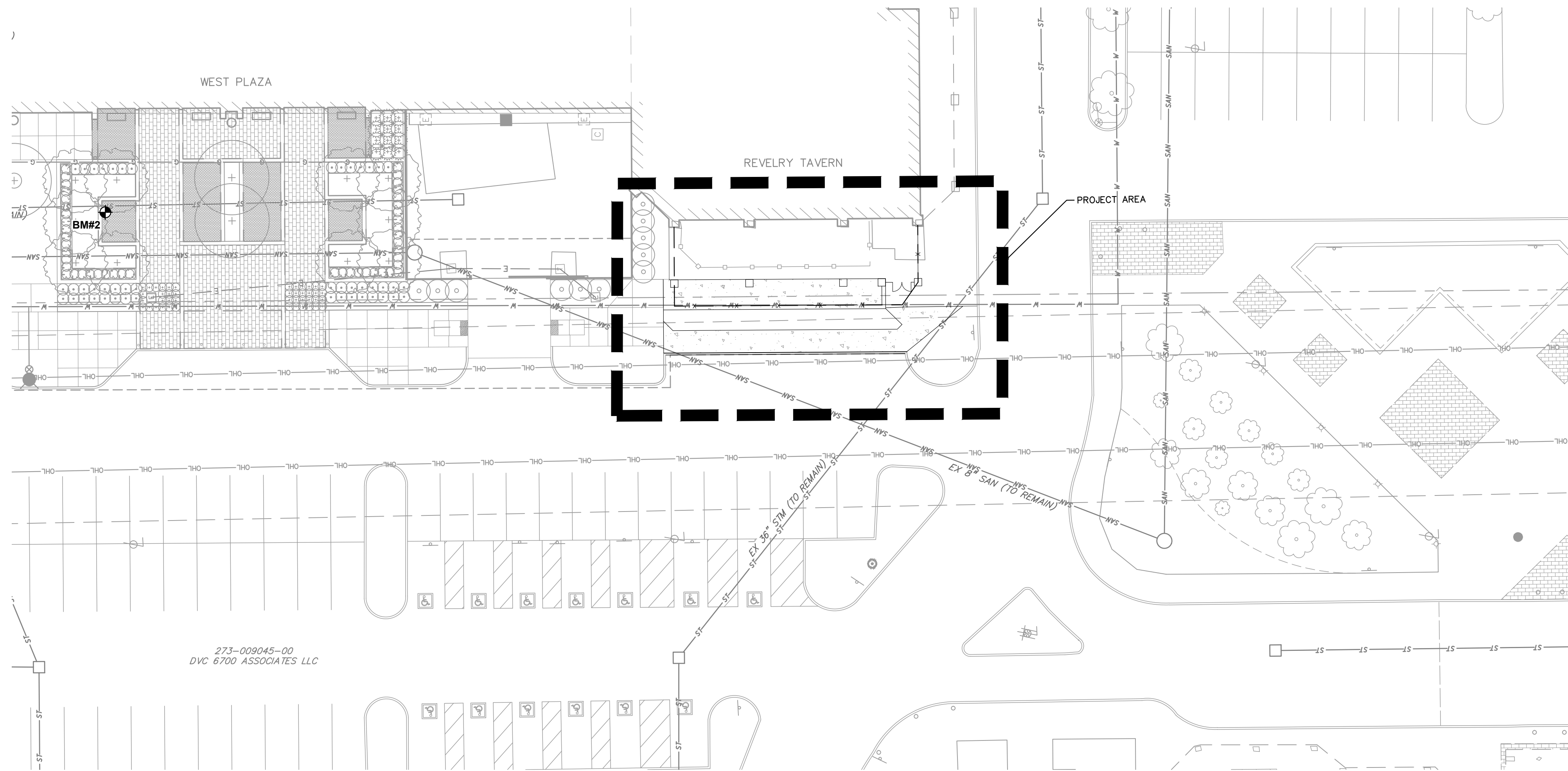
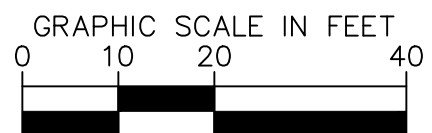


SHEET INDEX	
Sheet Number	Sheet Title
1	TITLE SHEET
2	EXISTING CONDITIONS
3	DEMOLITION PLAN
4	SITE PLAN
5	CURB RAMP DETAILS

CITY OF DUBLIN, FRANKLIN COUNTY, OH



SOURCE BENCH MARK
BEING FRANKLIN COUNTY MONUMENT 7772 LOCATED ON THE
CENTERLINE OF SAWMILL ROAD AND AT THE INTERSECTION
WITH HARD ROAD.
ELEV.=900.06 (88 DATUM) ELEV.=900.69 (29 DATUM)

THIS TOPOGRAPHIC SURVEY IS BASED ON THE 88 DATUM.

SITE BENCH MARK 1
BEING THE ARROW BOLT ON A FIRE HYDRANT FLANGE
LOCATED ON THE NORTHWESTERLY SIDE OF TULLER ROAD
AND NORTH 660'± FROM THE INTERSECTION OF TULLER
ROAD AND DUBLIN CENTER DRIVE.
ELEV.=905.82

SITE BENCH MARK 2
BEING THE WEST BOLT ON A FIRE HYDRANT FLANGE
LOCATED ON THE SOUTHERLY SIDE OF TULLER ROAD 175'±
AND WEST 680'± FROM THE INTERSECTION OF TULLER ROAD
AND FEDERATED BOULEVARD. ALSO BEING ON THE EAST
SIDE OF AN ACCESS DRIVE THAT IS THE THIRD ENTRANCE
FROM SAID INTERSECTION.
ELEV.=900.92

SITE BENCH MARK 3
BEING THE NORTH BOLT ON A FIRE HYDRANT FLANGE
LOCATED NORTH 616'± OF FEDERATED BOULEVARD AND
WEST 413'± OF DUBLIN CENTER DRIVE.
ELEV.=907.83

SITE BENCH MARK 4
BEING THE ARROW BOLT ON A FIRE HYDRANT FLANGE
LOCATED ON THE WESTERLY SIDE OF DUBLIN CENTER DRIVE
AND NORTH 250'± FROM THE INTERSECTION OF FEDERATED
BOULEVARD AND DUBLIN CENTER DRIVE.
ELEV.=911.38

SITE BENCH MARK 5.
BEING A CHISELED 'X' ON A FIRE HYDRANT FLANGE
LOCATED ON THE NORTHERLY SIDE OF FEDERATED
BOULEVARD AND WEST 676'± FROM THE INTERSECTION OF
FEDERATED BOULEVARD AND DUBLIN CENTER DRIVE.
ELEV.=902.87

CITY OF DUBLIN APPROVALS

CITY ENGINEER, PAUL A. HAMMERSMITH, P.E. DATE

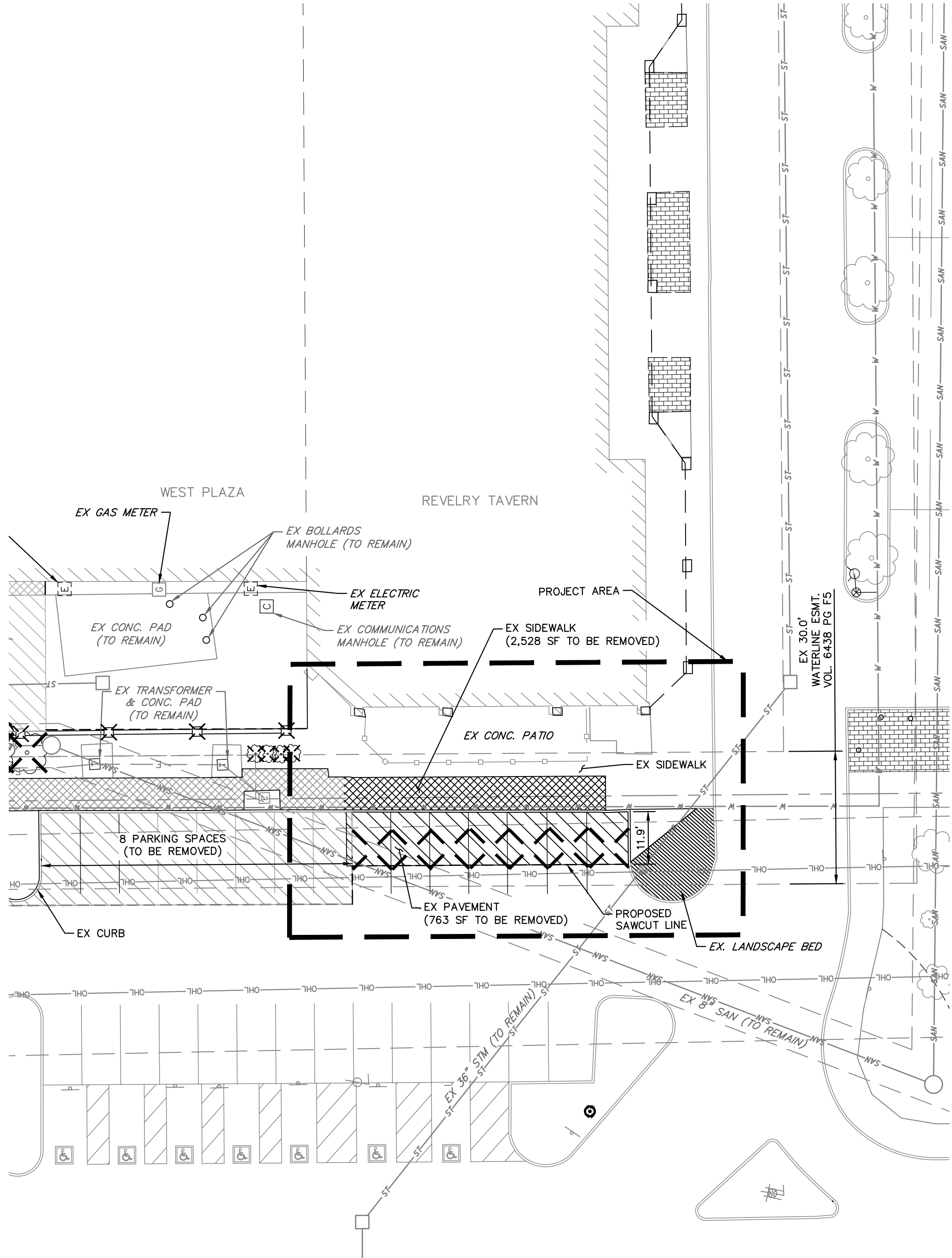
DIRECTOR OF PLANNING, JENNIFER RAUCH

REGISTERED ENGINEER, DATE

STANDARD CONSTRUCTION DRAWINGS			
CITY OF DUBLIN			
PD-02	PD-03	PD-06	PD-10

SURVEYOR
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
8740 ORION PLACE, SUITE 100
COLUMBUS, OH 43240
TEL: (614) 540-6633

VARIANCE TABLE				
NO.	DESIGN SECTION	VARIANCE REQUEST	APPROVAL	DATE

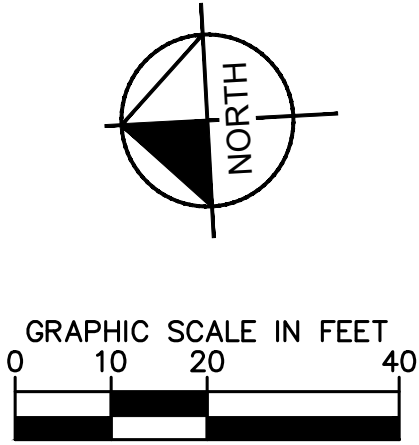


SITE DATA

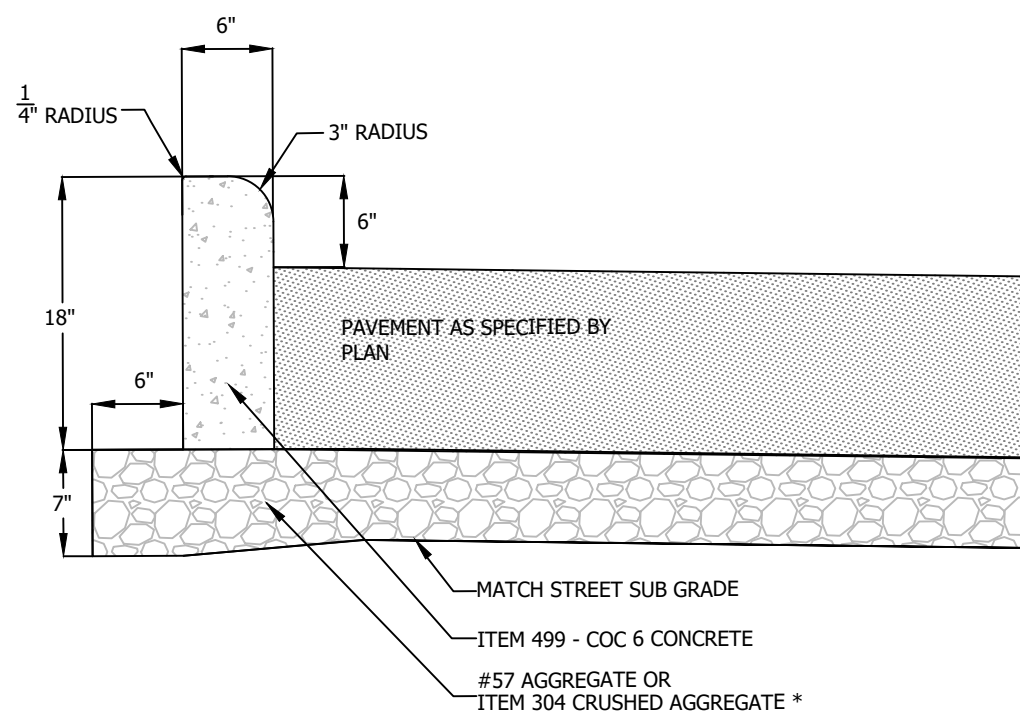
EXISTING TREES REMOVED:	0
EXISTING PARKING SPACES REMOVED:	9
EXISTING ADA PARKING SPACES REMOVED:	0

LEGEND

	EXISTING PROPERTY LINE		EXISTING TREE
	EXISTING RIGHT-OF-WAY		EXISTING PINE TREE
	EXISTING FACE OF CURB		EXISTING LIGHT POLE
	EXISTING STORM SEWER		EXISTING PARKING STALL COUNT
	EXISTING STORM CATCH BASIN		ITEM REMOVAL
	EXISTING STORM MANHOLE		PAVEMENT REMOVAL
	EXISTING SANITARY SEWER		SIDEWALK REMOVAL
	EXISTING SANITARY MANHOLE		PROPOSED LANDSCAPE AREA
	EXISTING WATER MAIN		
	EXISTING FIRE HYDRANT		
	EXISTING GAS MAIN		
	EXISTING OVERHEAD ELECTRIC		
	EXISTING EASEMENT		

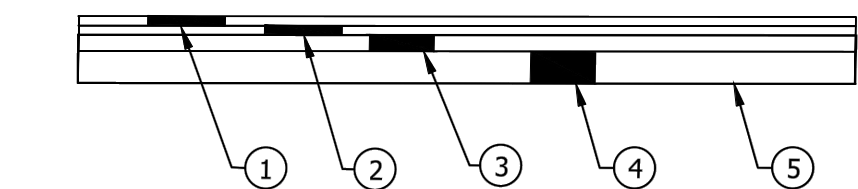


DUBLIN VILLAGE CENTER BUILDING A - REVELRY TAVERN PATIO EXPANSION		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 7965 STATE ROUTE 100 COLUMBUS, OH 43235 PHONE: 614-454-6696 WWW.KIMLEY-HORN.COM		REVISIONS		APR DATE		APR BY	
ORIGINAL ISSUE: 06/24/2021									
KHA PROJECT NO. 190100000									
SHEET NUMBER 4 OF 5									



* FOR NEW ROAD CONSTRUCTION, ITEM 304 AGGREGATE BASE SHALL BE USED UNDER THE CURB SECTION AND PLACED AT THE SAME TIME AND LIFT THICKNESS AS THE 304 AGGREGATE BASE UNDER THE PAVEMENT SECTION.

STRAIGHT 18" CONCRETE CURB
NOT TO SCALE



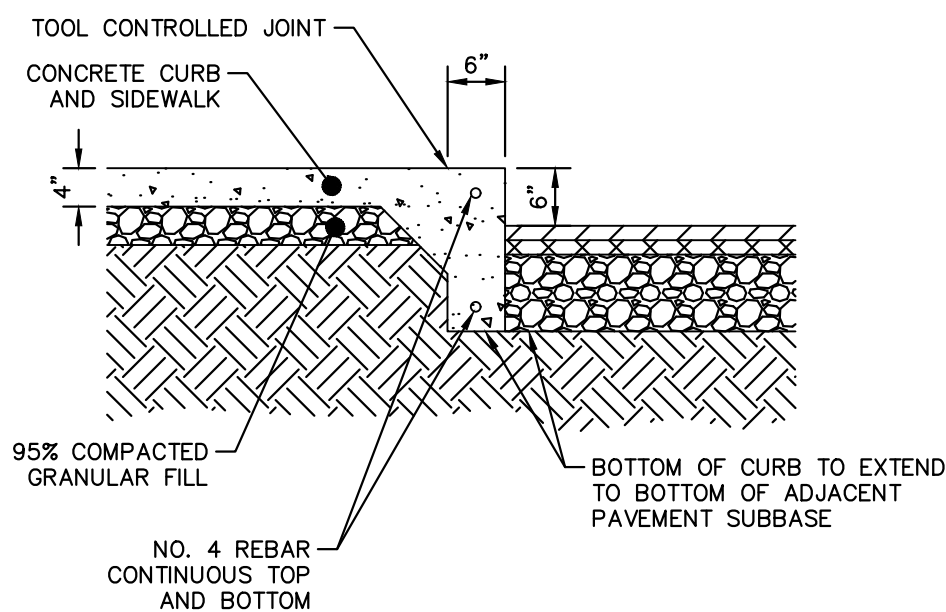
PRIVATE PARKING LOT (MINIMUM PAVEMENT DEPTH)

- OPTION 1
- ① ITEM 441 - 1 1/4" ASPHALT CONCRETE SURFACE COURSE TYPE 1 PG. 64-22 MEDIUM TRAFFIC
 - ② ITEM 441 - 1 3/4" ASPHALT CONCRETE INTERMEDIATE COURSE TYPE 2 PG. 64-22 MEDIUM TRAFFIC
 - ④ ITEM 304 - 6"AGGREGATE BASE
 - ⑤ ITEM 204 - SUBGRADE COMPACTION

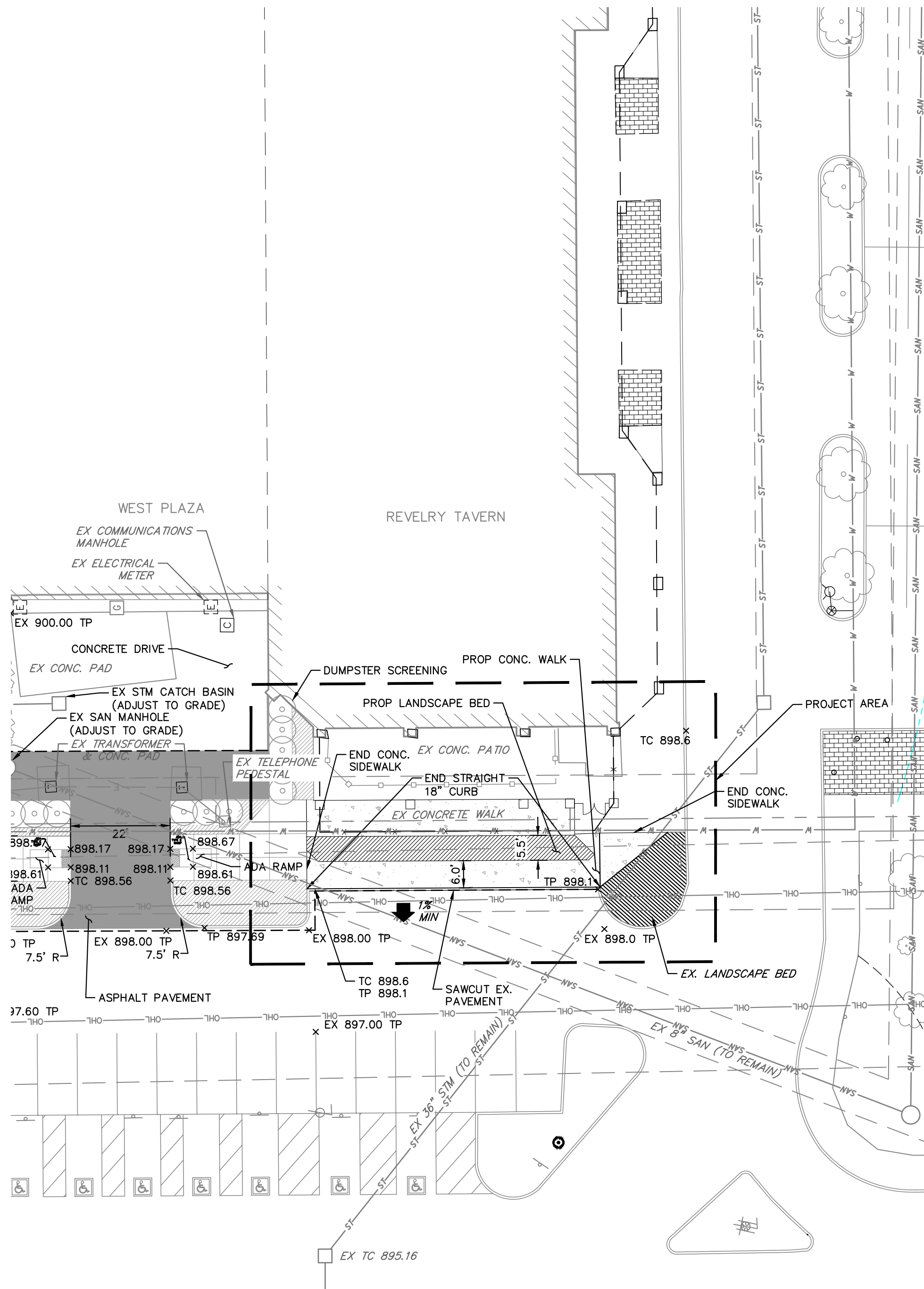
ROADWAYS IN INDUSTRIAL AND COMMERCIAL AREAS MAY BE REQUIRED TO HAVE DEPTHS DESIGNED FOR PROJECTED TRAFFIC LOADINGS USING AASHTO METHODS AS DIRECTED BY THE CITY ENGINEER.

● NOTE: MINIMUM PAVEMENT WIDTH FOR PRIVATE STREETS SHALL BE 22'.

TYPICAL PAVEMENT SECTION
NOT TO SCALE



INTEGRAL CURB & SIDEWALK
NOT TO SCALE



A graphic scale in feet is shown below the map, with markings for 0, 10, 20, and 40 feet. Above the scale is a north arrow pointing towards the top of the page, with the word "NORTH" written vertically next to it.

[illegible]

Kimley»»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N HIGH STREET,
SUITE 200
COLUMBUS, OH 43235
PHONE: 614-454-6696
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED

DESIGNED BY: SMV

DRAWN BY: ANF

CHECKED BY: KDK

SITE PLAN

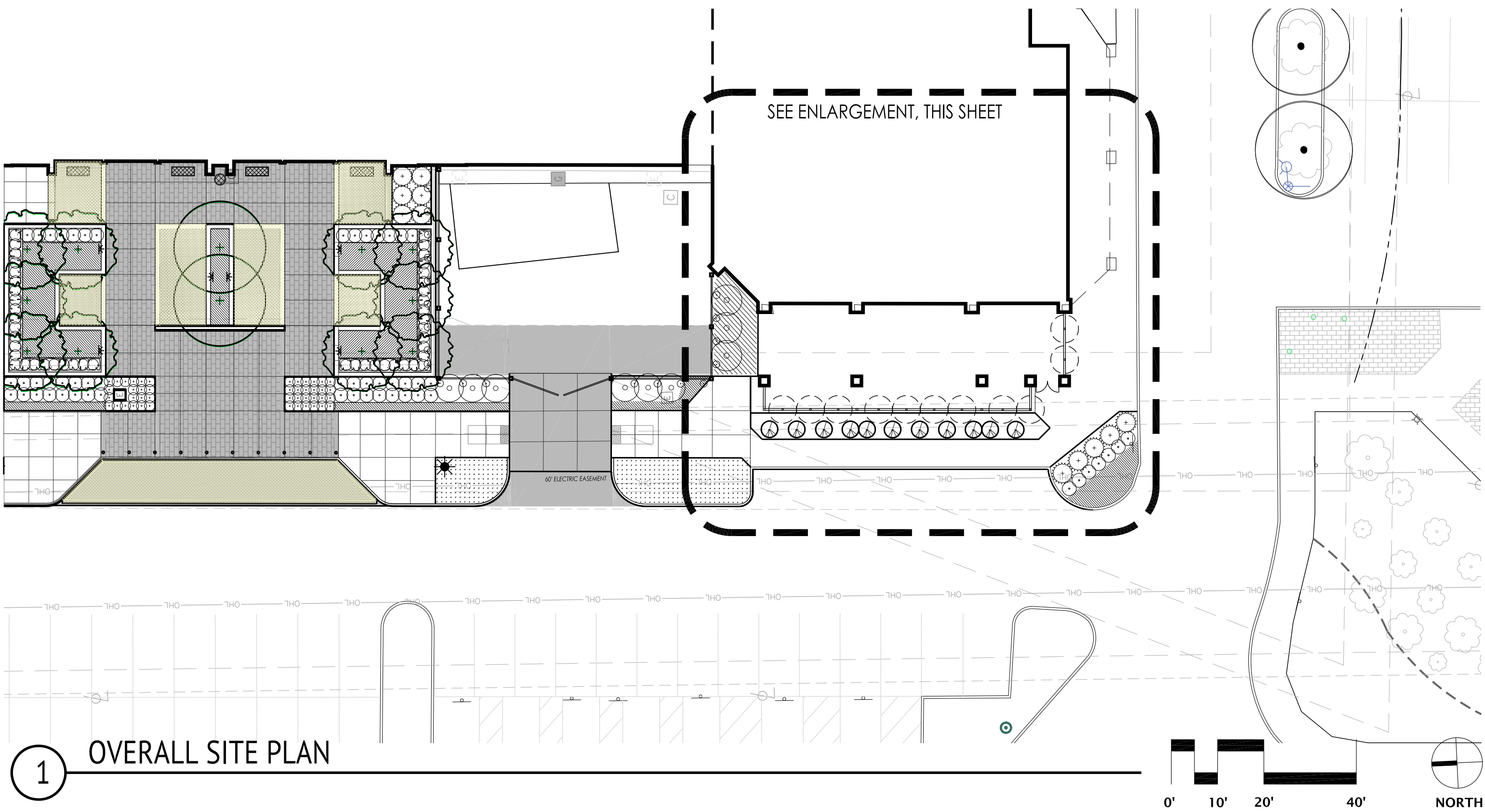
**DUBLIN VILLAGE CENTER
BUILDING A - REVELRY TAVERN
PATIO EXPANSION**

ORIGINAL ISSUE:
06/24/2021

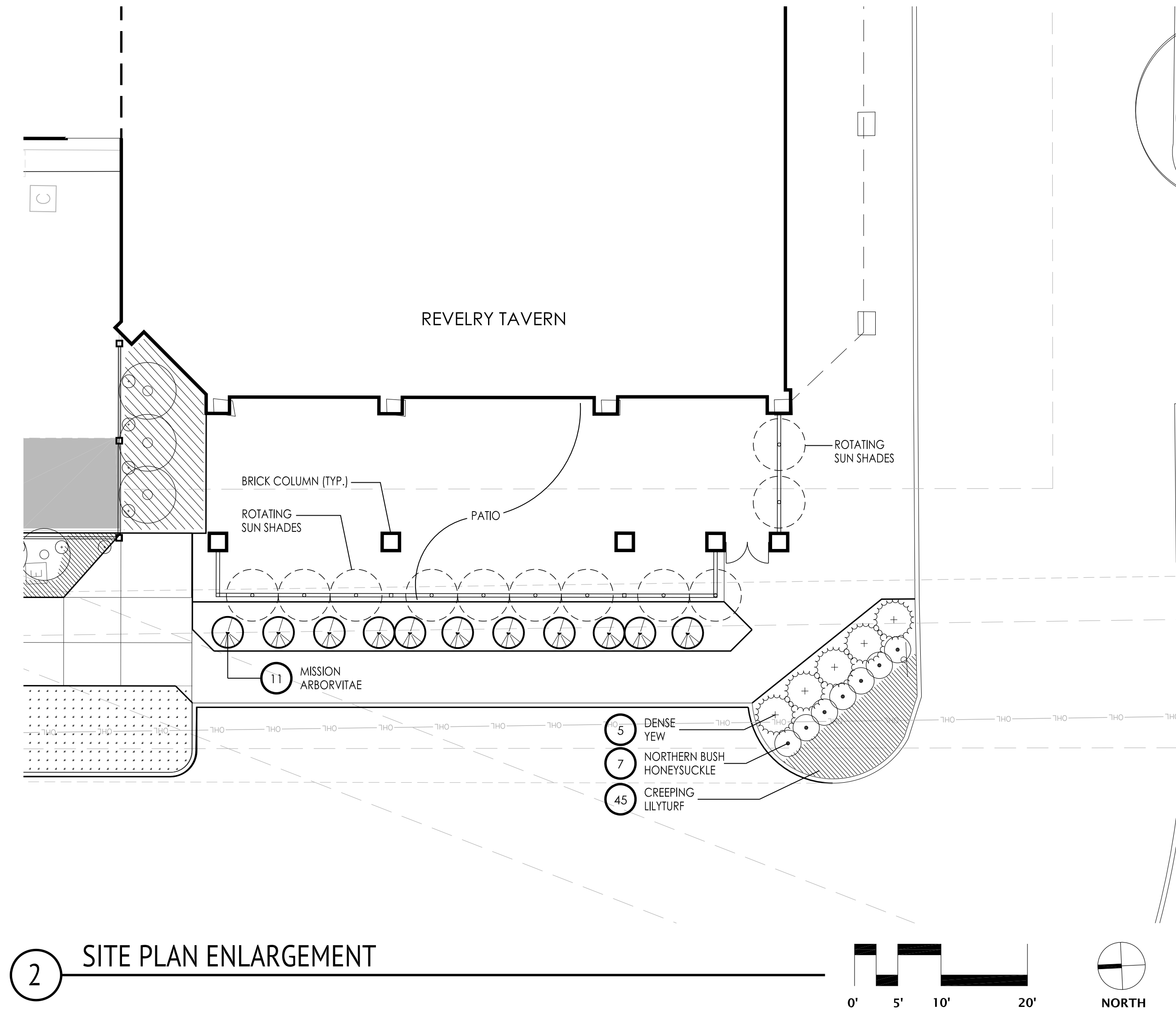
KHA PROJECT NO.
190100000

SHEET NUMBER

5
OF 5

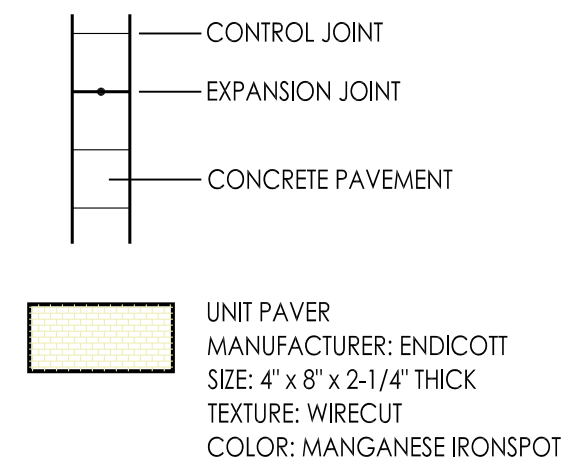


1 OVERALL SITE PLAN



2 SITE PLAN ENLARGEMENT

PAVEMENT LEGEND



GENERAL NOTES

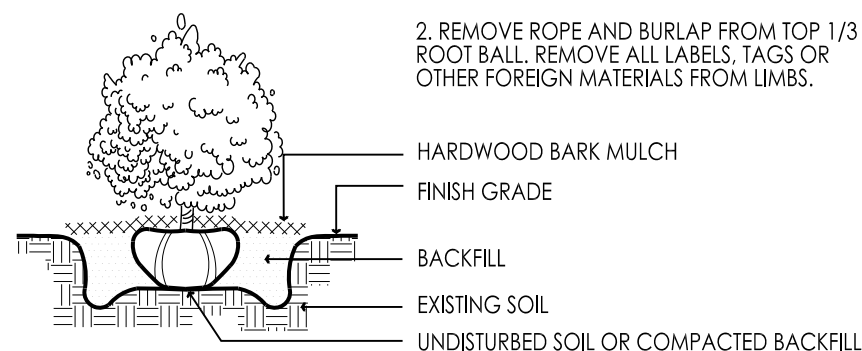
- ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
- EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
- ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
- WORK SHOWN IS BASED ON A SURVEY PROVIDED BY:
CHOICE ONE ENGINEERING
WWW.CHOICEONEENGINEERING.COM
- EXTERIOR PAVEMENT ELEVATIONS AT ALL ENTRANCES TO BUILDING ARE TO BE FLUSH WITH THE FINISHED FLOOR ELEVATION OF THE BUILDING.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3\"

PLANT MATERIALS LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	NOTES
SHRUBS					
11	MISSION ARBORVITAE	Thuja occidentalis 'Techny'	8' HGT	B&B	WELL MATCHED
5	DENSE YEW	Taxus x media 'Densiformis'	18"-24" Hgt.	B&B	
7	NORTHERN BUSH HONEYSUCKLE	Diervilla lonicera	18" Hgt.	Cont.	
PERENNIALS					
45	CREEPING LILYTURF	Liriope spicata	1 Quart	Cont.	

NOTES:

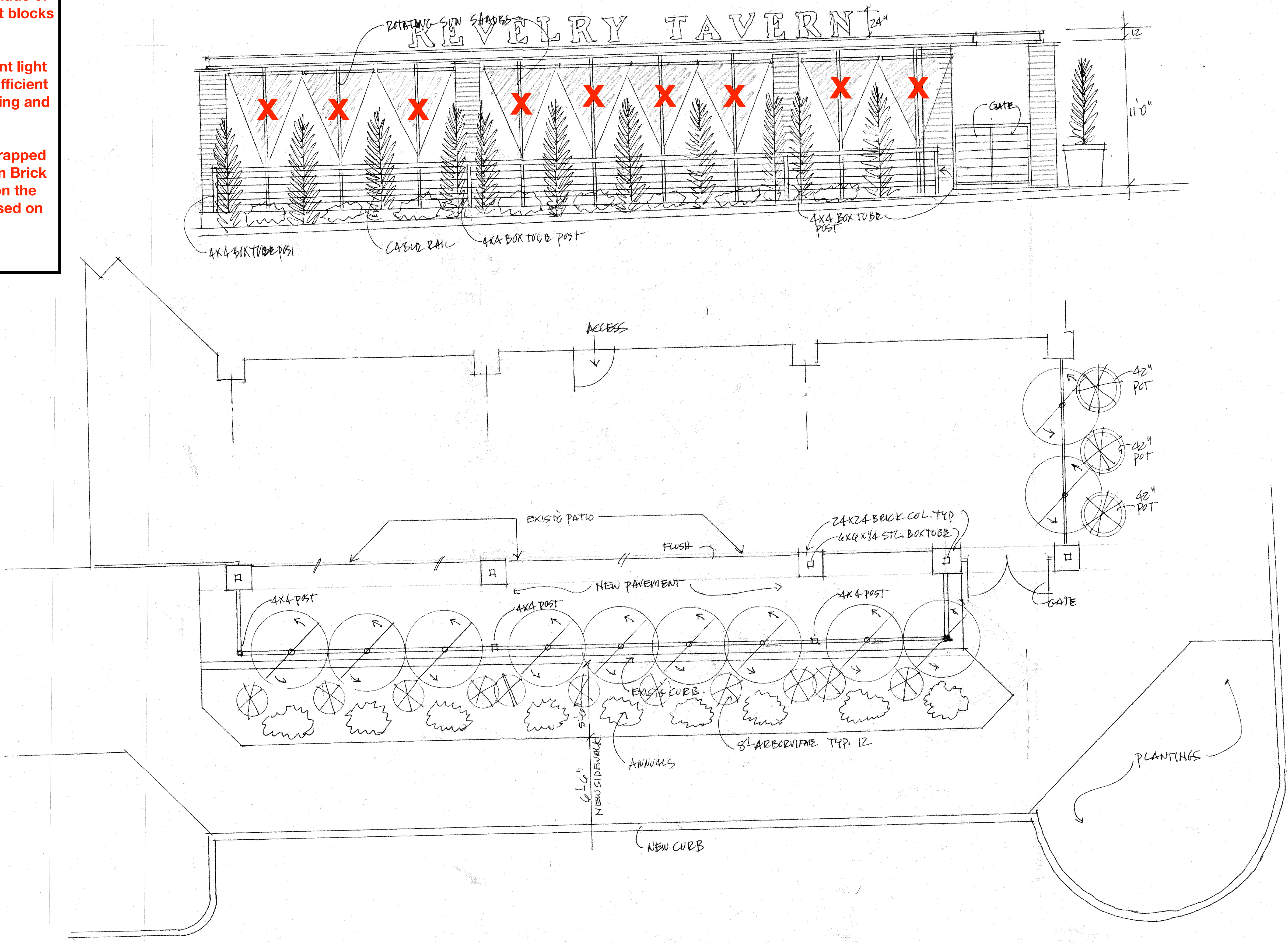
- TOP OF ROOT BALL TO BE 2\"
- REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



3 SHRUB PLANTING



- Notes:**
- 1. The Rotating Sun Shades will be deleted and replaced with commercial grade black aluminum housed solar roller shades made of black vinyl coated fabric that blocks 95%+/-.
 - 2. There will be no permanent light fixtures in the trellis area. Sufficient light is provided by the building and adjacent parking lot lights.
 - 3. The five columns to be wrapped in Glen Gerry Rosewood Thin Brick to match the existing brick on the building and as previously used on the new directional signs throughout the center.

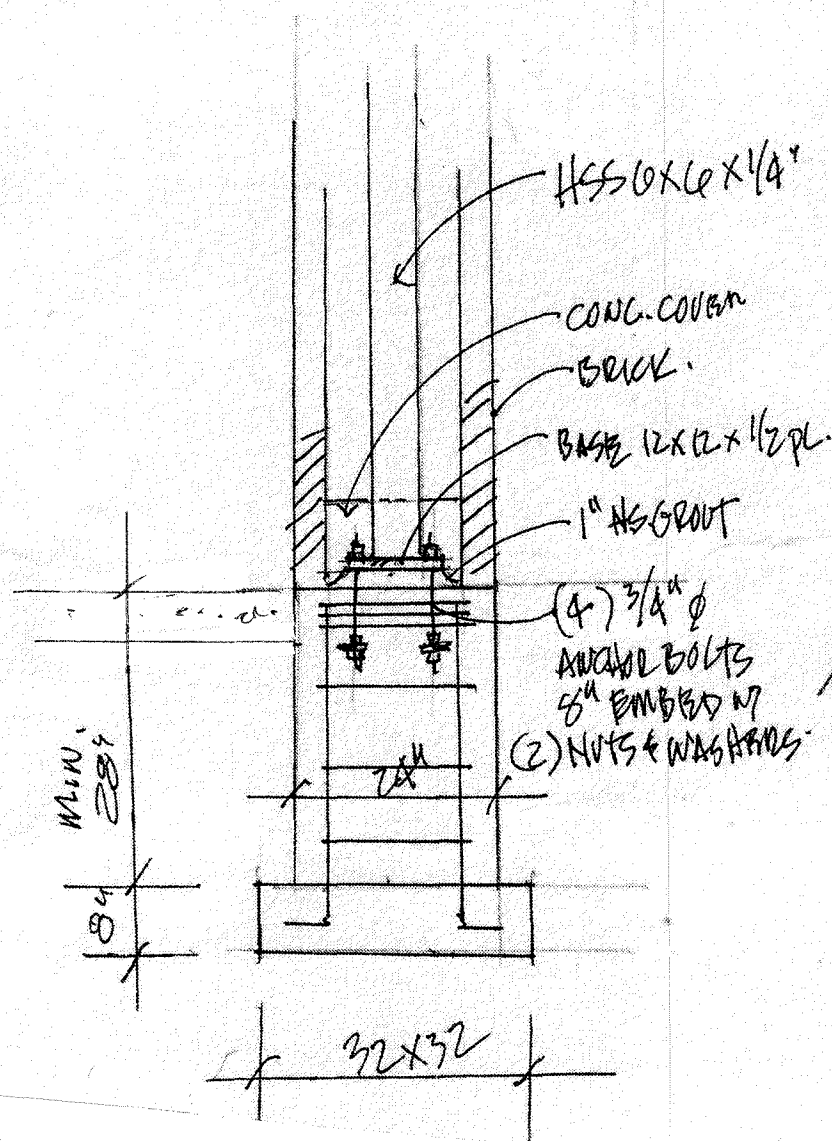


DATE: 9/30/21

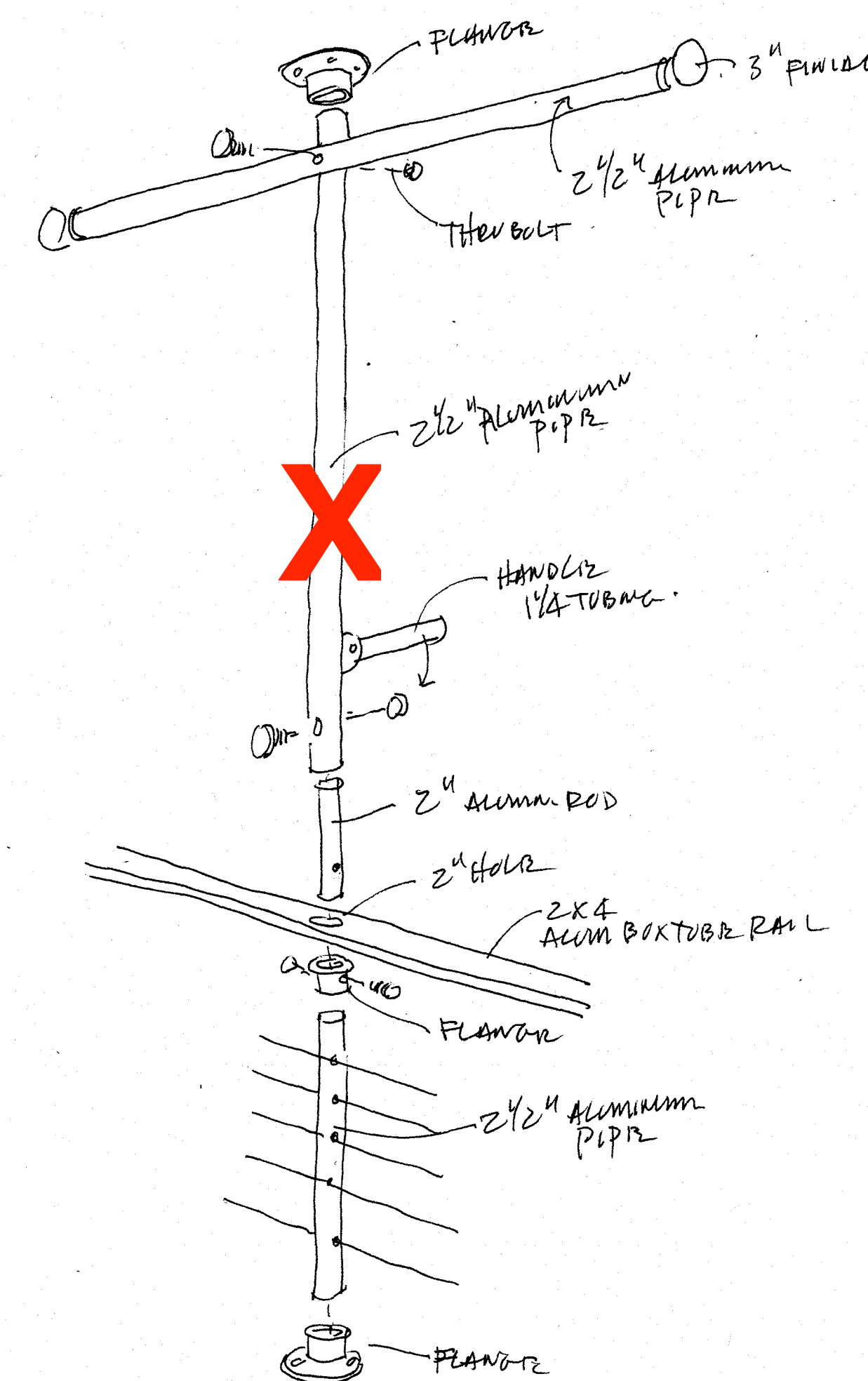
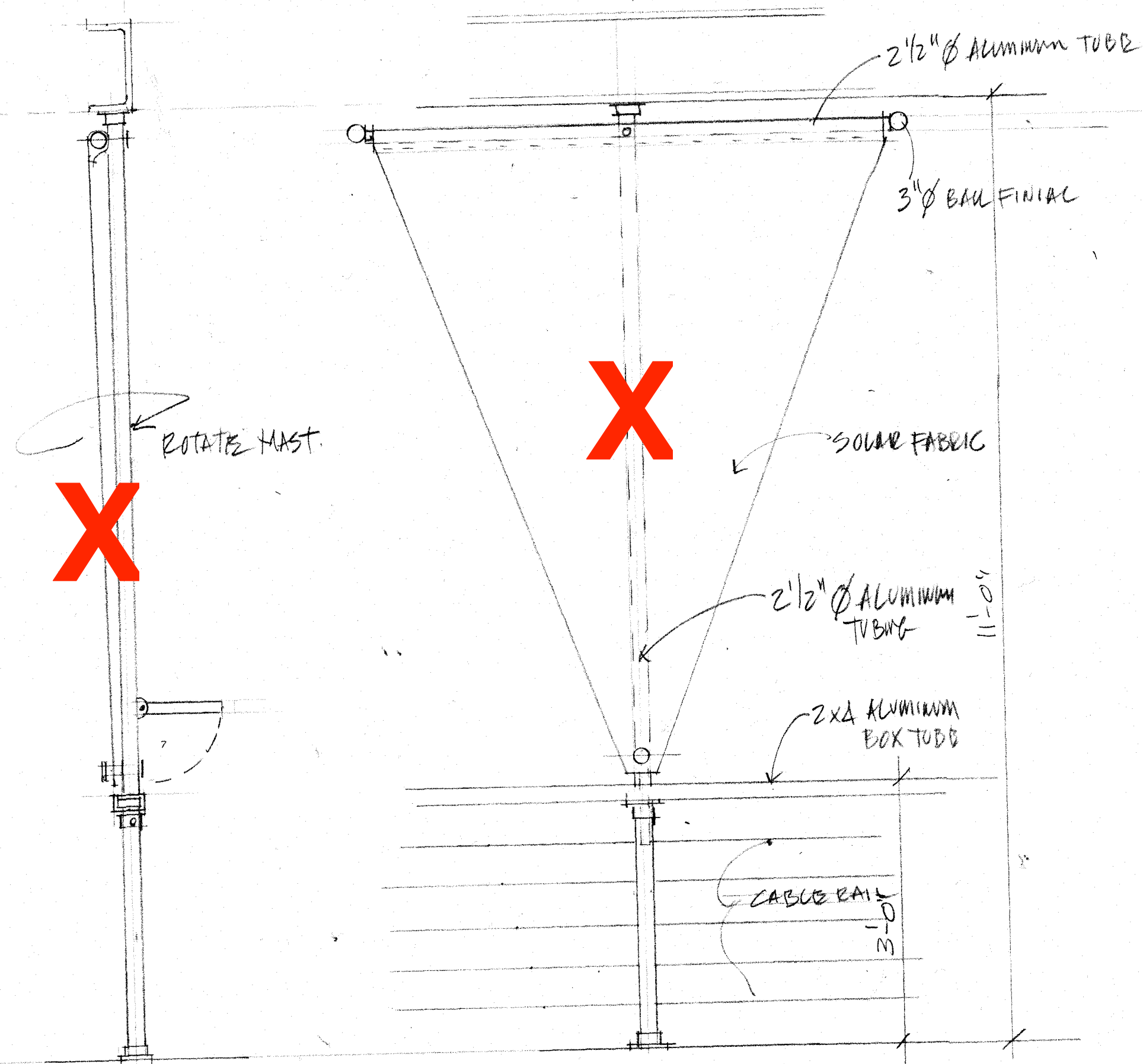
PROJECT: REVELRY TAVERN- PATIO EXPANSION & PERGOLA
DUBLIN VILLAGE CENTER DRIVE

PROJECT: REVELRY TAVERN- PATIO EXPANSION & PERGOLA
DUBLIN VILLAGE CENTER DRIVE

PHILLIPS L. OAVIS
SPACIAL PLANNING & INTERIOR DESIGN
Cell (614) 395-4205
SHEET NO. 1



Note:
1. The railing shall be fabricated of aluminum and powder coated black. The cable rail system is a vinly steel cable.



DATE:
6/30/21

REVELRY TAVERN - PATIO EXPANSION & PERGOLA
DUBLIN VILLAGE CENTER DRIVE

PROJECT:

SPACE PLANNING & INTERIOR DESIGN
PHILLIPS L. DAVIS
Cell (614) 395-4205
5925 Wilcox Place, Suite E, Dublin, Ohio 43016

SHEET NO.
3