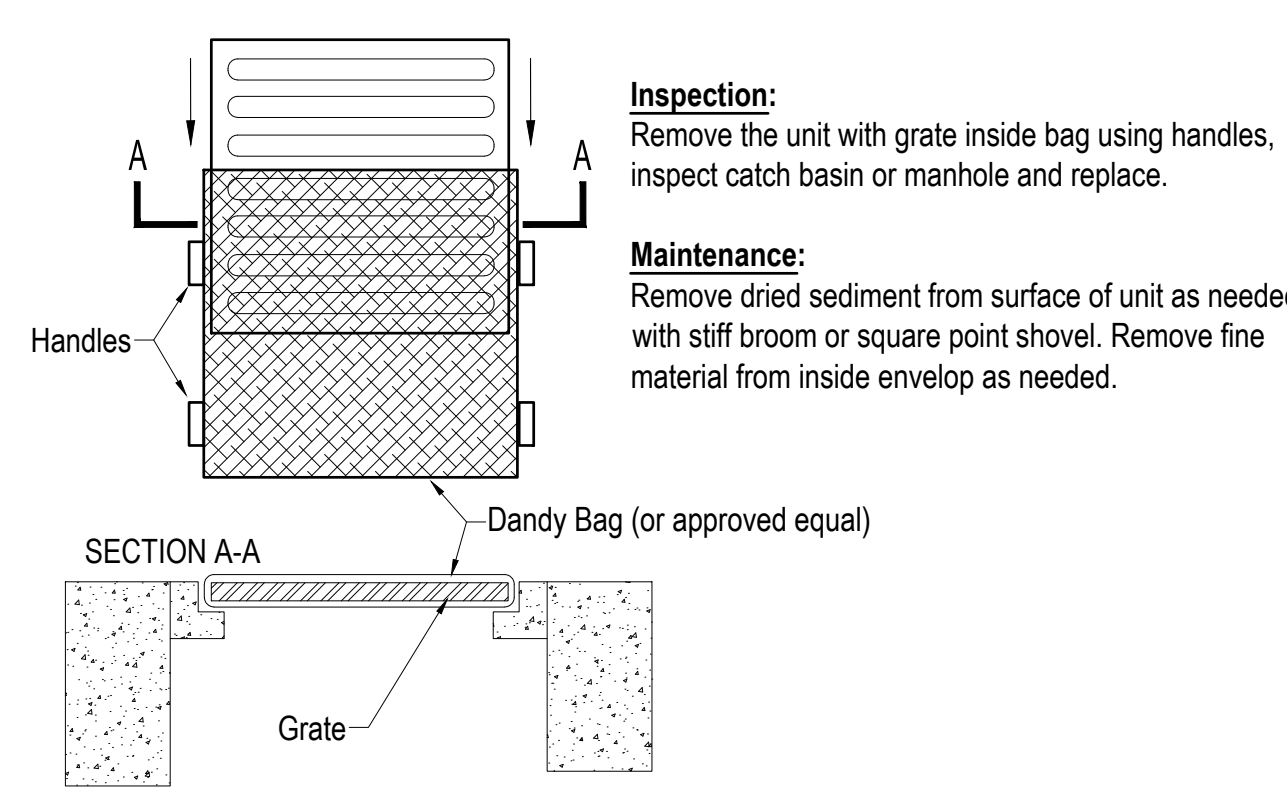
SEEDING DATES	SPECIES	Lb. / 1000 ft <sup>2</sup>	Lb. / Acre
March 1 to August 15	Oats	3	128 (4 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
August 16 to November	Annual Ryegrass	1.25	55
	Perennial Ryegrass	3.25	142
	Creeping Red Fescue	0.4	17
	Kentucky Bluegrass	0.4	17
	Oats	3	128 (3 bushel)
	Tall Fescue	1	40
November 1 to Feb. 29	Annual ryegrass	1	40
	Rye	3	112 (2 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Wheat	3	120 (2 bushel)
	Tall Fescue	1	40
November 1 to Feb. 29	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Annual Ryegrass	1	40
	Annual Ryegrass	1.25	40
	Perennial Ryegrass	3.25	40
	Creeping Red Fescue	0.4	40
Kentucky Bluegrass	0.4	40	

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

### MULCHING TEMPORARY SEEDING:

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH, WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE, VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT. THESE MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF INITIAL DISTURBANCE. CRITICAL AREAS, AS THEY PERTAIN TO EROSION CONTROL MEASURES, ARE DEFINED IN APPENDIX XIV BY THE LICKING COUNTY ENGINEER OR LICKING COUNTY SOIL AND WATER CONSERVATION SERVICE.
- MATERIALS:
  - HYDROSEEDERS-IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LBS./ AC. OR 46 LB./ 1,000-SQ.-FT.
- MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
  - WOOD-CELLULOSE FIBER-WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WT. OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. / 100 GAL.

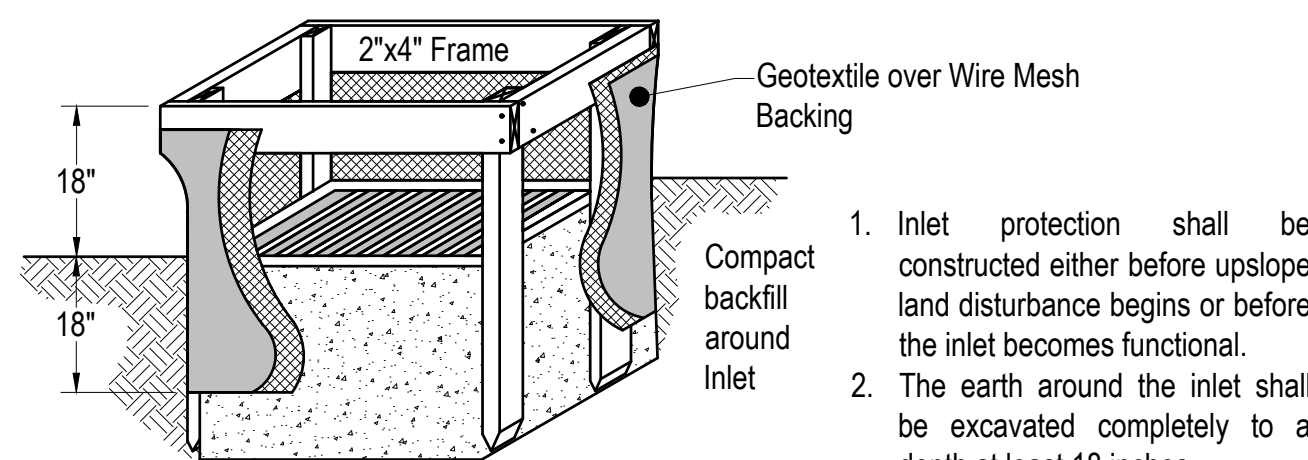
### TS TEMPORARY SEEDING



**Inspection:**  
Remove the unit with grate inside bag using handles, inspect catch basin or manhole and replace.

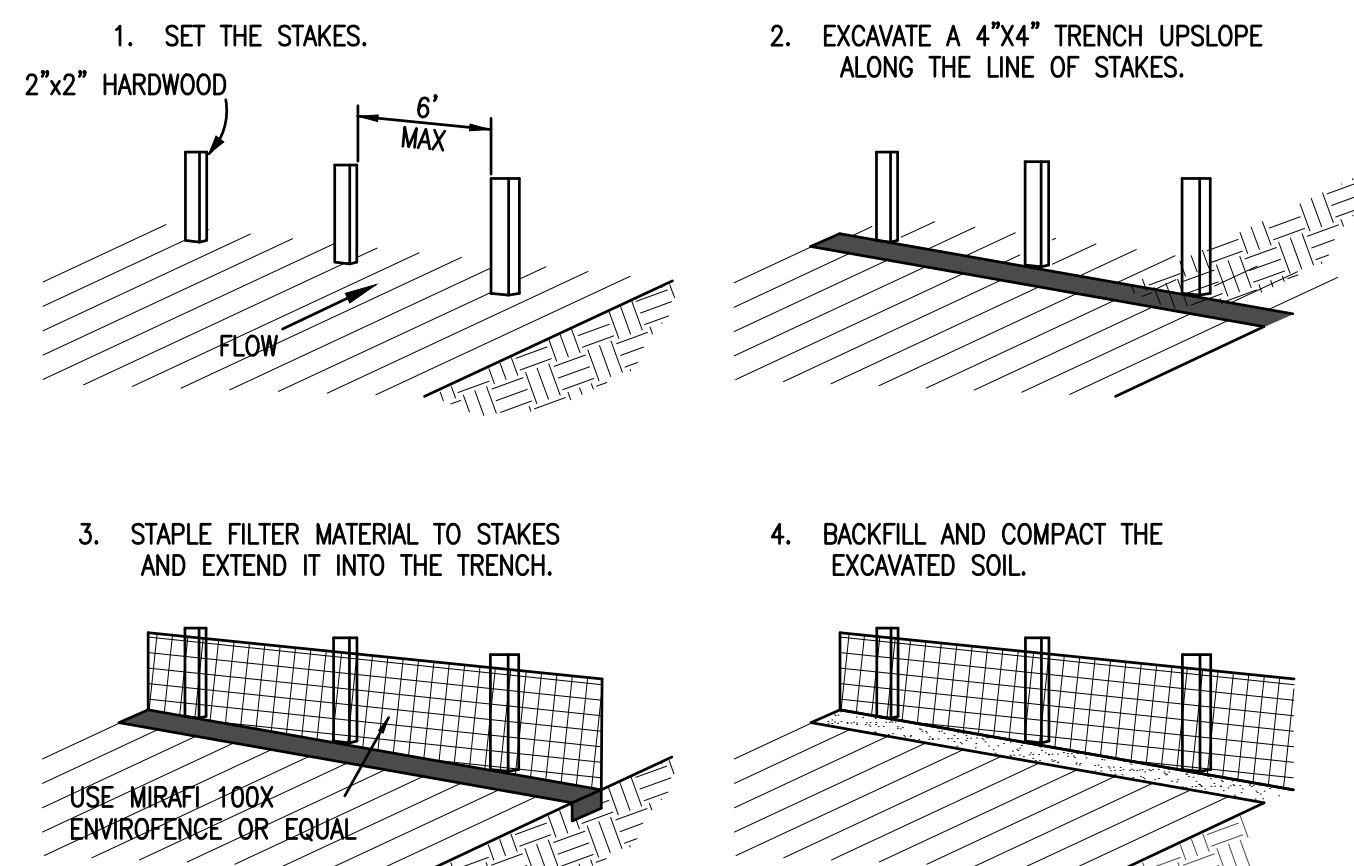
**Maintenance:**  
Remove dried sediment from surface of unit as needed with stiff broom or square point shovel. Remove fine material from inside envelop as needed.

### DB DANDY BAG (Not to Scale)



- Inlet protection shall be constructed either before upslope land disturbance begins or before the inlet becomes functional.
- The earth around the inlet shall be excavated completely to a depth at least 18 inches.
- The wooden frame shall be constructed of 2-inch by 4-inch construction grade lumber. The 2-inch by 4-inch posts shall be driven one (1) ft. into the ground at four corners of the inlet and the top portion of 2-inch by 4-inch frame assembled using the overlap joint shown. The top of the frame shall be at least 6 inches below adjacent roads if ponded water will pose a safety hazard to traffic.
- Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- Geotextile material shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 inches below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6-inch layers until the earth is even with notch elevation on ends and top elevation on sides.
- A compacted earth dike or check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression. The top of the dike shall be at least 6 inches higher than the top of the frame.

### IP GEOTEXTILE INLET PROTECTION (Rainwater and Land Development rev.6-24-09)



### SF PERIMETER FILTER FABRIC FENCE (NOT TO SCALE)





# TCCMV-Masterplan Updates - Phase 2

<b>OWNER</b> <b>Country Club at Muirfield Village</b> 8715 Muirfield Drive Dublin, OH 43017 Ted: (614) 764-1714 Contact: Domenick Mancini E: dmancini@tccmv.com	<b>ARCHITECT</b> <b>Design Collective Architecture</b> 151 East Nationwide Blvd. Columbus, OH 43215 Tel: (614) 464-2880 Contact: Matt Toddy E: mtoddy@dcollective.com	<b>GENERAL CONTRACTOR</b> <b>Shaffer Construction</b> 3675 Trabue Road Columbus, OH 43228 Tel: (614) 402-2122 Contact: Greg Callaghan E: greg@shafferconstruction.com	<b>CIVIL</b> <b>Hull &amp; Associates</b> 6397 Emerald Parkway, Suite 200 Dublin, OH 43016 Tel: (614) 793-8777 Contact: Eric Koch E: ekoch@hullinc.com
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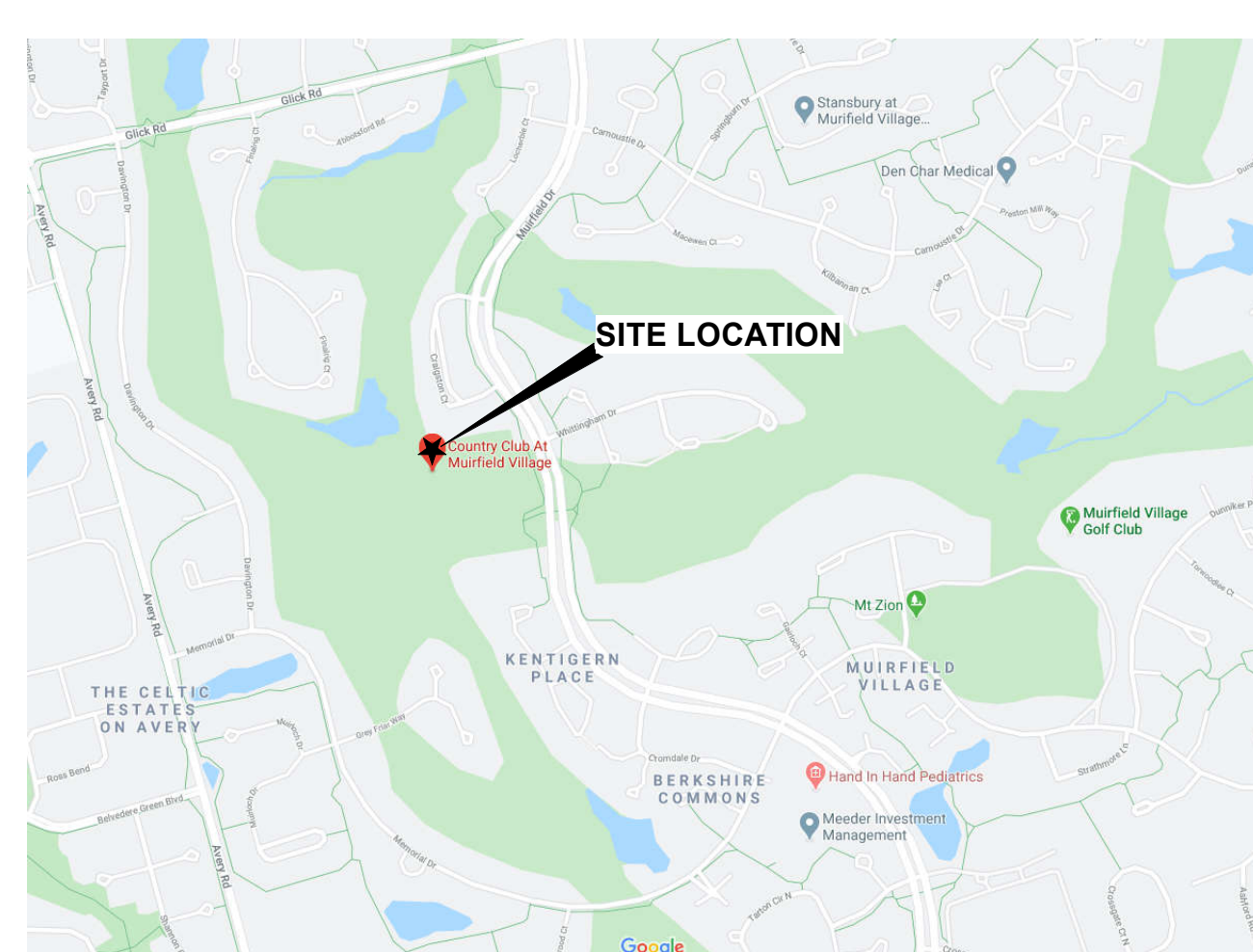
## GENERAL CONSTRUCTION NOTES

- All work will comply with any and all fire and safety codes, or with any federal, state, county or municipal codes having jurisdiction. All applicable requirements in these regulations will apply to the work shown herein, whether specifically indicated as such or not. Conflicts between work set forth herein and any codes, laws or regulations shall be brought to the attention of the Architect prior to proceeding with any work.
- Any reference made in these documents to the "Contractor" shall apply equally to the general Contractor or construction manager, and any Subcontractors or vendors to the Contractor. Similarly, any reference made to a "Subcontractor" or "Vendor" shall be interpreted as meaning the General Contractor or Construction Manager, and does not imply the Architect's involvement in the Contractor's means or methods of executing the work.
- The organization or arrangement of these drawings and/or accompanying specifications is for convenience only, and shall not relieve the Contractor of responsibility of delivering a complete functioning project, of supervising and coordinating the work of all trades, or of dividing the work among his Subcontractors or in establishing the extent of work to be performed by any trade.
- All work shall be in strict conformance with the requirements of these documents and the requirements of the Owner (especially regarding scheduling, areas of work and temporary controls). It is the Contractor's responsibility to acquaint himself with these requirements. Contractor is to investigate any special requirements and conditions of the site. Contractor's bid will be assumed to include the cost of fulfilling these requirements.
- Design and selection of supports, braces, anchors, attachments and related fasteners, unless shown on the drawings or in the specifications, are the responsibility of the installing contractor utilizing industry standard materials and methods suitable to the condition.
- The Owner is responsible to pay for, and the Contractor is responsible to obtain, all permits required by federal, state, county or municipal authorities; the Contractor shall include in the contract the cost of such permits.
- The Contractor is to arrange for elevator or other hoisting facilities for materials and equipment. Arrangements shall be made through the building management. Costs for delivery, storage, and/or handling of materials shall be included in the bid. The Contractor shall become familiar with and work within the Owners or building management's guidelines and procedures for security, registration, delivery, allowable working times, access to adjoining tenants, noise, etc.; costs of complying with these requirements will not be justification for additional charges.
- The Contractor shall verify building opening sizes and clearances (doors, elevators, docks, corridors, etc.) To allow for the delivery of all required materials and project components.
- The Contractor will post material safety data (MSD) sheets on the jobsite for any hazardous materials in compliance with federal, state and local authorities.
- Install manufactured materials and equipment in strict accordance with the manufacturer's written instructions and guidelines. The Contractor is to inform the Architect of items specified which may not be readily available or which have long lead times.
- The Contractor shall provide barriers, temporary partitions or other measures for the protection of occupants, workers or occupied or finished areas and surfaces. This is to include noise barriers, vapor barriers, dust barriers or other protection as requested by the Owner. An allowance for these materials shall be included in the contract and costs for the materials above the allowance shall be approved by the Owner.
- The Contractor is to remove all debris and leave all areas broom clean at the end of each work day, and protect any portion of existing work to remain or work previously installed.
- The Contractor shall investigate ceiling plenums and report extent of interference of overhead construction (ie duct work, pipes, plumbing, etc.), to Architect prior to start of work so as to accommodate the specified ceiling, lighting and mechanical systems. If requested by the Architect, the Contractor shall prepare a coordination drawing indicating the interface of all trades.
- The Contractor will perform all work for the contract sum without adjustment in the event of labor disputes and/or work stoppages.
- Items specified in these drawings are for reference, and are not intended to be proprietary. The Contractor may submit a written request along with his bid for Architect's approval of equal substitutions.
- There will be no substitutions for specified products, equipment or systems other than those approved prior to signing the contract, unless the substitution can be shown to be of significant benefit to the Owner and place no additional expense on the Architect to process. The Owner and Architect must approve all substitutions.
- Level of drywall finishes (as specified in ASTM C840):
  - A. Level 1 - areas above opaque ceiling
  - B. Level 2 - as substrate for ceramic tile
  - C. Level 4 - all areas not indicated to receive levels 1, 2 or 5. All wall areas above open cell ceilings.
  - D. Level 5 - only where specifically indicated on plans.

## COMMON ABBREVIATIONS

Abv	Above	Jan	Janitor
Acoust	Acoustic(al)	JT	Joint
Adj	Adjustable		
AF	Above finish floor	KO	Knock-out
Alum	Aluminum	KP	Kick plate
B/C	Bottom of curb	Lab	Laboratory
BD	Board	Lam	Laminate
Blkg	Blocking	Lav	Lavatory
		Lkr	Locker
Cab	Cabinet	Lpc	Laminated plastic covered
Cpt	Carpet	Lgt	Light
Cem	Cement	LP	Low Point
CJ	Corner joint		
CG	Control joint	Max	Maximum
CL	Centerline	MDO	Medium density overlay
Clg	Ceiling	Mech	Mechanical
Cfr	Clear	Mfr	Manufacturer
Cmu	Concrete masonry unit	Min	Minimum
Col	Column	Misc	Miscellaneous
Const	Construction	Mldg	Moulding
Cont	Continuous	Mrgwb	Moisture resistant GWB
Ctr	Center	N	North
		N/A	Not applicable
Dbl	Double	NIC	Not in contract
Demo	Demolish/ Demolition	No	Number
Dept	Department	Nom	Nominal
Dia	Diameter	NRC	Noise Reduction Coefficient
Diag	Diagonal	NTS	Not to Scale
Dim	Dimension		
Disp	Dispenser	OIC	On center
DN	Down	OD	Outside diameter
Dwg	Drawing		
		Plywd	Plywood
EA	Each		
EL	Elevation	R	Radius/ Riser
Elec	Electric(al)	Ref	Refer/ Reference
EQ	Equal	Reinf	Reinforced
Equip	Equipment	Rm	Room
Exist	Existing	RO	Rough Opening
Ext	Exterior		
		S	South
FD	Floor drain	Sched	Schedule(d)
Fin	Finish	Sect	Section
FL	Floor	Sim	Similar
Fluor	Fluorescent	SF	Square Foot/ Feet
FT	Foot/ Feet	Spec(s)	Specification(s)
FRT	Fire resistant treated	SS	Stainless steel
		Std	Standard
GA	Gauge	Sym	Symmetrical
Galv	Galvanized		
GB	Grab Bars	T&G	Tongue and groove
GL	Glass, Glazed	Temp	Tempered/ Temporary
Grade	Grade	Typ	Typical
GWB	Gypsum wall board	UNO	Unless noted otherwise
Gyp	Gypsum		
		VCT	Vinyl composition tile
HB	Hose Bibb	Vert	Vertical
HC	Handicapped/ Hollow core	VF	Verify in field
Hdw	Hardware	VWC	Vinyl wall covering
Hdw	Hardware		
HM	Hollow metal	W	West
Horiz	Horizontal	W/	With
HR	Hour/ Handrail	W/O	Without
Hgt	Height	YD	Yard, Yard drain
HP	High point		
ID	Inside diameter	&	And
Insul	Insulation	@	At
Int	Interior	#	Point(s) or Number

## PROJECT LOCATION MAP



## FINISH CLASSIFICATIONS

Finishes within this project have been selected based on the appropriate classifications identified in chapter 6 of the building code and comply with all applicable regulations and testing requirements, including flame spread and smoke development.

Group	Sprinklered		Nonsprinklered	
	Exit enclosures and exit passageways	Corridors	Rooms and enclosed spaces	Exit enclosures and exit passageways
A-1 & A-2	B	B	C	A
A-3, A-4, A-5	B	C	C	A
B, E, M, R-1	B	C	C	A
R-4	B	C	C	A
F	C	C	C	B
H	B	C	C	A
I-1	B	C	C	A
I-2	B	B	B	A
I-3	A	A	C	A
I-4	B	B	B	A
R-2	C	C	C	B
R-3	C	C	C	C
S	C	C	C	B
U	← Not Restricted →		← Not Restricted →	

Class A: flame spread index 0-25; smoke-developed index 0-450.  
 Class B: flame spread index 26-75; smoke-developed index 0-450.  
 Class C: flame spread index 76-200; smoke-developed index 0-450.

## FLOORING REQUIREMENTS:

- Floors shall be class I in groups I-1, I-2 and I-3. They are permitted to be reduced to class II if building is equipped throughout with an automatic sprinkler system.
- Floors shall be a minimum of class II in groups A, B, E, H, I-4, M, R-1, R-2 and S.
- All floor covering materials shall comply with the DOCFF-a 'Pill Test'
- Class I: 0.45 watts/cm<sup>2</sup> or greater.
- Class II: 0.22 watts/cm<sup>2</sup> or greater.

## PROJECT MATRIX

- Priority #1 Project - Platform Tennis/Warming Hut**  
New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.
- Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area**  
Updated concrete work and expanded patio area at main pool.

## NOTICE TO BIDDERS

Drawings contained within are a visual representation of the Scope of Work. It is the responsibility of the Bidding Contractors to perform a site visit to familiarize themselves with the unique characteristics of the project. Contact the Construction Manager or Owner to arrange a site visit.

The Contractor is to provide written notification to the Construction Manager or Owner of any discrepancies discovered between site conditions and these Documents. Submission of a bid is confirmation that the existing conditions have been accepted and fully accounted for in the costs provided.

Design Collective Architecture Inc. (Architect) does not handle the bidding process. Direct all bidding related questions to the Construction Manager or Owner.

## SUPPLY/INSTALLATION

All items contained within these drawings are assumed to be supplied and installed by the General Contractor unless noted otherwise. It is the responsibility of the GC to coordinate delivery and install as applicable within the scope of work.

## SPECIAL INSPECTIONS AND TESTING

Special inspections are required within the scope of the project. Refer to the attached special inspection statement and sheet S0.0 for a list of required inspection types. A third party agency shall be used.

## ASBESTOS DISCLAIMER

The Architect hereby states, and the Owner acknowledges, that the Architect has no professional liability (errors and omissions) or other insurance, and is unable to reasonably obtain such insurance, for claims arising out of the performance of or failure to perform professional services, including but not limited to the preparation of reports, designs, drawings and specifications, related to the investigation, detection, abatement, replacement or removal of products, materials, or processes containing asbestos.

Accordingly, the Owner hereby agrees to bring no claim for negligence, breach of contract, indemnity or otherwise against the Architect, his principals, employees, agents, and consultants if such claim in any way would involve the Architect's services for the investigation of or remedial work related to asbestos in the project.

The Owner further agrees to defend, indemnify and hold the Architect and his principals, employees, agents, and consultants harmless from any such asbestos related claims that may be brought by third parties as a result of the services provided by the Architect pursuant to this agreement.

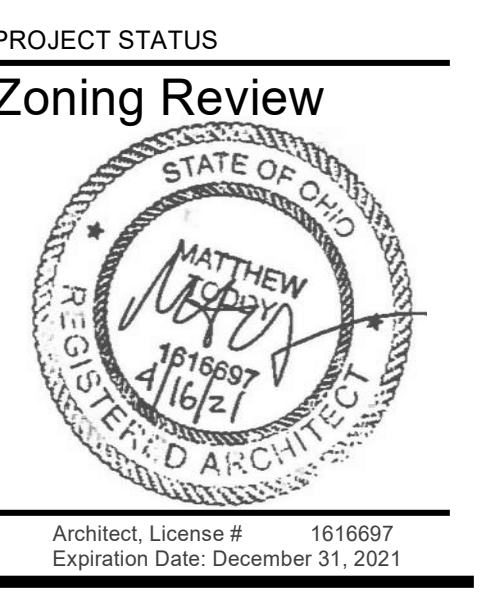
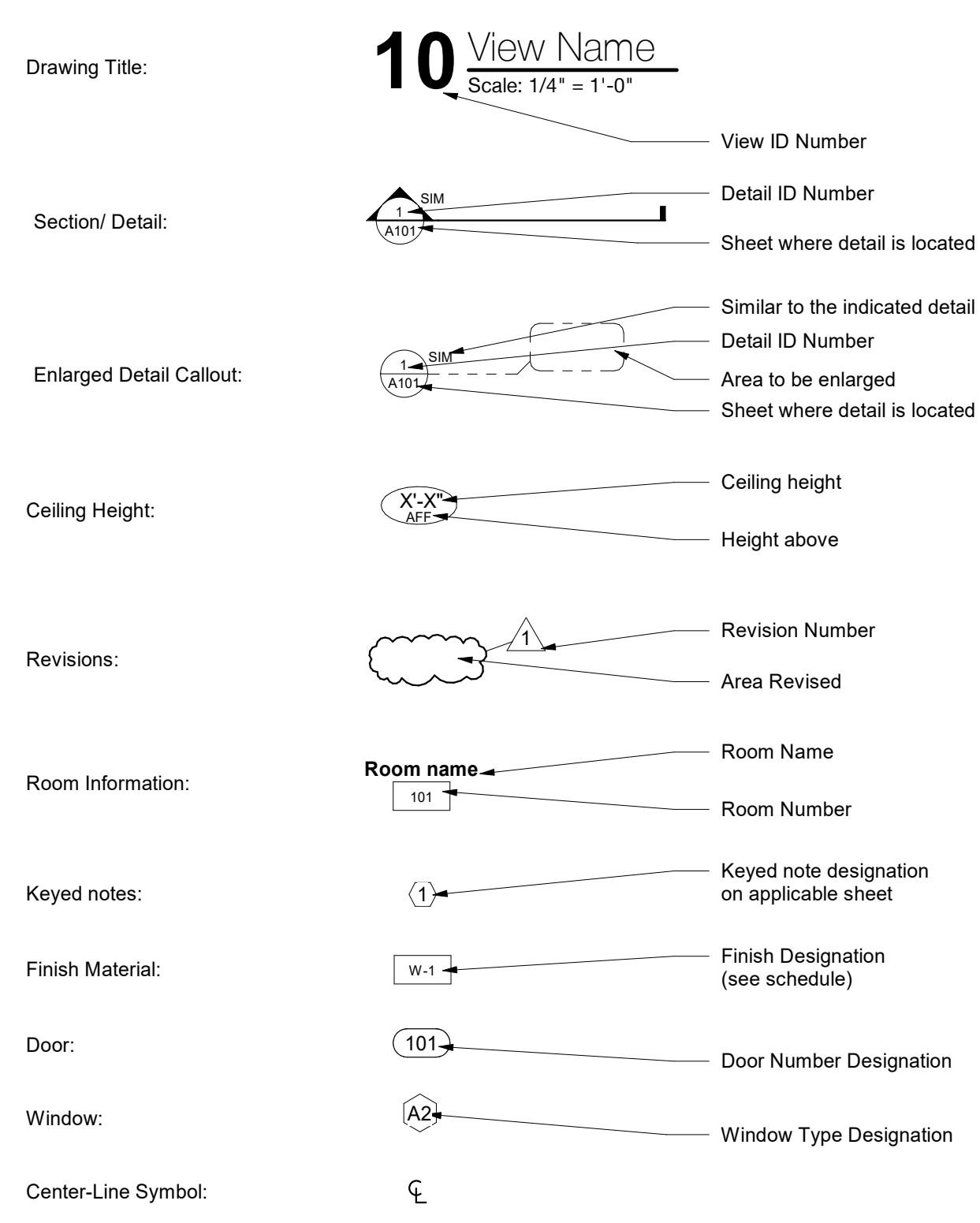
## DRAWING SHEET INDEX

#	Sheet name	Current Revision	Revision Date
<b>GENERAL</b>			
G-1	Title Sheet		
G-2	Code Analysis		
G-3	Accessibility Guidelines		
G-4	Site Plan		
G-5	3D Views		
<b>CIVIL</b>			
C1.0	Cover Sheet		
C2.0	General Notes		
C3.0	General Notes		
C4.0	Existing Conditions		
C5.0	Existing Conditions		
C6.0	Staking Plan		
C7.0	Utility Plan		
C8.0	Grading Plan		
C9.0	General Notes		
C10.0	Typical Details		
<b>STRUCTURAL</b>			
6P S-100	Breckenridge Pavillion 6-Post Structures		
6P S-101	Breckenridge Pavillion 6-Post Structures		
6P S-102	Breckenridge 3D View		
6P S-103	Breckenridge Elevation		
6P S-104	Breckenridge Elevation		
<b>ARCHITECTURAL</b>			
A-AQ1	Aquatics Project Matrix		
A-AQ2	Aquatics - Overall Plan		
A-AQ3	Aquatics - Overall Furn. Plan		
A-AQ4	Aquatics - Enlarged Plans		
<b>ARCHITECTURAL</b>			
A-PD1	Racquet Area Project Matrix		
A-PD2	Platform Court - Plan		
A-PD3	Platform Court - Enlarged Plans		
A-PD4	Platform Court - Sections/Details		
A-PD5	Warming Hut - Plans		

## CONSTRUCTION SUBMITTALS

- Provide all submittals in advance of installation for proper review by Architect & Owner.
- Allow at least 10 working days for Architect review time.
- The Contractor shall review and approve all submittals prior to their submission to the Architect. Any submittal not signed, dated and stamped approved by the Contractor will be rejected.
- The Contractor shall submit three samples of all finish materials, of a size appropriate to view the material being submitted, to the Architect for review prior to initiating installation of the material. Email submissions are acceptable & preferred.
- The Contractor is to submit product data sheets for any catalog items including any and all building standard items called for on the drawings.
- Prior to fabrication** - The Contractor shall submit shop drawings for all off-site fabricated items to the Architect for review. Any work fabricated prior to review not complying with the Contract Documents will be rejected.
- Substitutions to items specified in these Contract Documents should be made only prior to bidding. If the Owner authorizes the Architect to review a substitution after bidding, the item must be submitted separately and clearly identified as a substitution and not included within another submission or it will be rejected.

## SYMBOLS LEGEND



REVISIONS		
#	Description	Date

INITIAL ISSUE DATE  
**May 24, 2021**  
 PROJECT NO.  
**0247.20**



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**APPLICABLE BUILDING CODES**

Building:	2017 Ohio Building Code	Energy:	2012 IECC and ASHRAE 90.1
Structural:	2017 Ohio Building Code	Gas:	2015 International Fuel Gas Code
Mechanical:	2017 Ohio Mechanical Code	Fire:	2017 Ohio Fire code (NFPA 13)
Plumbing:	2017 Ohio Plumbing Code	Accessibility:	2017 Ohio Building Code
Electrical:	2017 National Electric Code		2009 ICC/ANSI A117.1/ADAAG

**REQUIRED FIRE RATINGS AND SEPARATIONS**

**Per Table 601:**

Structural Frame:	0
Roof:	0
Floor construction:	0
Exterior Walls (Non-Loadbearing) table 602:	0
Interior Walls (Non-Loadbearing):	0
Exterior Walls (Loadbearing):	0
Interior Walls (Loadbearing):	0

- FRT wood required: No
- Fire barriers or partitions present: No
- Fire walls present: No

**POOLHOUSE**

**SCOPE AREA: AQUATICS - POOLHOUSE**

Parcel ID #:	273-00185-100
Zoning:	C - Commercial
No. Storeys:	1
Use/Occupancy Classifications:	A-2
Construction Types:	V-B
Fire Suppression:	None
Fire Alarm:	None
Gross Building Area:	1,838sf
Max Travel Distance:	75'-0" Allowed 73'-3" Provided
Exit Separation:	33'-3"

**HEIGHTS AND AREAS**

Allowable Height:	40'-0"
Existing height:	22'-8"
Allowable Stories:	1
Existing height:	1
Allowable Area:	6,000sf
Total Gross Area (Building):	1,838sf
Total Patio Area:	945sf

**PLUMBING FIXTURE CALCULATIONS**

NOTE: Existing occupancy and plumbing fixture counts will not be affected. Existing plumbing fixtures are located at the adjacent Tennis Pro Shop at a distance of 75'-0" from the Poolhouse.

**EGRESS CALCULATIONS**

<b>REQUIRED:</b> (Per Section 1005)	<b>PROVIDED:</b> Door # - A: 34" Clear (Primary) 170 person capacity Door # - A: 34" Clear (Secondary) 170 person capacity 68" Clear (Total)
1,838sf / 15sf/occupant = 122 occupants 0.2' x 185 Occupants: 24"	

**CLUBHOUSE**

**SCOPE AREA: CLUBHOUSE**

Parcel ID #:	273-00185-100
Zoning:	C - Commercial
No. Storeys:	1
Use/Occupancy Classifications:	A-2
Construction Types:	V-B
Fire Suppression:	Yes
Fire Alarm:	Yes
Gross Building Area:	26,282sf
Max Travel Distance:	Not impacted by project scope
Exit Separation:	Not impacted by project scope

**HEIGHTS AND AREAS**

Allowable Height:	40'-0"
Existing height:	39'-2"
Allowable Stories:	1
Existing height:	1
Allowable Area:	6,000sf
Total Gross Area (Building):	26,282sf
Total Area of Project Scope:	1,392sf
Total Patio Area:	8,290sf

\*NOTE: The existing clubhouse is comprised of a series of additions. The existing clubhouse area is not impacted by the project scope.

**PLUMBING FIXTURE CALCULATIONS**

NOTE: Existing occupancy and plumbing fixture counts will not be affected. Existing plumbing fixtures are located at the adjacent clubhouse locker rooms at a distance of 25'-0" from the Founder's Room.

**EGRESS CALCULATIONS**

<b>REQUIRED:</b> (Per Section 1005)	<b>PROVIDED:</b> Door # - E: 34" Clear (Primary) 170 person capacity 34" Clear (Total)
1,392sf / 15sf/occupant = 92 occupants 0.2' x 185 Occupants: 19"	



**OWNER**  
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**PROJECT STATUS**

**Zoning Review**



Architect, License # 161607  
Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
MUIRFIELD VILLAGE  
TCCMV-Masterplan Updates - Phase 2  
The Country Club at Muirfield Village  
8715 Muirfield Drive Dublin, OH 43017

**REVISIONS**

#	Description	Date

INITIAL ISSUE DATE  
**May 24, 2021**

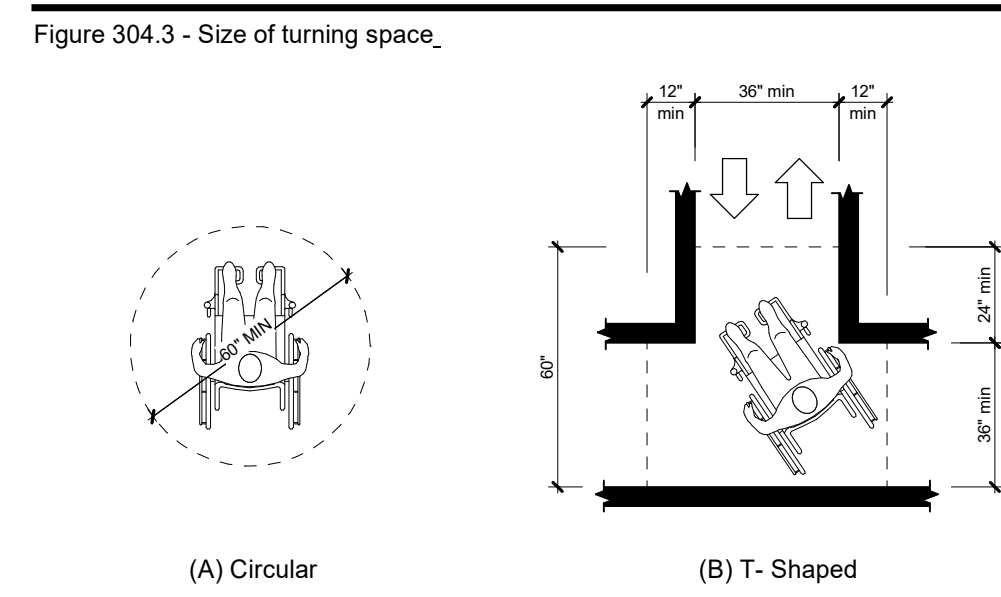
PROJECT NO.  
**0247.20**

Code Analysis

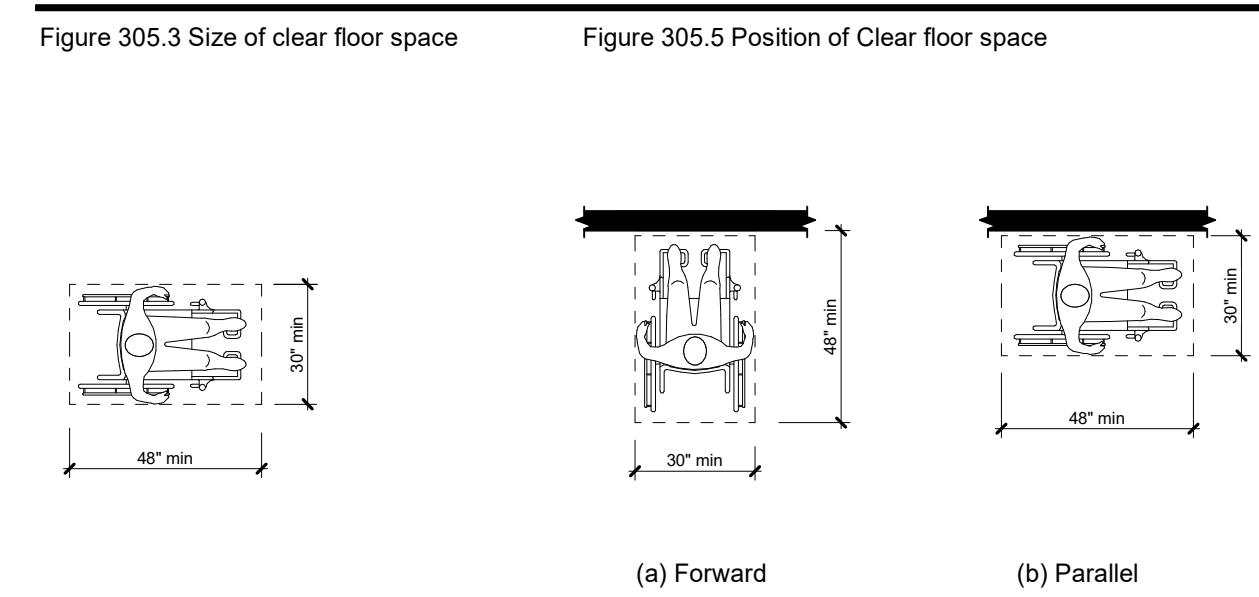
**G-2**



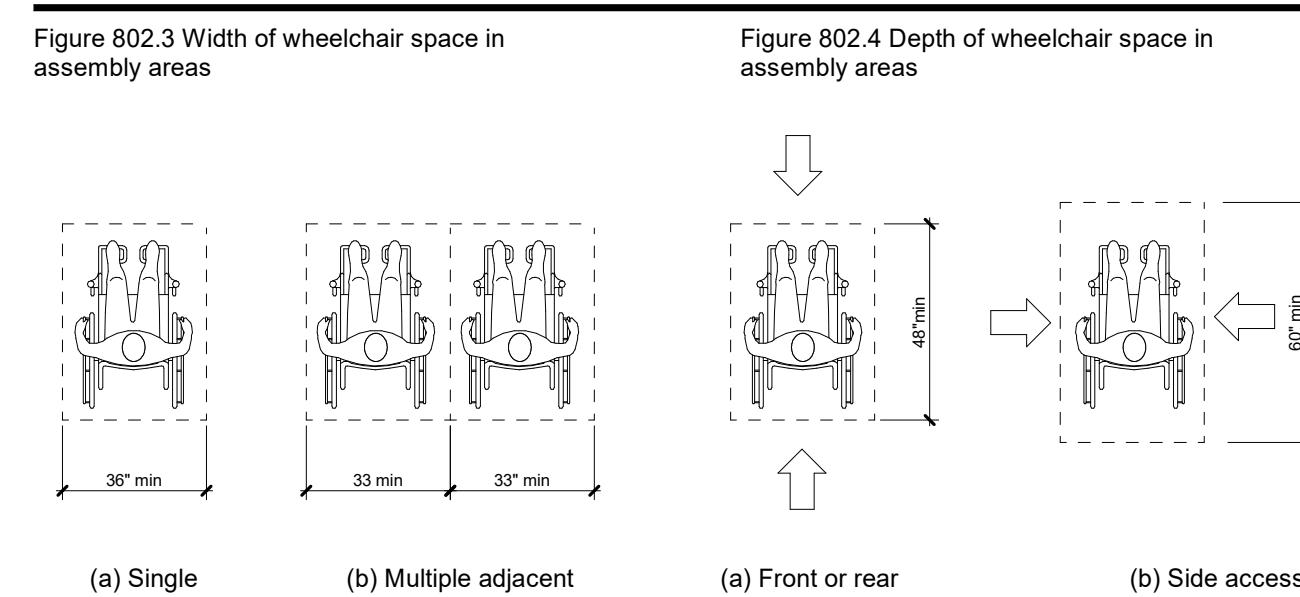
### TURNING SPACE



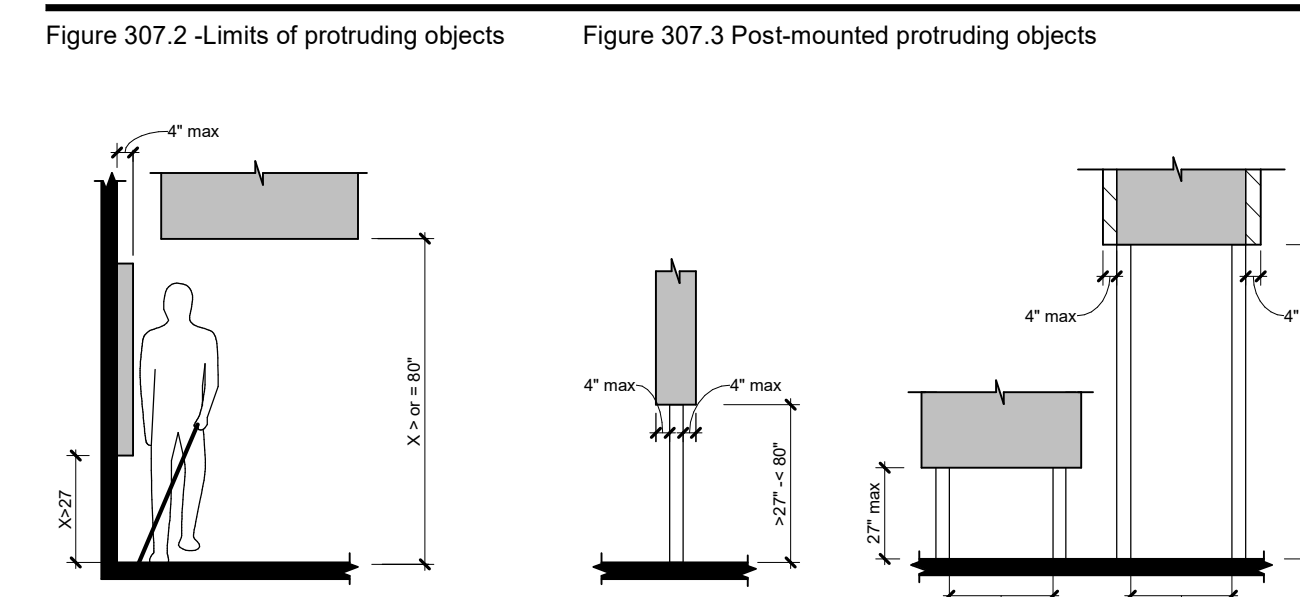
### CLEAR FLOOR SPACE



### ASSEMBLY AREAS



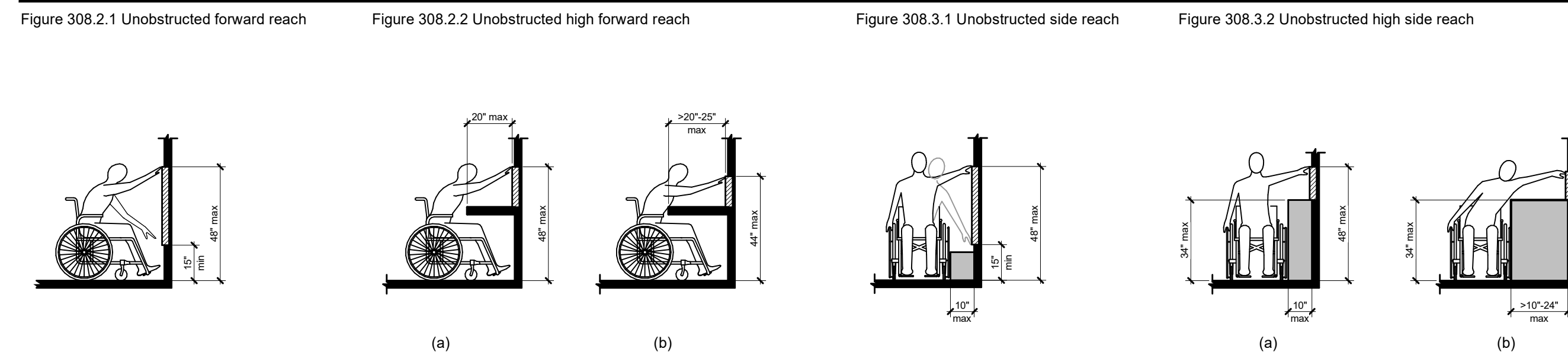
### PROTRUDING OBJECTS



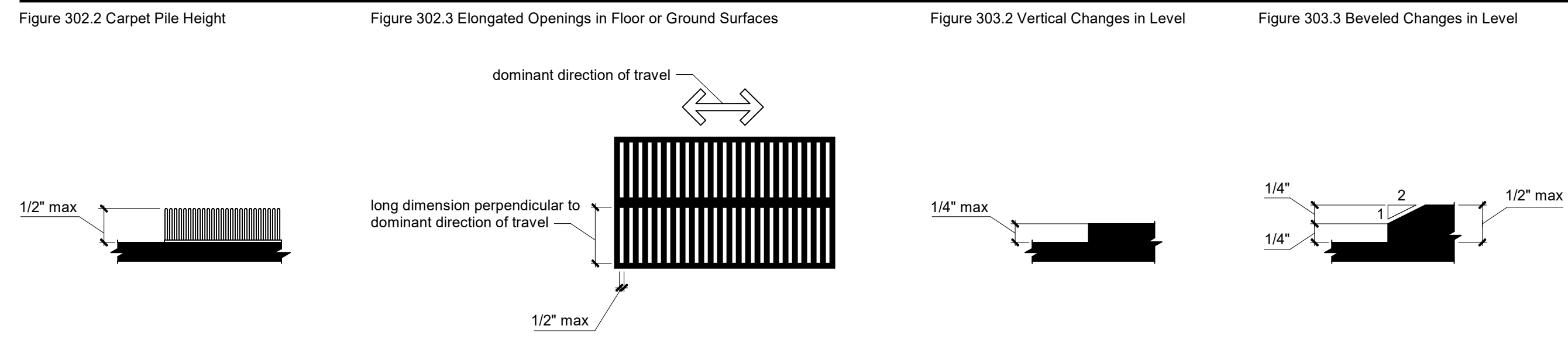
### GENERAL NOTES - ACCESSIBILITY

- All indicated dimensions are clear/finish values.
- Referenced standard as indicated on title sheet.
- The "General Accessibility Notes" and "Figures" on this sheet are provided as a general reference to illustrate common conditions addressed within the referenced standard. Some figures have been modified from those published in the standard to provide greater clarity. General contractor should reference the complete publication for any clarifications or questions.
- Protruding objects**  
Protruding objects on circulation paths shall comply with section 307.
- Operable Parts**  
Operable parts on accessible elements, accessible routes, and in accessible rooms and spaces shall comply sections 309 and 404.2.6.
- Accessible routes**  
Accessible routes shall comply with section 304 and chapter 4.
- Parking spaces**  
Where parking spaces are provided, parking spaces shall be provided in accordance with sections 406 and 502.
- Passenger loading zones and bus stops**  
Where provided, passenger loading zones shall comply with sections 503 and 805.
- Stairways**  
Where provided, interior and exterior stairs that are part of a means of egress shall comply with sections 504 and 505.
- Drinking fountains**  
Where drinking fountains are provided at an exterior site, on a floor, or within a secure area, they shall be provided in accordance with sections 305, 306, and 602.
- Kitchens, kitchenettes, and sinks**  
Where provided, kitchens, kitchenettes, and sinks shall comply with sections 308, 606, and 804.
- Toilet facilities and plumbing elements**  
Where toilet facilities are provided, they shall comply with section 305 and chapter 6.
- Signs**  
Signs shall be provided in accordance with section 703.
- Assembly areas**  
Assembly areas shall provide wheelchair spaces, companion seats, and designated aisle seats complying with sections 802 and 902.
- Dressing, fitting, and locker rooms**  
Where dressing, fitting, and locker rooms are provided, at least 5%, but no fewer than one of each type of use is each cluster provided shall comply with sections 803 and 903.
- Storage**  
Where storage is provided in accessible spaces, at least one of each type shall comply with sections 305 and 905.
- Dining surfaces and work surfaces**  
Where dining surfaces are provided for the consumption of food or drink, at least 5 percent of the seating spaces and standing spaces at the dining surfaces shall comply with sections 305 and 902. In addition, where work surfaces are provided for use by other than employees, at least 5% shall comply with sections 305 and 902.
- Sales and service**  
Where provided, check-out aisles, sales counters, service counters, food service lines, queues, and waiting lines shall comply with sections 305, 403, and 904.

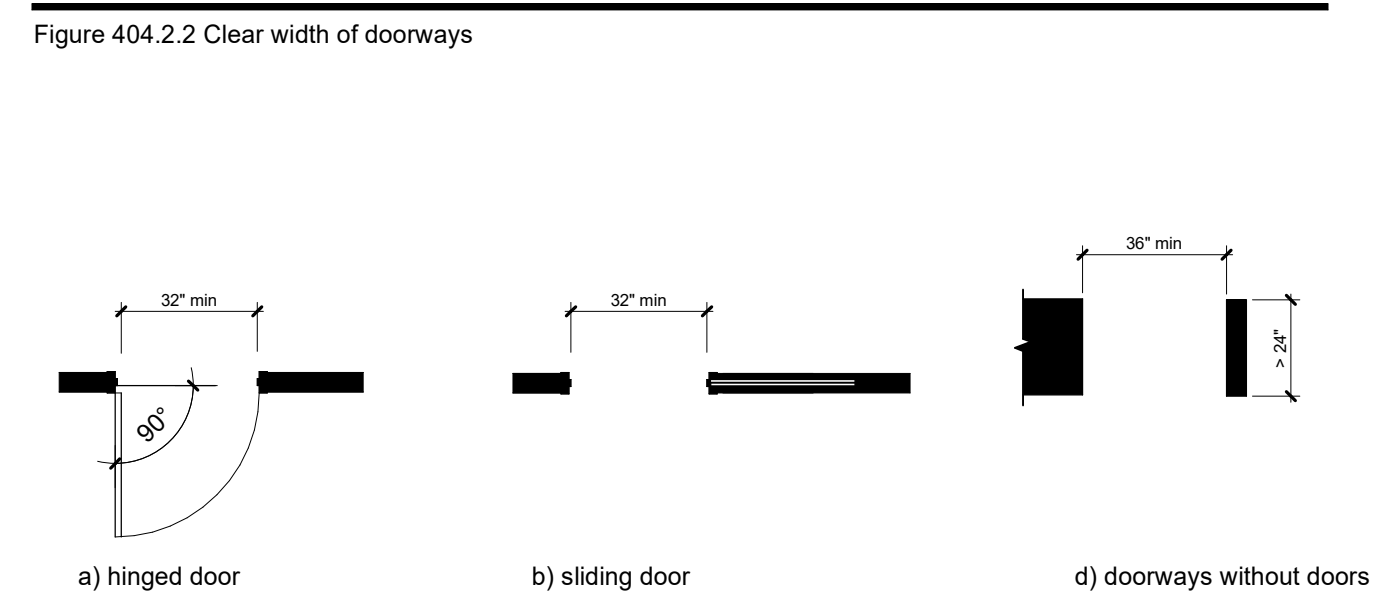
### REACH RANGES



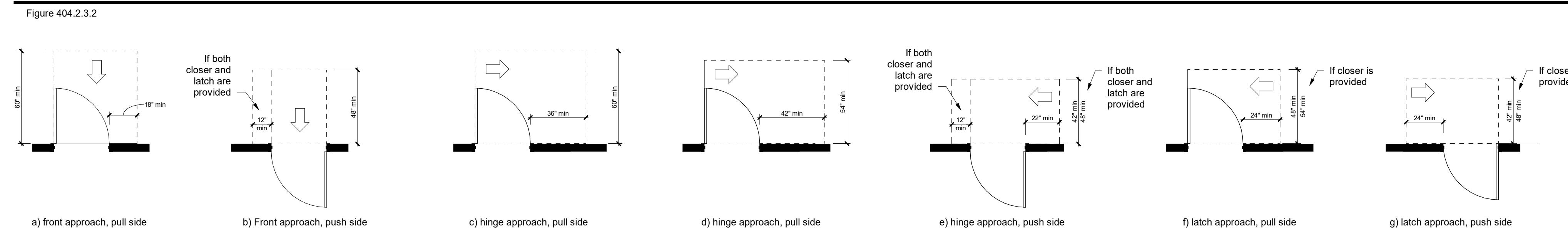
### CHANGES IN LEVEL



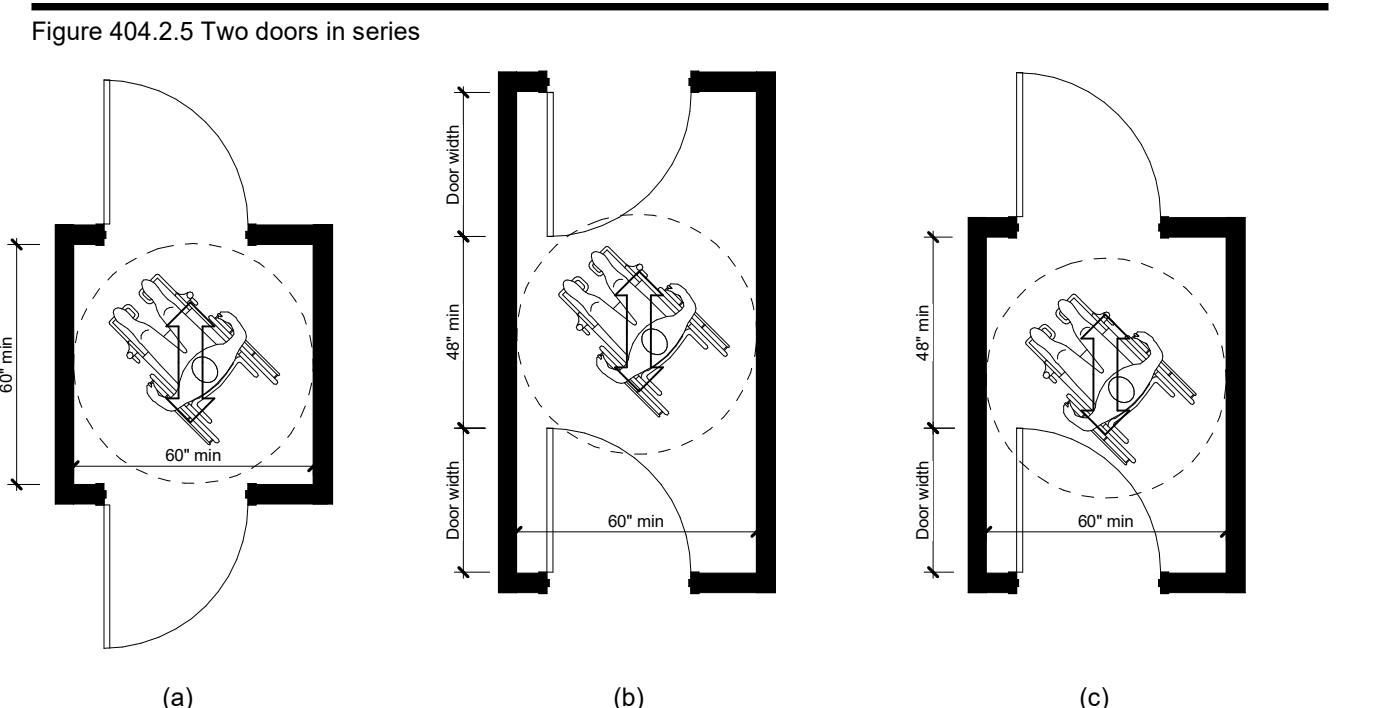
### DOORS AND DOORWAYS - CLEAR WIDTH



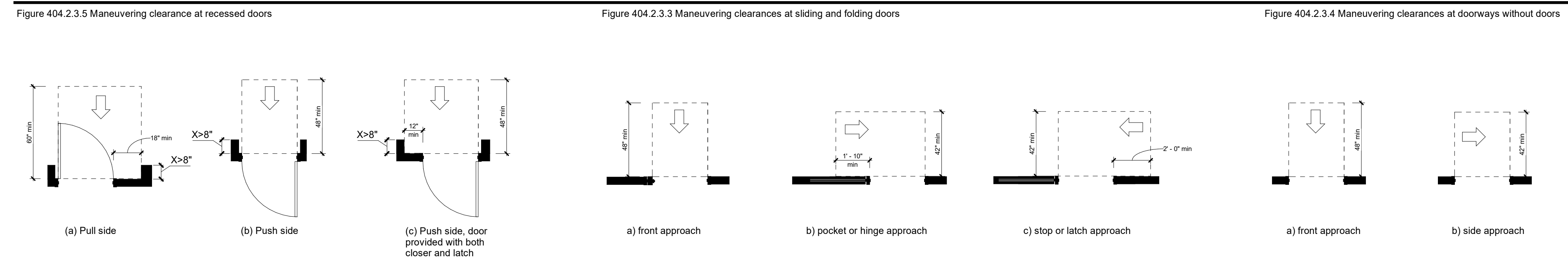
### DOORS AND DOORWAYS - MANEUVERING CLEARANCE



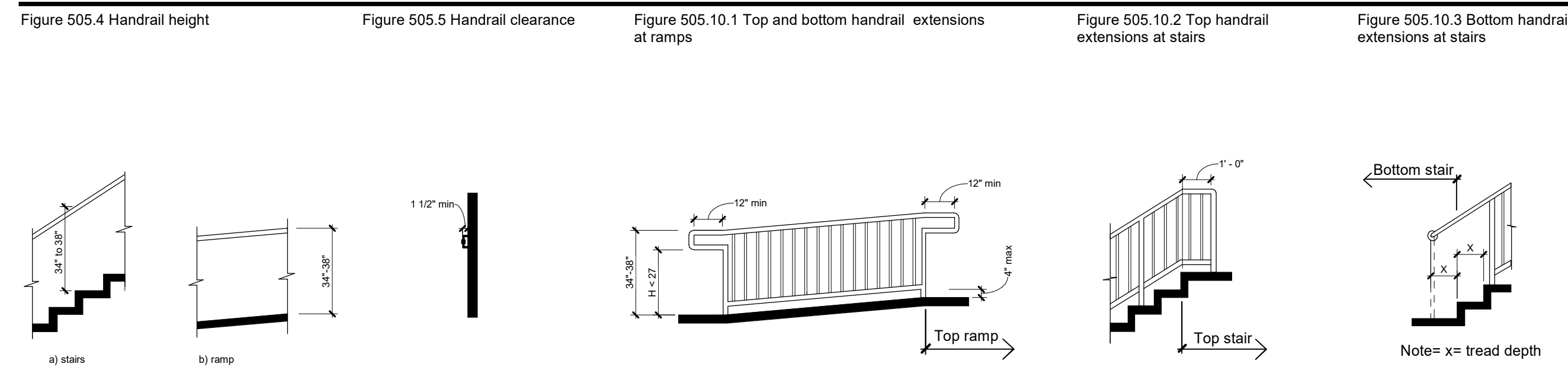
### ACCESSIBLE DOORS IN A SERIES



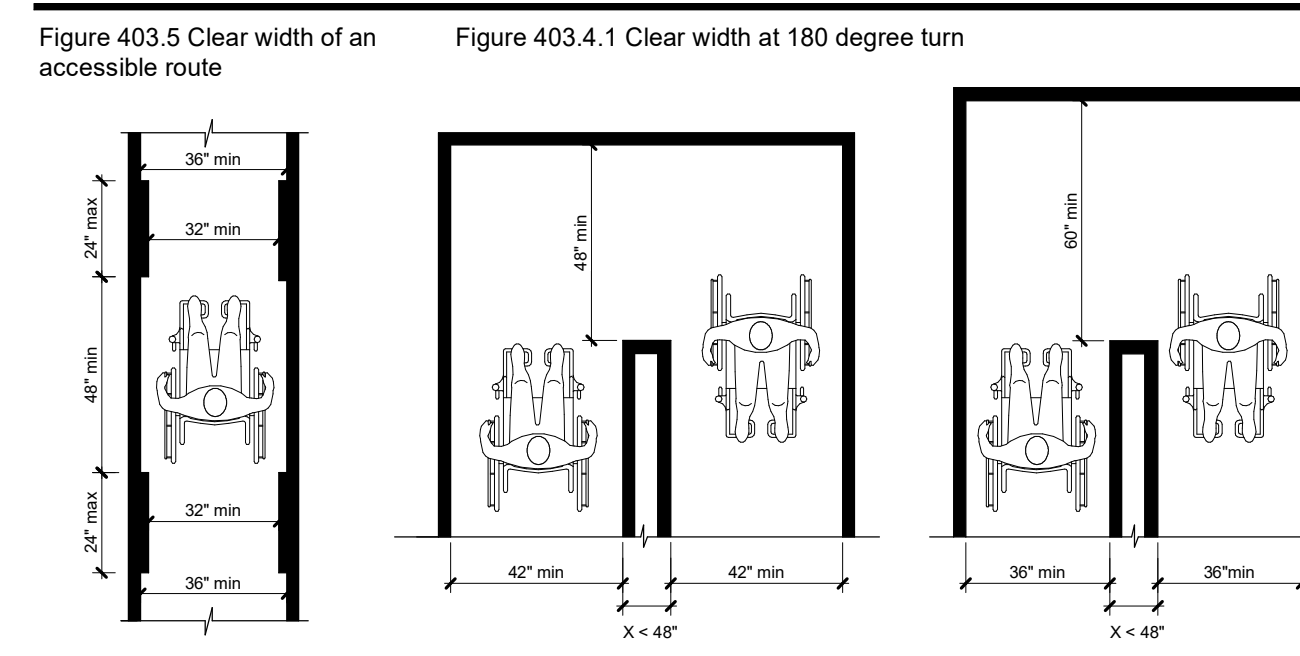
### DOORS AND DOORWAYS - MANEUVERING CLEARANCE



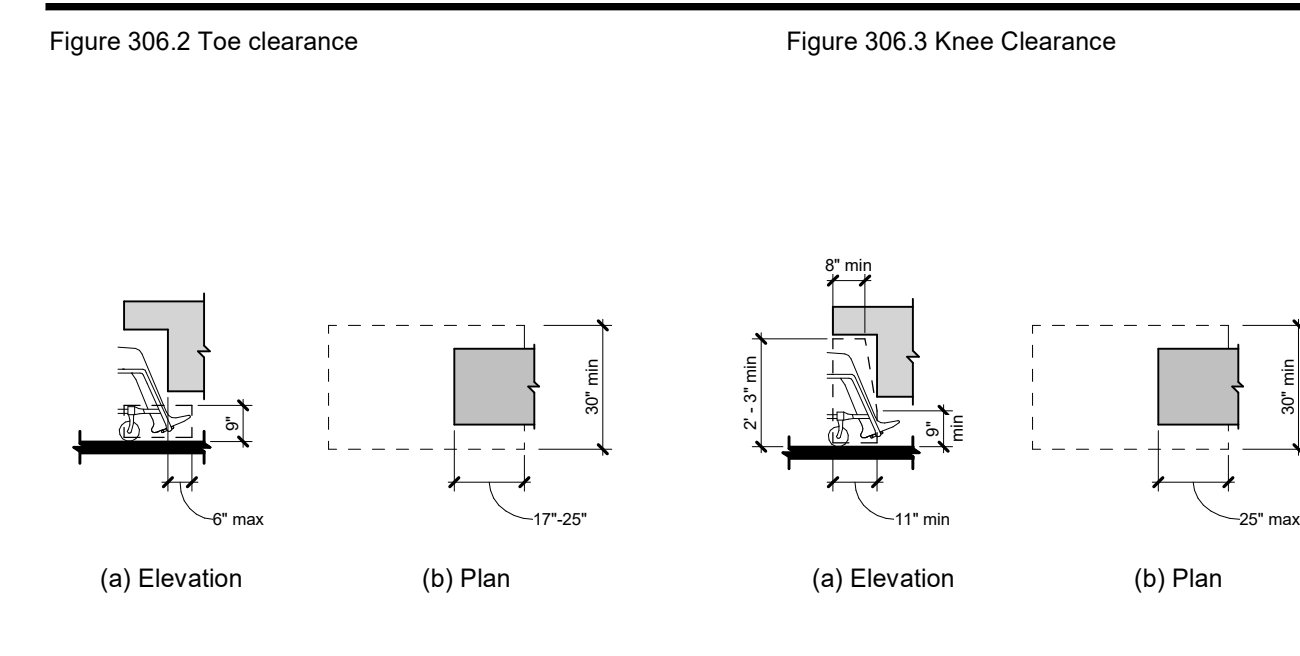
### HANDRAILS



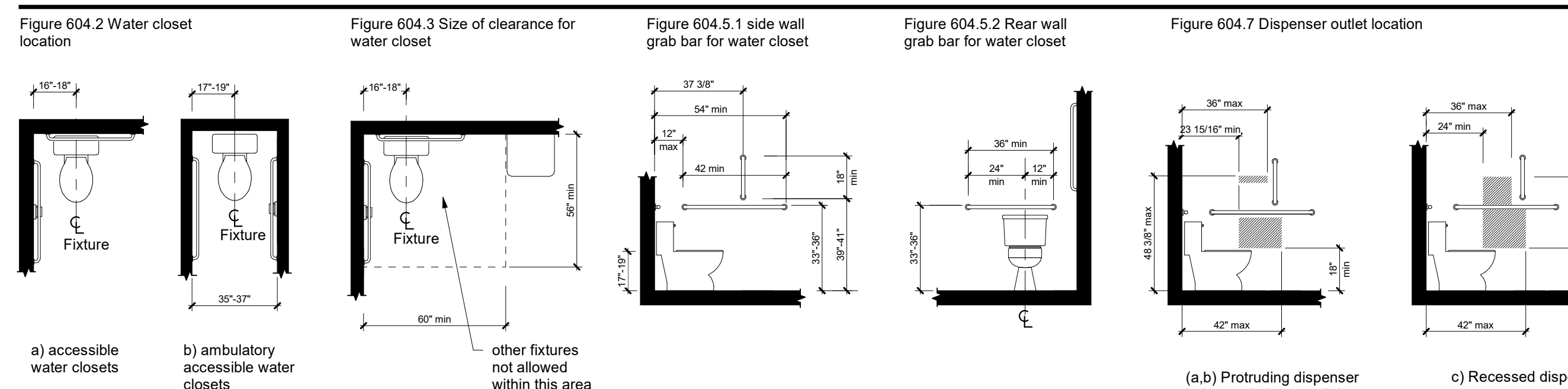
### WALKING SURFACES



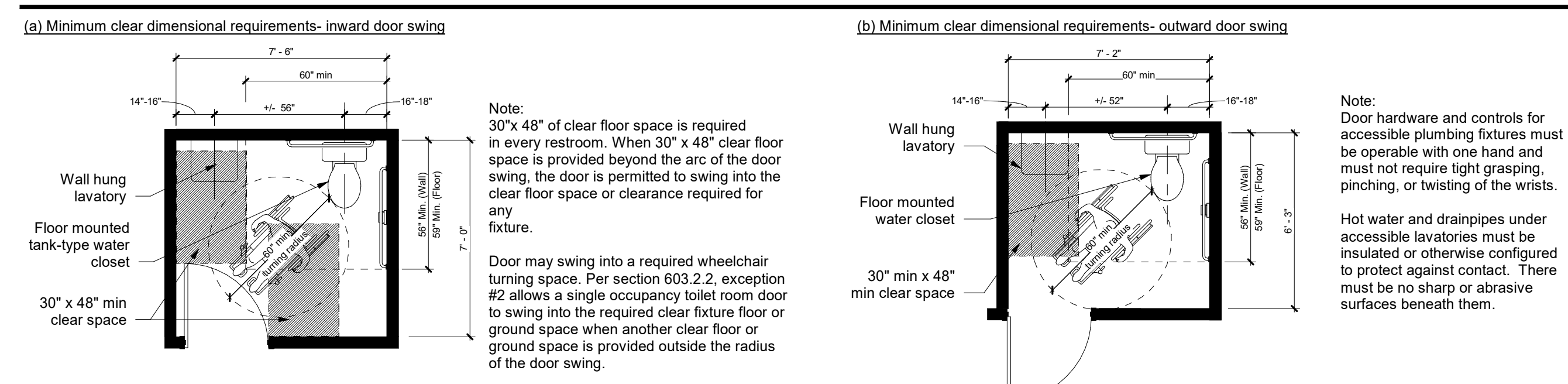
### KNEE & TOE CLEARANCES



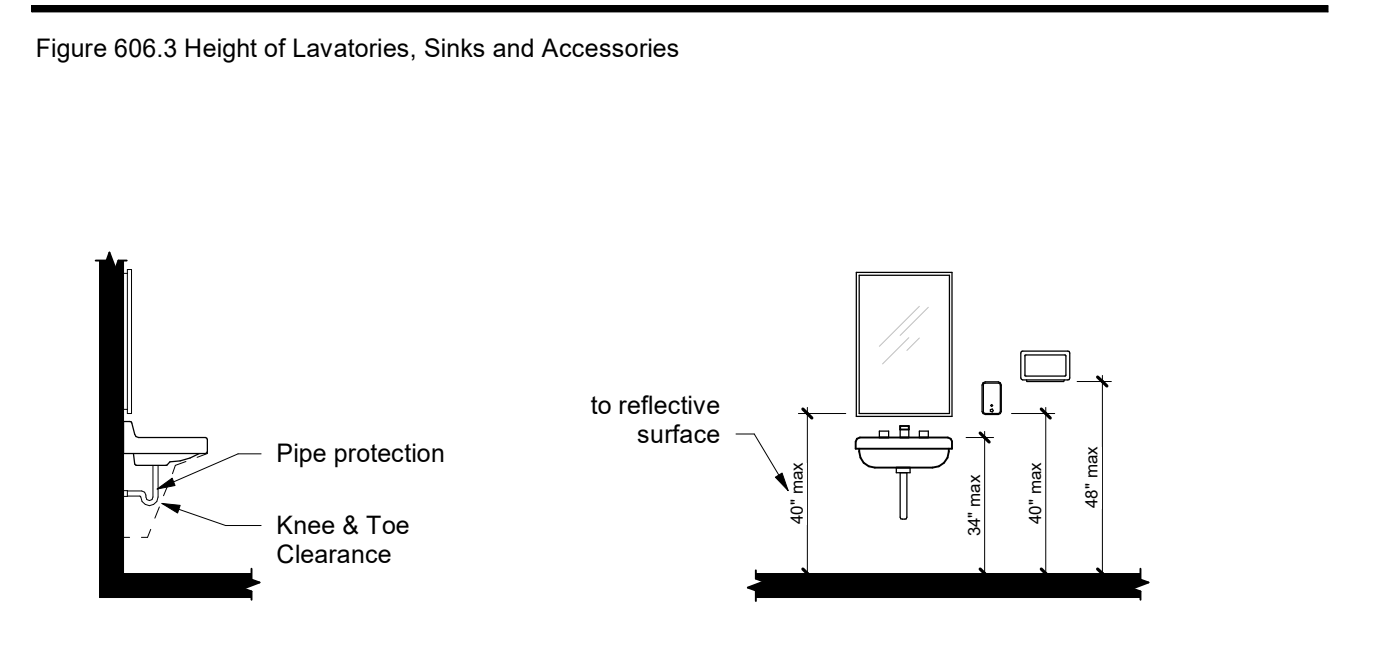
### WATER CLOSETS AND TOILET COMPARTMENTS



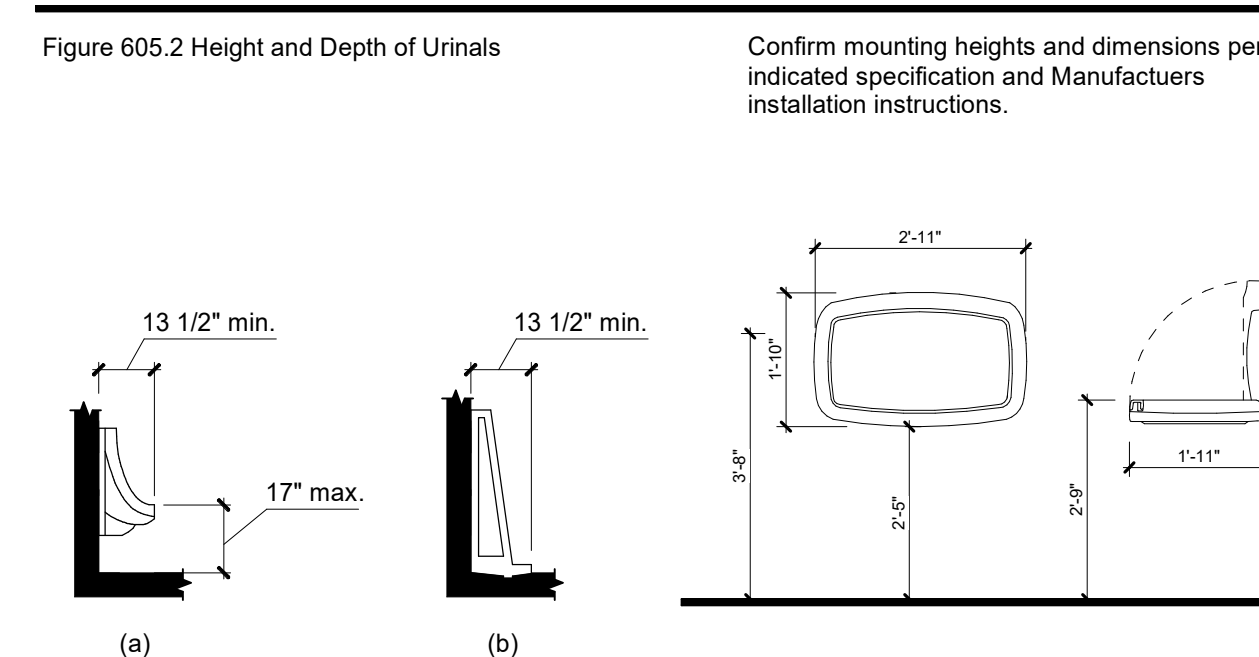
### ACCESSIBLE TOILET ROOMS



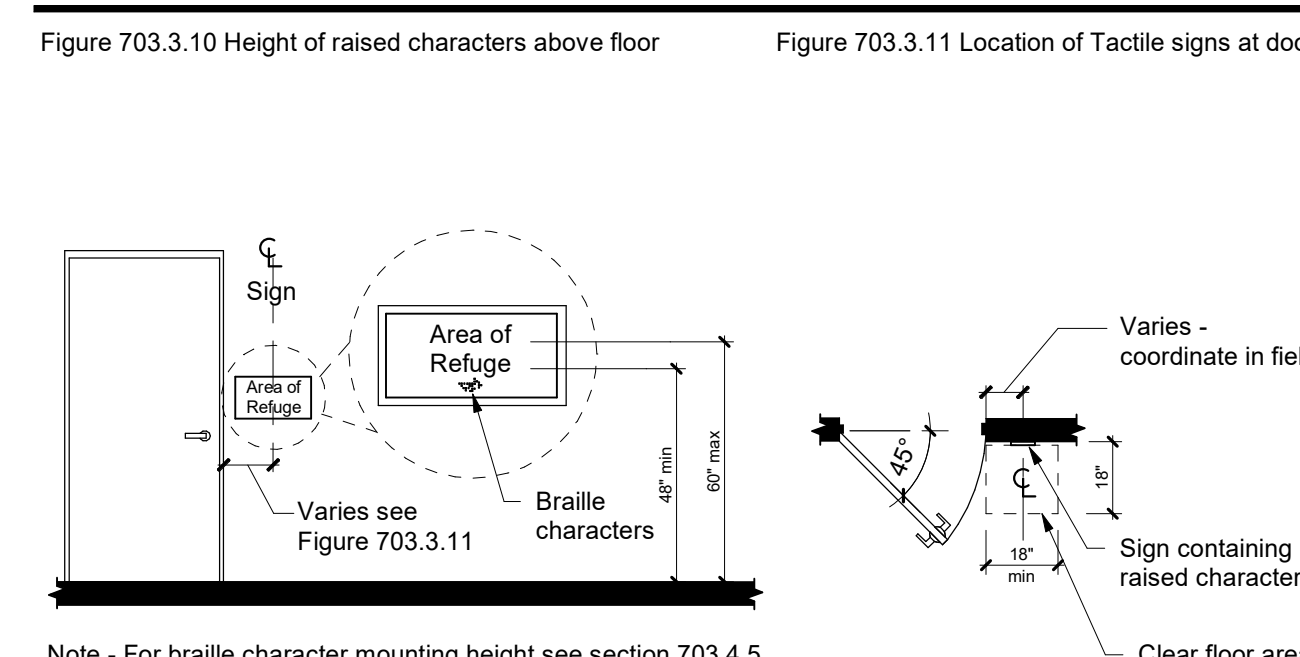
### LAVATORIES & SINKS



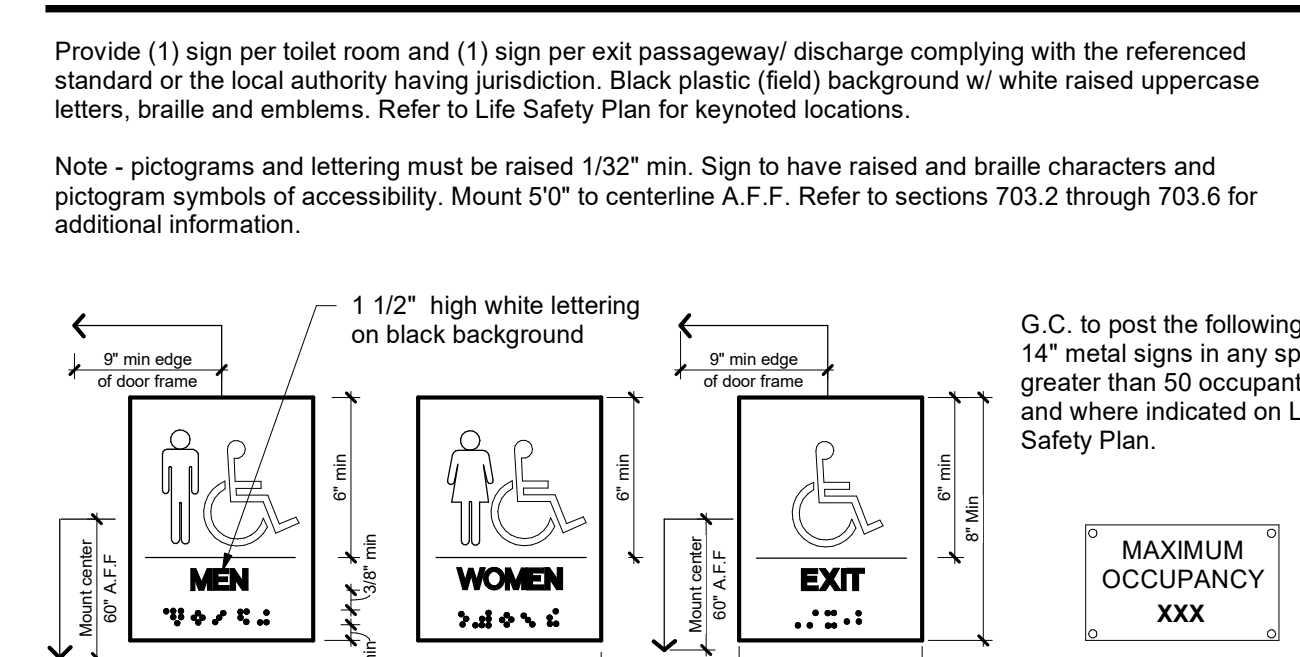
### URINALS AND CHANGING STATIONS



### SIGNS



### SIGNS - RAISED CHARACTERS



**OWNER**  
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**PROJECT STATUS**  
Zoning Review

Architect, License # 1616697  
Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
MUIRFIELD VILLAGE

**TCCMV-Masterplan Updates - Phase 2**  
The Country Club at Muirfield Village  
8715 Muirfield Drive Dublin, OH 43017

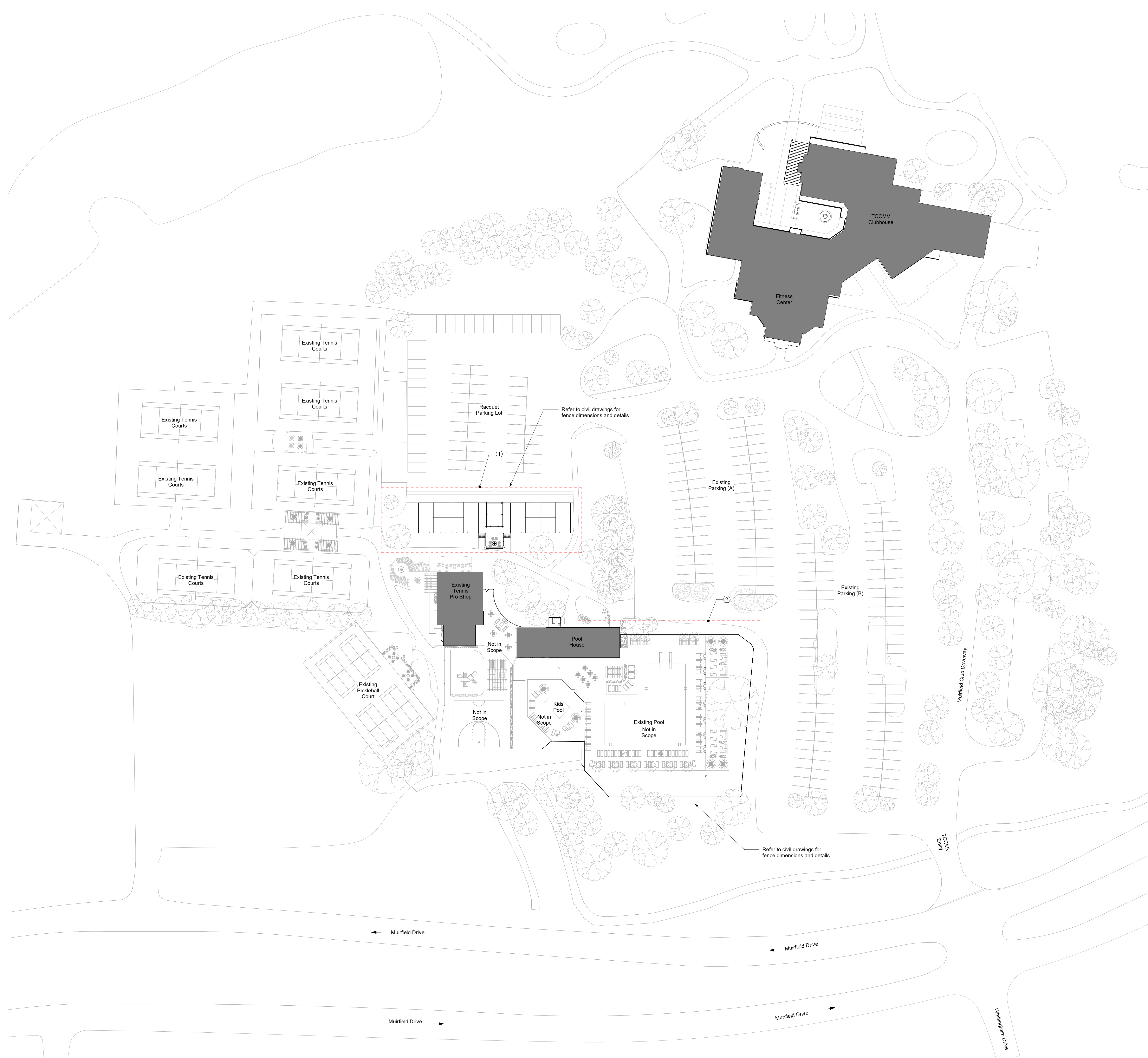
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#	Description	Date

INITIAL ISSUE DATE  
**May 24, 2021**

PROJECT NO.  
**0247.20**



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**GENERAL NOTES - SITE PLAN**

1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
2. All dimensions are from finished surface to finished surface, unless noted otherwise.
3. It is the General Contractor's responsibility to resolve any discrepancies (if any) between work shown on the Architectural drawings and existing conditions by submitting an RFI to the Architect prior to submitting bids.
4. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

**KEYNOTES - SITE PLAN**

- 1 Priority #1 Project - Platform Tennis/ Warming Hut  
New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.
- 2 Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area  
Updated concrete work and expanded patio area at main pool.

**PARKING CALCULATIONS**

Existing Parking (A):  
72 spaces

Existing Parking (B):  
93 spaces

Racquet Parking:  
67 spaces (shown)

Total: 232 spaces

**RENDERED SITE PLAN**



**Overall Site & Scope of Work Plan**  
Scale: 1" = 40'-0"



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**PROJECT STATUS**  
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3D VIEWS - PLATFORM TENNIS COURTS



3D VIEWS - AQUATIC CENTER



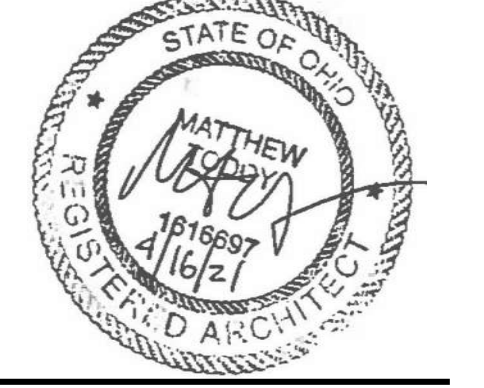
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3D Views



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Overall Plan - Racquet Area (Project Matrix)  
Scale: 1/16" = 1'-0"

**GENERAL NOTES - RACQUET AREA**

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4. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

**PROJECT MATRIX -**

**Priority #1 Project - Platform Tennis/ Warming Hut**  
New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.

**Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area**  
Updated concrete work and expanded patio area at main pool.

**Design Collective**

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**Racquet Area Project Matrix**

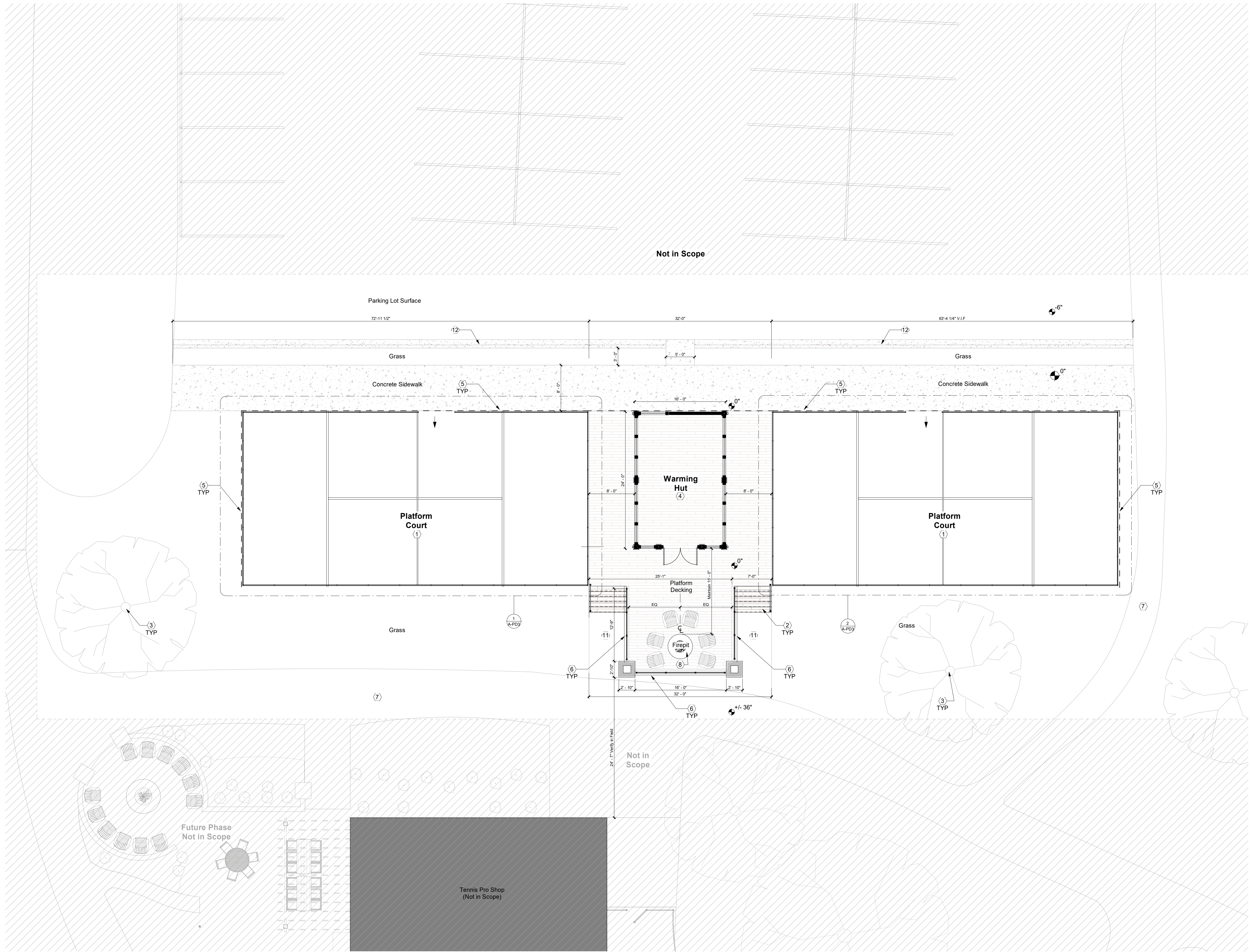
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**GENERAL NOTES - PLATFORM COURT**

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- All dimensions are from finished surface to finished surface, unless noted otherwise.

**KEYNOTES - PLATFORM COURT**

Not all notes appear on all sheets

- Platform and courts by platform consultant. Refer to 'Total Platform Tennis' drawings. Provide power. Refer to electrical drawings.
- Stairs by platform consultant. Refer to 'Total Platform Tennis' drawings. Actual riser count may vary. Verify elevations in field. Coordinate finishes and dimensions with Owner and Architect.
- Existing donor tree, protect tree and root structure during duration of construction
- Warming hut. Refer to plans, elevations, and details.
- Dashed line denotes new retaining wall
- Retaining wall with stone veneer. Refer to details.
- Existing sidewalk and/or carpath to remain.
- RH Paterson Camlyre Series gas burner and logset. Refer to details. Provide gas. Refer to plumbing plans.
- Provide stamped concrete pad as indicated. Refer to structural details. Refer to legend for pattern basis-of-design. Verify extents of existing pavement in field. Coordinate with Owner and Architect.
- New pavement to match existing. Verify extents in field. Coordinate location with Owner and Architect.
- 6\"/>

**SCHEDULE - LIGHT FIXTURES**

Type	Description	Manufacturer	Model	Type	Mounting Height
E	Downlight (Specular, White)	ConTech Lighting	LVR16-TH with CTR1602-P-CLR Trim	MR16	Recessed into ceiling
F	Ceiling Fan	Hunter Fan	Romulus 60\"/>		

**SCHEDULE - FURNITURE**

Type	Description	Manufacturer	Model
EX			TBD
PT-01	Dining Chair (Patio)	TBD	TBD
PT-02	36\"/>		

**PROJECT MATRIX - RACQUET AREA**

Priority #1 Project - Platform Tennis/ Warming Hut  
 New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.



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**PROJECT STATUS**  
 Zoning Review



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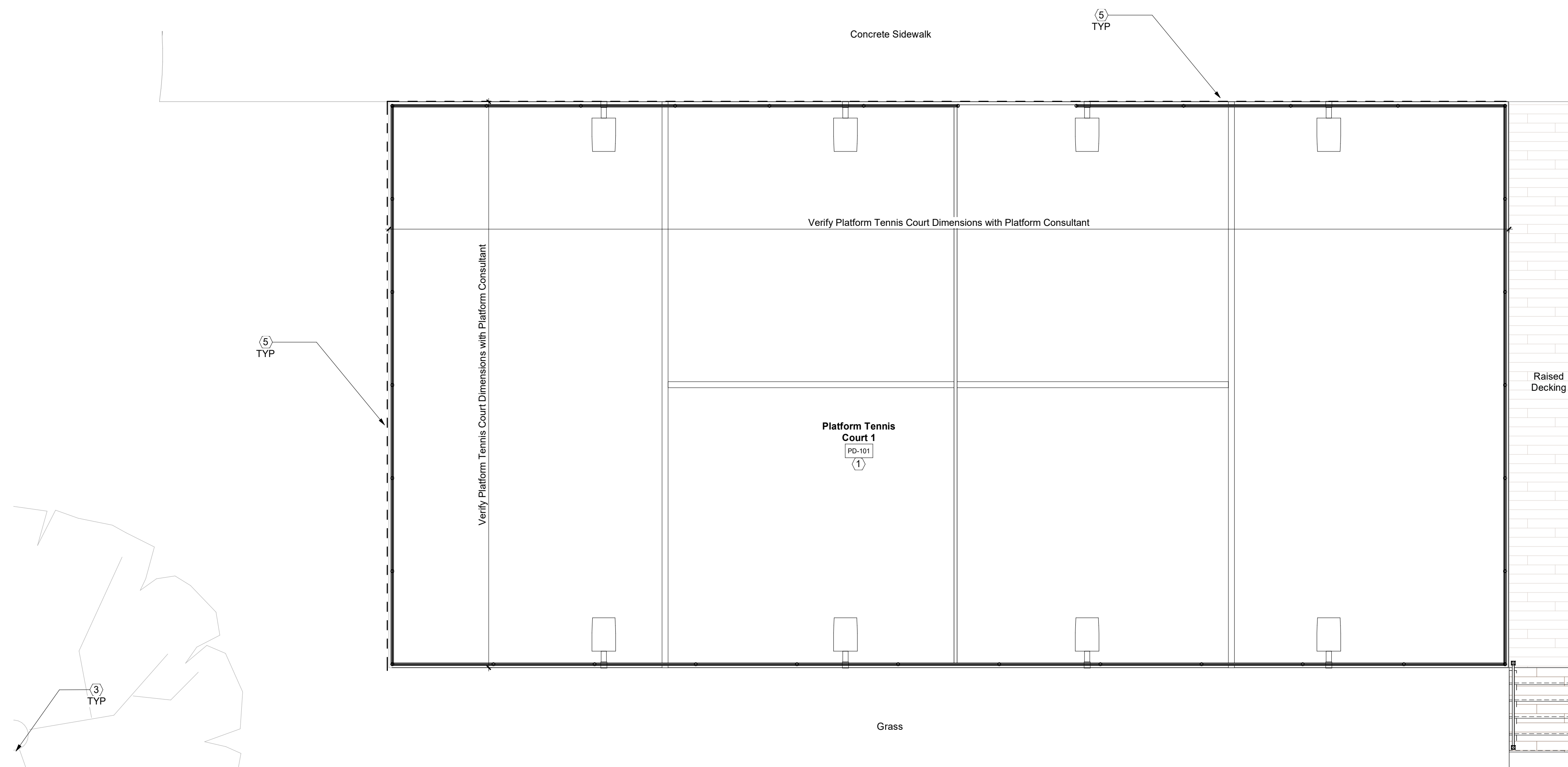
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 PROJECT NO.  
**0247.20**

Platform Court - Plan

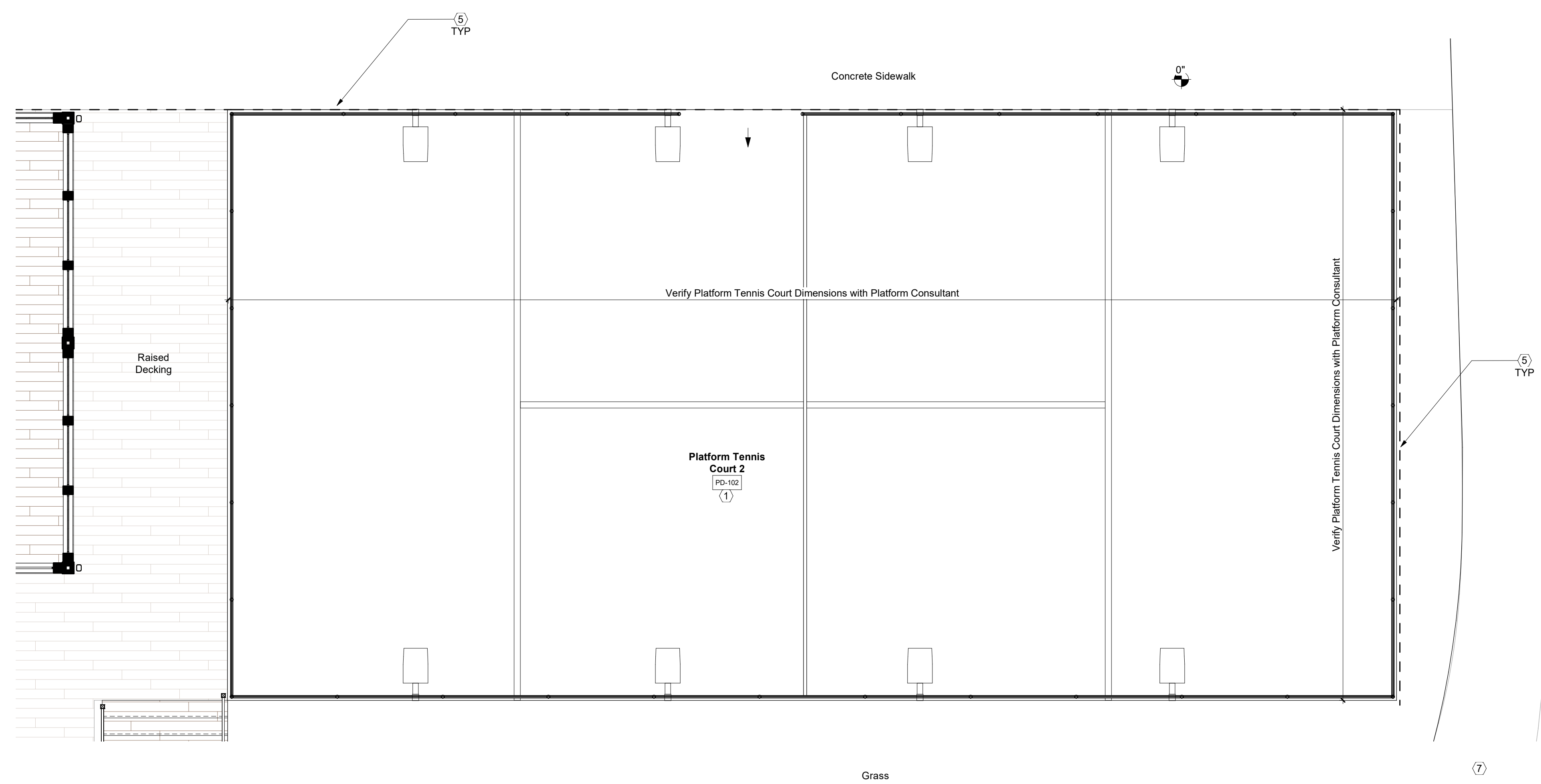
**A-PD2**



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Enlarged Plan - Platform Tennis Court (South)  
Scale: 1/4" = 1'-0"



Enlarged Plan - Platform Tennis Court (North)  
Scale: 1/4" = 1'-0"

**GENERAL NOTES - ENLARGED PLANS**

1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
2. All dimensions are from finished surface to finished surface, unless noted otherwise.

**KEYNOTES - PLATFORM COURT** Not all notes appear on all sheets

1. Platform and courts by platform consultant. Refer to 'Total Platform Tennis' drawings. Provide power. Refer to electrical drawings.
2. Stairs by platform consultant. Refer to 'Total Platform Tennis' drawings. Actual riser count may vary. Verify elevations in field. Coordinate finishes and dimensions with Owner and Architect.
3. Existing donor tree, protect tree and root structure during duration of construction
4. Warming hut. Refer to plans, elevations, and details.
5. Dashed line denotes new retaining wall
6. Retaining wall with stone veneer. Refer to details.
7. Existing sidewalk and/or cartpath to remain.
8. RH Peterson Campfire Series gas burner and logset. Refer to details. Provide gas. Refer to plumbing plans.
10. Provide stamped concrete pad as indicated. Refer to structural details. Refer to legend for pattern basis-of-design. Verify extents of existing pavement in field. Coordinate with Owner and Architect.
11. New pavement to match existing. Verify extents in field. Coordinate location with Owner and Architect.
12. 6" curb to transition from paving surface to landscape surface

**PROJECT MATRIX - RACQUET AREA**

Priority #2 Project - Platform Tennis/Warming Hut  
New platform tennis courts and warming hut. Updates include exterior site work and parking lot.

**Design Collective**

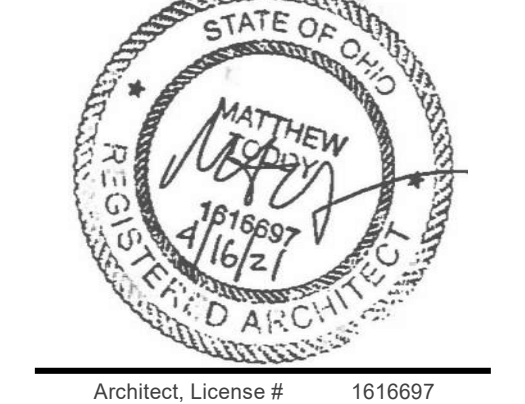
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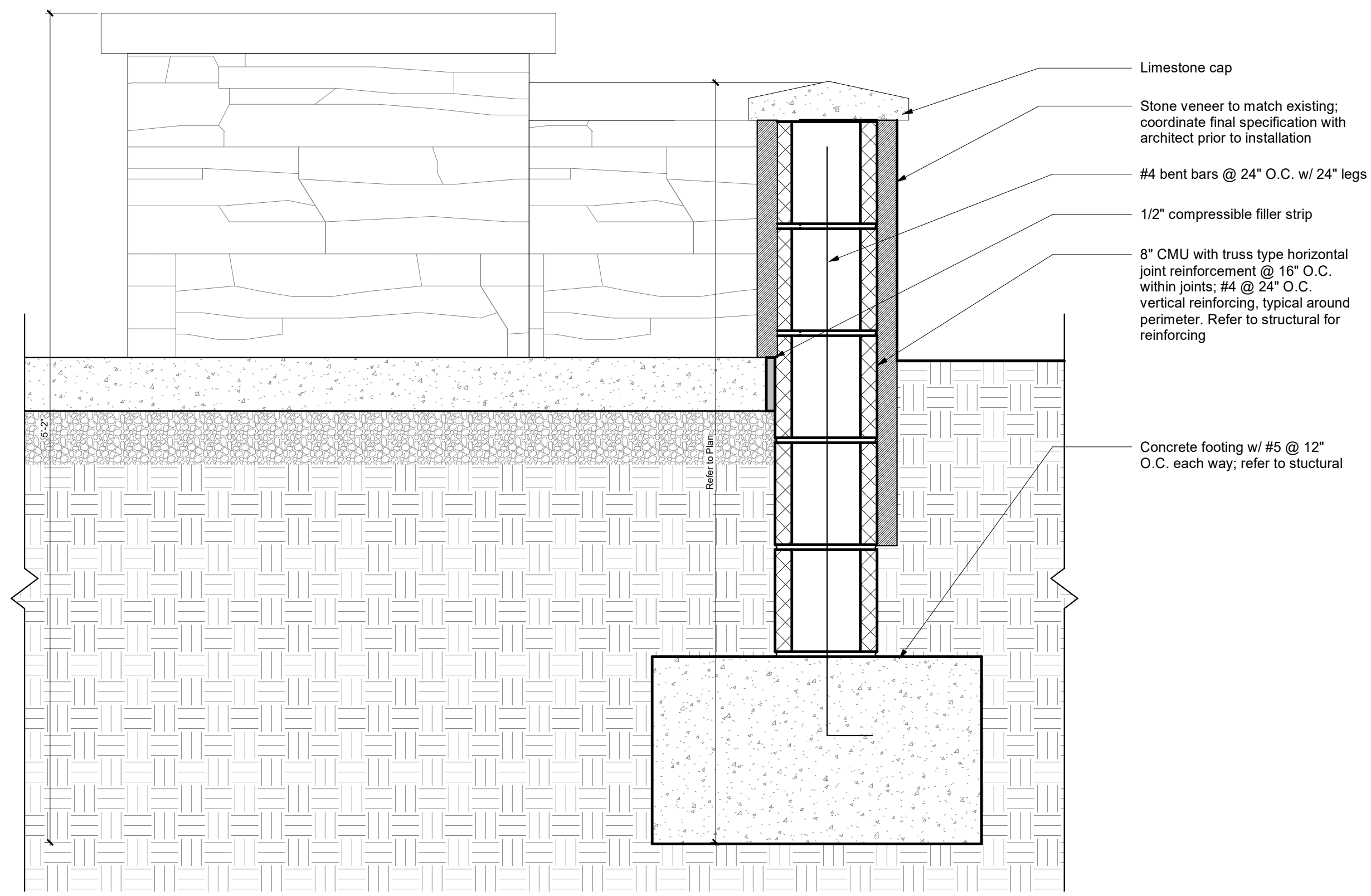
PROJECT NO.  
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Platform Court -  
Enlarged Plans

**A-PD3**

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**1** Section - Retaining Wall  
Scale: 1 1/2" = 1'-0"

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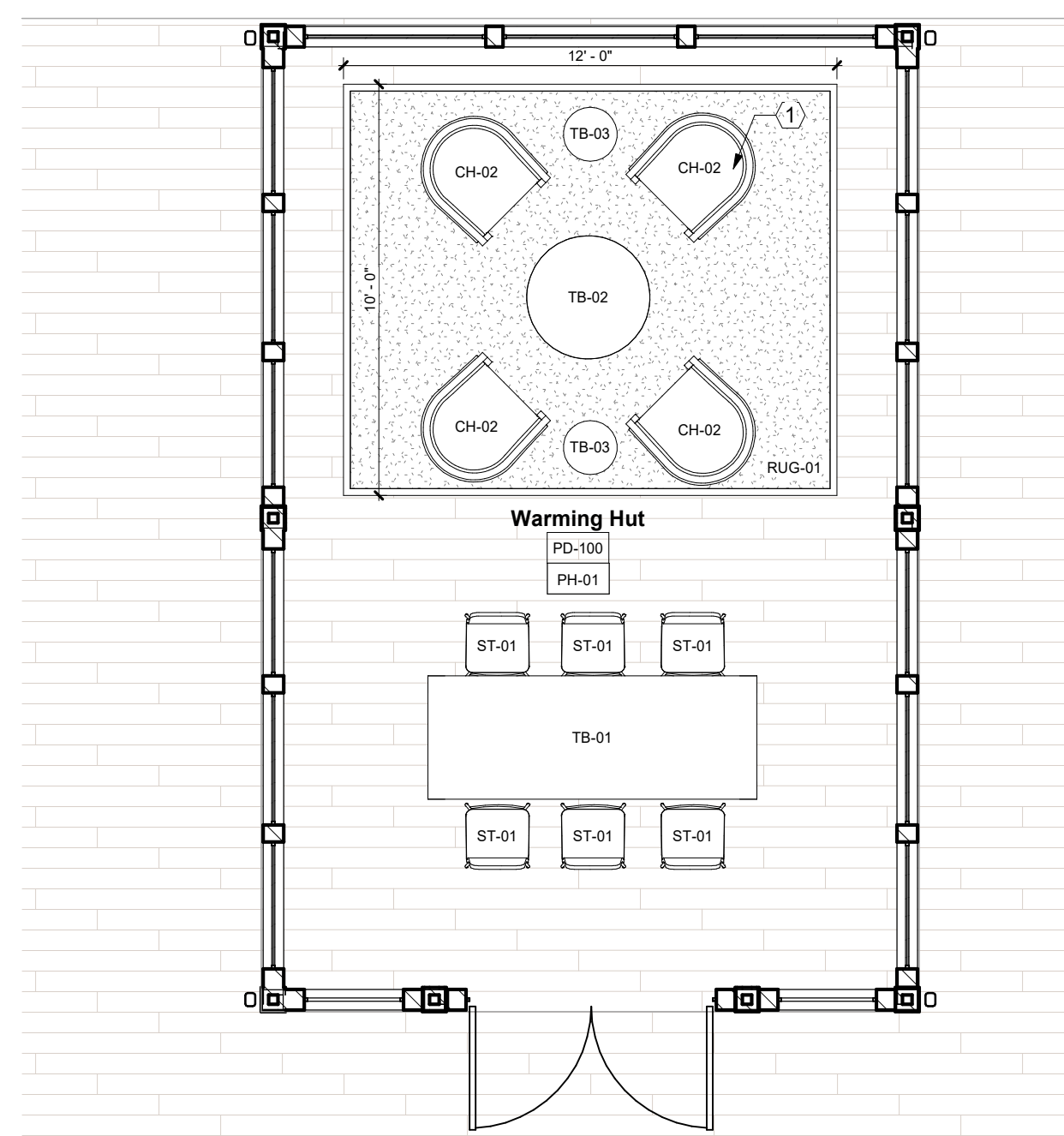
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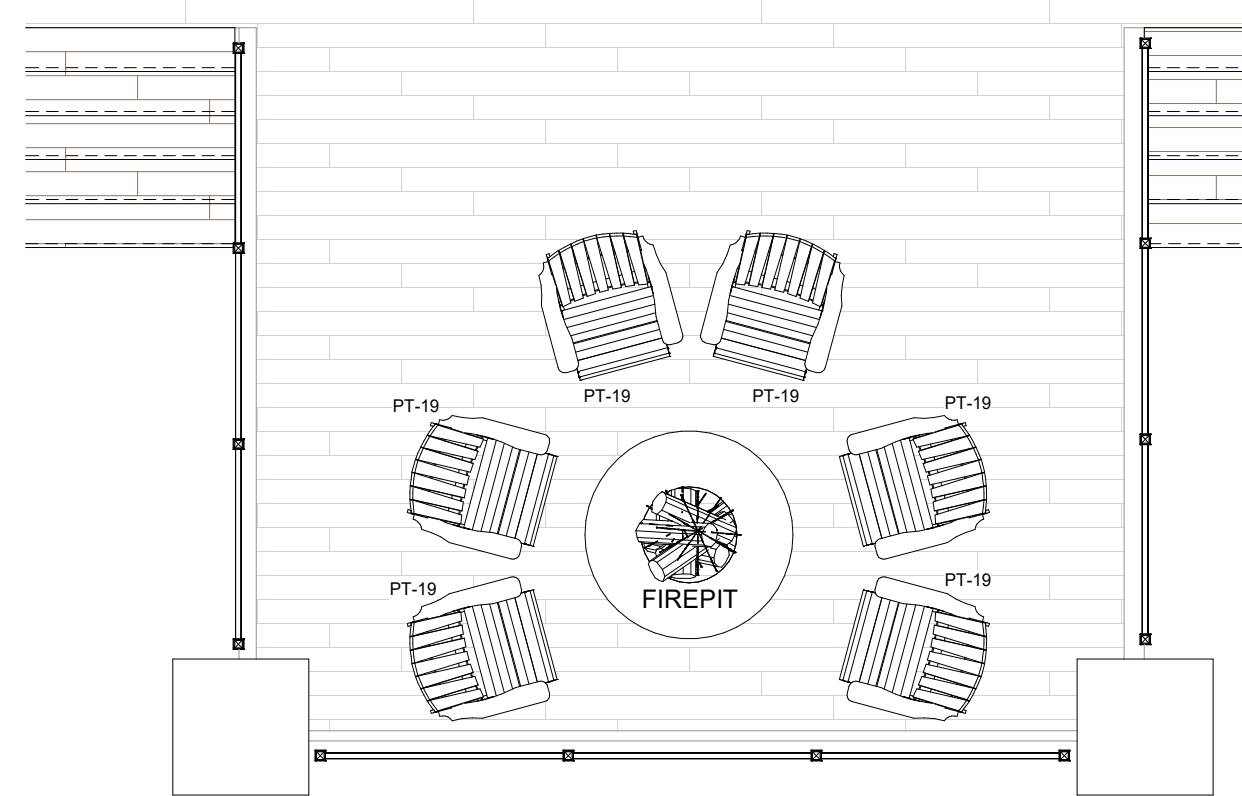
Platform Court -  
Sections/ Details

**A-PD4**

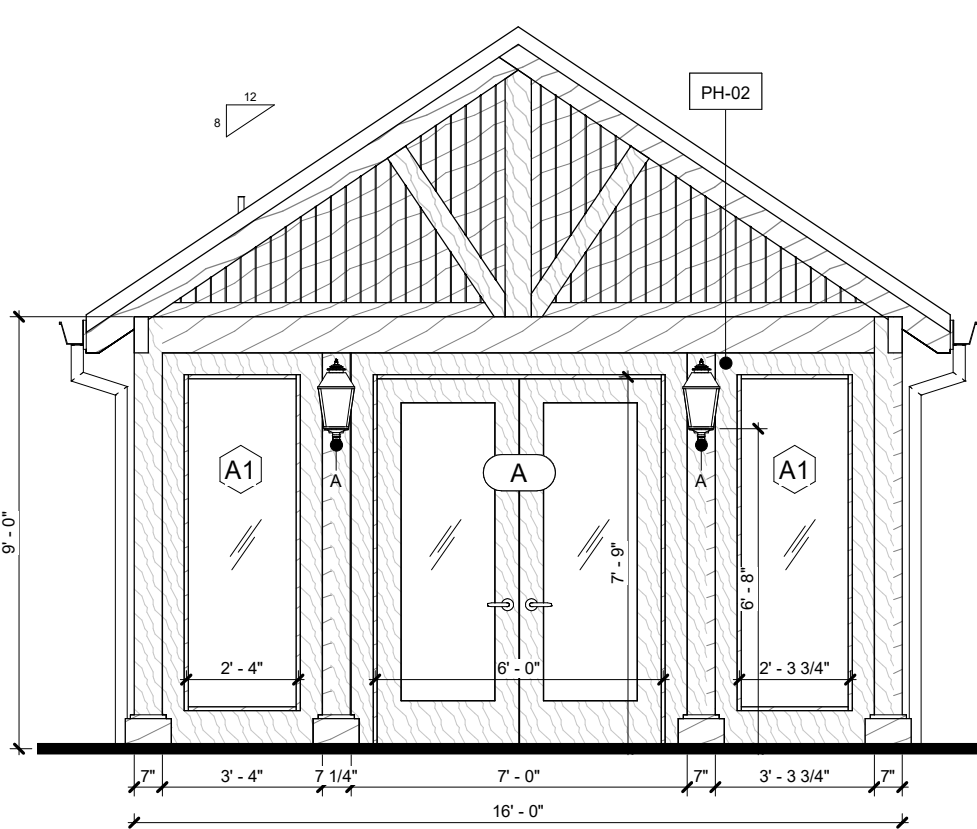




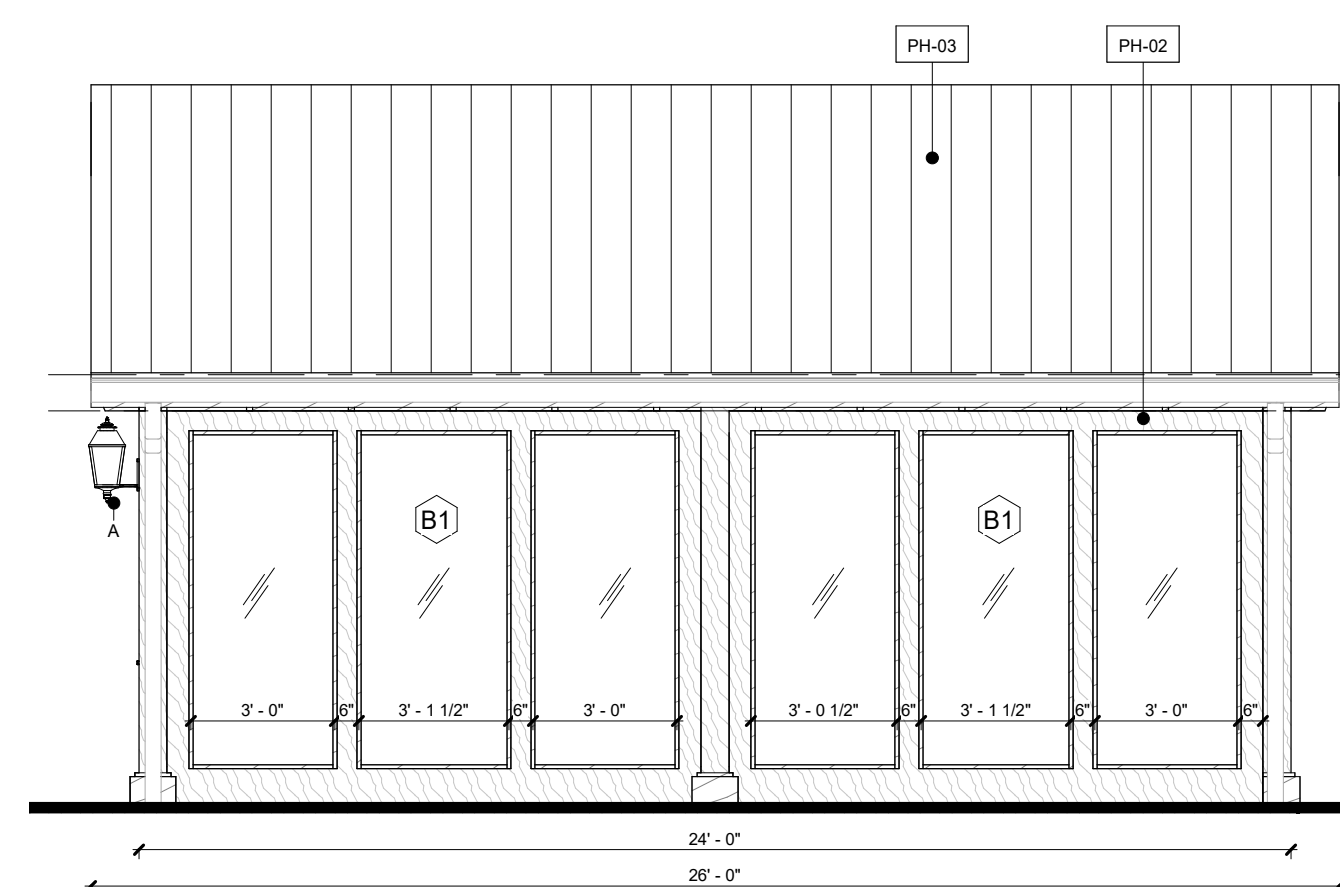
**Platform Hut - Architectural Plan**  
Scale: 1/4" = 1'-0"



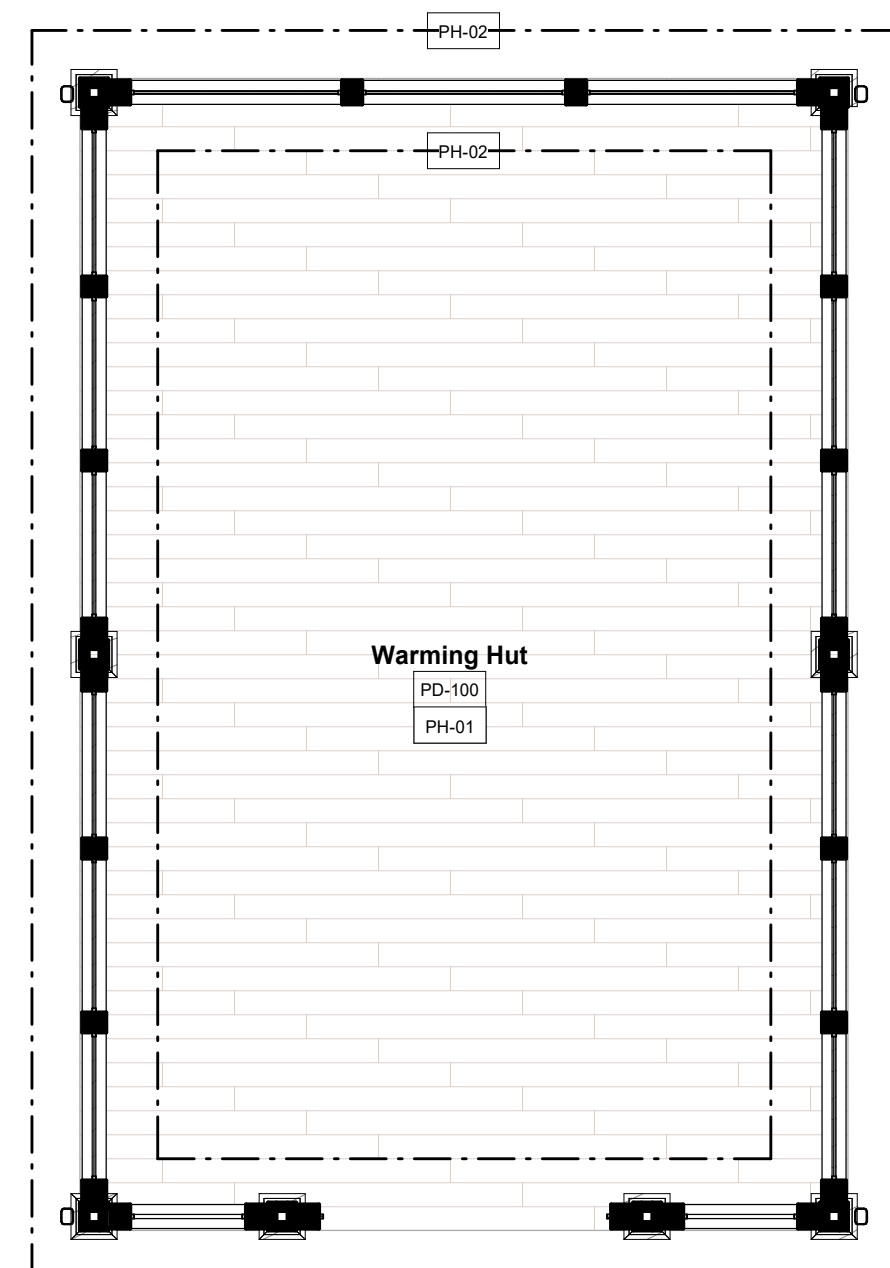
**Platform Hut - Schematic Plan**  
Scale: 1/4" = 1'-0"



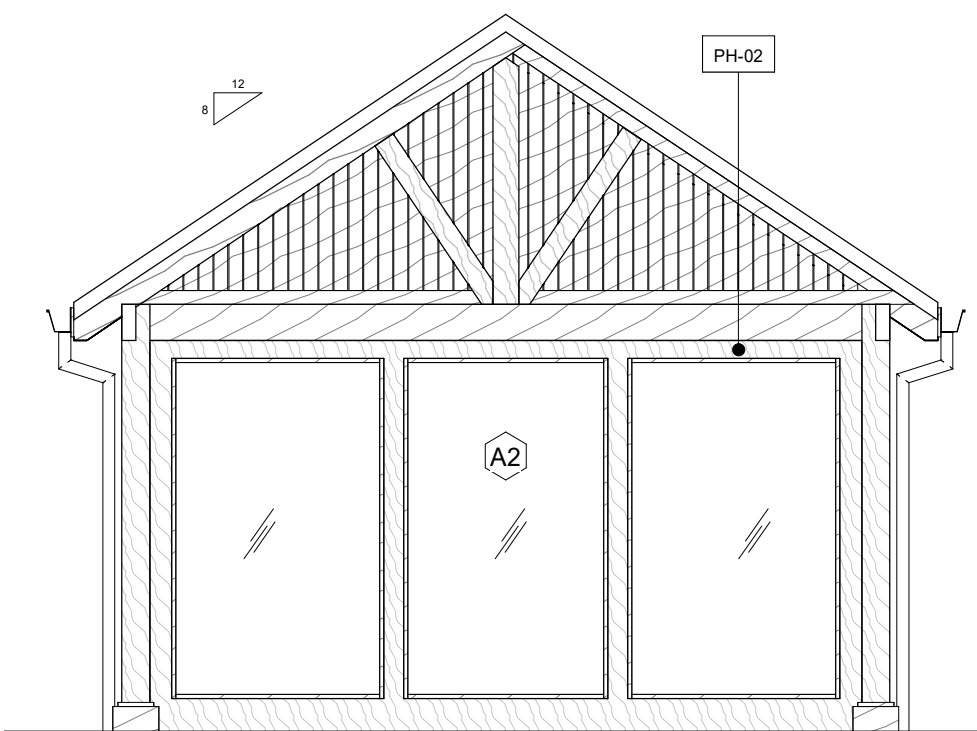
**1 Platform Hut - East**  
Scale: 1/4" = 1'-0"



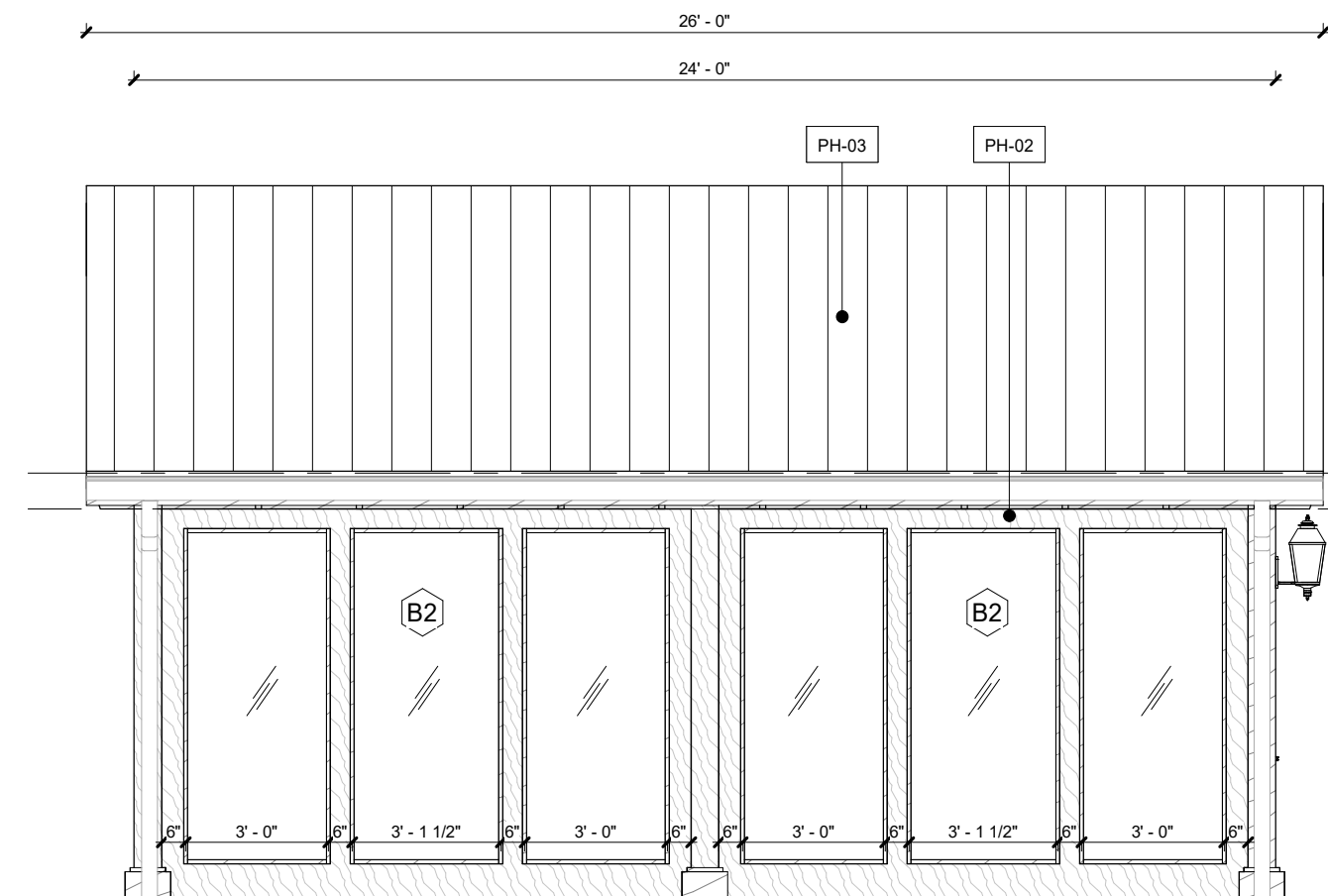
**2 Platform Hut - South**  
Scale: 1/4" = 1'-0"



**Platform Hut - Finish Plan**  
Scale: 1/4" = 1'-0"



**3 Platform - West**  
Scale: 1/4" = 1'-0"



**4 Platform Hut - North**  
Scale: 1/4" = 1'-0"

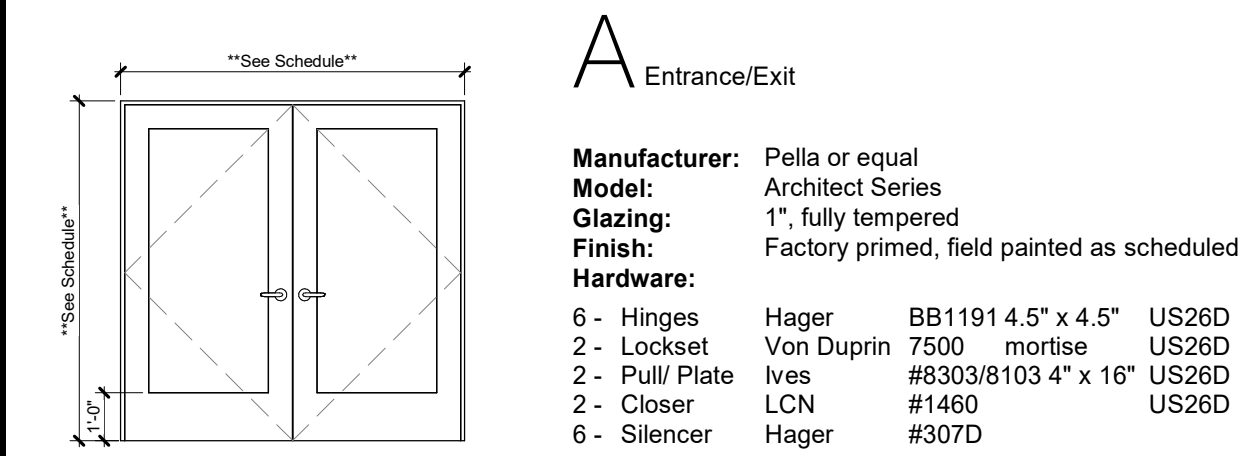
**KEYNOTES - PLATFORM HUT**

- 1 Millwork component with refrigerator incorporated. Provide cover.
- 3 Coordinate Warming Hut location, extents, and connection to tennis platform with platform tennis vendor. Verify extents in field.
- 4 Refer to elevations for window details.
- 6 Provide R-38 batt insulation above ceiling.
- 7 Wall-mounted TV with fully articulated adjustable arm. Provide blocking in wall as needed. Provide cable and power on wall behind. Refer to electrical drawings. Refer to elevations for mounting height.
- 9 4" prefinished gutter and downspout. Finish to match window trim.
- 11 Furniture and accessories provided and installed by Owner.

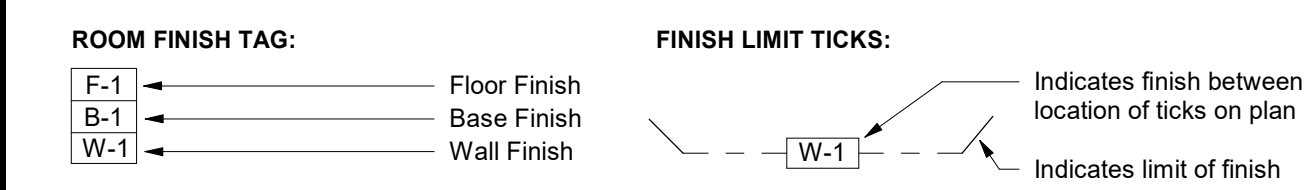
**SCHEDULE - DOORS**

Location	Door #	Description	Slab	Height	Width	Type	Finish	Frame	Hardware	Comments
Warming Hut	A	Full Lite Double Tempered Glass Door	7-8	7'-8 1/2"	5'-11"	WD	Mocha	WD	Mocha	

1. All hardware to be ADA compliant.
2. Use wall or floor mounted floor stop as applicable.
3. All glazing in doors and sidelites to be tempered or safety glass per code requirements.
4. All door lever styles shall be schlage "Satum"; refer to hardware information for finish and lockset. Coordinate with Architect.
5. All hardware finishes shall match existing hardware finish.
6. The unlatching of any door or leaf shall not require more than one operation per chapter 10. Notify Architect immediately if conflict arises.



**LEGEND - FINISH PLAN SYMBOLS**



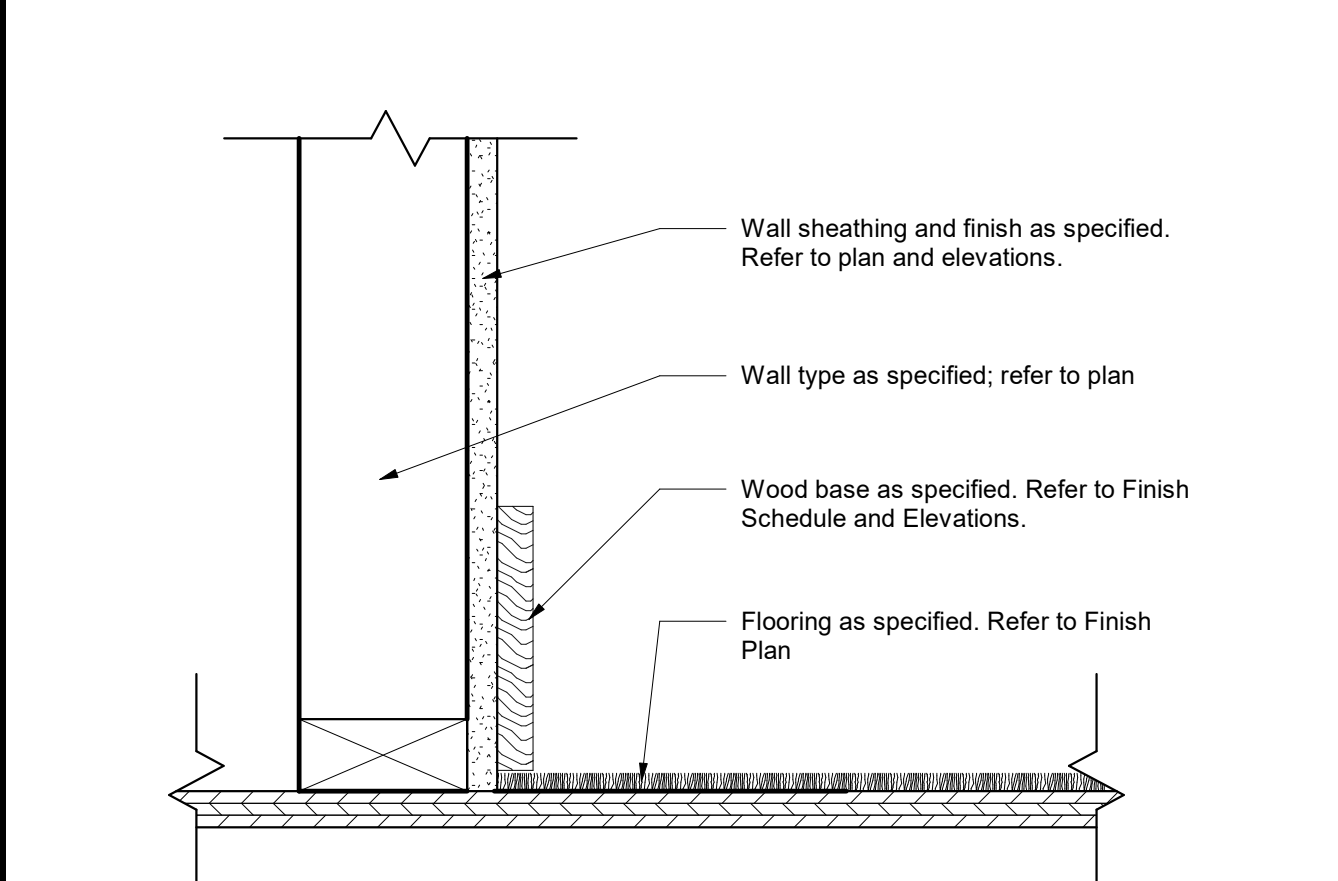
**SCHEDULE - INTERIOR FINISHES**

Type	Description	Manufacturer	Model	Comments
PH-01	Tile (Wood look)	Landmark Ceramics	Emotions, 8" x 40" Wood Look Planks, Color: "Happy Walnut"	Grout: TBD to match, 1/4" Install waterproof floor membrane beneath tile as directed by Owner.
PH-02	Medium Wood Stain	By Contractor	Mocha Wood Stain to Match Architects Sample	Install per Mfgs Recommendations, Refer to Berlin Gardens drawings for additional details.
PH-03	Metal Roof	By Contractor	Metal standing seam roof, Finish: Antique Bronze with finished T&G ceiling on the underside of warming hut	Install per Mfgs Recommendations, Refer to Berlin Gardens drawings for additional details.

**SCHEDULE - FURNITURE**

Type	Description	Manufacturer	Model
CH-02	Lounge Chair	TBD	TBD
PT-19	Adirondack (Patio)	TBD	TBD
RUG-01	Area Rug	TBD	TBD
ST-01	Barstool	TBD	TBD
TB-01	Communal High Top table	TBD	TBD
TB-02	Coffee Table	TBD	TBD
TB-03	Tri Base 15.75 Round Top	TBD	TBD

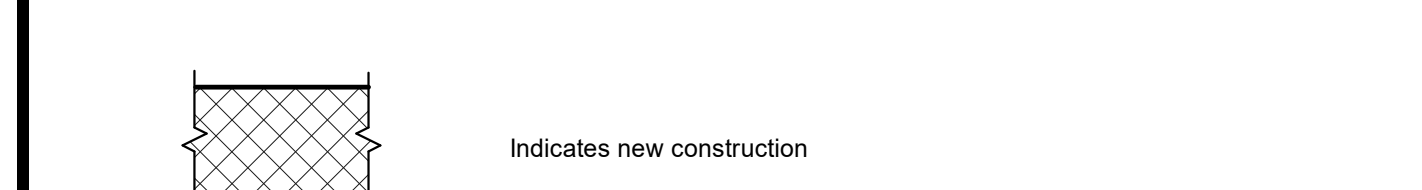
**FLOOR FINISH BASE DETAIL**



**GENERAL NOTES - PLATFORM HUT**

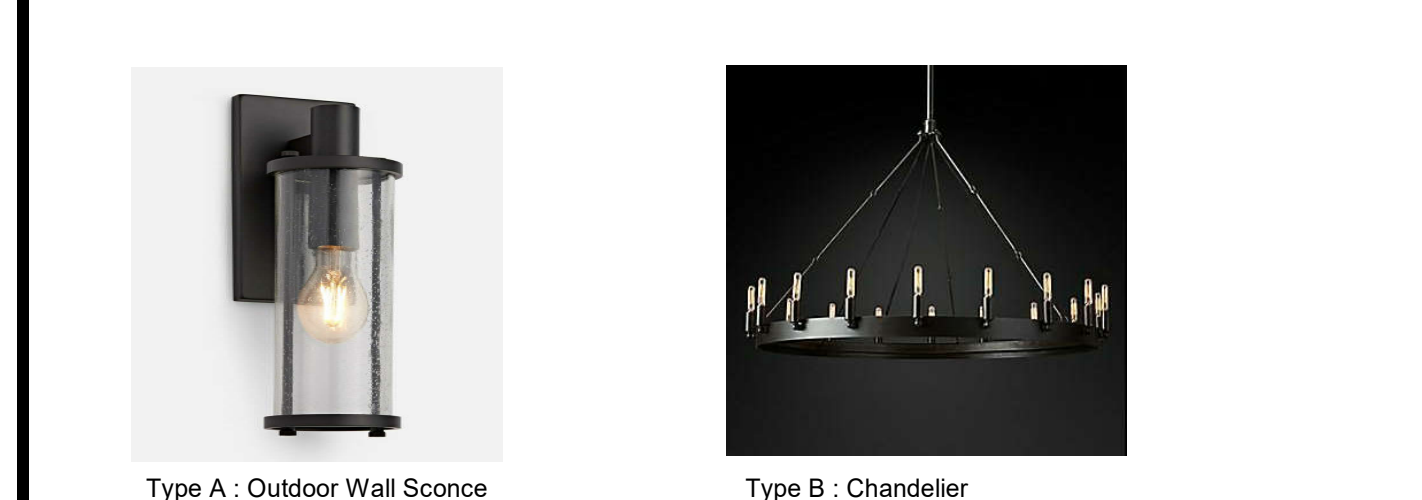
1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
2. All dimensions are from finished surface to finished surface, unless noted otherwise.
3. All items noted as removed or demolished become the property of the contractor, and are to be disposed of in a manner complying with all local, state, and federal regulations.
4. Notify architect of all existing construction not specifically noted on the drawings and remove or retain those items only as directed by the architect.
5. Contractor is solely responsible for all temporary bracing and shoring of existing structure and all construction during demolition and new construction.
6. Remove damaged corner beads and any beads at existing corners where new walls align with existing trim.
7. Remove promptly from the premises all products of demolition not designated for reuse. No debris shall be allowed to accumulate. Take appropriate measures to control dust.
8. Pipes, conduit and ductwork encountered in demolished partitions and ceilings which are to remain will be re-routed and concealed. Those which are to be abandoned shall be capped and completely concealed in the floor, wall, or ceiling.
9. General contractor is to install floor-to-ceiling 6mil polyethylene barrier between occupied areas and renovated areas. Maintain existing walls as temporary protective barriers until phasing requires demolition of existing partitions. Protect doors, moldings, and walls with non-staining paper.
10. The contractor is to promptly repair all damage caused to adjacent areas by demolition at no additional expense to the tenant/owner with matching material, finish, and color.
11. The contractor is responsible for moving any furniture which may be necessary for demolition or new construction.
12. All work causing excessive noise or requiring shutdown of any services, utilities, or risers serving occupied areas of the building shall be carried out only by arrangement with the tenant/owner/building management.
13. All areas where demolition causes unevenness or voids in the floor are to be patched to level with r-dex or equal material.
14. Remove all residual carpet, padding, tack strips, or adhesive from the areas designated.
15. Remove existing ceiling tile as indicated on reflective ceiling plans. Existing black iron may be reused at contractor's option and architect's approval.
16. Architectural reflected ceiling plans are for the purpose of indicating the design intent only. Indicated location of HVAC diffusers, return air grilles, light fixtures, etc., are shown only for coordination of these items with the architectural design elements. Refer to Engineer's drawings for specifications and exact locations of these items. If discrepancies between the engineering drawings and architectural drawings are discovered, Contractor shall notify Architect for clarification prior to installing work in question.
17. Ceiling grid layout is to be centered both ways in rooms or spaces unless noted otherwise.
18. HVAC diffusers and return air grilles are to be centered between light fixtures unless noted otherwise.
19. The Contractor shall provide access panels, where equipment requiring access is located above finished, non-accessible ceilings. Match access panel to adjacent finish. Coordinate specific access panel details with Architect.
20. Do not install light fixtures lenses or remove protective plastic film until carpet has been installed and vacuumed.
21. Install acoustical ceiling panels with grain/texture running in the same direction unless indicated otherwise.
22. If acoustical ceiling panels have been specified, Contractor shall include an allowance to provide Owner with a five percent attic stock of each panel type used on the project, in unopened cartons for maintenance and replacement use. Verify actual quantity with Owner prior to order.
23. Gypsum board ceilings and soffits as indicated on these drawings are to be attached or suspended according to construction procedures described in latest edition of *The Gypsum Construction Handbook* by USG, published by Wiley.
24. All ceiling mounted items shall be installed per manufacturer's instructions. Contractor shall identify and provide all required blocking for their proper attachment.
25. All flooring finish material shall have a classification complying with code required minimums. Refer to Title Sheet for additional information. Copies of test reports for flooring materials shall be provided at the request of the code official.
26. All wall and ceiling finish materials shall have a classification complying with code minimums. Refer to Title Sheet for additional information. Copies of test reports for these materials shall be provided at the request of the code official.
27. Interior finish materials shall be applied or attached in such a manner that such materials will not readily become detached when subjected to room temperatures of 200 degrees Fahrenheit (93 degrees Celsius), for not less than thirty (30) minutes.
28. All areas not specifically designated are to receive a smooth paint finish.
29. Gypsum board walls, ceilings, soffits, fascias, light pockets, drapery pockets, etc. Are to be prepared for smooth paint finish. See schedule for paint color or application of other finish material.
30. Contractor is to provide a covering to protect new flooring material after installation.
31. Paint is to be applied over properly prepared surface meeting manufacturer's recommendations. Provide minimum two finish coats over primer on uncoated materials, two finish coats over previously finished materials.
32. Repeating of surfaces across entire area to a change of plane may be required if touch ups are visible. Such repainting will be at the architect's sole discretion.
33. Surfaces receiving wall covering shall be given one coat of primer. Sizing shall be applied as recommended by the wallcovering manufacturer.
34. Wall covering is to be applied in strict accordance with the manufacturer's recommendations. Examine material for color variations, defects, or shading, and advise architect of such prior to cutting of material. Failure to do so could result in general replacement and/or reinstallation of the goods.
35. Submit to architect three (3) samples, 8" x 10" minimum size, of all paints, wall coverings, wood veneers & stains, trim, etc. Finish shall match that specified for the material (ie glass, flat, eggshell, etc.)
36. Paint brands and colors specified reflect the precise color and finish result desired. Architect will review alternative products when requested and clearly designated in writing by the contractor, and three sets of samples are submitted. Acceptance or rejection of such alternatives is solely at the discretion of the Architect, and minor variations in color and/or texture may constitute grounds for rejection.
37. Where different height flooring materials abut, provide aluminum reducer strips, unless specified otherwise.
38. Wall and ceiling mounted items, including, but not limited to, registers, diffusers, grilles, speakers, clean-outs, cover plates, outlets, switches and thermostats, whether factory pre-finished or not, which do not match the adjacent wall or ceiling color shall be field painted to match adjacent wall U.N.O. within these documents.
39. Drywall control joints shall be provided as shown on drawings and/or as recommended by ASTM C840.
40. Fabrics shall be separately fire treated by the GC if not pre-treated by the Manufacturer.

**LEGEND - ARCHITECTURAL PLAN**



**SCHEDULE - LIGHT FIXTURES**

Type	Description	Manufacturer	Model	Type	Mounting Height
A	Outdoor Wall Sconce	Rejuvenation	Yoon Single Sconce Finish: Oil-Rubbed Bronze and Seeded Shade	60W E26 LED	Install per Manuf. recommendations, refer to Elevations for mounting heights
B	Chandelier	Restoration Hardware	Camino Vintage Filament 50" Round Chandelier Finish: Iron	(24) 25W E12 Candelabra bulbs	Install per Manu. recommendations, refer to Elevations for mounting heights

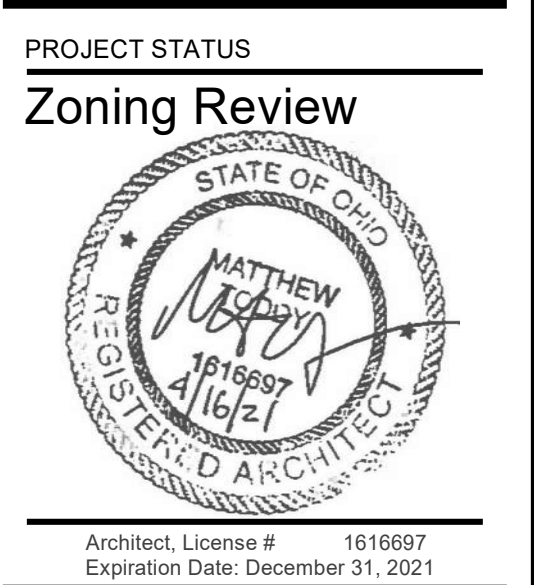


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**PROJECT STATUS**  
Zoning Review

**THE COUNTRY CLUB**  
MUIRFIELD VILLAGE

**TCCMV-Masterplan Updates - Phase 2**  
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**REVISIONS**

#	Description	Date

**INITIAL ISSUE DATE**  
May 24, 2021

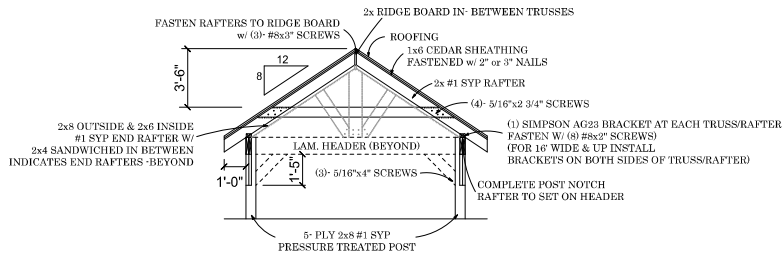
**PROJECT NO.**  
0247.20

**Warming Hut - Plans**



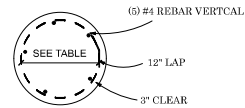




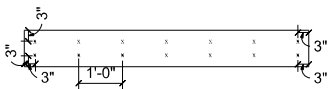


**8-6P-S-101 CROSS SECTION - RAFTERS**  
SCALE: 3/8" = 1'-0"

NOTE:  
OPTIONAL CEILING CAN BE INSTALLED

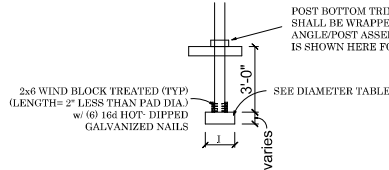


**Rebar Diagram**  
SCALE: 1.0000" = 1'-0"

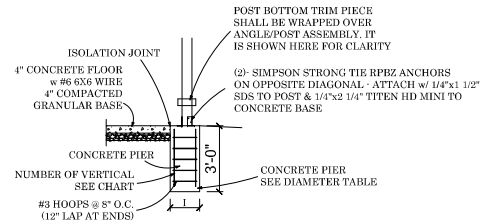


2- PLY FASTENER PATTERN w/ #8x2 1/2" SCREWS  
3- PLY FASTENER PATTERN IS SAME W/ #8x3" SCREWS  
4- PLY FASTENER PATTERN IS SAME W/ #9x4" SCREWS  
"X" S INDICATE SCREWS INSTALLED  
FOR 3- PLY, INSTALL 3rd PLY BETWEEN THE POSTS.

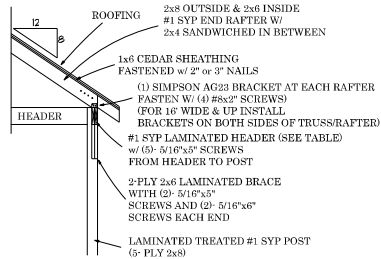
**6-6P-S-101 HEADER LAMINATING FASTENER PATTERN**



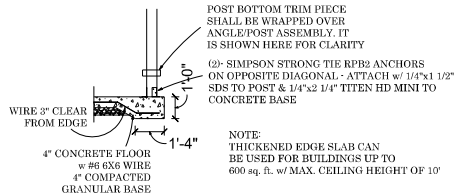
**5-6P-S-101 AG-CO PRODUCTS, INC.**  
FP MOLDED COMPOSITE FOOTING PAD



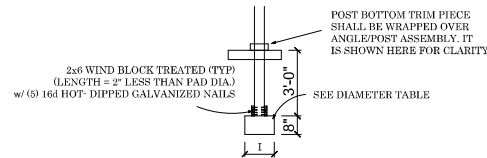
**4-6P-S-101 CONCRETE PIER POST ANCHOR**



**1-6P-S-101 2x10 HEADER CONNECTION DETAIL**



**2-6P-S-101 FOUNDATION DETAIL - ON CONCRETE**  
WHERE PERMITTED BY BUILDING CODE



**3-6P-S-101 EMBEDDED POST - FROST PROTECTED**

**Breckenridge Pavilion**  
SCALE: 3/8" = 1'-0"



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AVAILABLE  
UPON REQUEST

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MILLERSBURG, OH 44654  
HOLMES COUNTY

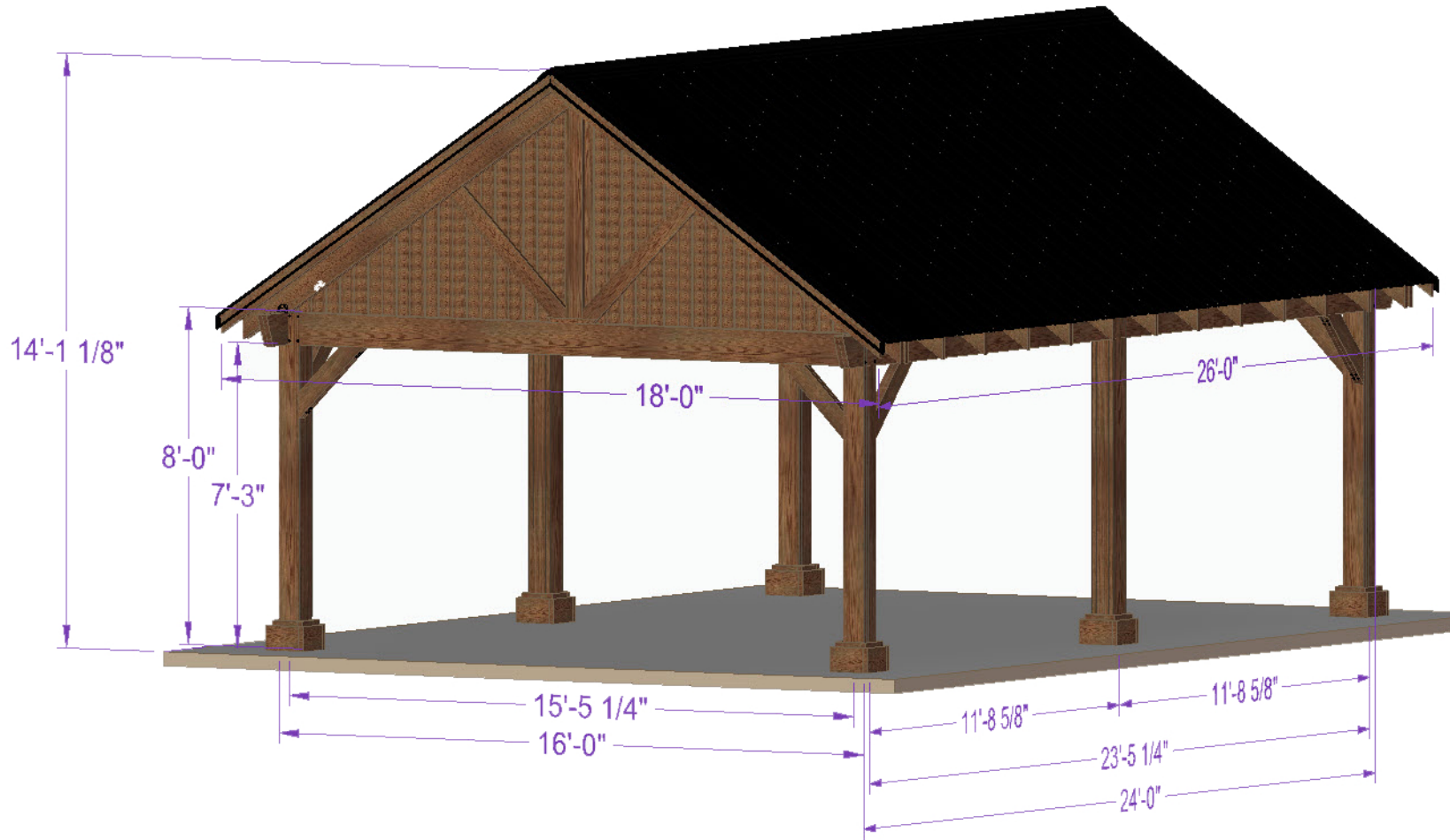
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MARK	DATE	DESCRIPTION
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PROJECT NO: xxx  
DRAWN BY: KK  
DATE: 4/28/2020  
SHEET TITLE:

BRACKENRIDGE PAVILION  
6 - POST STRUCTURES

6P S-101





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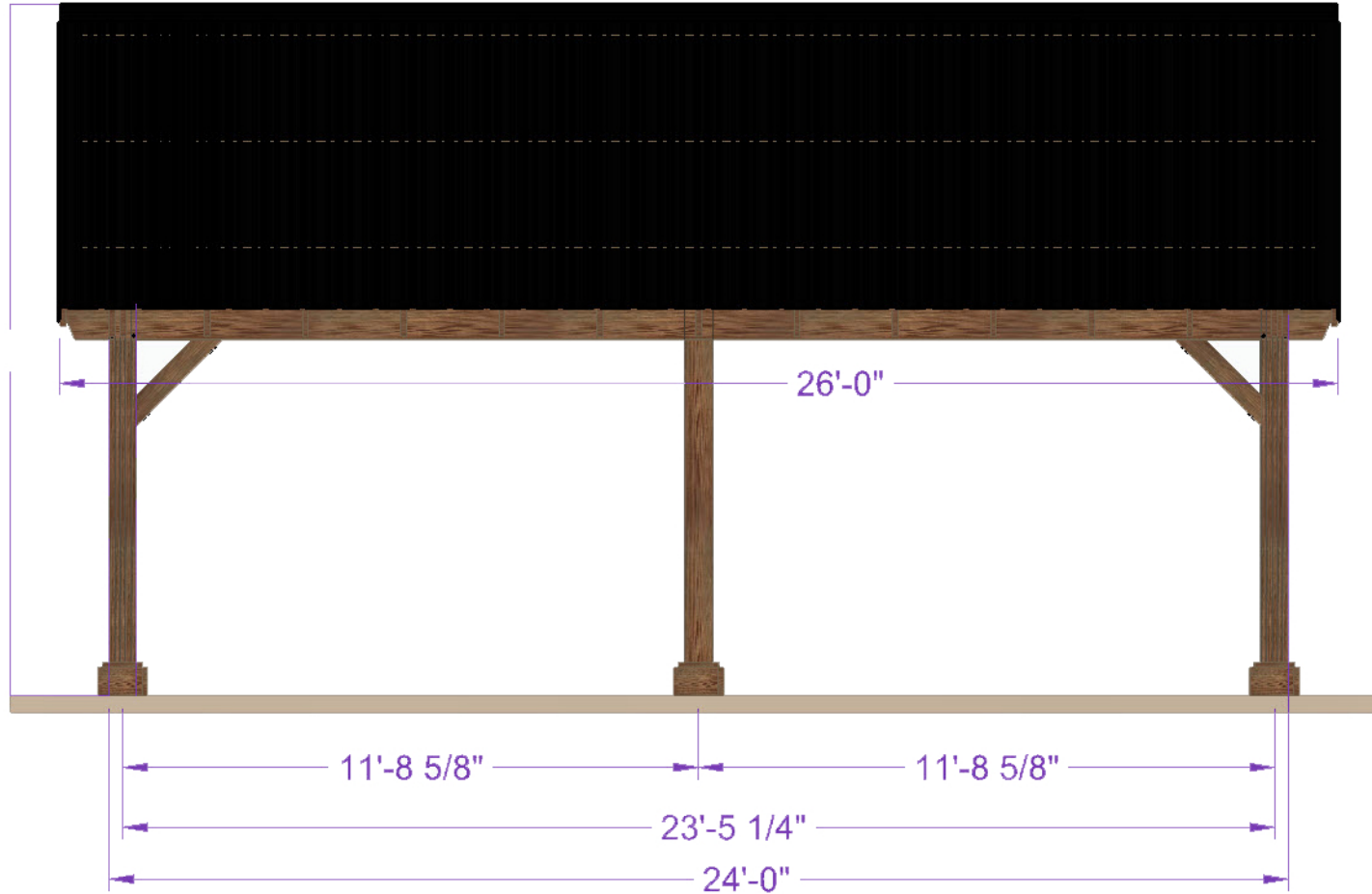
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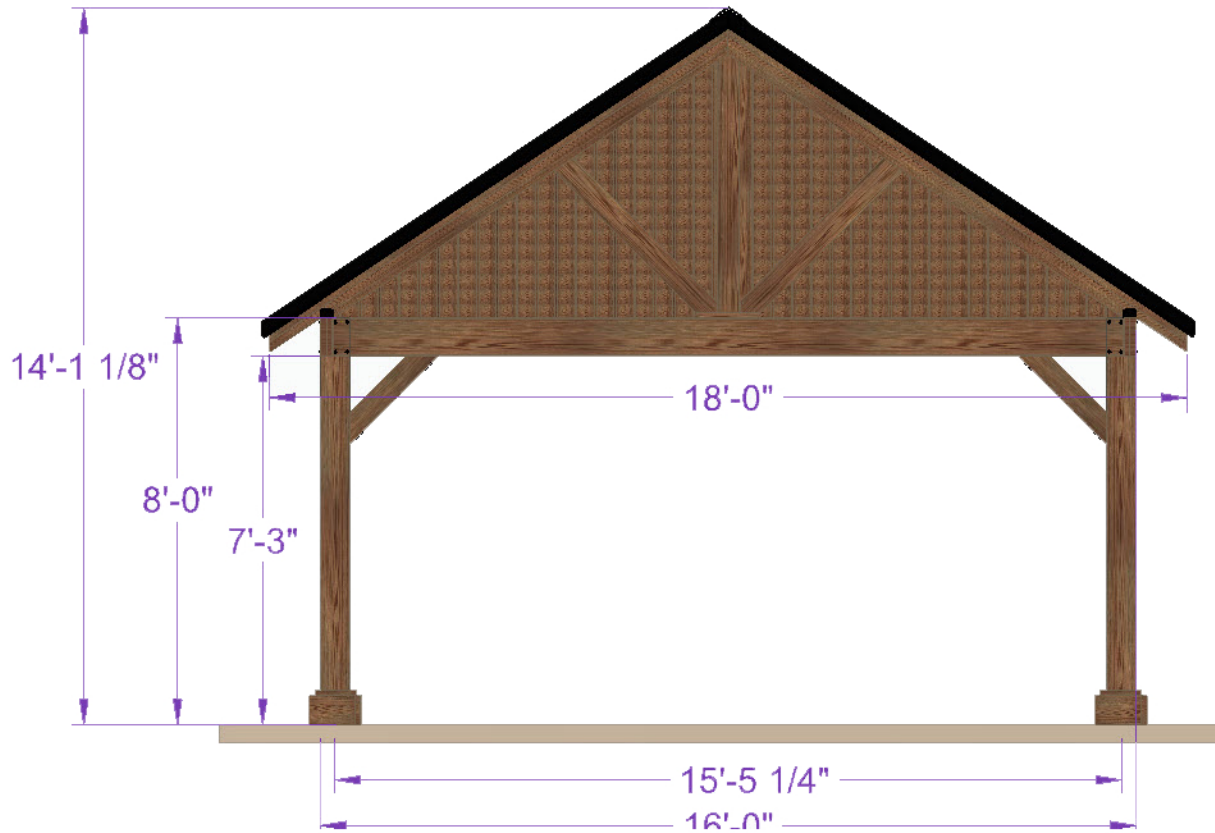
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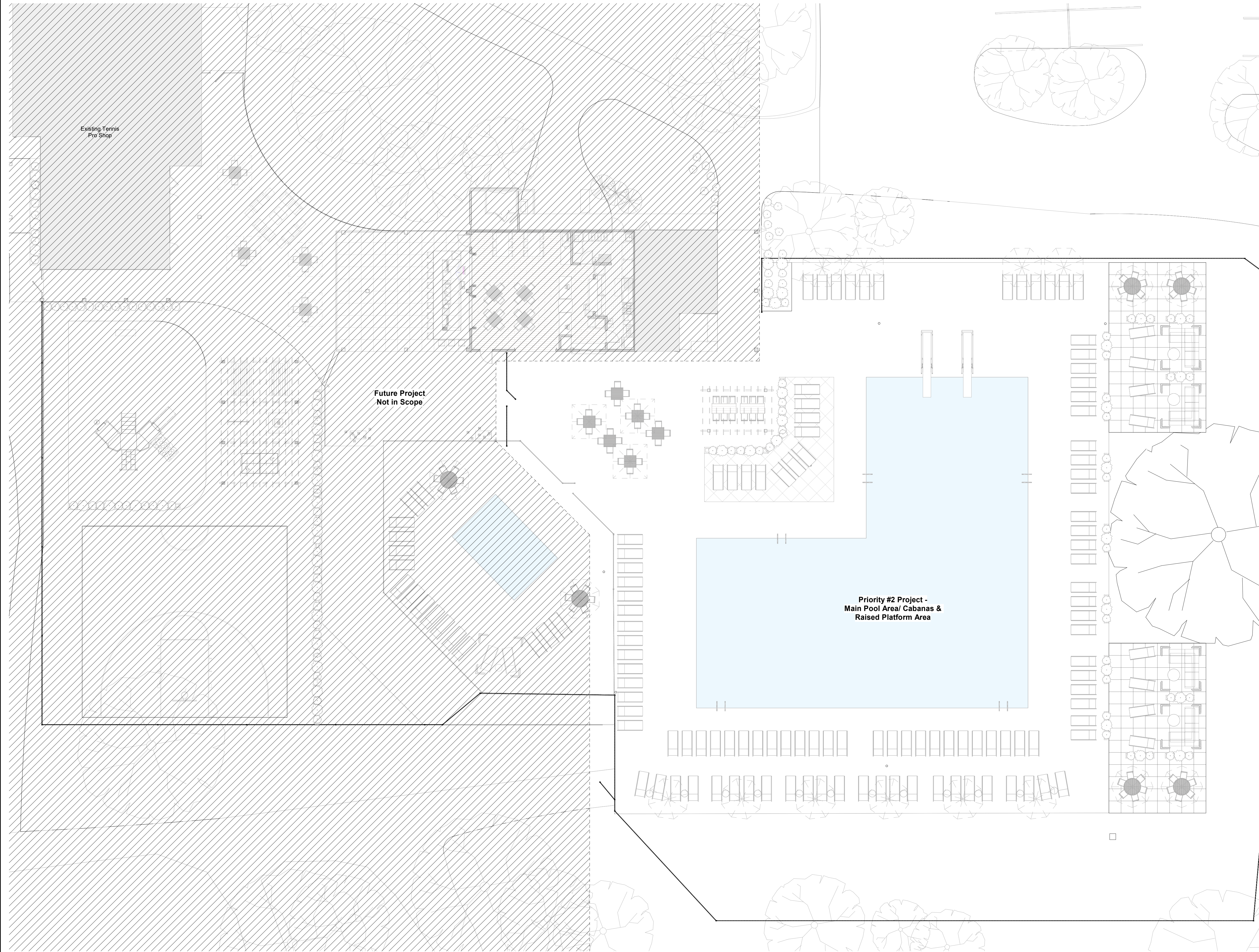
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6 - POST STRUCTURES





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**PROJECT MATRIX -**

**Priority #1 Project - Platform Tennis/ Warming Hut**  
 New platform tennis courts and warming hut. Updates include exterior site work and connection to existing parking lot.

**Priority #2 Project - Main Pool Area/ Cabanas & Raised Platform Area**  
 Updated concrete work and expanded patio area at main pool.

**Design Collective**

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**PROJECT STATUS**  
 Zoning Review



**THE COUNTRY CLUB**  
 MUIRFIELD VILLAGE

**TCCMV-Masterplan Updates - Phase 2**  
 The Country Club at Muirfield Village  
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**REVISIONS**

#	Description	Date

**INITIAL ISSUE DATE**  
 May 24, 2021

**PROJECT NO.**  
 0247.20

**Aquatics Project Matrix**

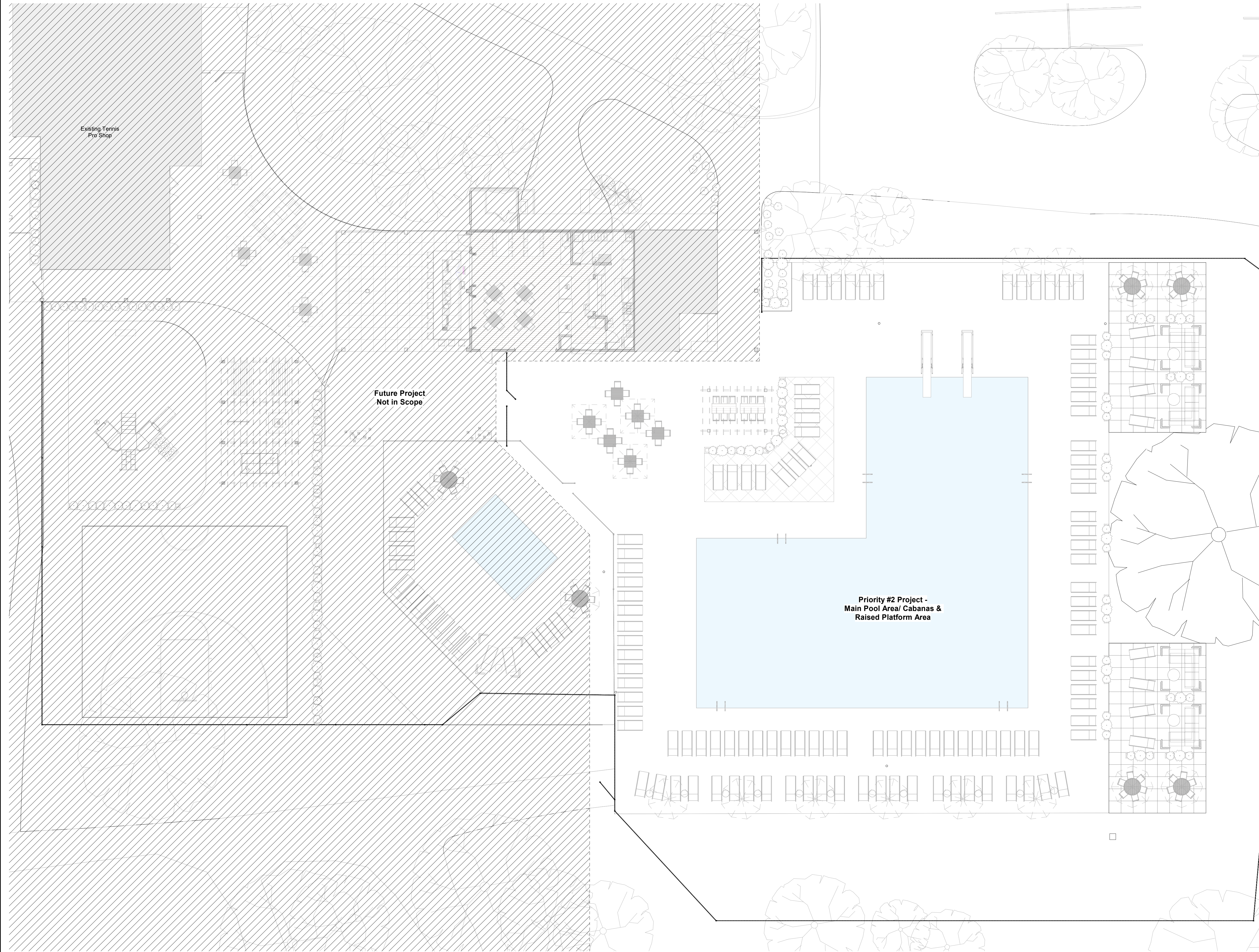
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**PROJECT STATUS**  
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Architect, License # 1616097  
 Expiration Date: December 31, 2021

**THE COUNTRY CLUB**  
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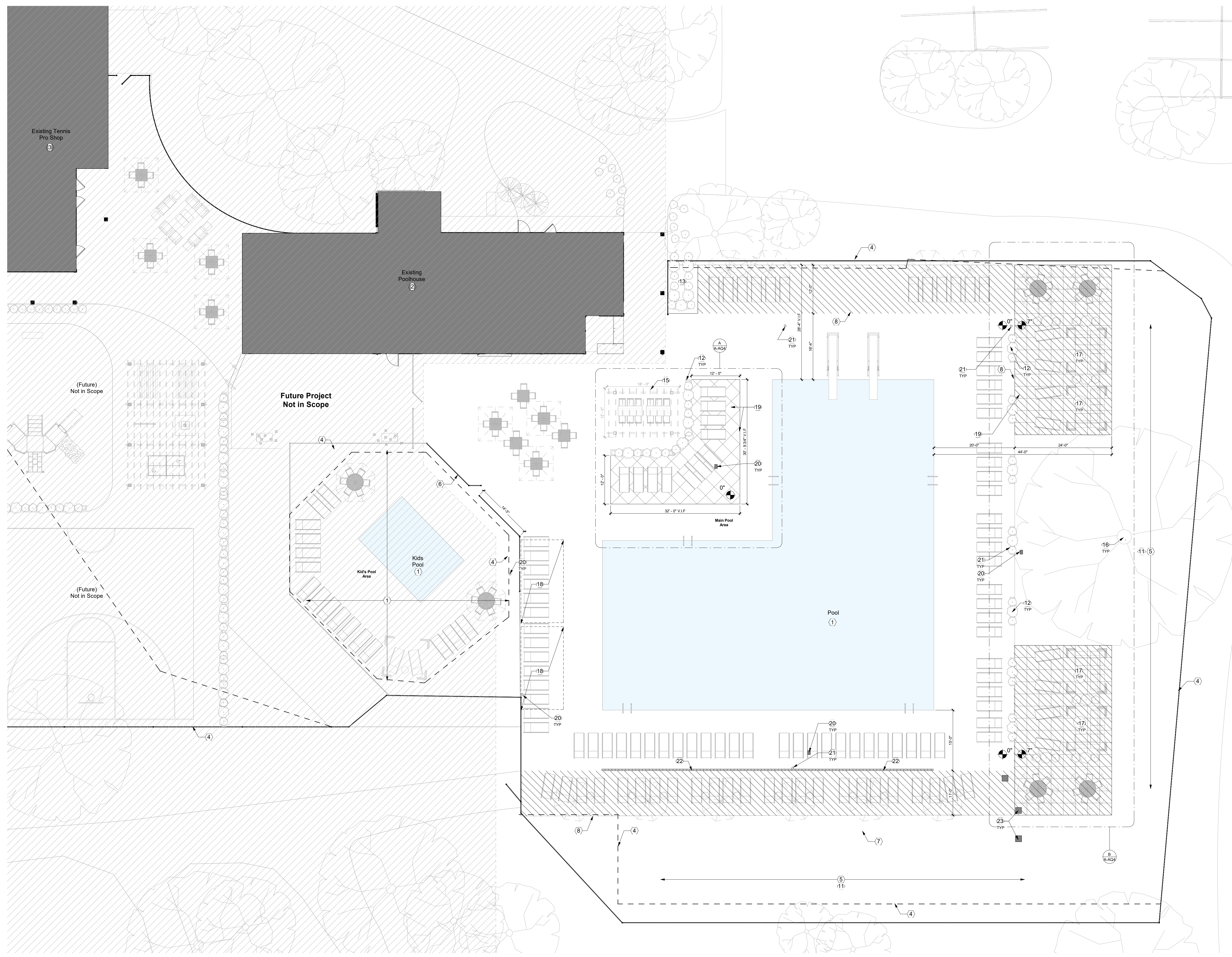
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- 
- KEYNOTES - AQUATICS**
1. Existing pool, accessories, and equipment to remain.
  2. Refer to enlarged plans for Pool House updates.
  3. Existing Tennis Pro Shop to remain.
  4. Verify extents and height of existing fencing in field. Extend/alter fencing as required to match existing. Reinstall salvaged fencing where possible.
  5. Rework grade as necessary for lawn and raised areas to accommodate new concrete. Verify extents of earthwork in field.
  6. Relocate aluminum railing to create new access and gate to kids pool, match existing.
  7. Existing railing to be removed. Salvage for reinstallation as indicated.
  8. Shaded region indicates extents of new concrete. Verify existing extents in field. Coordinate final installation and color with Architect and Owner.
  9. Demolish existing concrete and replace with new. Verify existing extents in field. Coordinate final installation and color with Architect and Owner.
  10. Kintec Play Surfaces or equal poured in place bonded rubber surface. Coordinate final extents and colors with Architect and Owner.
  11. Lawn area. Coordinate sod/planting with Owner.
  12. Raised planter bed. Cityscapes Planix or equal. Dimensions as indicated. Finish: Kona.
  13. Planting area/mulch bed. Plantings by Owner.
  14. Sliding gate to match Plans planters in style and finish. Refer to elevation and detail.
  15. Pergola as indicated by Owner and installed by GC.
  16. Verify locations of existing trees. Coordinate preservation with Architect and Owner. Protect trees to be preserved during all phases of construction.
  17. Cabana provided by Owner and installed by GC. Tucci Equinox Cabana or equal. Finish: Alumna-Teak Weathered. Coordinate final specifications with Architect.
  18. Existing Curvas Cabana provided by Owner and installed by Owner.
  19. Pattern indicates the proposed extents of stamped concrete.
  20. Pool lighting junction box to be relocated, typ of 3. Owner to provide new locations.
  21. Existing lightpole fixture to be removed/replaced, typ of 6. Verify locations in field and remove/replace. Coordinate with Owner.
  22. New trench drain.
  23. Existing/abandoned utility to be relocated, typ of 3. Owner to determine locations.

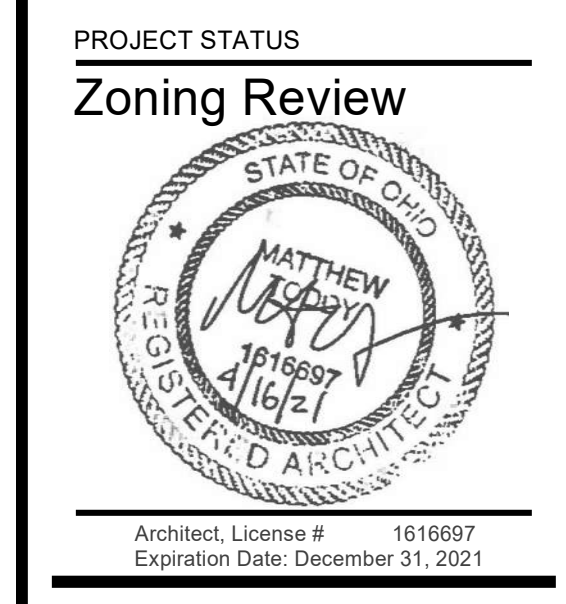


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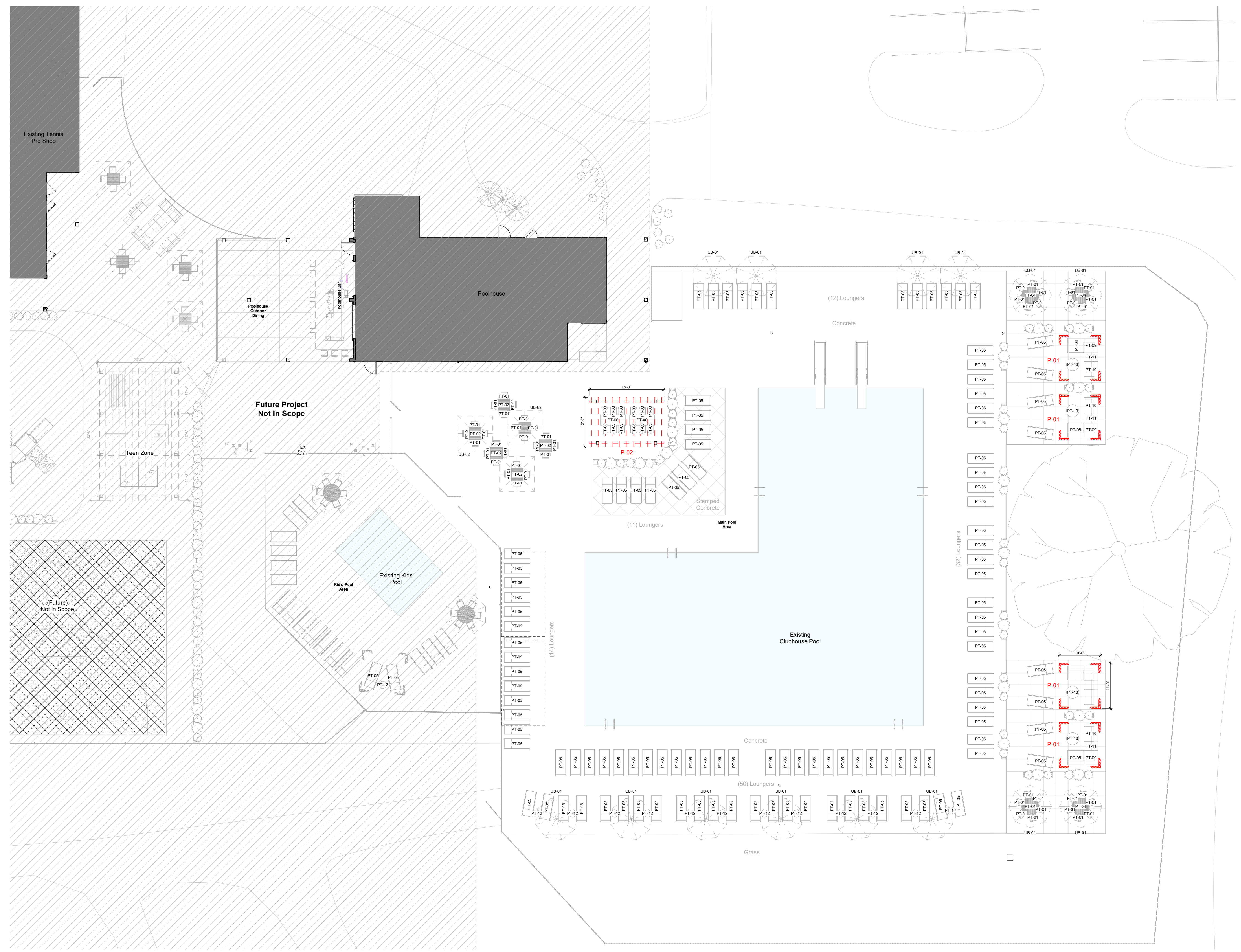
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**Aquatics - Overall Plan**

**A-AQ2**



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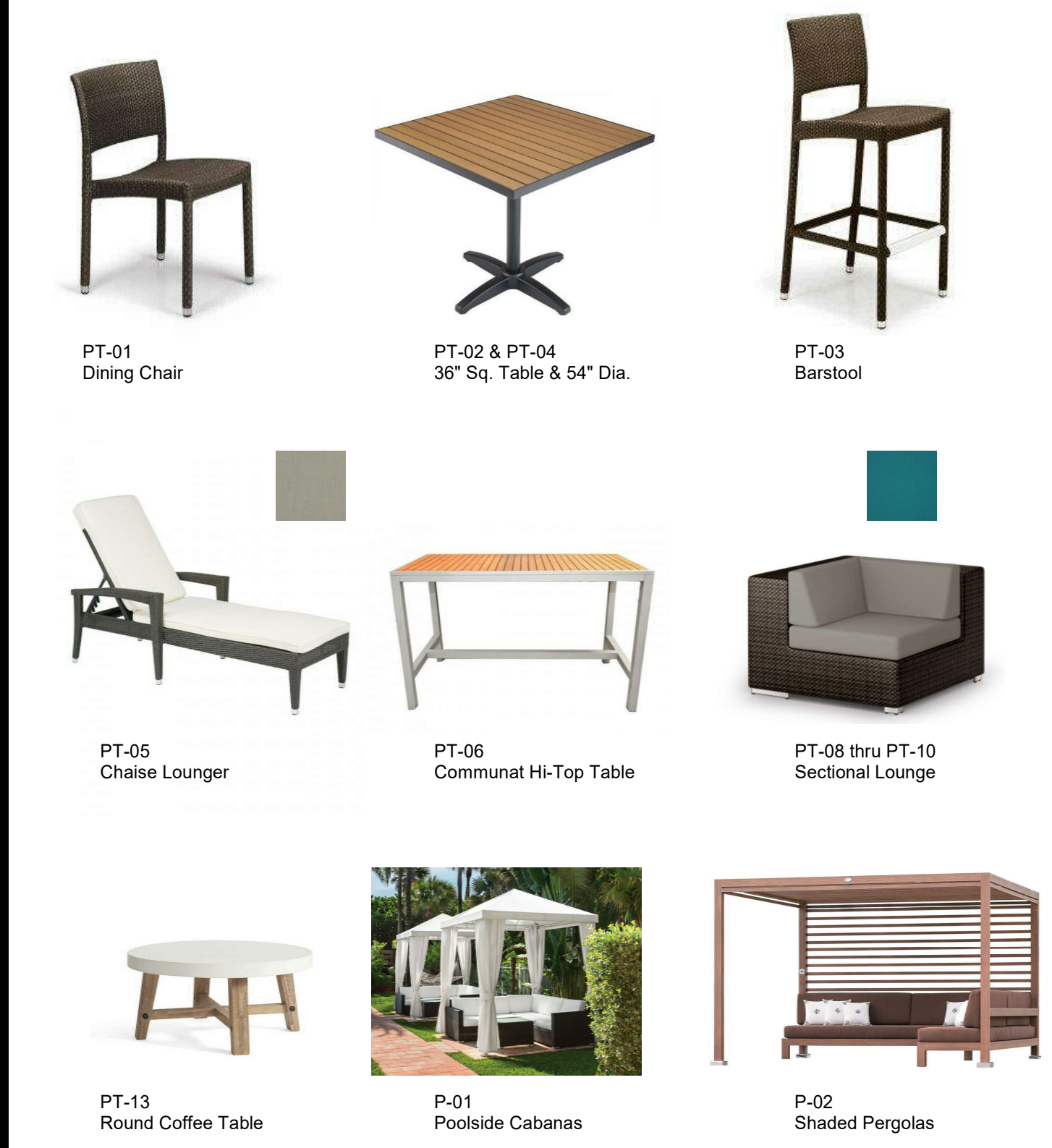


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**SCHEDULE - FURNITURE**

Type	Description	Manufacturer	Model
PT-01	Dining Chair (Patio)	TBD	TBD
PT-02	36" Sq. Patio Table	TBD	TBD
PT-03	Barstool (Patio)	TBD	TBD
PT-04	54" Dia. Patio Table	TBD	TBD
PT-05	Lounger (Patio)	TBD	TBD
PT-06	30" x 72" Table (High Top)	TBD	TBD
PT-08	Sectional Lounger (Patio)	Dedon	LOUNGE right module taupe duet 366
PT-09	Sectional Lounger (Patio)	Dedon	LOUNGE corner module 1 bleach 066
PT-10	Sectional Lounger (Patio)	Dedon	LOUNGE left module bleach 066
PT-11	Sectional Lounger (Patio)	Dedon	LOUNGE center module bleach 066
PT-12	Accent Table (Patio)	TBD	TBD
PT-13	Coffee Table	TBD	TBD
UB-01	Patio Umbrella	TBD	TBD
UB-02	Patio Umbrella	TBD	TBD



**Design Collective**

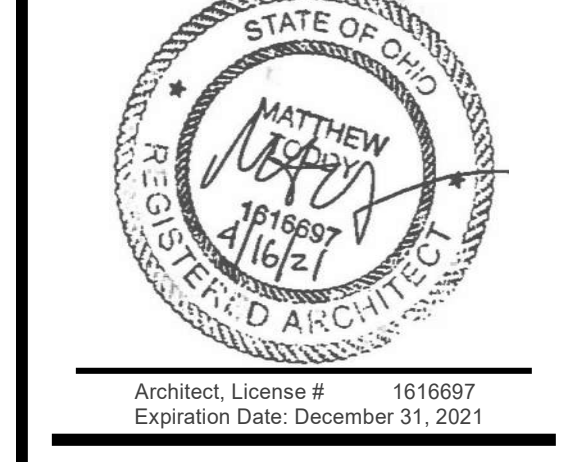
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**Aquatics - Overall Furn. Plan**  
**A-AQ3**



