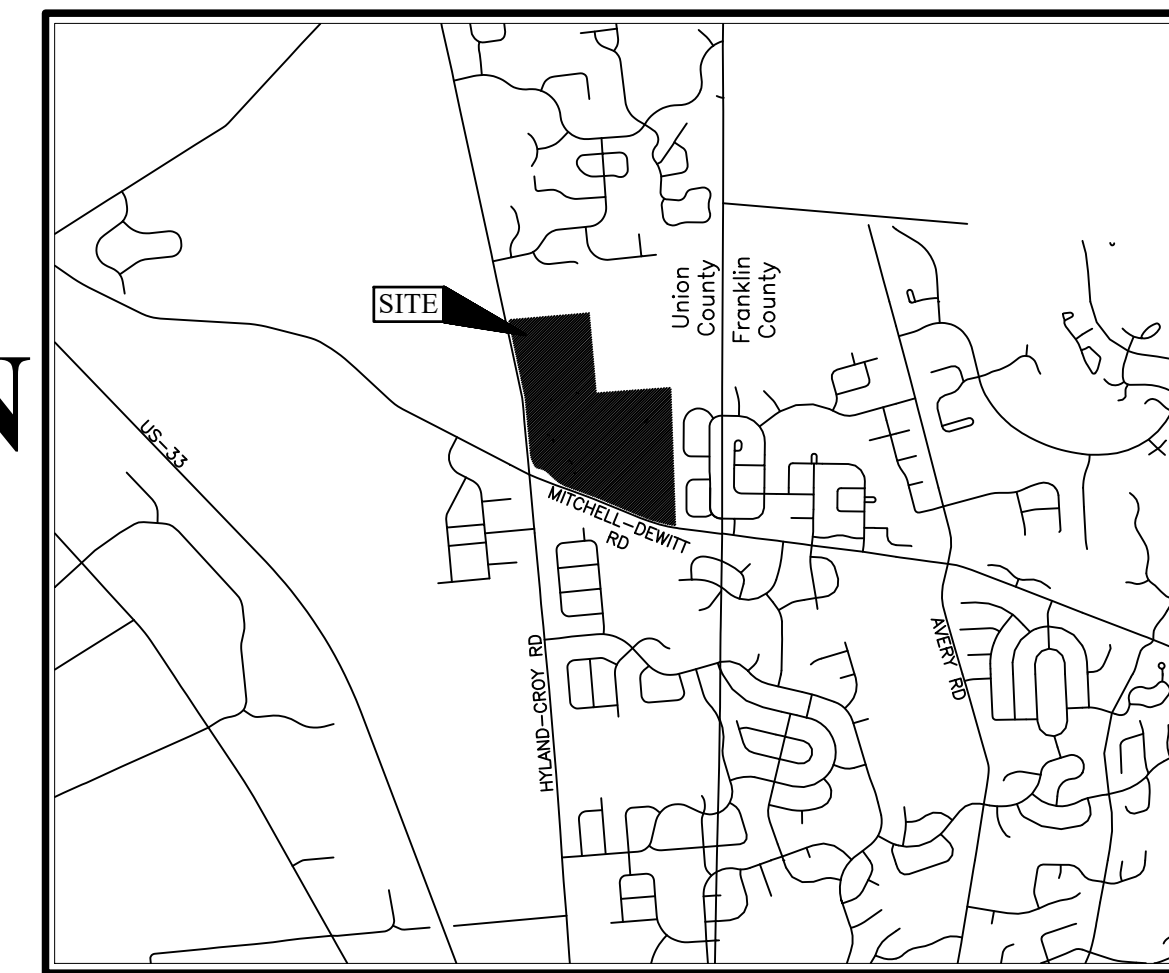


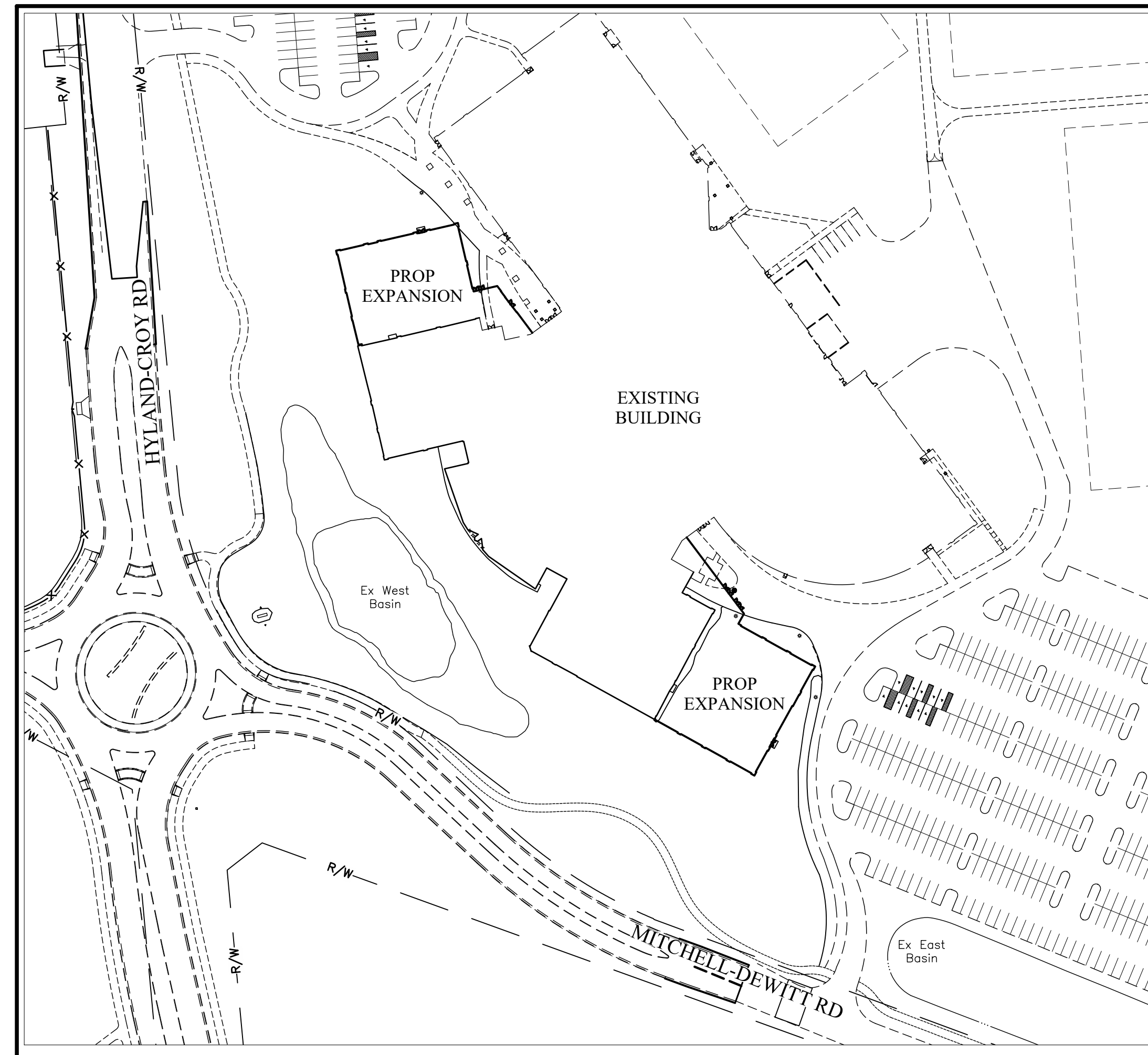
CITY OF DUBLIN, UNION COUNTY, OHIO FINAL DEVELOPMENT PLAN FOR DUBLIN JEROME HIGH SCHOOL EXPANSION 8300 HYLAND CROY RD 2022



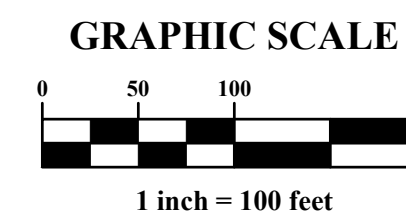
LOCATION MAP
Not to Scale

OWNER
Jeff Stark
Dublin City Schools
5175 Emerald Parkway
Dublin, OH 43017

ENGINEER
EMHT Inc.
Katie Bauman
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4340
kbauman@emht.com



INDEX MAP
Scale: 1" = 100'



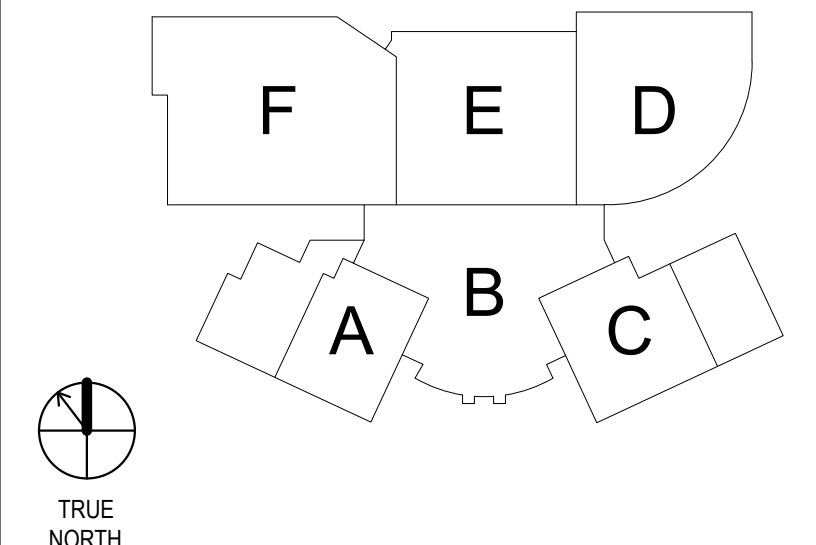
SITE DATA

Zoning: PUD
Total Site Area: ±87.606 Acres
P.I.D. : 3900290011000
Disturbed Area = 2.83 Acres

SHEET INDEX

Title Sheet	1
Existing Conditions & Demo Plan	2
Regional Site Map	3
Site Plan	4

KEY PLAN



#	DATE	CHANGE DESCRIPTION

Dublin Jerome High School Expansion

8300 Hyland-Croy Rd
for

Dublin City Schools



300 SPRUCE STEET
SUITE 300
COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
FAX: (614) 280-8881

Perkins & Will

THE WRIGLEY BUILDING
410 NORTH MICHIGAN AVE. PHONE: (312) 755-0770
SUITE 1600 FAX: (312) 755-0775
CHICAGO, IL 60611

DRAWING TITLE:

Title Sheet

PROGRESS DRAWING NOT FOR CONSTRUCTION	January 21, 2022	
	DRAWN BY: JTW	CHECKED BY: KSB
	08111	
	1/4	
		Phase Test

BENCH MARKS
(NAVD 1988)

- BM#1 Chiseled square on the east side of a concrete light pole base, located 75 feet east of the southeast corner of Dublin Jerome High School. Being on the northwest corner of the southern parking lot for the high school
Elev. = 931.92
- BM#2 Chiseled "X" on the north flange bolt of a fire hydrant located at the southeast corner of the intersection of Mitchell-Dewitt Road and Hyland-Croy Road.
Elev. = 933.22

CONTROL POINTS (OHIO SOUTH ZONE)*

POINT	DESCRIPTION	NORTHING	EASTING	ELEVATION
#200	1165 VRS#200 W/SHIN MAGS	778166.412	1779375.796	929.40
#201	1165 VRS#200 W/SHIN MAGS	777993.046	1779452.020	929.57

* Horizontal Reference Datum = NAD 83 (NSRS 2007 Adj.)
(See Index Map for reference point locations)

UTILITY NOTE

Stormwater Management will be provided by existing West Basin. Sanitary Service will be provided extending new service laterals to the existing 12" sanitary main line along Hyland-Croy Rd and Mitchell-Dewitt Dr. Water Service will be provided internal to the building with existing service lines. No new water service is proposed.

MISC NOTES

No additional outdoor storage or trash receptacles are being proposed with this building expansion. All existing outdoor storage and trash receptacles will remain as it.

TRAFFIC NOTES:

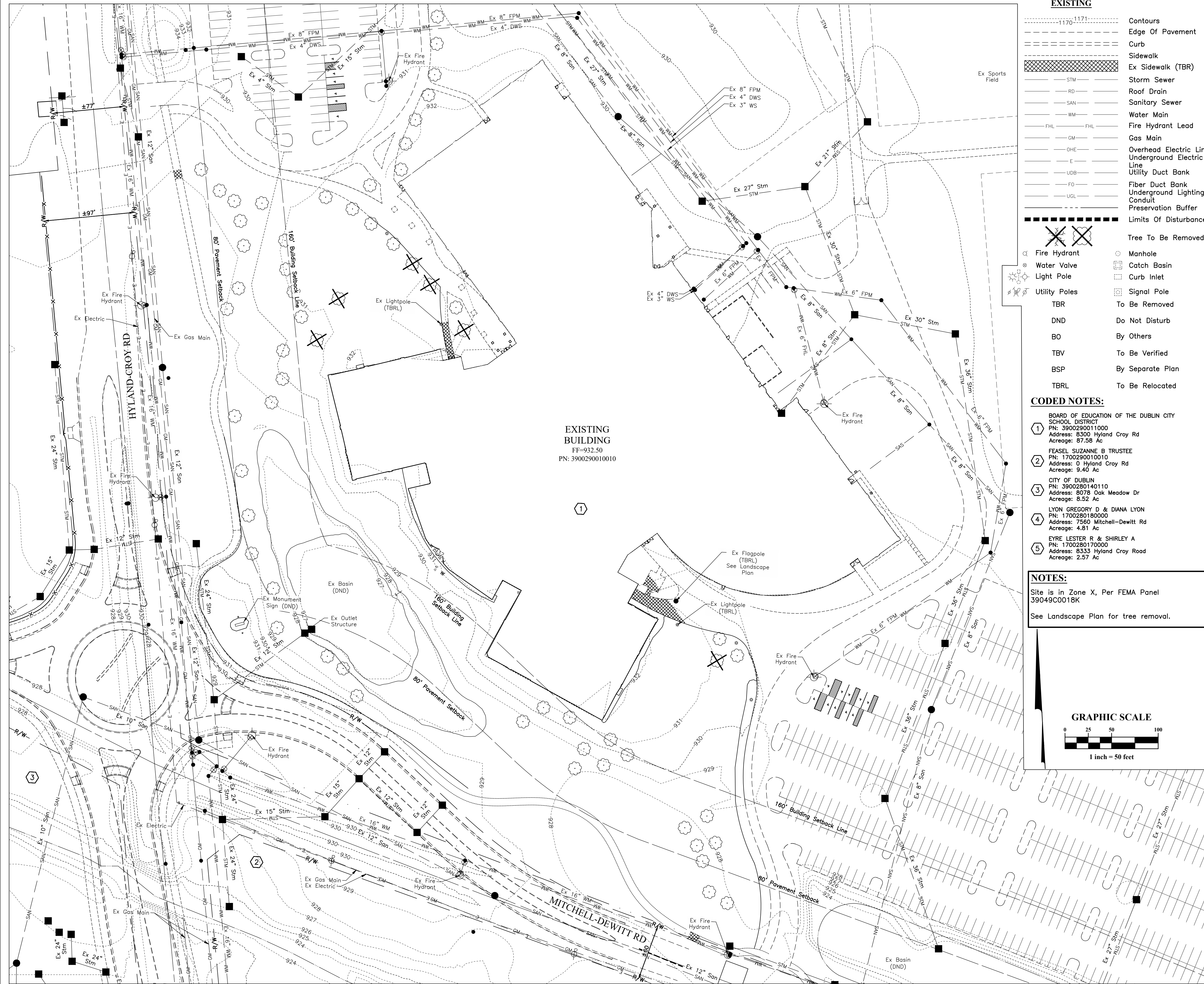
No changes are being proposed to the existing parking lot, traffic movement or the private internal roads. This includes pavement extents, signage and pavement markings. The existing site functions properly in its current configuration and will continue to function properly with the building expansion.

No additional parking is being proposed with this expansion. Parking Generation Letter included with Development Plan submittal with parking calculations.

STORMWATER NOTES

Stormwater Management will be provided by existing West Basin.

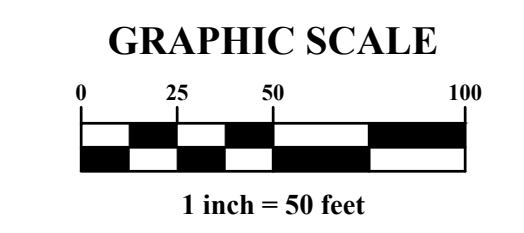
Ex West Basin was master planned to provide storm water control for the impervious area added as a part of this project, per "Stormwater Management Summary for Dublin Highschool III" Dated 02/01/02



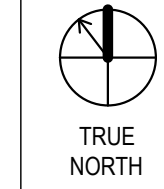
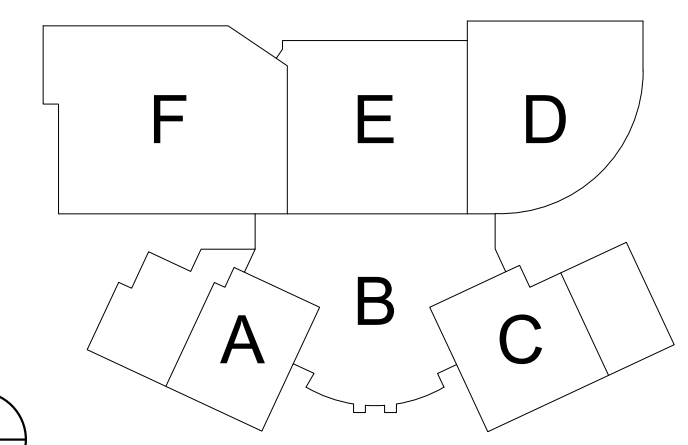
- EXISTING**
- 1170, 1171 --- Contours
 - - - - - Edge Of Pavement
 - - - - - Curb
 - - - - - Sidewalk
 - ▨ Ex Sidewalk (TBR)
 - STM --- Storm Sewer
 - RD --- Roof Drain
 - SAN --- Sanitary Sewer
 - WM --- Water Main
 - FHL --- Fire Hydrant Lead
 - GM --- Gas Main
 - OHE --- Overhead Electric Line
 - E --- Underground Electric Line
 - UDB --- Utility Duct Bank
 - FO --- Fiber Duct Bank
 - UGL --- Underground Lighting Conduit
 - Preservation Buffer
 - Limits Of Disturbance
 - ✕ Tree To Be Removed
 - Fire Hydrant
 - Water Valve
 - Light Pole
 - Utility Poles
 - TBR To Be Removed
 - DND Do Not Disturb
 - BO By Others
 - TBV To Be Verified
 - BSP By Separate Plan
 - TBRL To Be Relocated
 - Manhole
 - Catch Basin
 - Curb Inlet
 - Signal Pole

- CODED NOTES:**
- 1 BOARD OF EDUCATION OF THE DUBLIN CITY SCHOOL DISTRICT
PN: 3900290011000
Address: 8300 Hyland-Croy Rd
Acreage: 87.58 Ac
 - 2 FEASEL SUZANNE B TRUSTEE
PN: 1700290010010
Address: 0 Hyland-Croy Rd
Acreage: 9.40 Ac
 - 3 CITY OF DUBLIN
PN: 3900280140110
Address: 8078 Oak Meadow Dr
Acreage: 8.52 Ac
 - 4 LYON GREGORY D & DIANA LYON
PN: 1700280180000
Address: 7560 Mitchell-Dewitt Rd
Acreage: 4.81 Ac
 - 5 EYRE LESTER R & SHIRLEY A
PN: 1700280170000
Address: 8333 Hyland-Croy Road
Acreage: 2.57 Ac

NOTES:
Site is in Zone X, Per FEMA Panel 39049C0018K
See Landscape Plan for tree removal.



KEY PLAN



#	DATE	CHANGE DESCRIPTION

Dublin Jerome High School Expansion

8300 Hyland-Croy Rd
for
Dublin City Schools



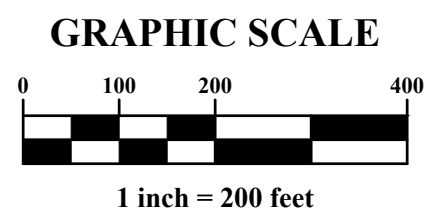
300 SPRUCE STEET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

Perkins&Will

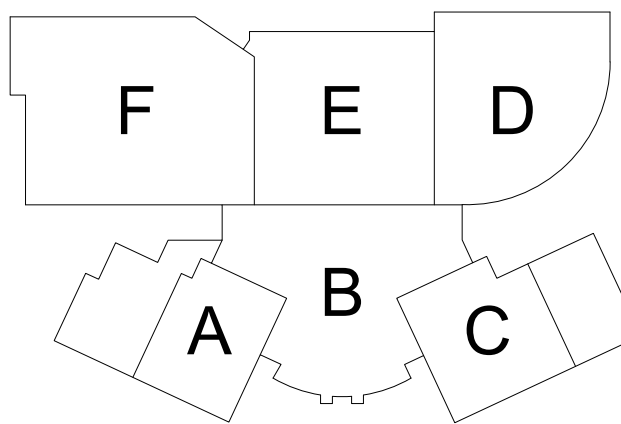
THE WRIGLEY BUILDING
410 NORTH MICHIGAN AVE. PHONE: (312) 755-0770
SUITE 1600 FAX: (312) 755-0775
CHICAGO, IL 60611

DRAWING TITLE:
Existing Conditions & Demo Plan

PROGRESS DRAWING NOT FOR CONSTRUCTION	January 21, 2022
	DRAWN BY: JTW CHECKED BY: KSB
	08111
	2/4
	Phase Test



KEY PLAN



#	DATE	CHANGE DESCRIPTION

Dublin Jerome High School Expansion

8300 Hyland-Croy Rd
for

Dublin City Schools



300 SPRUCE STEET
SUITE 300
COLUMBUS, OHIO 43215

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Perkins&Will

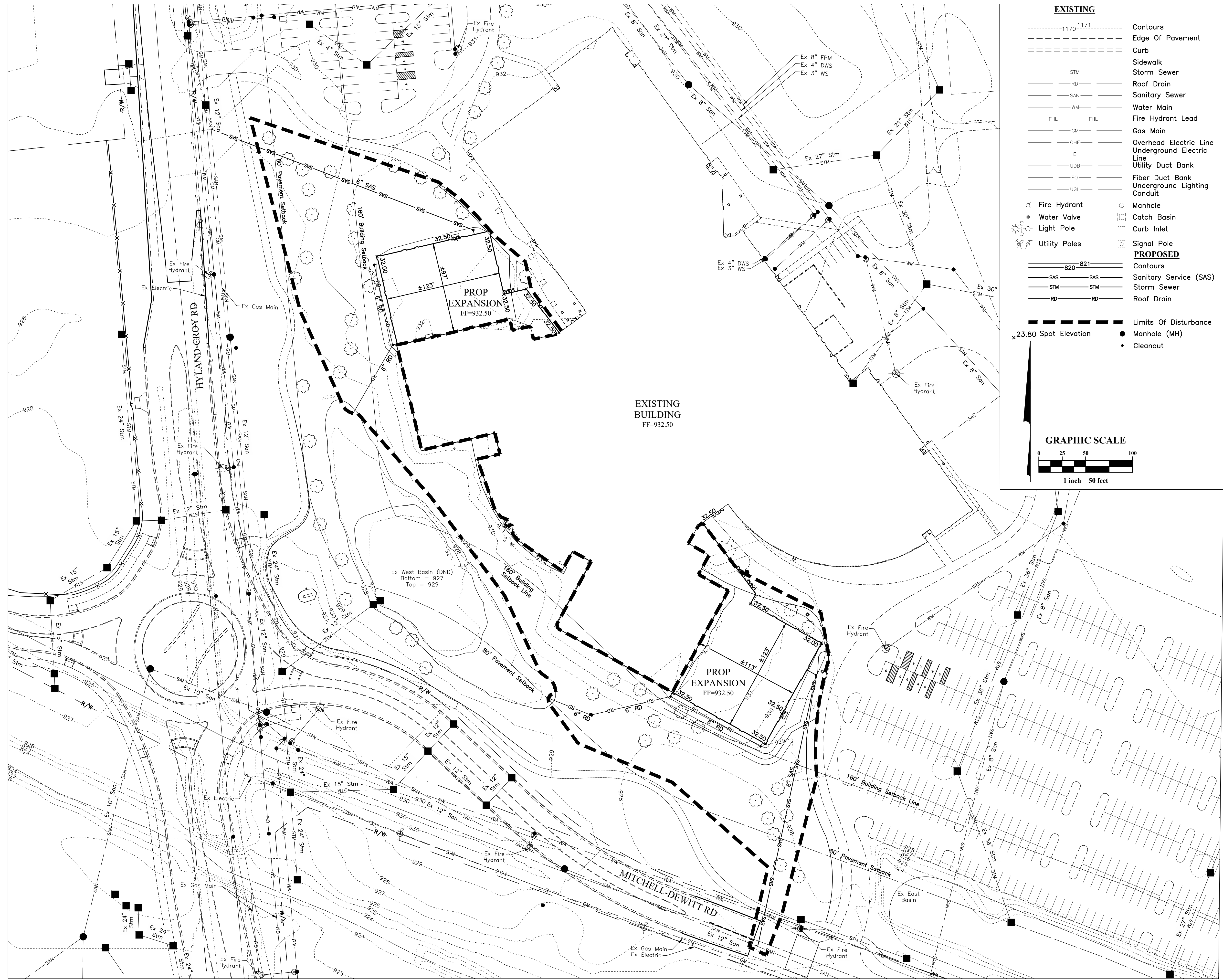
THE WRIGLEY BUILDING
410 NORTH MICHIGAN AVE.
SUITE 1600
CHICAGO, IL 60611

PHONE: (312) 755-0770
FAX: (312) 755-0775

DRAWING TITLE:

Regional Site Map

PROGRESS DRAWING NOT FOR CONSTRUCTION	January 21, 2022	
	DRAWN BY: JTW	CHECKED BY: KSB
	08111	
	3/4	
Phase Test		



EXISTING

- Contours
- - - Edge Of Pavement
- Curb
- Sidewalk
- STM Storm Sewer
- RD Roof Drain
- SAN Sanitary Sewer
- WM Water Main
- FHL Fire Hydrant Lead
- GM Gas Main
- OHE Overhead Electric Line
- E Undergroud Electric Line
- UDB Utility Duct Bank
- FO Fiber Duct Bank
- UGL Undergroud Lighting Conduit

PROPOSED

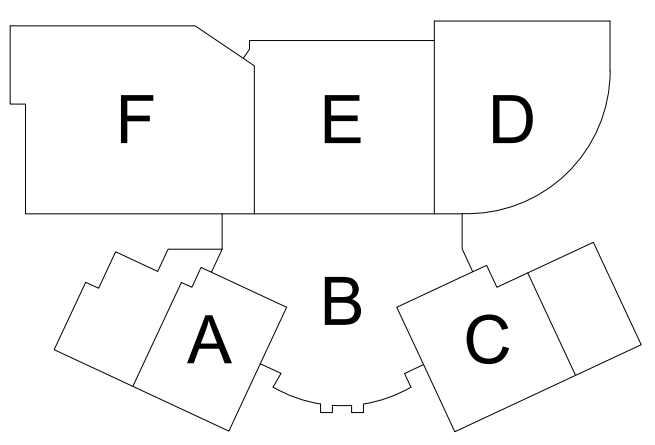
- Contours
- SAS Sanitary Service (SAS)
- STM Storm Sewer
- RD Roof Drain

◻ Fire Hydrant
 ◻ Water Valve
 ◻ Light Pole
 ◻ Utility Poles
 ◻ Manhole
 ◻ Catch Basin
 ◻ Curb Inlet
 ◻ Signal Pole

- - - Limits Of Disturbance
 ● Manhole (MH)
 • Cleanout

x23.80 Spot Elevation
 820 821
 SAS SAS
 STM STM
 RD RD

KEY PLAN



#	DATE	CHANGE DESCRIPTION

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 8300 Hyland-Croy Rd
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Dublin City Schools



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 CHICAGO, IL 60611

DRAWING TITLE:

Site Plan

PROGRESS DRAWING NOT FOR CONSTRUCTION	January 21, 2022
	DRAWN BY: JTW CHECKED BY: KSB
	08111
	4/4

Phase Test



PLANTING LEGEND

KEY	COMMON NAME	SPECIES NAME	SIZE	SPACING
TREES				
AC RU	Red Sunset Red Maple	<i>Acer rubrum 'Red Sunset'</i>	2.5" CAL. / B&B	PER PLAN
AM AR	Serviceberry	<i>Amelanchier arborea</i>	10' HT / B&B	PER PLAN
QU BI	Swamp White Oak	<i>Quercus bicolor</i>	2.5" CAL. / B&B	PER PLAN
SHRUBS				
HY QU	Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>	#2 CONT.	36" O.C.
TA DE	Dense Yew	<i>Taxus x media 'Densiflora'</i>	24" B&B	36" O.C.
HY PA	Little Lime Hydrangea	<i>Hydrangea paniculata 'Jane'</i>	#3 CONT.	36" O.C.
IL CR	Green Lustre Japanese Holly	<i>Ilex crenata 'Green Lustre'</i>	#2 CONT.	36" O.C.
GROUND COVER				
LI SP	Silver Dragon Lilyturf	<i>Liriope spicata</i>	#1 CONT.	15" O.C.
PATTERN KEY				
(T)	Seeded Turf Mix	See Specification	SEED MIX	PER PLAN

LEGEND

- BUILDING GROUND COVERAGE (SF) TREE REQUIREMENT**
- NEW DEVELOPMENT (ASSUMED USE: OFFICE-INSTITUTIONAL BUILDING)
 - 56,315 SF Building / 1,500 = 37.5 Caliper Inches Required
 - 37.5" / 2.5" Caliper Tree (Per Code Requirement 153.133) = 15 Trees Required
- EXISTING TREE**

NOTES

- ALL EXISTING TREES TO BE REMOVED ON SITE ARE <6" DBH AND THEREFORE, ARE NOT REQUIRED TO BE PRESERVED AS PART OF THE TREE PRESERVATION CODE REQUIREMENT (153.140).

KEY PLAN

#	DATE	CHANGE DESCRIPTION

Dublin Jerome High School Addition
 8300 Hyland-Croy Road, Dublin, OH 43016
 for
Dublin City Schools

300 SPRUCE STEET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

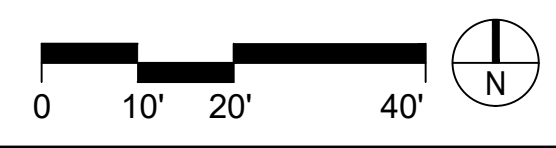
Perkins & Will
 THE WRIGLEY BUILDING
 410 NORTH MICHIGAN AVE. PHONE: (312) 755-0770
 SUITE 1600 FAX: (312) 755-0775
 CHICAGO, IL 60611

DRAWING TITLE:
PLANTING PLAN (EAST)

PROGRESS DRAWING NOT FOR CONSTRUCTION

01/19/2022
 DRAWN BY: JB CHECKED BY: RS

L001





PLANTING LEGEND

KEY	COMMON NAME	SPECIES NAME	SIZE	SPACING
TREES				
AC RU	Red Sunset Red Maple	<i>Acer rubrum 'Red Sunset'</i>	2.5" CAL. / B&B	PER PLAN
AM AR	Serviceberry	<i>Amelanchier arborea</i>	10' HT / B&B	PER PLAN
QU BI	Swamp White Oak	<i>Quercus bicolor</i>	2.5" CAL. / B&B	PER PLAN
SHRUBS				
HY QU	Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>	#2 CONT.	36" O.C.
TA DE	Dense Yew	<i>Taxus x media 'Densiflora'</i>	24" B&B	36" O.C.
HY PA	Little Lime Hydrangea	<i>Hydrangea paniculata 'Jane'</i>	#3 CONT.	36" O.C.
IL CR	Green Lustre Japanese Holly	<i>Ilex crenata 'Green Lustre'</i>	#2 CONT.	36" O.C.
GROUND COVER				
LI SP	Silver Dragon Lilyturf	<i>Liriope spicata</i>	#1 CONT.	15" O.C.
PATTERN KEY				
T	Seeded Turf Mix	See Specification	SEED MIX	PER PLAN

LEGEND

BUILDING GROUND COVERAGE (SF) TREE REQUIREMENT
 - NEW DEVELOPMENT
 (ASSUMED USE: OFFICE-INSTITUTIONAL BUILDING)
 - 56,315 SF Building / 1,500 = 37.5 Caliper Inches Required
 - 37.5" / 2.5" Caliper Tree (Per Code Requirement 153.133) = 15 Trees Required

EXISTING TREE

NOTES

- ALL EXISTING TREES TO BE REMOVED ON SITE ARE <6" DBH AND THEREFORE, ARE NOT REQUIRED TO BE PRESERVED AS PART OF THE TREE PRESERVATION CODE REQUIREMENT (153.140).

KEY PLAN

#	DATE	CHANGE DESCRIPTION

Dublin Jerome High School Addition
 8300 Hyland-Croy Road, Dublin, OH 43016
 for
Dublin City Schools

300 SPRUCE STEET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
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 CHICAGO, IL 60611

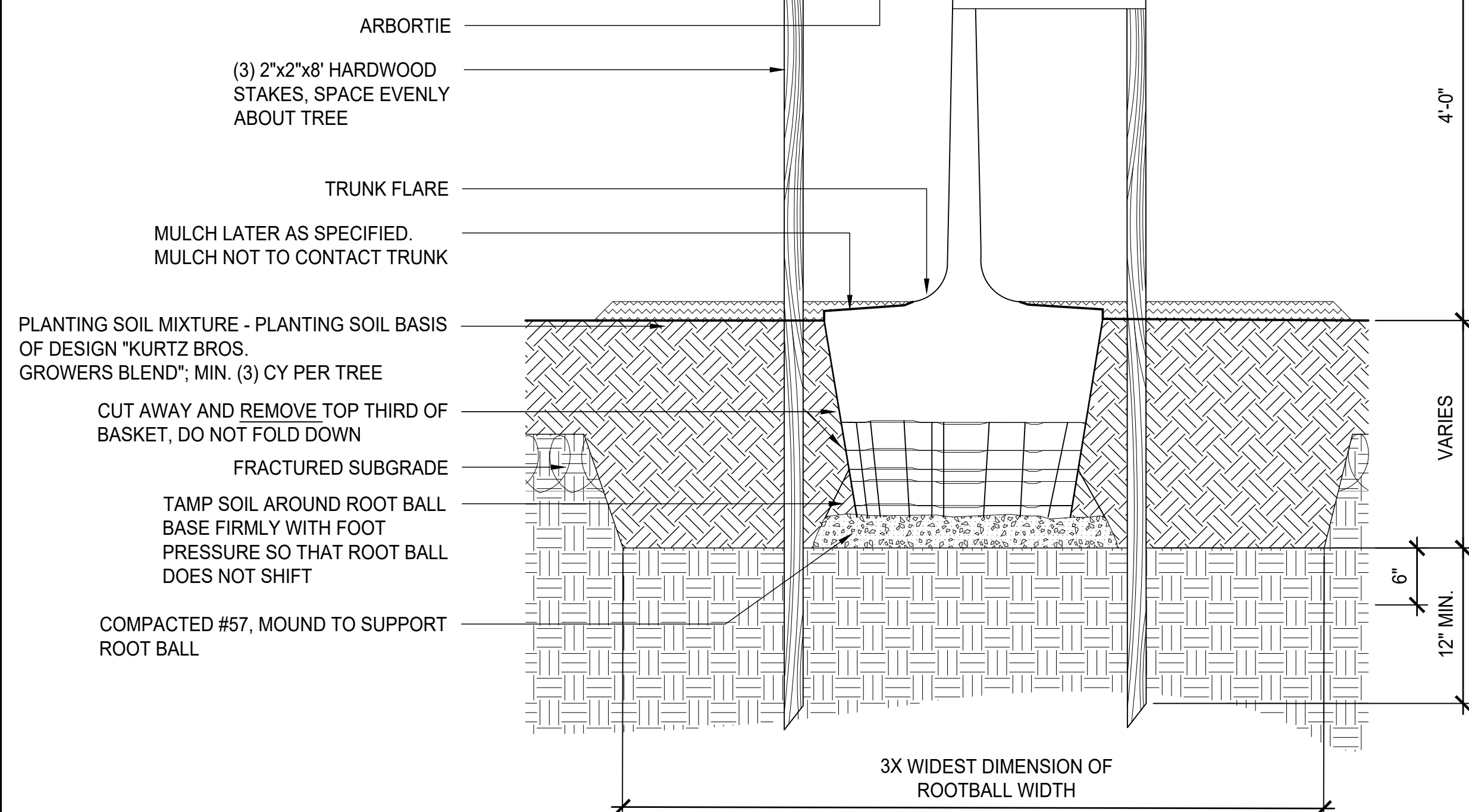
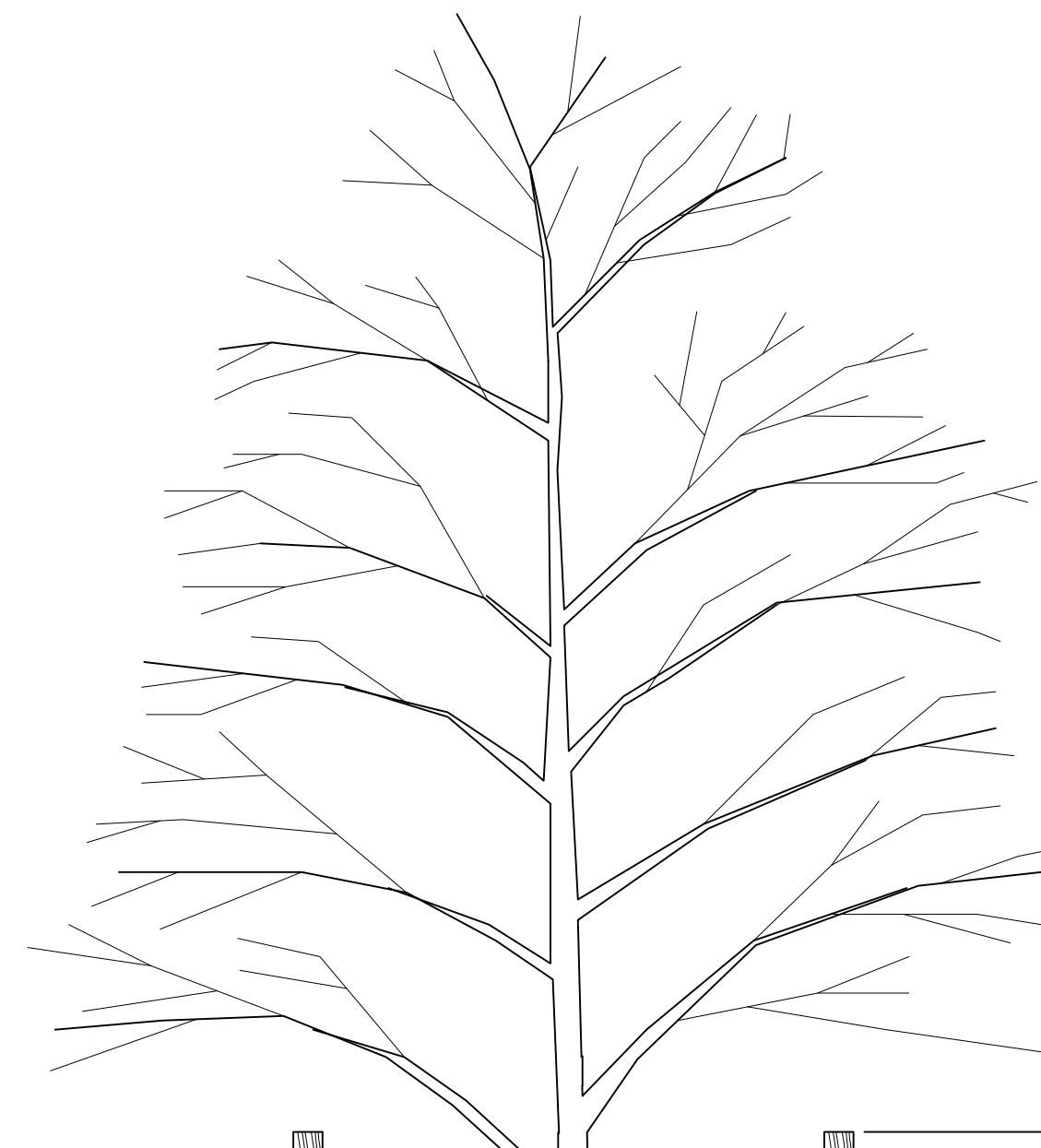
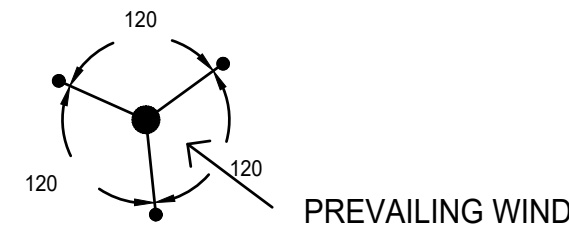
DRAWING TITLE:

PLANTING PLAN (WEST)

PROGRESS DRAWING NOT FOR CONSTRUCTION	01/19/2022	
	DRAWN BY: JB	CHECKED BY: RS
	L002	



STAKING PLAN



NOTES:

1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
2. FINAL TREE STAKING PLACEMENT TO BE APPROVED BY OWNER.
3. PLANTING PIT TO BE EXCAVATED THREE TIMES (3x) THE WIDTH OF THE ROOT BALL AND BACKFILLED WITH PLANTING SOIL MIXTURE.
4. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
5. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET AND REMOVE THE TOP THIRD OF BASKET.
6. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
7. SET TREE PLUMB IN PLANTING PIT.
8. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL. TRUNK FLARE SHALL BE NO MORE THAN 1'-2" ABOVE GRADE.
9. SYNTHETIC BURLAP IS NOT ACCEPTABLE, TREES HAVING SYNTHETIC BURLAP WILL BE REJECTED.
10. DO NOT DRIVE STAKES INTO TREE ROOT BALL.
11. BEFORE PLANTING, VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL ACCORDING TO ANSI Z60.1. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE THE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS.

A TREE PLANTING AND STAKING (FOR TREES 2-1/2" CAL & LARGER)

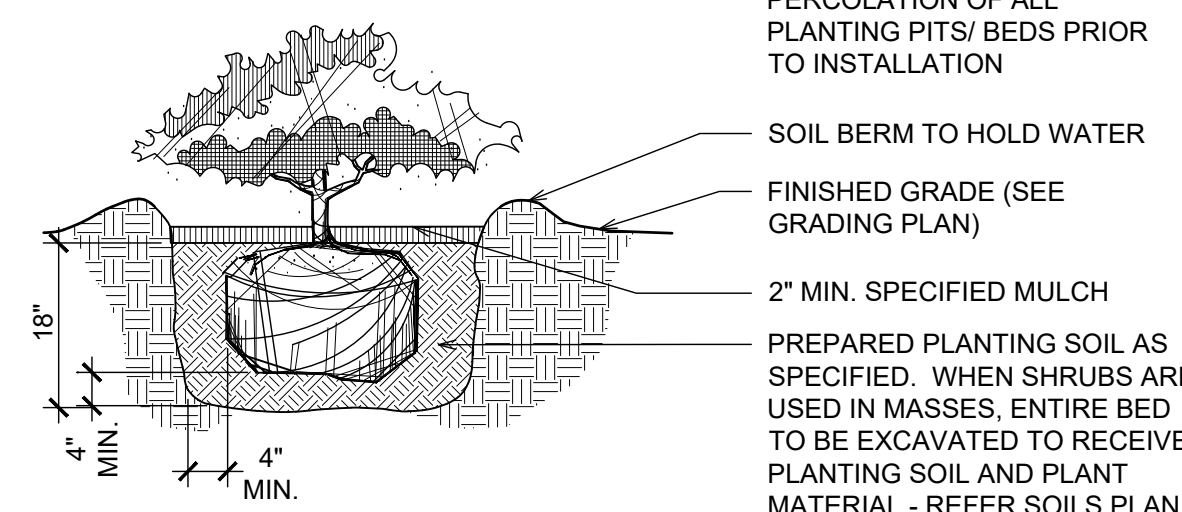
10' 16" 1' 12'

TYPICAL SECTION

NOTE:

1. SEE SECTION 01 56 39 - TEMPORARY TREE AND PLANT PROTECTION FOR FENCING AND PRUNING REQUIREMENTS.
2. LIMB AND PRUNING OF TREES SHALL BE PERMITTED ONLY AT THE DIRECTION OF THE APPROVED AND CERTIFIED ARBORIST.
3. NO EQUIPMENT SHALL BE PERMITTED INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
4. FENCE TO REMAIN IN PLACE THROUGH ENTIRETY OF CONSTRUCTION.

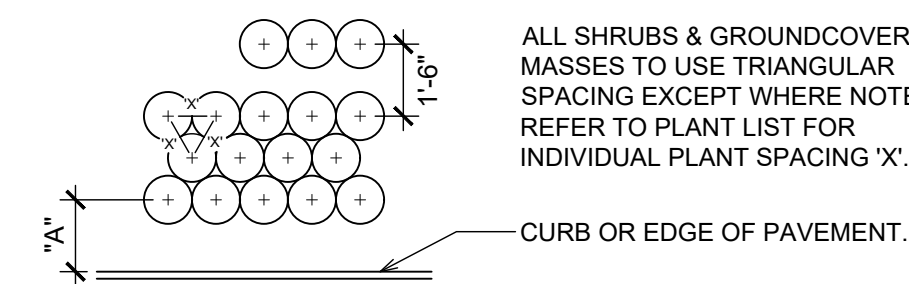
NOTE: CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/ BEDS PRIOR TO INSTALLATION



B SHRUB PLANTING

10' 11' 12' 14' TYPICAL SECTION

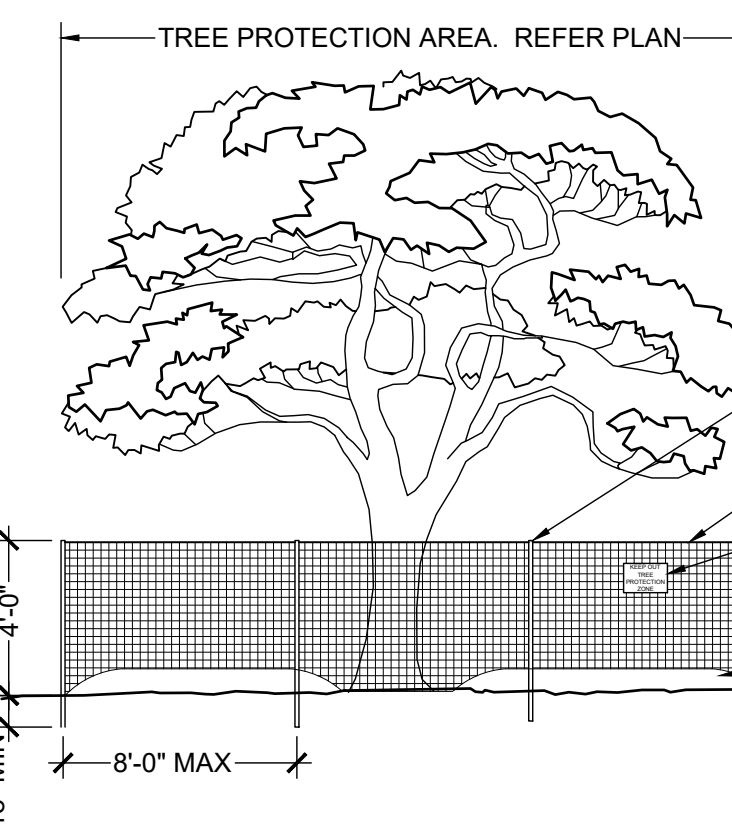
NOTES: PROVIDE MIN. 18" SPACING BETWEEN DIFFERENT PLANT TYPES.



A = 30" SETBACK FOR SHRUBS
18" SETBACK FOR PERENNIALS
12" SETBACK FOR GROUND COVER

C PLANT SPACING

10' 12' 14' 18' TYPICAL SECTION



D TREE PROTECTION ZONE

SCALE: N.T.S. PL-001

KEY PLAN

#	DATE	CHANGE DESCRIPTION

Dublin Jerome High School Addition

8300 Hyland-Croy Road, Dublin, OH 43016

for

Dublin City Schools



MOODY-NOLAN

300 SPRUCE STEET
SUITE 300
COLUMBUS, OHIO 43215

PHONE: (614) 461-4664
FAX: (614) 280-8881

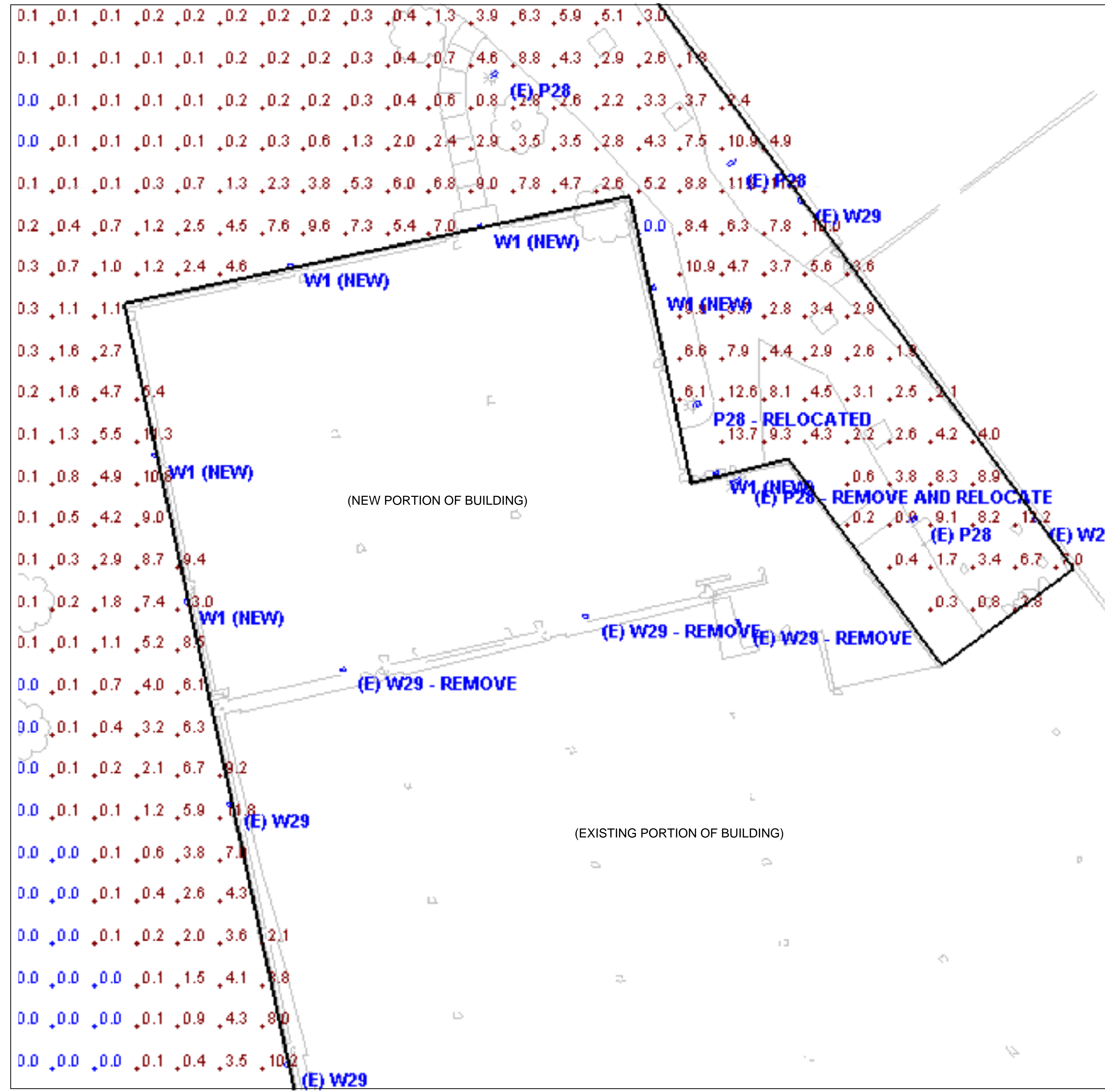
Perkins & Will

THE WRIGLEY BUILDING
410 NORTH MICHIGAN AVE. PHONE: (312) 755-0770
SUITE 1600 FAX: (312) 755-0775
CHICAGO, IL 60611

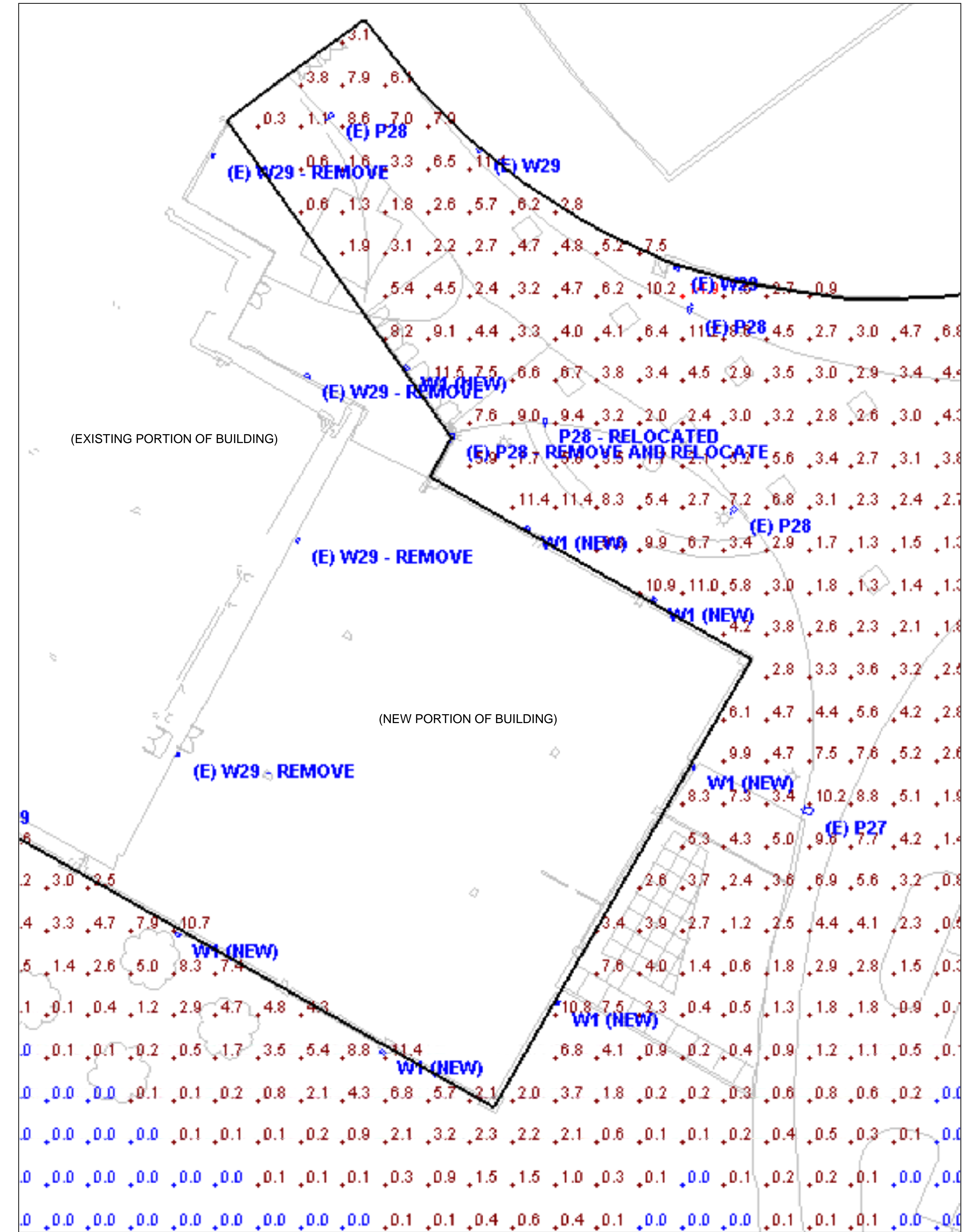
DRAWING TITLE:

PLANTING DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION	01/19/2022
	DRAWN BY: JB CHECKED BY: RS
L101	

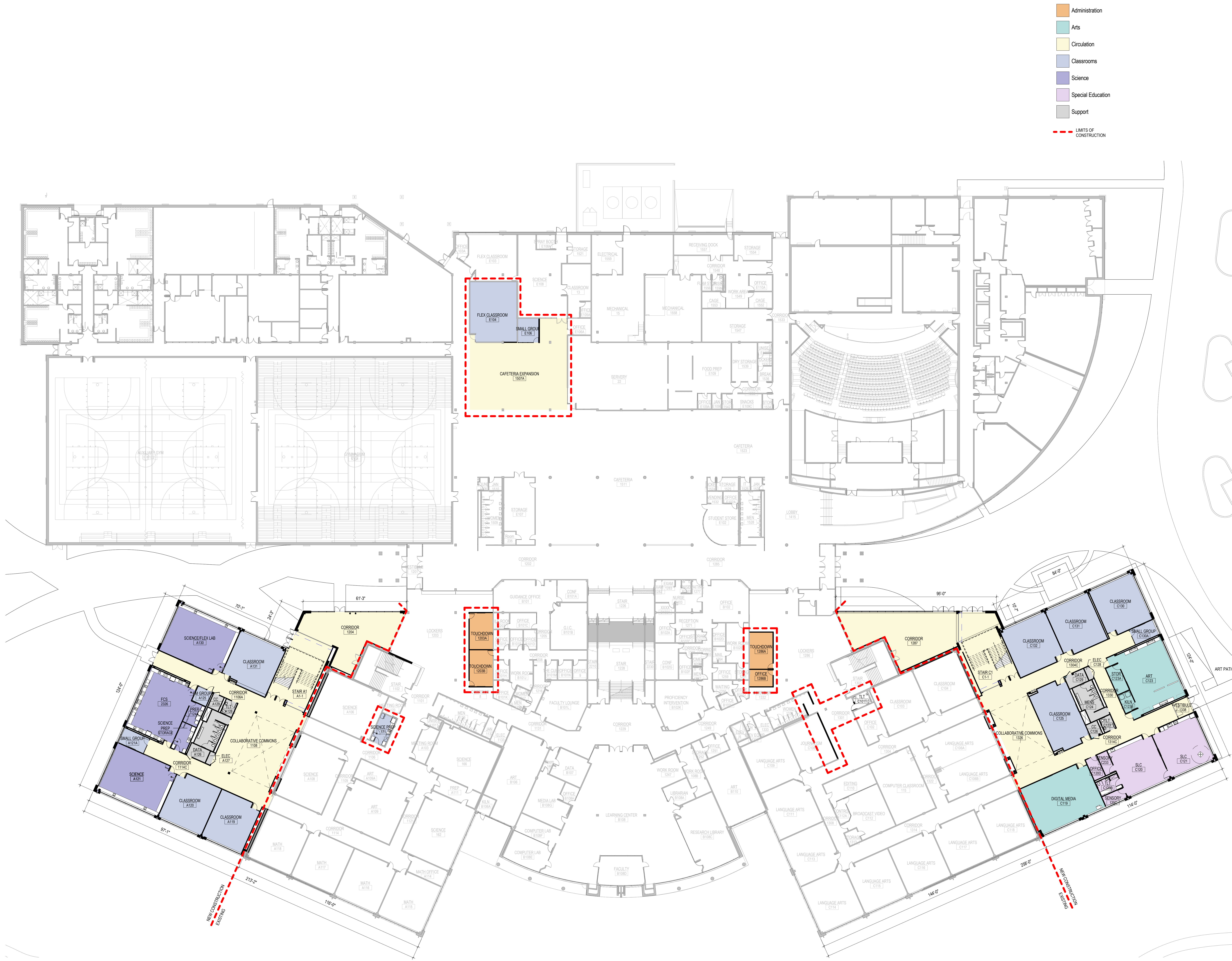


NORTH (Building A Area)



SOUTH (Building C Area)

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	(E) P27	3	SIGNIFY GARDCO	GL18-2-180LA-6490-NW	Gullwing Area Large LED GL18	1	21130	0.9	180
	(E) P28	8		GL13-2-105LA-6453-NW	GULLWING LED GL13	1	7898	0.9	55.8862
	(E) P28 - REMOVE AND RELOCATE	2		GL13-2-105LA-6453-NW	GULLWING LED GL13	1	7898	0	55.8862
	P28 - RELOCATED	2		GL13-2-105LA-6453-NW	GULLWING LED GL13	1	7898	0.9	55.8862
	(E) W29	17	SIGNIFY GARDCO	GL13-2-105LA-6453-NW	GULLWING LED GL13	1	9868	0.9	101.3
	(E) W29 - REMOVE	7	SIGNIFY GARDCO	GL13-2-105LA-6453-NW	GULLWING LED GL13	1	9868	0	101.3
	W1 (NEW)	13	SIGNIFY GARDCO	GL13-2-105LA-6453-NW	GULLWING LED GL13	1	9868	0.9	101.3



Legend

- Administration
- Arts
- Circulation
- Classrooms
- Science
- Special Education
- Support
- LIMITS OF CONSTRUCTION

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
 - SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
 - SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
 - SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **XXXX**.
 - MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/W.F. (UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- ① TBD
- ② TBD
- ③ TBD
- ④ TBD
- ⑤ TBD

RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT

KEY PLAN

DCS Jerome HS
 Enter address here for Owner

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

Perkins&Will
 THE WRIGLEY BUILDING
 410 NORTH MICHIGAN AVE.
 SUITE 1600
 CHICAGO, IL 60611
 PHONE: (312) 755-0770
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LEVEL 01 - FLOOR PLAN - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	Issue Date	
	DRAWN BY: xxx	CHECKED BY: xxx
	21645	
A101		Project Status

1 OVERALL FIRST FLOOR PLAN
 1" = 20'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **XXXX**.
5. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F. (UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- ① TBD
- ② TBD
- ③ TBD
- ④ TBD
- ⑤ TBD

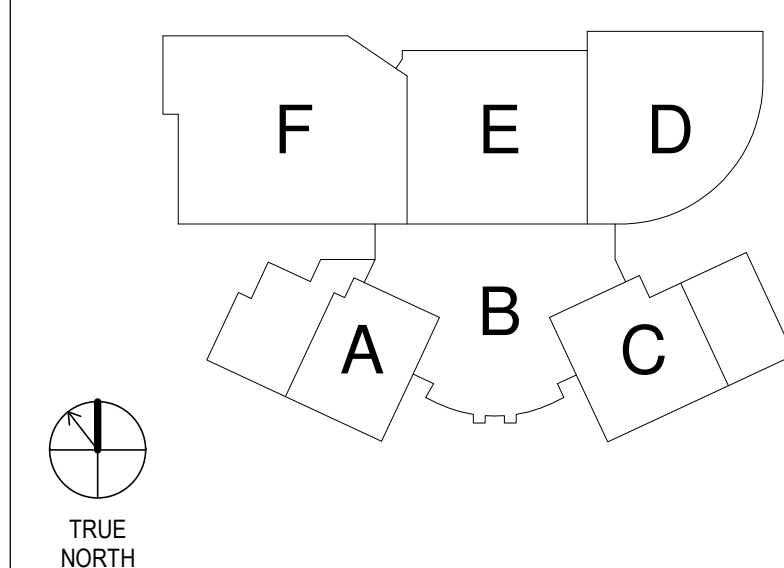
RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 4 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
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KEY PLAN



#	DATE	CHANGE DESCRIPTION
---	------	--------------------

DCS Jerome HS

Enter address here for Owner



300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

Perkins&Will

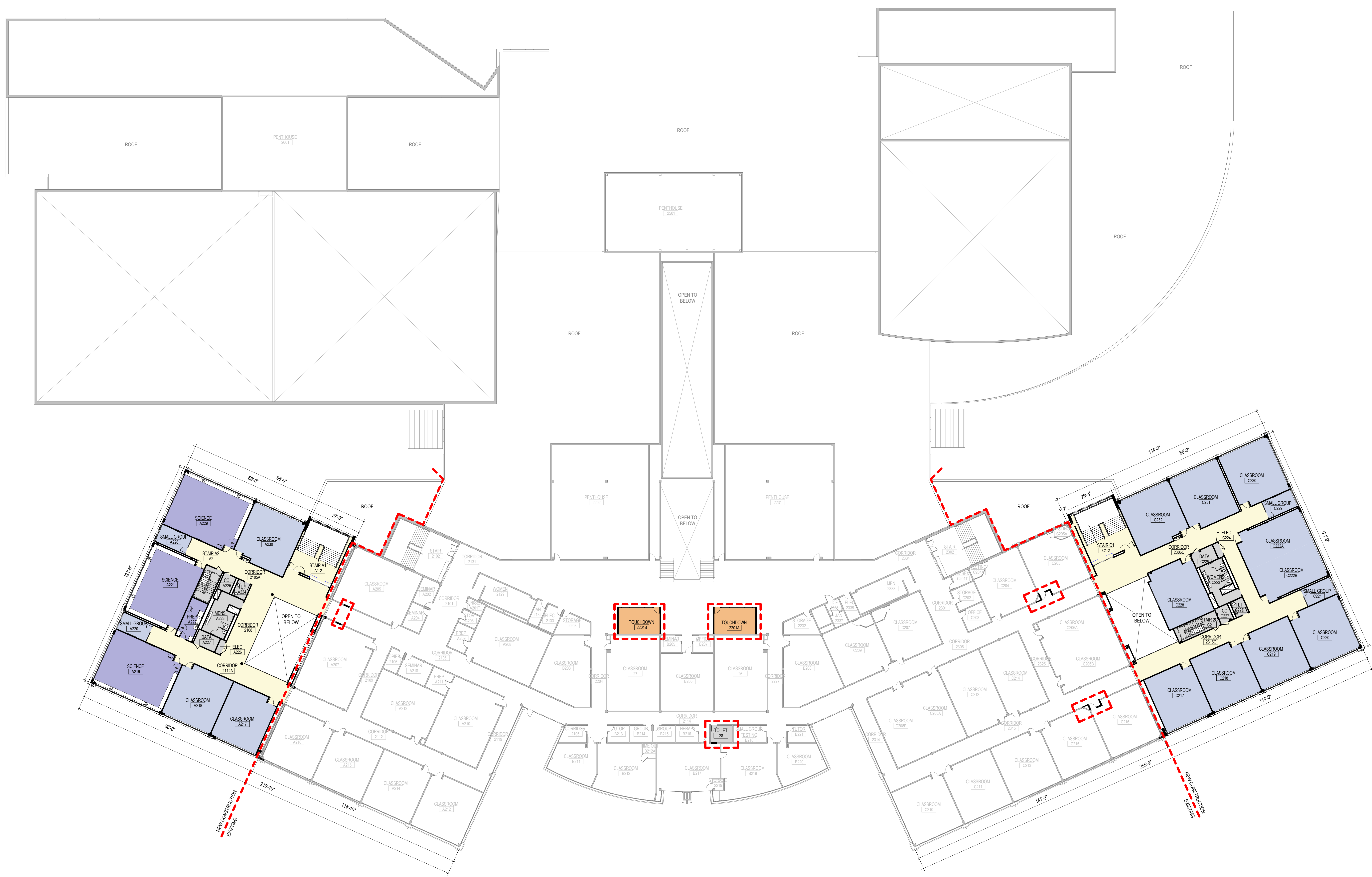
THE WRIGLEY BUILDING
 410 NORTH MICHIGAN AVE. PHONE: (312) 755-0770
 SUITE 1600 FAX: (312) 755-0775
 CHICAGO, IL 60611

DRAWING TITLE:

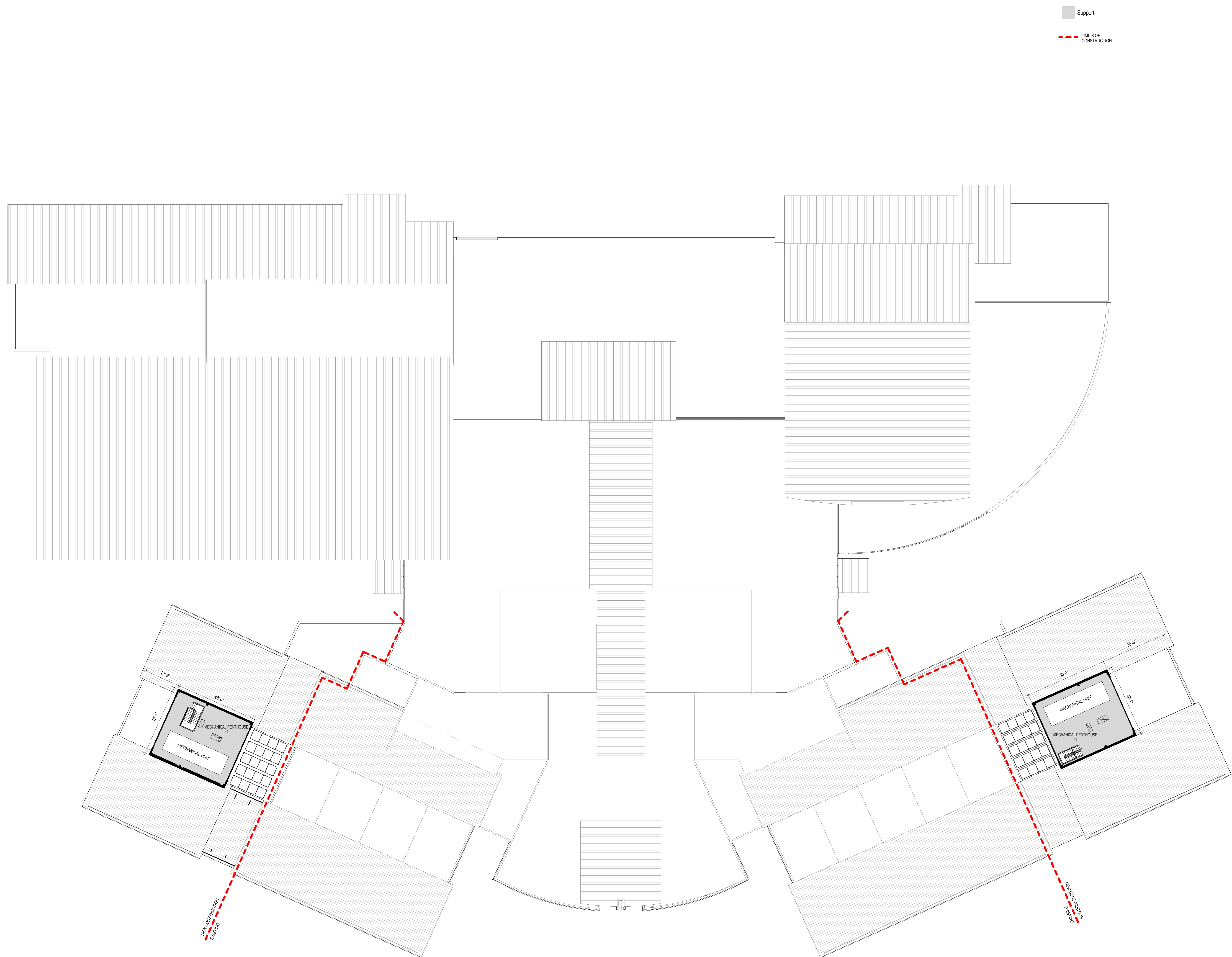
LEVEL 02 - FLOOR PLAN - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	Issue Date
	DRAWN BY: xxx CHECKED BY: xxx
	21645
	A102
	Project Status

- Administration
- Circulation
- Classrooms
- Science
- Support
- LIMITS OF CONSTRUCTION



1 OVERALL SECOND FLOOR PLAN
 1" = 20'-0"



FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
2. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
3. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
4. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON 600X.
5. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F. (UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- ① TBD
- ② TBD
- ③ TBD
- ④ TBD
- ⑤ TBD

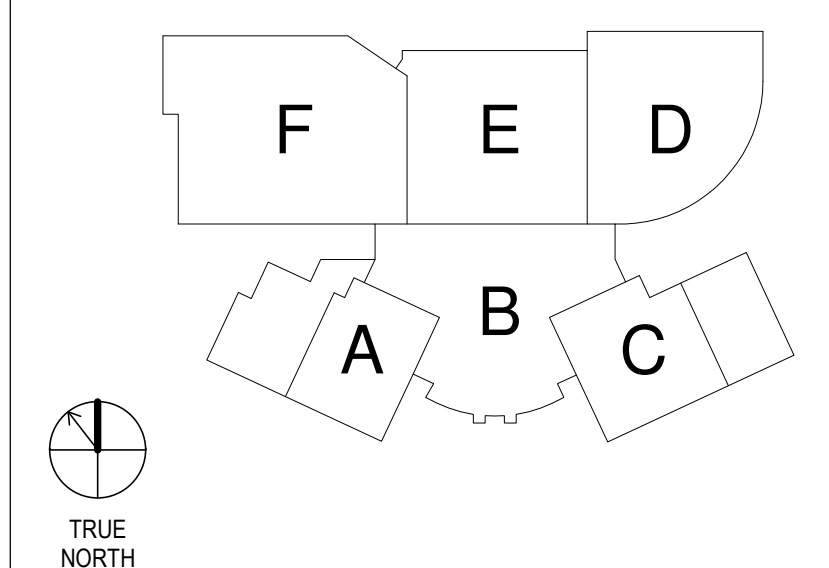
RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 2 HOUR SMOKE RESISTIVE PARTITION TO DECK
- 3 HOUR SMOKE RESISTIVE PARTITION TO DECK
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- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
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KEY PLAN



#	DATE	CHANGE DESCRIPTION

DCS Jerome HS

Enter address here for
Owner

300 SPRUCE STEET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

Perkins&Will

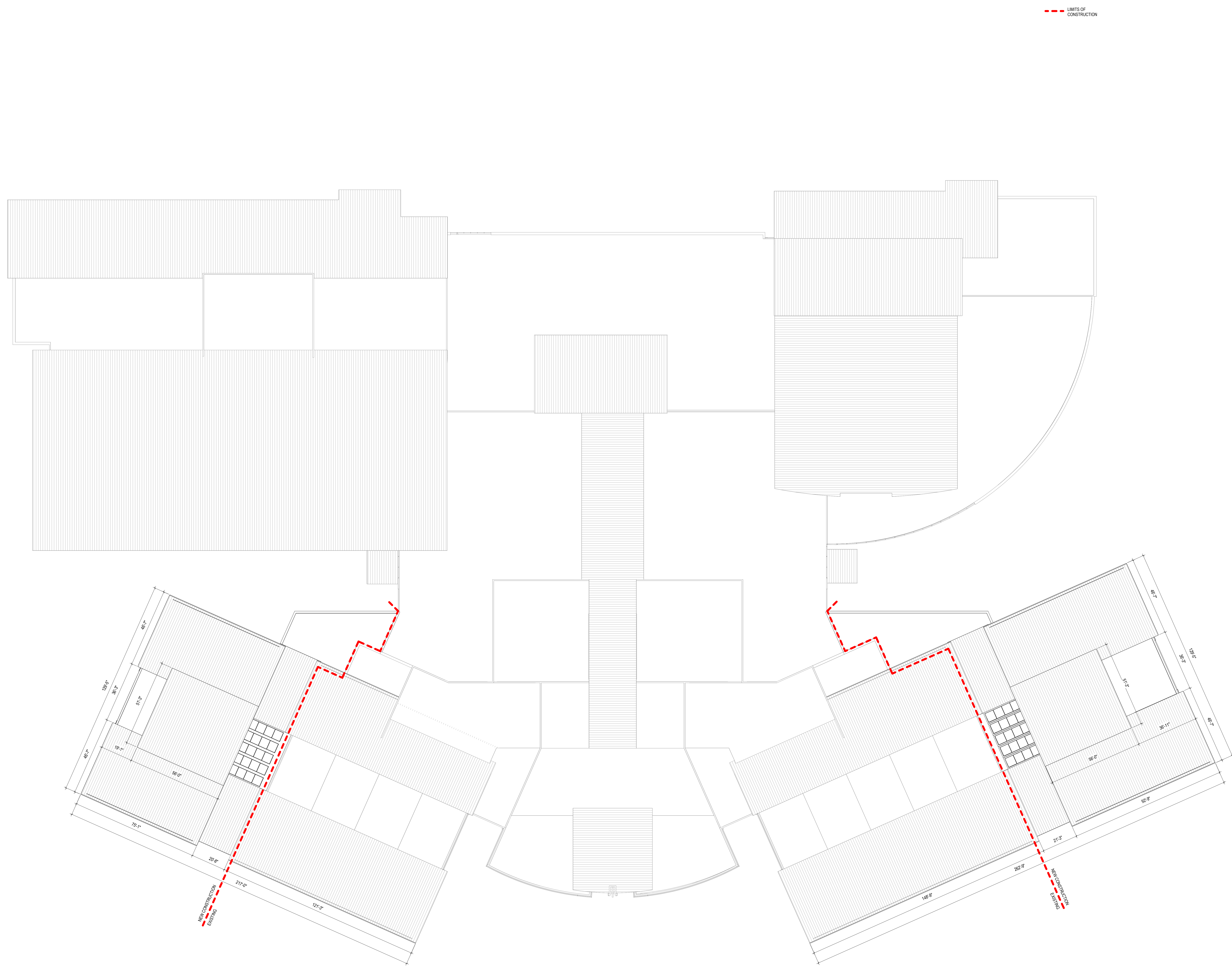
THE WRIGLEY BUILDING
 410 NORTH MICHIGAN AVE. PHONE: (312) 755-0770
 SUITE 1600 FAX: (312) 755-0775
 CHICAGO, IL 60611

DRAWING TITLE:

PENTHOUSE - FLOOR PLAN - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	Issue Date	
	DRAWN BY: Author	CHECKED BY: Checker
	2/6/45	
	A103	
	Project Status	

1 OVERALL PENTHOUSE FLOOR PLAN
 1" = 20'-0"



3 OVERALL ROOF PLAN
 1" = 20'-0"

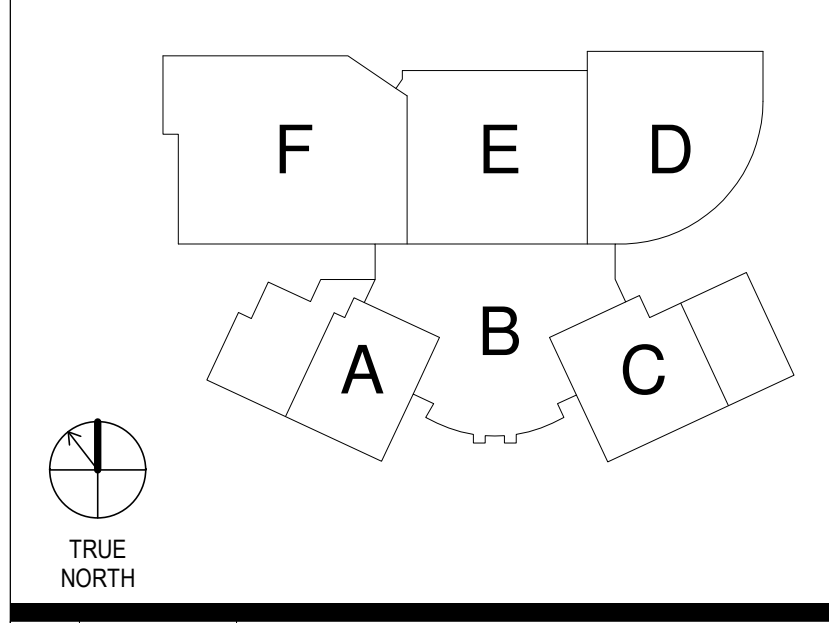
ROOF PLAN GENERAL NOTES

1. X

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
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KEY PLAN



#	DATE	CHANGE DESCRIPTION

DCS Jerome HS

Enter address here for Owner

MOODY-NOLAN
 300 SPRUCE STEET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

Perkins&Will

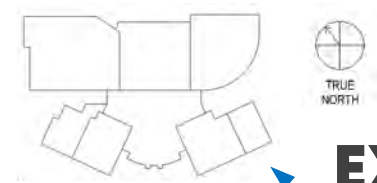
THE WRIGLEY BUILDING
 410 NORTH MICHIGAN AVE. PHONE: (312) 755-0770
 SUITE 1600 CHICAGO, IL 60611 FAX: (312) 755-0775

ROOF PLAN - OVERALL

PROGRESS DRAWING NOT FOR CONSTRUCTION	Issue Date
	DRAWN BY: Author CHECKED BY: Checker
	21645
	A104
	Project Status



Existing view from Mitchell-Dewitt Road

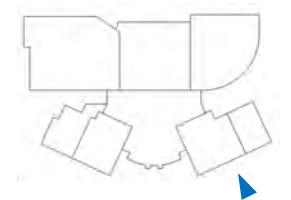


EX-1

Existing Views



Existing view from Mitchell-Dewitt Road



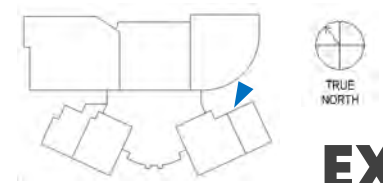
EX-2

Existing Views



Existing materials

- Two brick types
- Cream colored stucco
- Low-e glass with light bronze mullions
- Standing seam metal roof
- Metal column wraps
- Ground faced CMU horizontal banding and details

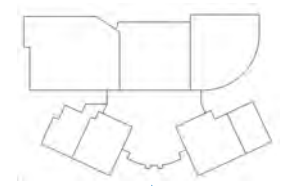


EX-3
Existing Views



Aerial view from intersection

Architectural Approach: A refined extension of the existing architecture



R-1

Rendering Views



View from intersection

Characteristics:

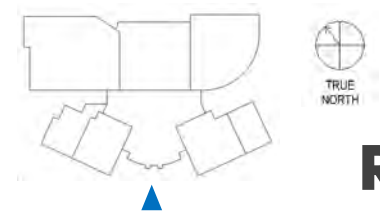
- Primary read is a low-slung horizontal building
- Vertical rhythm

Strategies:

- Maintain horizontality
- Introduce 'reveal' between new and existing to allow for slight color variations between matching bricks
- Match brick color
- Match glass color
- Match roof color

Refinements:

- Clean streamlined details
- Emphasize quality of brick
- Increased durability

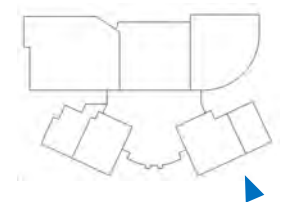


R-2

Rendering Views



View from Mitchell-Dewitt Road

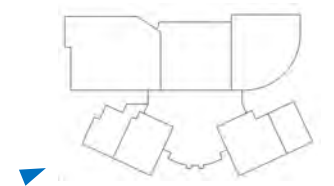


R-3

Rendering Views



View from Hyland-Croy Road

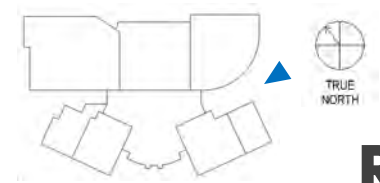


R-4

Rendering Views



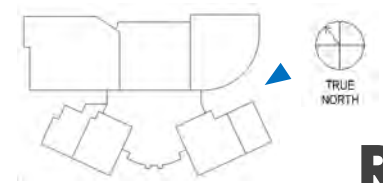
View of south entry



R-5
Rendering Views



View of south entry



R-6

Rendering Views



Custom colored gutters downspouts and roof trim to match existing standing seam roof

Composite metal panel – to match existing EIFS color

New glass to visually match existing glass on level 2 with upgraded performance to meet contemporary energy performance requirements

Medium bronze color mullions to match existing

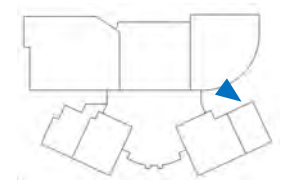
Cast stone sills – color to match BRK-1

Downspouts pocketed in brick piers

BRK-1 with reveal courses reinterpret horizontal banding on existing construction

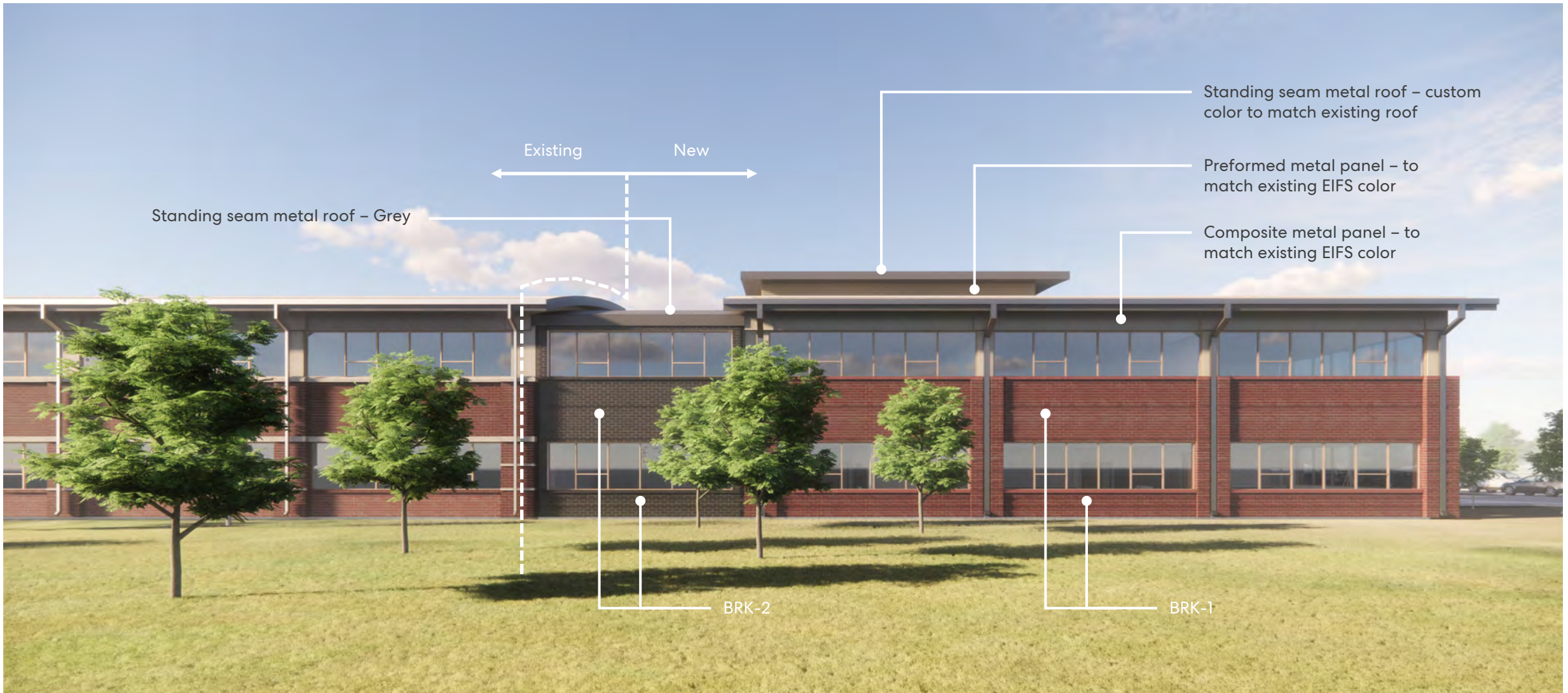
New glass to visually match existing glass on level 1 with upgraded performance to meet contemporary energy performance requirements

Detail perspective / Typical materials

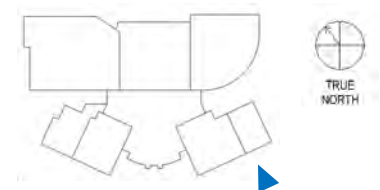


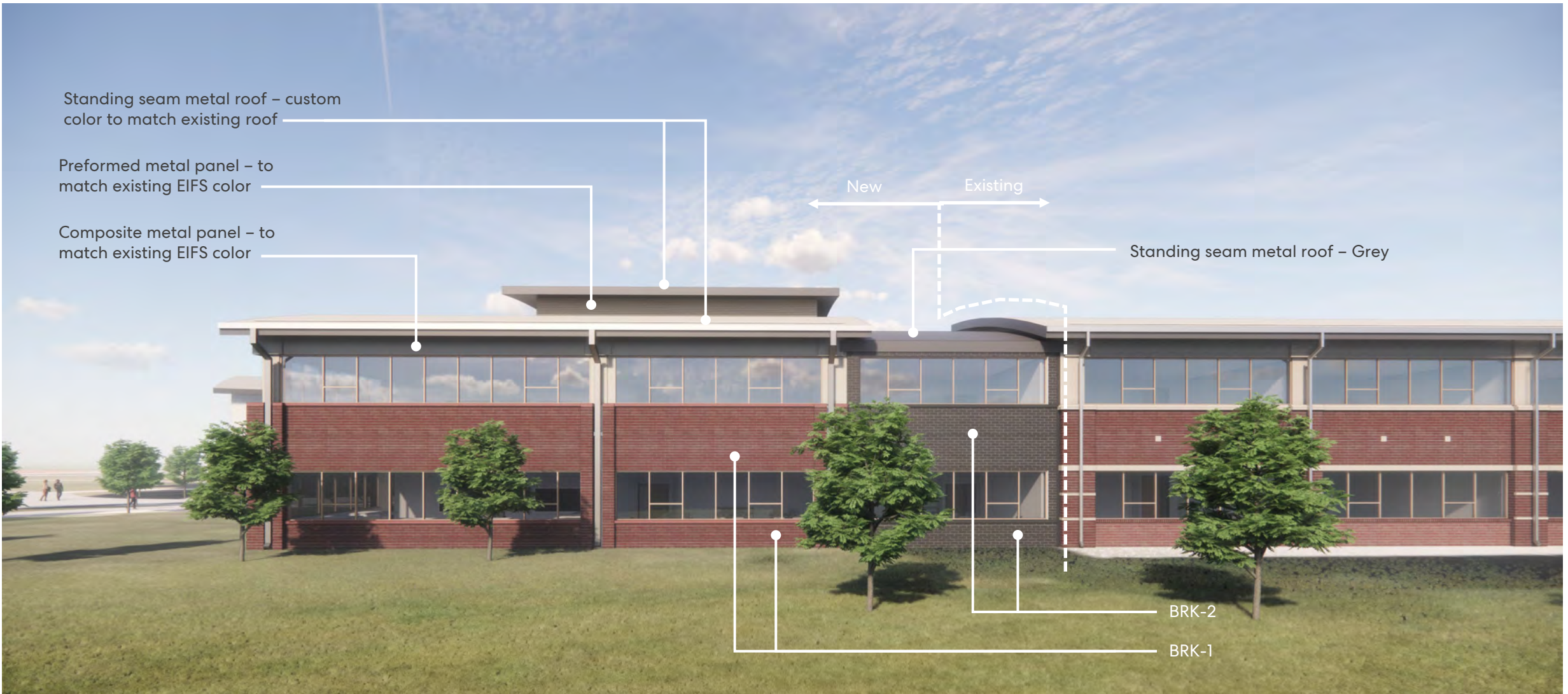
R-7

Rendering Views

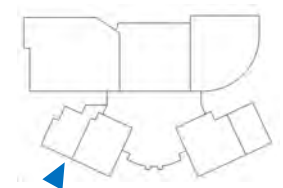


C-wing west elevation





A-wing west elevation



E-2

Elevation Views

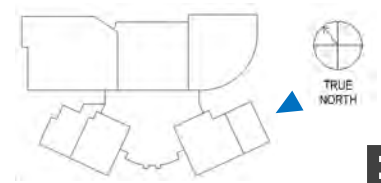


Standing seam metal roof – custom color to match existing roof

Composite metal panel – to match existing EIFS color

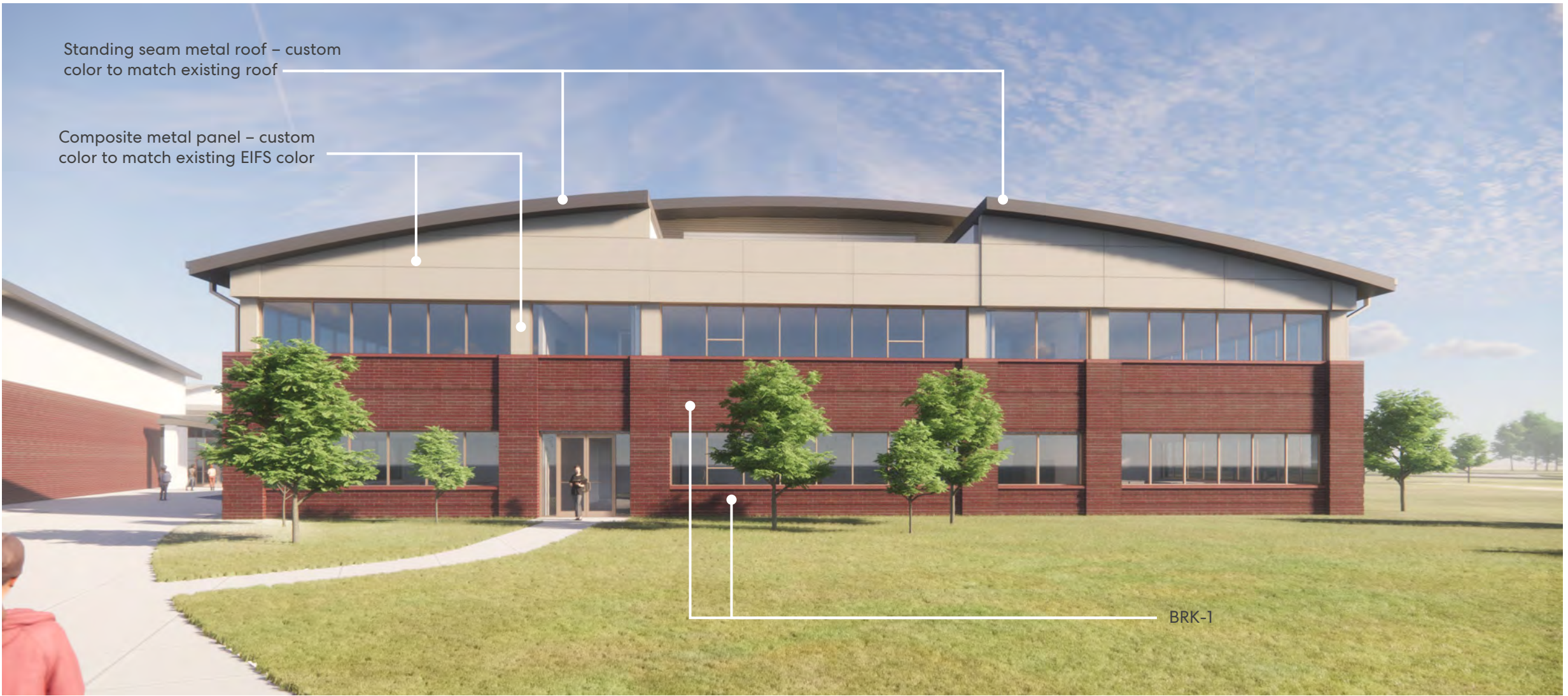
BRK-1

C-wing south elevation



E-3

Elevation Views

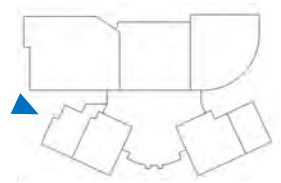


Standing seam metal roof – custom color to match existing roof

Composite metal panel – custom color to match existing EIFS color

BRK-1

A-wing north elevation

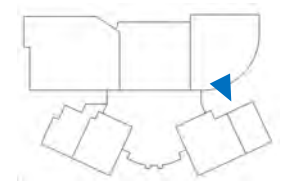


E-4

Elevation Views



C-wing east elevation



E-5

Elevation Views



A-wing east elevation

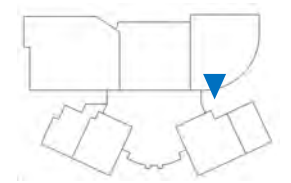


E-6

Elevation Views



C-wing connector east elevation



E-7

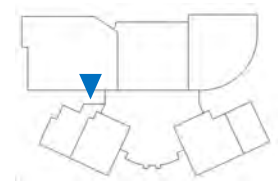
Elevation Views



Composite metal panel - Grey

BRK-2

A-wing connector east elevation



E-8

Elevation Views

Exterior Materials

Existing typical brick

New Mortar:
Color will match existing buff color of existing

BRK-1:
Typical brick used throughout to match existing

Belden
Color: Buckingham Clear
Finish: 'Dart-TEX'
Size: Utility

Preformed metal panel - Cream:
Used at penthouse walls

Composite metal panel - Cream:
Used above Level 2 windows to match existing EIFS color

Standing seam metal roof - Grey:
Used above BRK-2 only (typical standing seam roof custom color to match existing)

Morin
Color: Zinc Gray



Existing secondary brick (not used on new construction)

BRK-2:
Dark brick used at 'reveal' between new and existing, to hide slight color variations between matching brick. Undertones pull from existing secondary brick, while sheen and color will tie BRK-2 to dark reflective surface of glazing.

Belden
Color: Ebony Black
Finish: Smooth
Size: Utility

Composite metal panel - Grey:
Used above BRK-2 at connector corridors

Alucobond
Color: Beachstone Gray Metallic