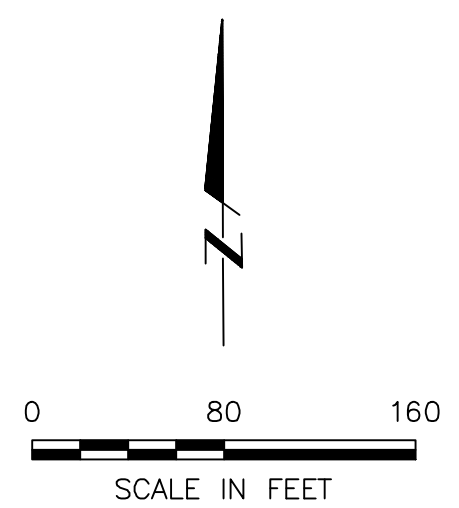
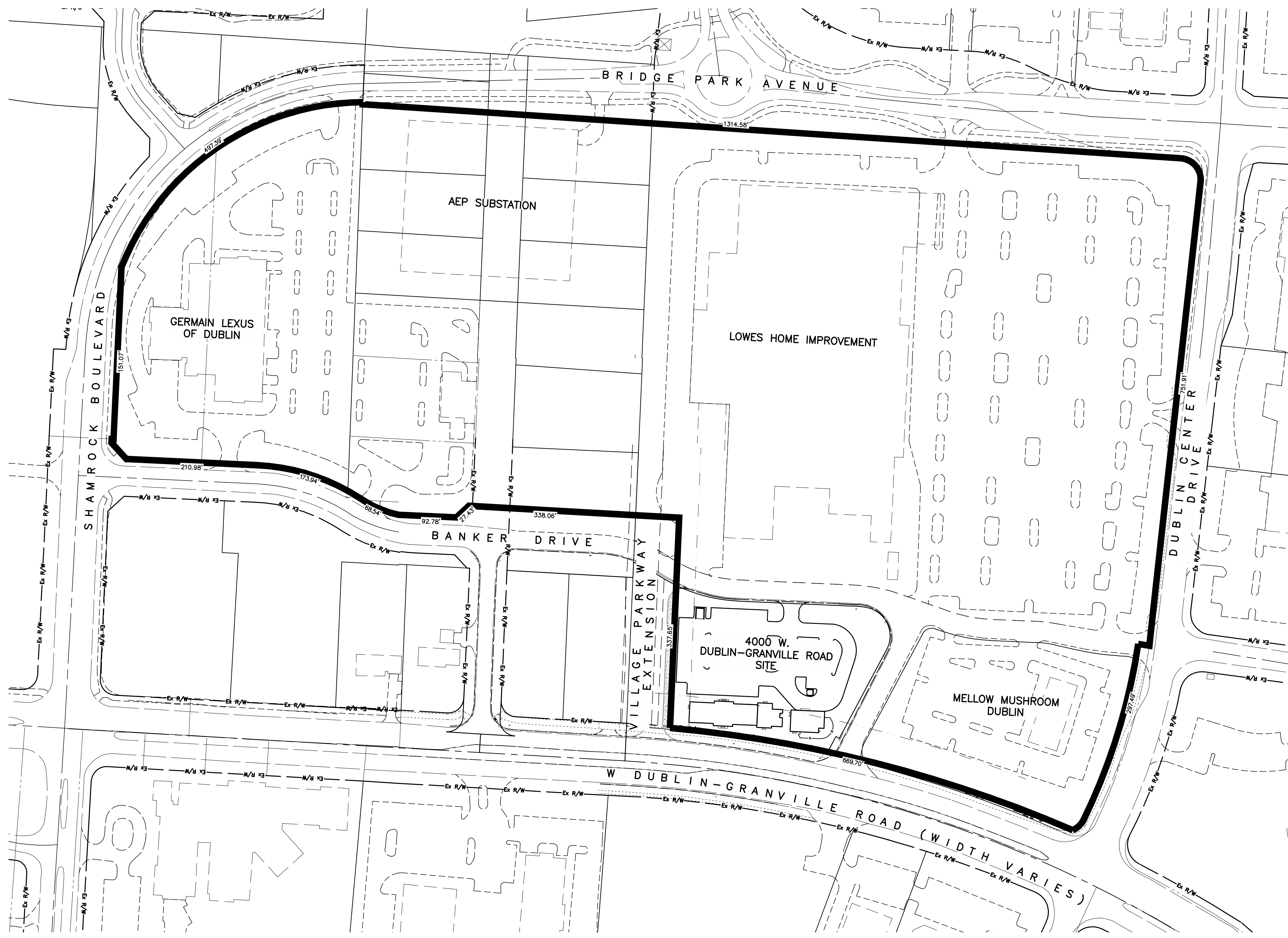


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REVISIONS	DATE	BY	CHK.

E. P. FERRIS
AND
ASSOCIATES
INC

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COLUMBUS, OHIO 43212
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(614) 299-2992 (Fax)
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CITY OF DUBLIN, OHIO
4000 WEST DUBLIN-GRANVILLE ROAD
CRAWFORD HOYING

JOB NO.	1117.001
DESIGNED BY:	WDJ
DRAWN BY:	WDJ
CHECKED BY:	JCP
APPROVED BY:	JCP
DATE:	04/08/22

MODIFIED BLOCK

SCALE:
1" = 80'
SHEET NO.
1A

PRELIMINARY DEVELOPMENT PLAN

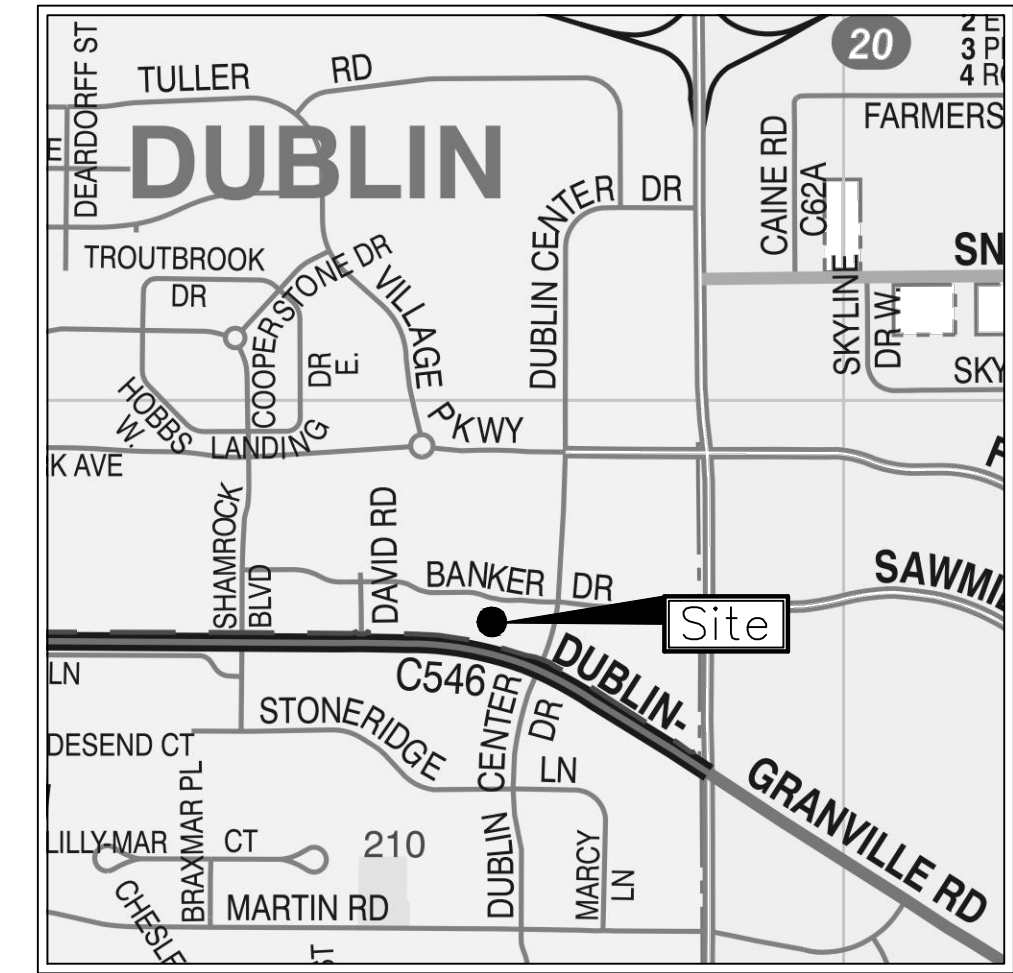
4000 WEST DUBLIN-GRANVILLE ROAD

CITY OF DUBLIN, OHIO

Owner/Developer Information:
 CRAWFORD HOYING
 6640 RIVERSIDE DRIVE, SUITE 500
 DUBLIN, OHIO 43017
 CONTACT: DON BROGAN
 PH: 614-335-2079
 EMAIL: dbrogan@crawfordhoying.com

Architect Information:
 MEYERS & ASSOCIATES ARCHITECTURE
 232 N. THIRD STREET, #300
 COLUMBUS, OHIO 43215
 CONTACT: BRIAN McNALLY
 PH: 614-221-9433
 FAX: 614-299-2992
 EMAIL: bmcnally@meyersarchitects.com

Civil Engineer Information:
 E.P. FERRIS & ASSOCIATES
 880 KING AVENUE
 COLUMBUS, OHIO 43212
 CONTACT: JAMES PELTIER
 PH: 614-299-2999
 FAX: 614-299-2992
 EMAIL: jpeltier@epferris.com



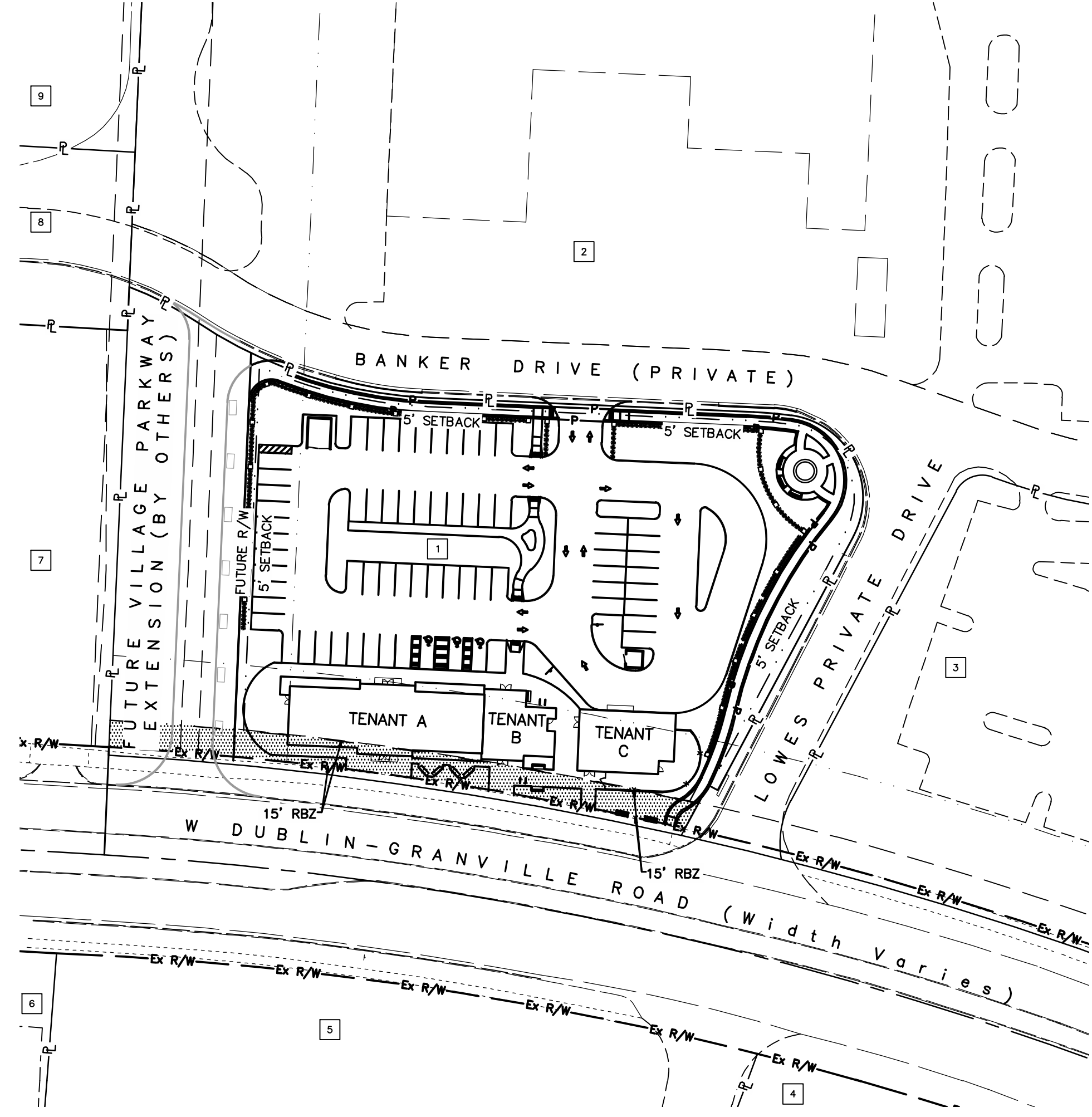
LOCATION MAP
NOT TO SCALE

SHEET INDEX

TITLE SHEET	1
MODIFIED BLOCK	1A
EXISTING CONDITIONS PLAN	2
SITE PLAN	3
FIRE TRUCK TURNING EXHIBIT	3A
GRADING AND UTILITY PLAN	4

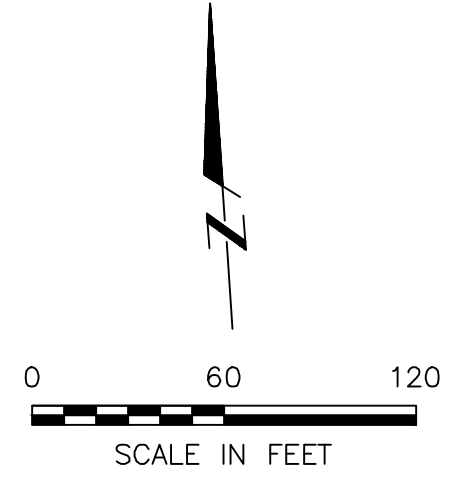
PARCEL INDEX

1 BANKER ROAD DEVELOPMENT LLC 4000 W. DUBLIN-GRANVILLE ROAD PID: 273-010405 ZONING: BSD-SCN 1.99 ACRES	2 LOWES HOME CENTERS INC. 6555 DUBLIN CENTER DRIVE PID: 273-009084 ZONING: BSD-SCN 15.40 ACRES	3 ZACHRICH JANET D TR 6505 DUBLIN CENTER DRIVE PID: 273-010406 ZONING: BSD-SCN 2.13 ACRES
4 OHIO HEALTHCARE FEDERAL CREDIT UNION 3955 W. DUBLIN-GRANVILLE ROAD PID: 273-009148 ZONING: BSD-0 1.21 ACRES	5 EDUCATION DEVELOPMENT GROUP LLC DUBLIN-GRANVILLE ROAD PID: 273-009147 ZONING: BSD-0 3.58 ACRES	6 STONERIDGE INVESTMENT LLC 4015-4059 W. DUBLIN-GRANVILLE ROAD PID: 273-008296 ZONING: BSD-0 4.22 ACRES
7 GFT LLC 4012 W. DUBLIN-GRANVILLE ROAD PID: 273-008307 ZONING: BSD-0 0.55 ACRES	8 CITY OF DUBLIN BANKER DRIVE PID: 273-008309 ZONING: BSD-0 0.47 ACRES	9 LOWES HOME CENTERS INC. 6592 DAVID ROAD PID: 273-008310 ZONING: BSD-0 0.46 ACRES



INDEX MAP
Scale: 1"=60'

OHIO Utilities Protection SERVICE
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 www.oups.org



SITE DATA TABLE:

Total Site Area:	1.99 Ac.
Future Right-of-Way Area:	0.39 Ac.
Net Site Area:	1.60 Ac.
Open Space:	1,926 S.F. ±
Pre-Developed Impervious Area:	1,196 S.F.
Post-Developed Impervious Area:	48,850 S.F.
% Impervious Area:	70.5%
% of Lot Area Covered by Buildings:	10.0%
Pervious Area:	20,455 S.F.
Provided Parking Spaces:	66 Spaces Total 63 Standard Spaces 3 Accessible Spaces
Building Height (Tenants A/B):	1-Story 28'-0"
Building Height (Tenant C):	1-Story 21'-0"

REVISIONS

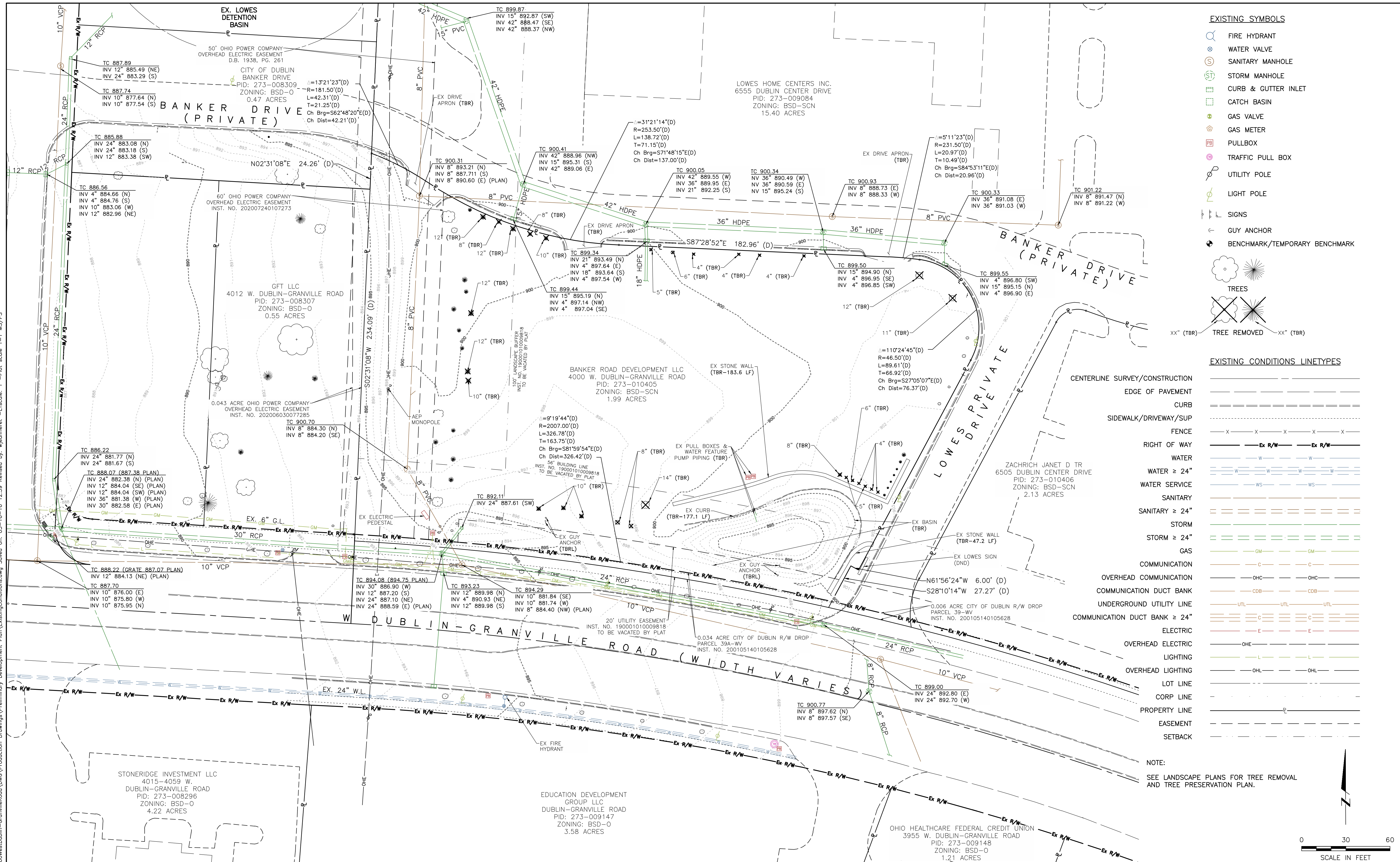
NO.	DATE	DESCRIPTION	BY

E. P. FERRIS AND ASSOCIATES INC.
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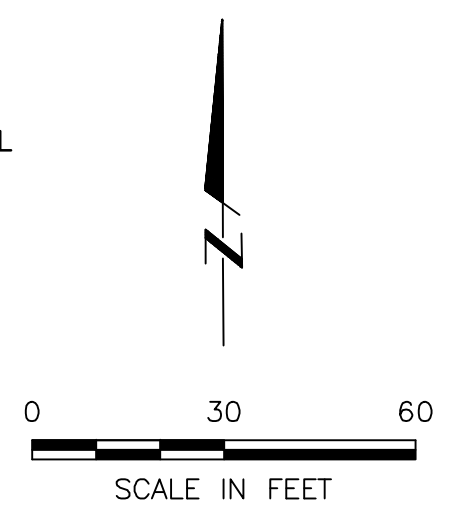
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- EXISTING SYMBOLS**
- FIRE HYDRANT
 - WATER VALVE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CURB & GUTTER INLET
 - CATCH BASIN
 - GAS VALVE
 - GAS METER
 - PULLBOX
 - TRAFFIC PULL BOX
 - UTILITY POLE
 - LIGHT POLE
 - SIGNS
 - GUY ANCHOR
 - BENCHMARK/TEMPORARY BENCHMARK
 - TREES
 - TREE REMOVED

- EXISTING CONDITIONS LINETYPES**
- CENTERLINE SURVEY/CONSTRUCTION
 - EDGE OF PAVEMENT
 - CURB
 - SIDEWALK/DRIVEWAY/SUP
 - FENCE
 - RIGHT OF WAY
 - WATER
 - WATER ≥ 24"
 - WATER SERVICE
 - SANITARY
 - SANITARY ≥ 24"
 - STORM
 - STORM ≥ 24"
 - GAS
 - COMMUNICATION
 - OVERHEAD COMMUNICATION
 - COMMUNICATION DUCT BANK
 - UNDERGROUND UTILITY LINE
 - COMMUNICATION DUCT BANK ≥ 24"
 - ELECTRIC
 - OVERHEAD ELECTRIC
 - LIGHTING
 - OVERHEAD LIGHTING
 - LOT LINE
 - CORP LINE
 - PROPERTY LINE
 - EASEMENT
 - SETBACK

NOTE:
SEE LANDSCAPE PLANS FOR TREE REMOVAL AND TREE PRESERVATION PLAN.



REVISIONS	DATE	BY	CHK.

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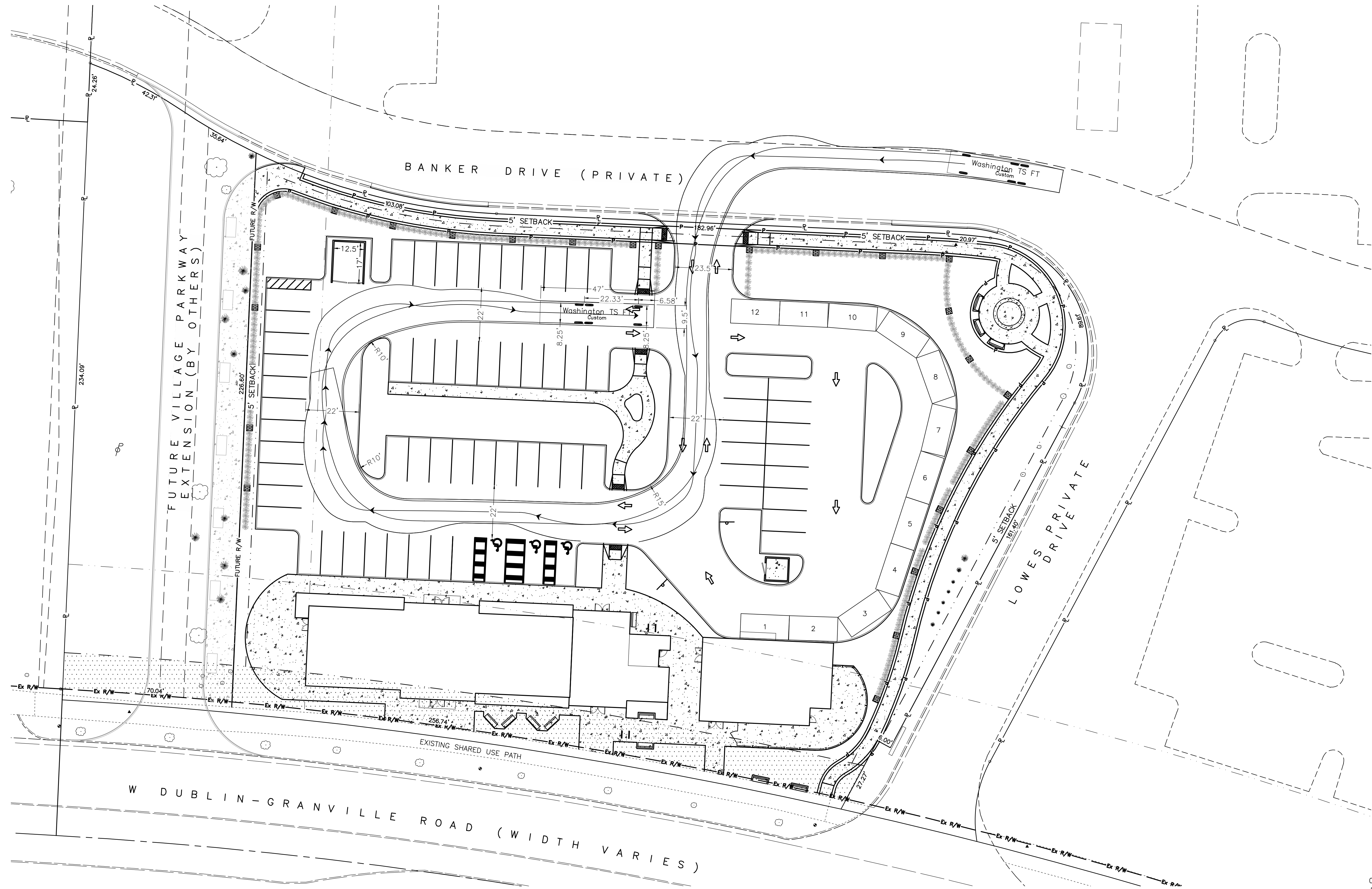
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CITY OF DUBLIN, OHIO
4000 WEST DUBLIN-GRANVILLE ROAD
CRAWFORD HOYING

JOB NO.	1117.001
DESIGNED BY:	WDJ
DRAWN BY:	WDJ
CHECKED BY:	JCP
APPROVED BY:	JCP
DATE:	04/08/22

EXISTING CONDITIONS	SCALE: 1" = 30'
	SHEET NO. 2

Drawing: M:\117005_4000WestDublin-GranvilleRoad\DWG\Production Drawings\Preliminary Development Plan\Site Layout.dwg Saved on: 03-16-16 12:59 Revised by: wjanneret -Ltscale: 1 -Plot scale 1"=1 MS/PS



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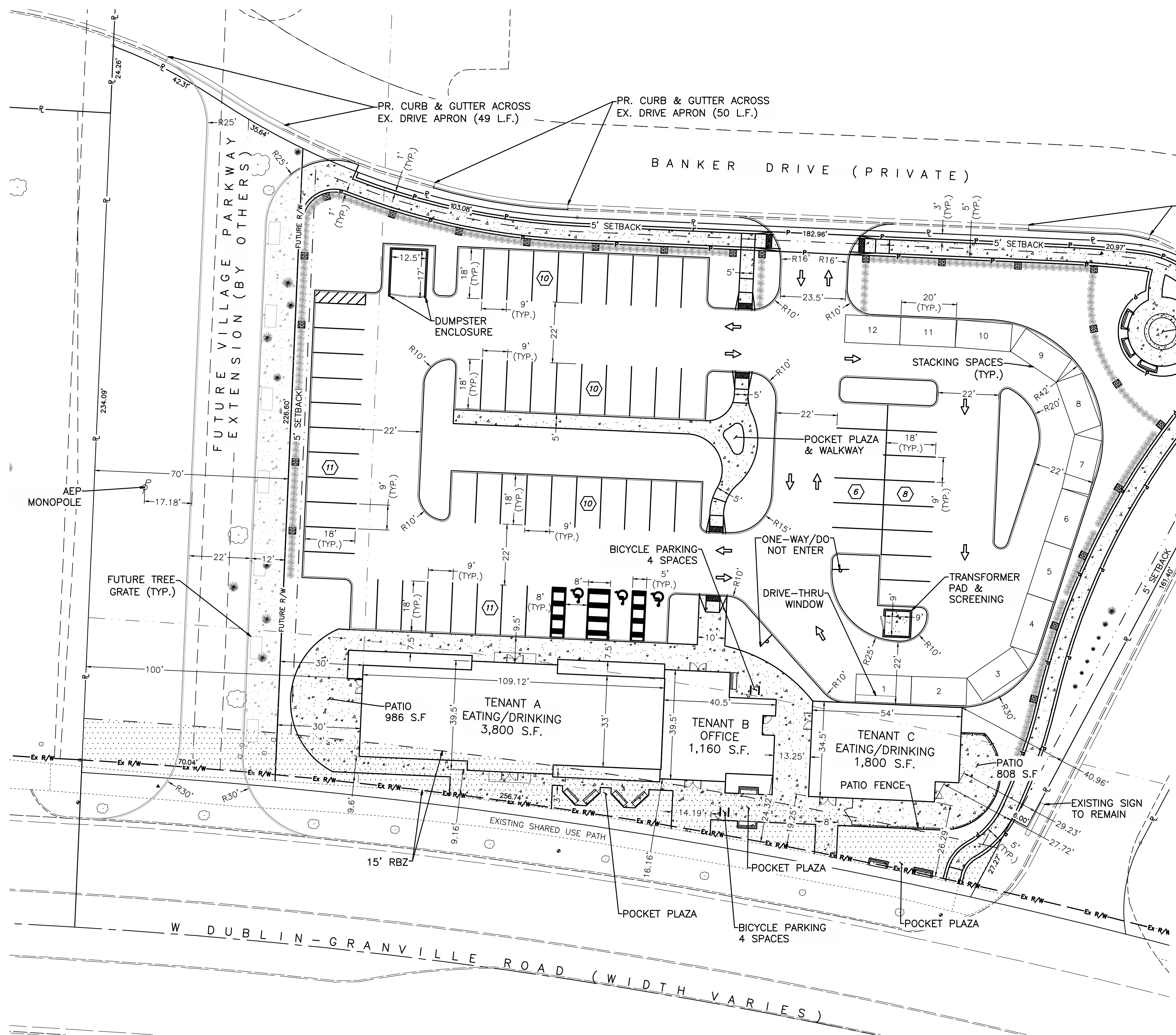
CITY OF DUBLIN, OHIO
4000 WEST DUBLIN-GRANVILLE ROAD
CRAWFORD HOYING

JOB NO.	1117.001
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FIRE TRUCK TURNING EXHIBIT

SCALE:	1" = 20'
SHEET NO.	3A

Drawing: M:\117005_4000WestDublin-GranvilleRoad\DWG\Production Drawings\Preliminary Development Plan\Site Layout.dwg Saved on: 03-16-16 12:59 Revised by: wjeanneret -L:scale: 1 = 1 MS/PS



- PROPOSED SYMBOLS**
- BENCH
 - DETECTABLE WARNING
 - PAVING LOT SCREENING HEDGE WALL
 - SIGN
 - PARKING COUNT MARKER

- PROPOSED LAYOUT LINETYPES**
- CURB & GUTTER
 - CURB
 - SIDEWALK
 - FUTURE RIGHT-OF-WAY
 - EASEMENT
 - SETBACK

NOTE:
ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.

LOT COVERAGE CALCULATION
69,339 S.F. SITE (EXCLUDES FUTURE R/W)
48,850 S.F. IMPERVIOUS COVERAGE
70.5% LOT COVERAGE

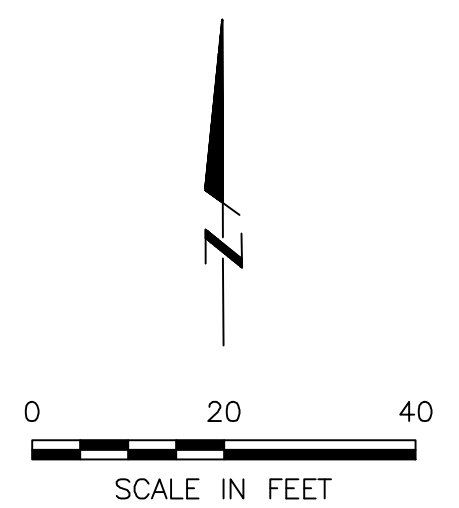
OPEN SPACE CALCULATION
1 S.F./50 S.F. COMMERCIAL SPACE
140 S.F. OPEN SPACE REQUIRED
1,926 S.F.± OPEN SPACE PROVIDED

BUILDING COVERAGE CALCULATION
69,696 S.F.± NET SITE AREA
6,970 S.F. BUILDING FOOTPRINTS
10.0% BUILDING COVERAGE

PROPERTY LINE COVERAGE (W. DUBLIN GRANVILLE ROAD) CALCULATION
MINIMUM 75% REQUIRED
256.74 FT LOT WIDTH
203.62 FT COMBINED BUILDING WIDTH
79.3% PROPERTY LINE COVERAGE

BUILDING/OPEN SPACE/PATIO COVERAGE
69,696 S.F.± NET SITE AREA
6,970 S.F. BUILDING FOOTPRINTS
1,926 S.F.± OPEN SPACE
1,794 S.F.± PATIO AREAS
15.3% COMBINED BUILDING/OPEN SPACE/PATIO COVERAGE

PARKING CALCULATION					
USE	AREA	REQUIREMENT (DEED)	CALCULATED (DEED)	REQUIREMENT (ZONING CODE)	CALCULATED (ZONING CODE)
EATING/DRINKING (TENANT A)	3800 S.F.	-	-	10 : 1000 S.F.	38
OFFICE (TENANT B)	1160 S.F.	5 : 1000 S.F.	6	2.5 : 1000 S.F.	3
EATING/DRINKING (TENANT C)	1800 S.F.	-	-	10 : 1000 S.F.	18
CALCULATED REQUIRED MINIMUM PARKING (TOTAL)			59 SPACES		
CALCULATED MAXIMUM PARKING (125% OF MINIMUM)			73 SPACES		
CALCULATED REQUIRED MINIMUM PARKING (TOTAL W/DEED RESTRICTION)			62 SPACES		
CALCULATED MAXIMUM PARKING (125% OF MINIMUM W/DEED RESTRICTION)			77 SPACES		
PROVIDED PARKING			66 SPACES		
REQUIRED ADA PARKING			3 SPACES (1 VAN)		
PROVIDED ADA PARKING			3 SPACES (1 VAN)		
REQUIRED BICYCLE PARKING			7 BICYCLE PARKING SPACES		
PROVIDED BICYCLE PARKING			8 BICYCLE PARKING SPACES		



REVISIONS	DATE	BY	CHK.

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4000 WEST DUBLIN-GRANVILLE ROAD
CRAWFORD HOYING

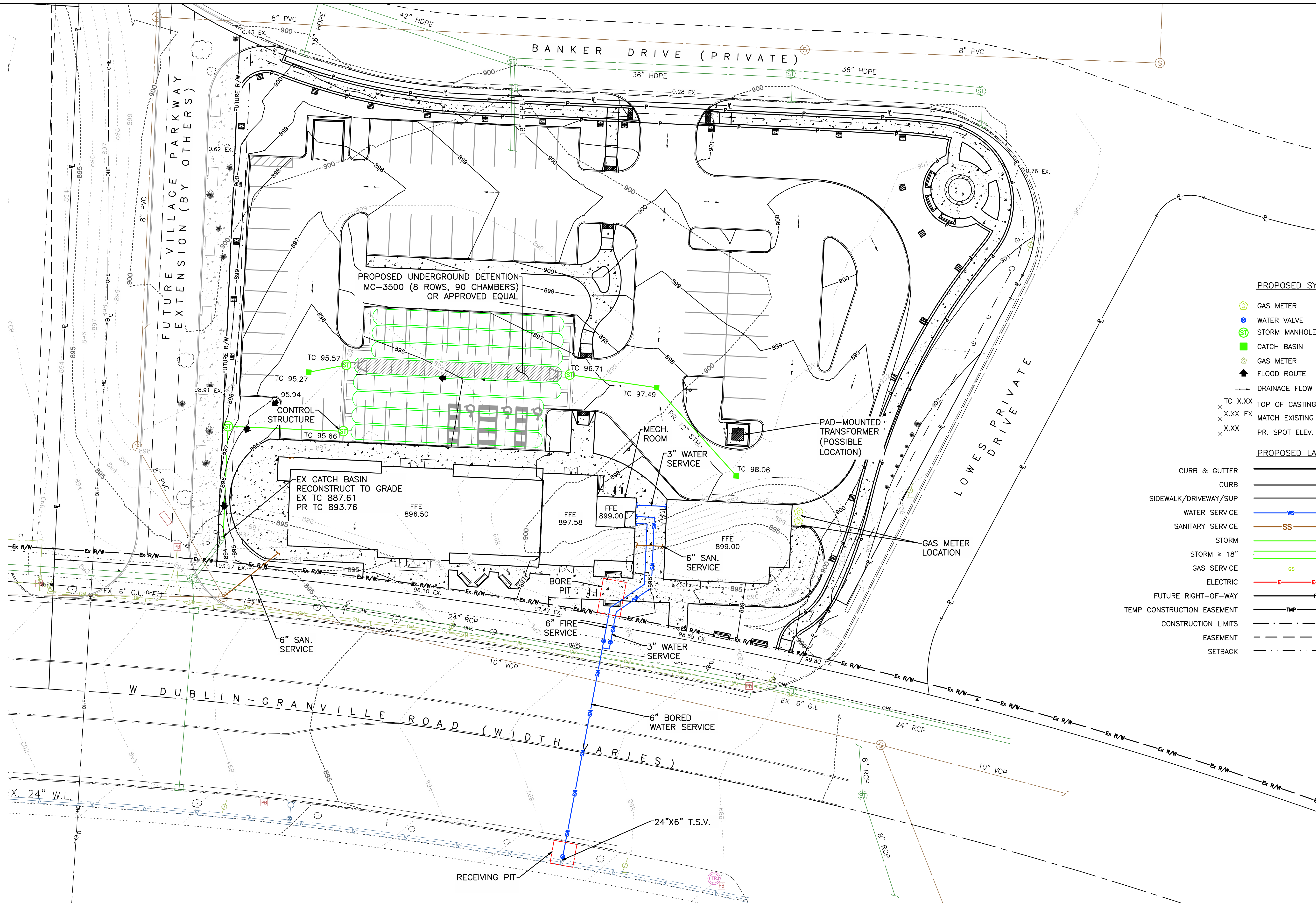
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DESIGNED BY:	WDJ
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CHECKED BY:	JCP
APPROVED BY:	JCP
DATE:	04/08/22

SITE LAYOUT PLAN

SCALE:
1" = 20'

SHEET NO.
3

Drawing: M:\117005_4000WestDublin-GranvilleRoad\DWG\Production Drawings\Preliminary Development Plan\Grading & Utility Plan.dwg Saved on: 03-16-16 12:59 Revised by: wloanneret -L:scale: 1 -Plot scale 1"=1 MS/PS

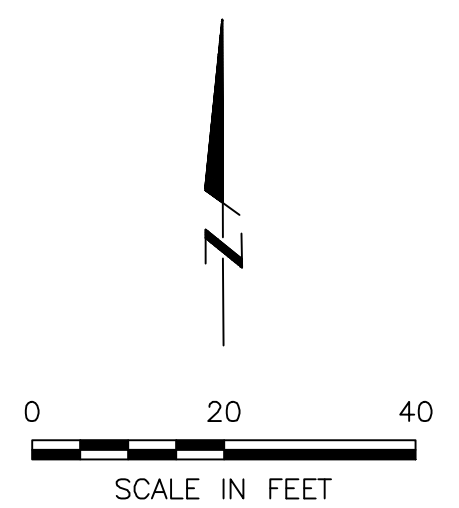


PROPOSED SYMBOLS

- GAS METER
- WATER VALVE
- STORM MANHOLE
- CATCH BASIN
- GAS METER
- FLOOD ROUTE
- DRAINAGE FLOW DIRECTION
- TC X.XX TOP OF CASTING ELEV.
- X.XX EX MATCH EXISTING ELEV.
- X.XX PR SPOT ELEV.

PROPOSED LAYOUT LINETYPES

- CURB & GUTTER
- CURB
- SIDEWALK/DRIVEWAY/SUP
- WATER SERVICE
- SANITARY SERVICE
- STORM
- STORM ≥ 18"
- GAS SERVICE
- ELECTRIC
- FUTURE RIGHT-OF-WAY
- TEMP CONSTRUCTION EASEMENT
- CONSTRUCTION LIMITS
- EASEMENT
- SETBACK



REVISIONS	DATE	BY	CHK

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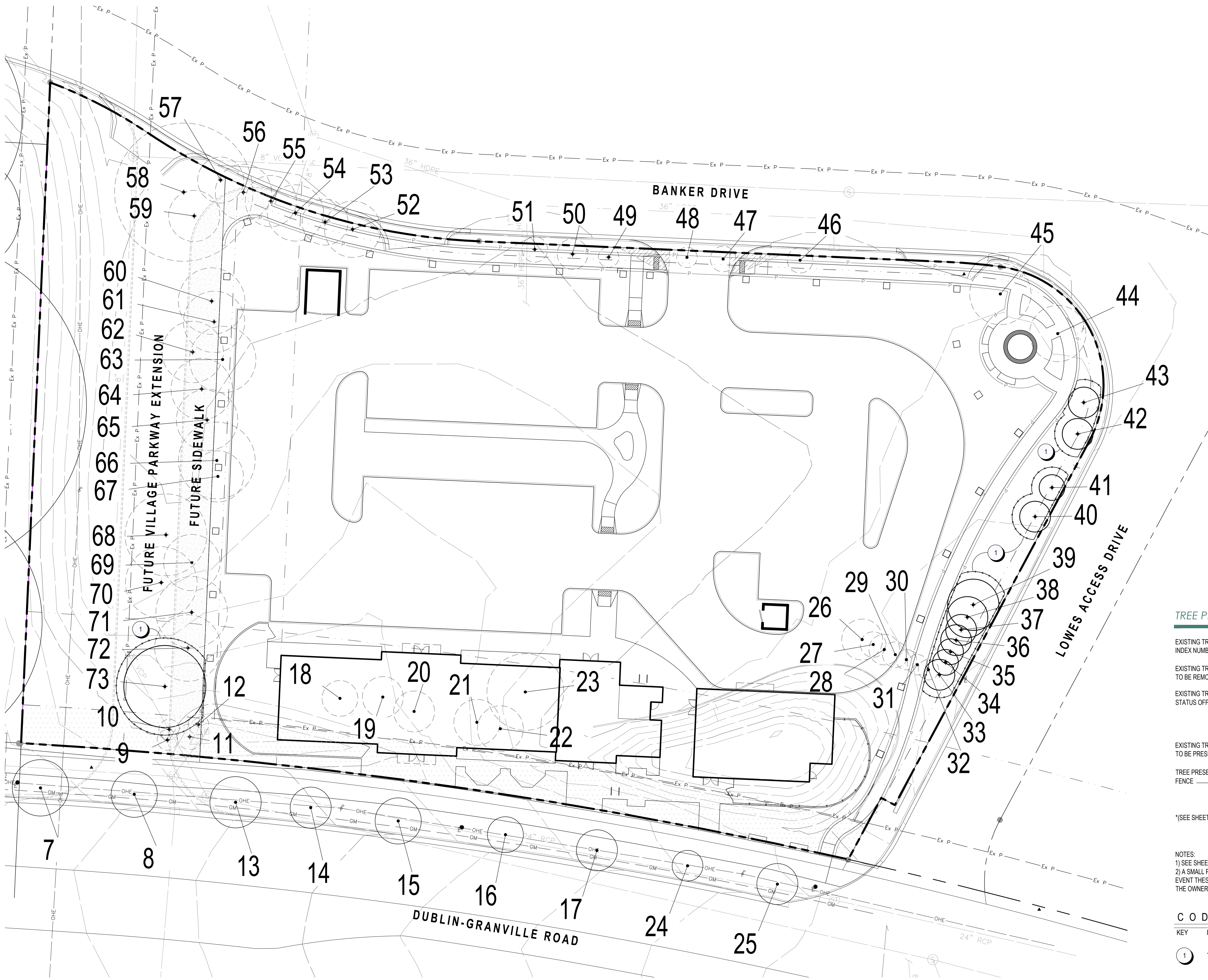
CITY OF DUBLIN, OHIO
4000 WEST DUBLIN-GRANVILLE ROAD
CRAWFORD HOYING

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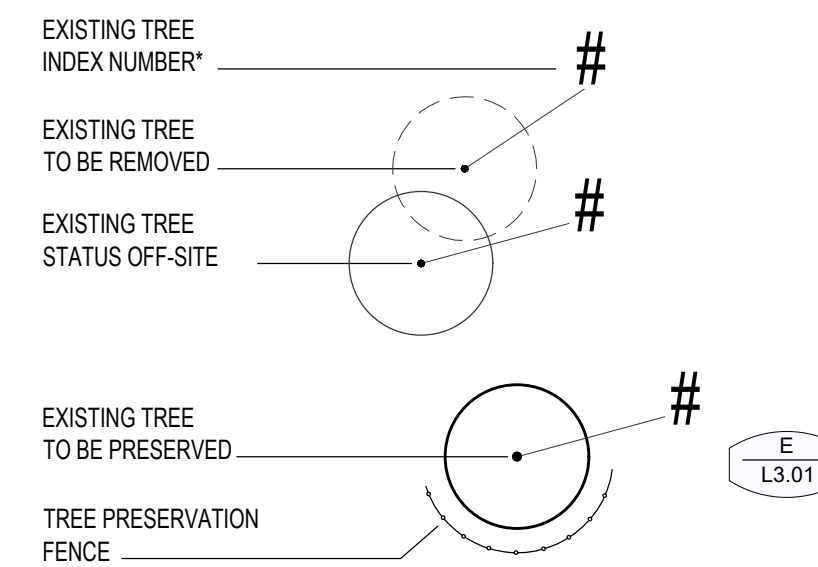
GRADING AND UTILITY PLAN

SCALE:
1" = 20'

SHEET NO.
4



TREE PRESERVATION KEY

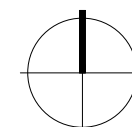


*(SEE SHEET L1.02 FOR EXISTING TREE INDEX)

NOTES:
 1) SEE SHEET L1.02 FOR EXISTING TREE INDEX
 2) A SMALL PERCENTAGE OF THE CRITICAL ROOT ZONES ARE IMPACTED IN SOME LOCATIONS. IN THE EVENT THESE TREES DO NOT SURVIVE CONSTRUCTION DUE TO THE IMPACTED CRITICAL ROOT ZONES, THE OWNER WILL REPLACE EACH CALIPER INCH PER THE TREE REPLACEMENT CODE.

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE
①	TREE PROTECTION FENCE	E L3.01

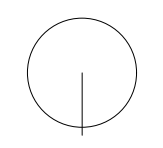


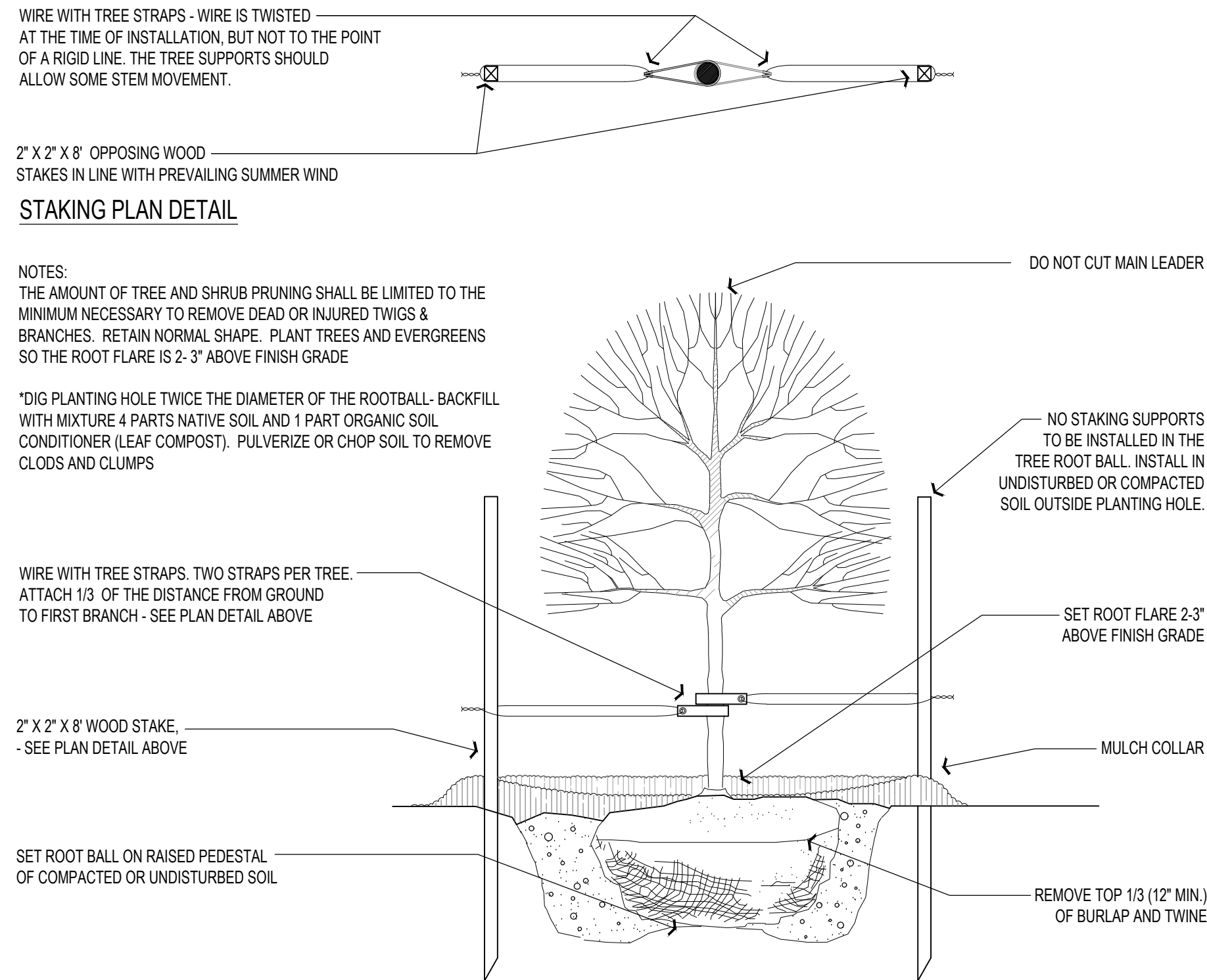
TREE#	DIAMETER	SPECIES	CONDITION	STATUS
1	36	MULBERRY	GOOD	OFF-SITE
2	8	MAPLE	GOOD	OFF-SITE
3	9	MAPLE	GOOD	OFF-SITE
4	8	MAPLE	GOOD	OFF-SITE
5	11	MAPLE	GOOD	OFF-SITE
6	4	CALLERY PEAR	GOOD	OFF-SITE
7	11	MAPLE	GOOD	OFF-SITE
8	9	MAPLE	GOOD	OFF-SITE
9	4	CALLERY PEAR	GOOD	REMOVE
10	4	CALLERY PEAR	GOOD	REMOVE
11	5	CALLERY PEAR	GOOD	REMOVE
12	4	CALLERY PEAR	GOOD	REMOVE
13	10	MAPLE	GOOD	OFF-SITE
14	8	MAPLE	GOOD	OFF-SITE
15	9	MAPLE	GOOD	OFF-SITE
16	7	MAPLE	GOOD	OFF-SITE
17	8	MAPLE	FAIR	OFF-SITE
18	7	SPRUCE	GOOD	REMOVE
19	8	SPRUCE	GOOD	REMOVE
20	8	SPRUCE	GOOD	REMOVE
21	9	SYCAMORE	GOOD	REMOVE
22	9	SYCAMORE	GOOD	REMOVE
23	15	SYCAMORE	GOOD	REMOVE
24	6	MAPLE	GOOD	OFF-SITE
25	8	MAPLE	GOOD	OFF-SITE
26	8	JUNIPER	GOOD	REMOVE
27	5	JUNIPER	GOOD	REMOVE
28	6	JUNIPER	GOOD	REMOVE
29	5	JUNIPER	GOOD	REMOVE
30	4	JUNIPER	FAIR	REMOVE
31	4	JUNIPER	FAIR	REMOVE
32	4	JUNIPER	FAIR	REMOVE
33	6	JUNIPER	FAIR	PRESERVE
34	5	JUNIPER	FAIR	PRESERVE
35	5	JUNIPER	FAIR	PRESERVE
36	6	JUNIPER	GOOD	PRESERVE
37	6	JUNIPER	FAIR	PRESERVE
38	8	JUNIPER	GOOD	PRESERVE
39	10	JUNIPER	GOOD	PRESERVE
40	6	APPLE	GOOD	PRESERVE
41	5	APPLE	GOOD	PRESERVE
42	6	APPLE	GOOD	PRESERVE
43	6	APPLE	GOOD	PRESERVE
44	11	SPRUCE	GOOD	REMOVE
45	12	SYCAMORE	GOOD	REMOVE
46	5	HAWTHORN	GOOD	REMOVE
47	5	HAWTHORN	GOOD	REMOVE
48	4	HAWTHORN	FAIR	REMOVE
49	4	HAWTHORN	GOOD	REMOVE
50	6	HAWTHORN	GOOD	REMOVE
51	5	HAWTHORN	FAIR	REMOVE
52	11	SPRUCE	POOR	REMOVE
53	9	SPRUCE	POOR	REMOVE
54	11	SPRUCE	POOR	REMOVE
55	10	SPRUCE	POOR	REMOVE
56	11	SPRUCE	POOR	REMOVE

TREE#	DIAMETER	SPECIES	CONDITION	STATUS
57	9	SPRUCE	POOR	REMOVE
58	27	BOXELDER	POOR	REMOVE
59	10	MULBERRY	POOR	REMOVE
60	13	SPRUCE	POOR	REMOVE
61	12	SPRUCE	POOR	REMOVE
62	12	SPRUCE	POOR	REMOVE
63	13	SPRUCE	POOR	REMOVE
64	12	SPRUCE	POOR	REMOVE
65	12	PINE	POOR	REMOVE
66	15	SPRUCE	POOR	REMOVE
67	10	SPRUCE	POOR	REMOVE
68	16	CHERRY	POOR	REMOVE
69	11	SPRUCE	POOR	REMOVE
70	14	SPRUCE	POOR	REMOVE
71	14	SPRUCE	POOR	REMOVE
72	13	SPRUCE	POOR	REMOVE
73	16	MAPLE	GOOD	PRESERVE
74	16	MULBERRY	GOOD	OFF-SITE
75	9	MULBERRY	FAIR	OFF-SITE
76	32	SPRUCE	GOOD	OFF-SITE
77	24	ASH	DEAD	OFF-SITE
78	51	MAPLE	GOOD	OFF-SITE
79	14	SPRUCE	FAIR	OFF-SITE
80	25	SWEETGUM	GOOD	OFF-SITE
81	30	SWEETGUM	POOR	OFF-SITE
82	7	MULBERRY	FAIR	OFF-SITE
83	6	MAPLE	FAIR	OFF-SITE
84	26	SPRUCE	GOOD	OFF-SITE
85	11	MULBERRY	FAIR	OFF-SITE
86	8	MULBERRY	FAIR	OFF-SITE
87	49	MULBERRY	FAIR	OFF-SITE
88	23	SPRUCE	POOR	OFF-SITE
89	17	SPRUCE	FAIR	OFF-SITE
90	65	MAPLE	FAIR	OFF-SITE
91	23	PINE	FAIR	OFF-SITE
92	22	SPRUCE	DEAD	OFF-SITE
93	46	MAPLE	GOOD	OFF-SITE

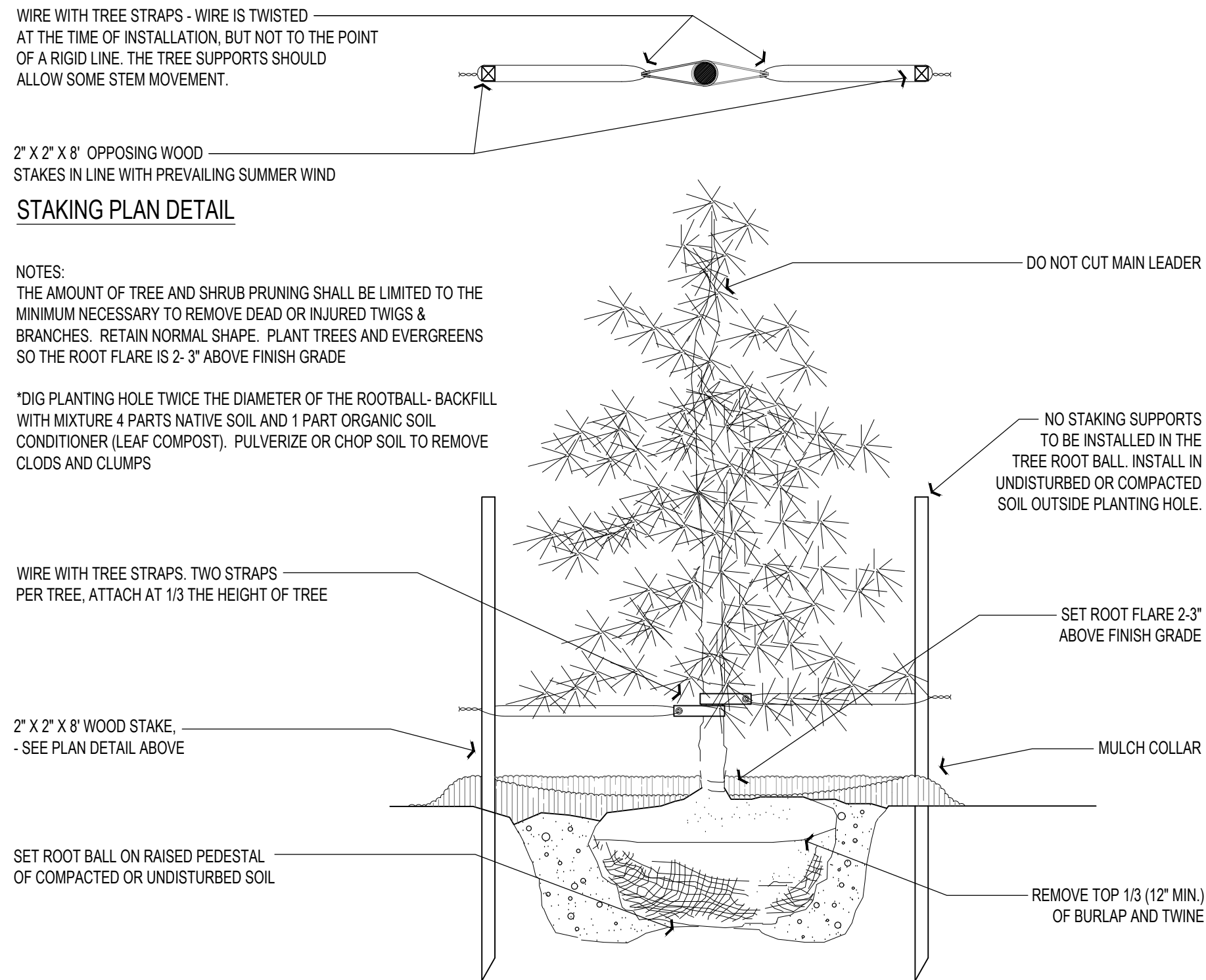
REPLACEMENT CALCULATIONS			
	INCHES REMOVED	REPLACEMENT INCHES REQ'D	
PROTECTED TREES ≥6" (replace 1" for ea. 1" removed)	85		85
TOTAL REPLACEMENT INCHES REQUIRED*			85
*(ASH, CALLERY PEAR, JUNIPER, MULBERRY, POOR, DEAD, AND OFF-SITE TREES NOT INCLUDED IN REPLACEMENT CALCULATIONS)			
TREE PRESERVATION CREDIT CALCULATIONS			
	TREES PRESERVED	153.065-E TREE CREDIT	
PROTECTED TREES 6" ≤ X < 8" (1 TREE CREDIT)	3		3
PROTECTED TREES 8" ≤ X < 12" (2 TREE CREDIT)	0		0
PROTECTED TREES > 12" (3 TREE CREDIT)	1		3
TOTAL PRESERVED TREE CREDIT*			6
*(ASH, CALLERY PEAR, JUNIPER, MULBERRY, POOR, DEAD, AND OFF-SITE TREES NOT INCLUDED IN CREDIT CALCULATIONS)			

EXISTING TREE INDEX

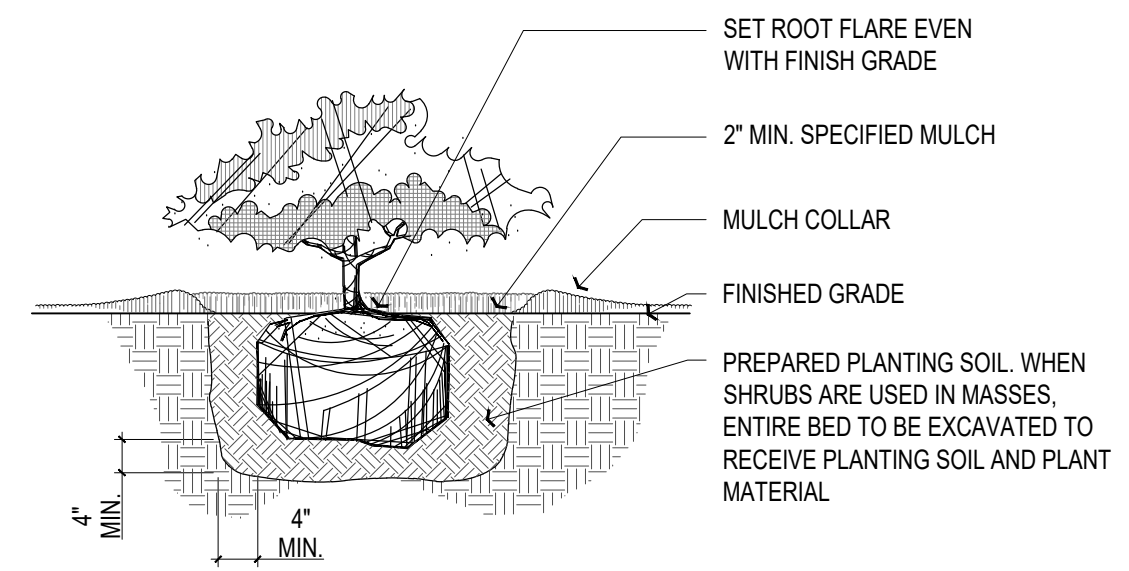




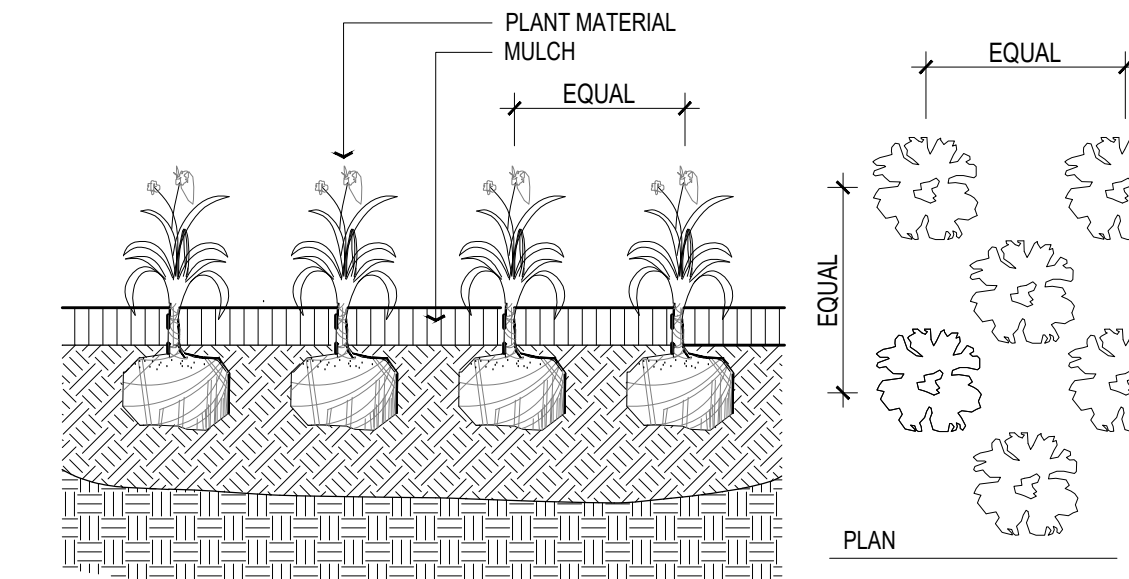
A DECIDUOUS TREE
SCALE: 1" = 1'-0"



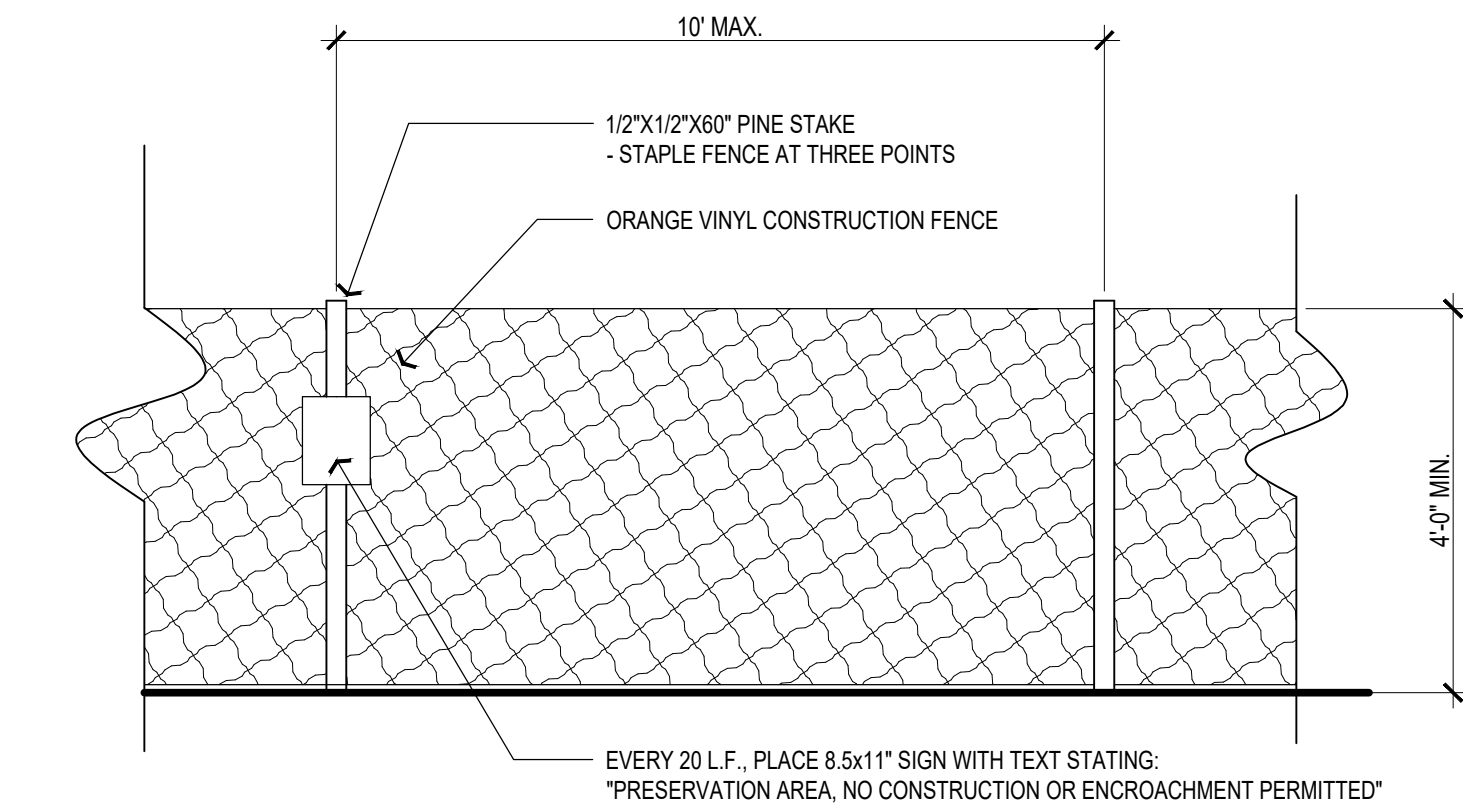
B EVERGREEN TREE
SCALE: 1" = 1'-0"



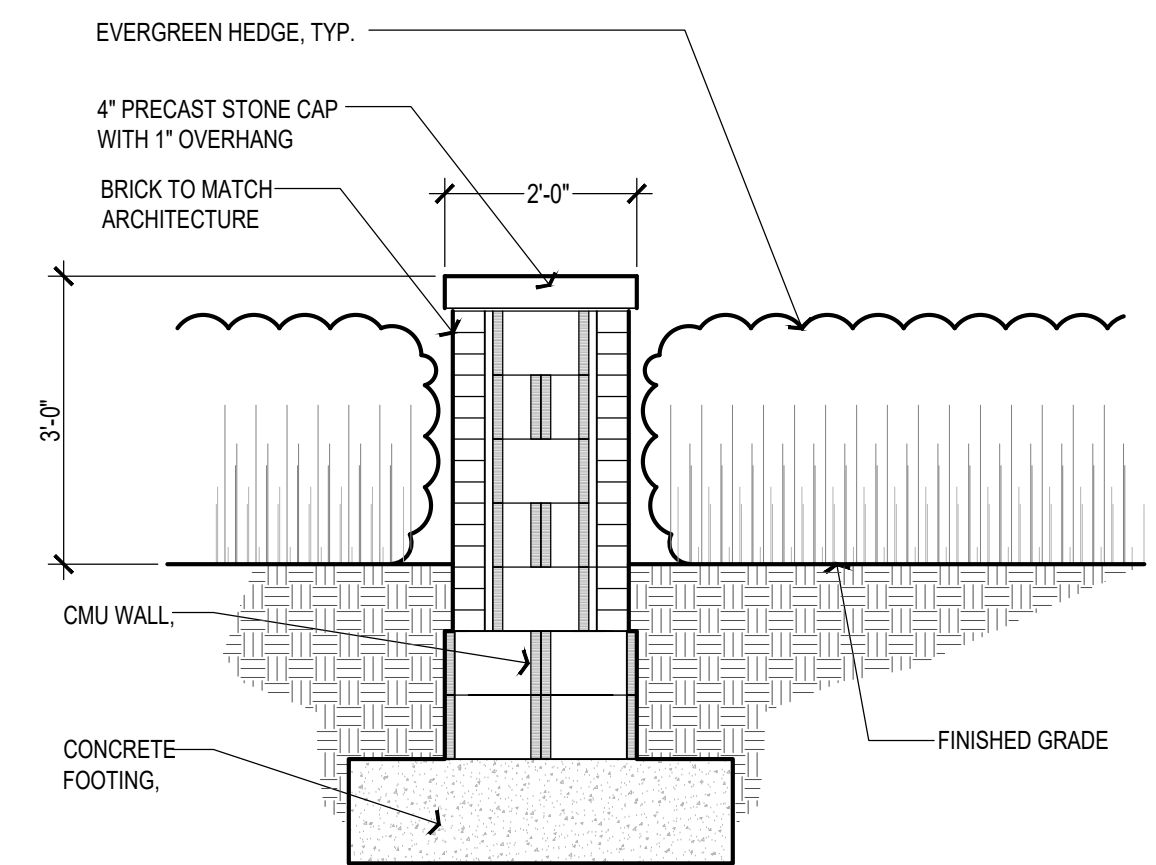
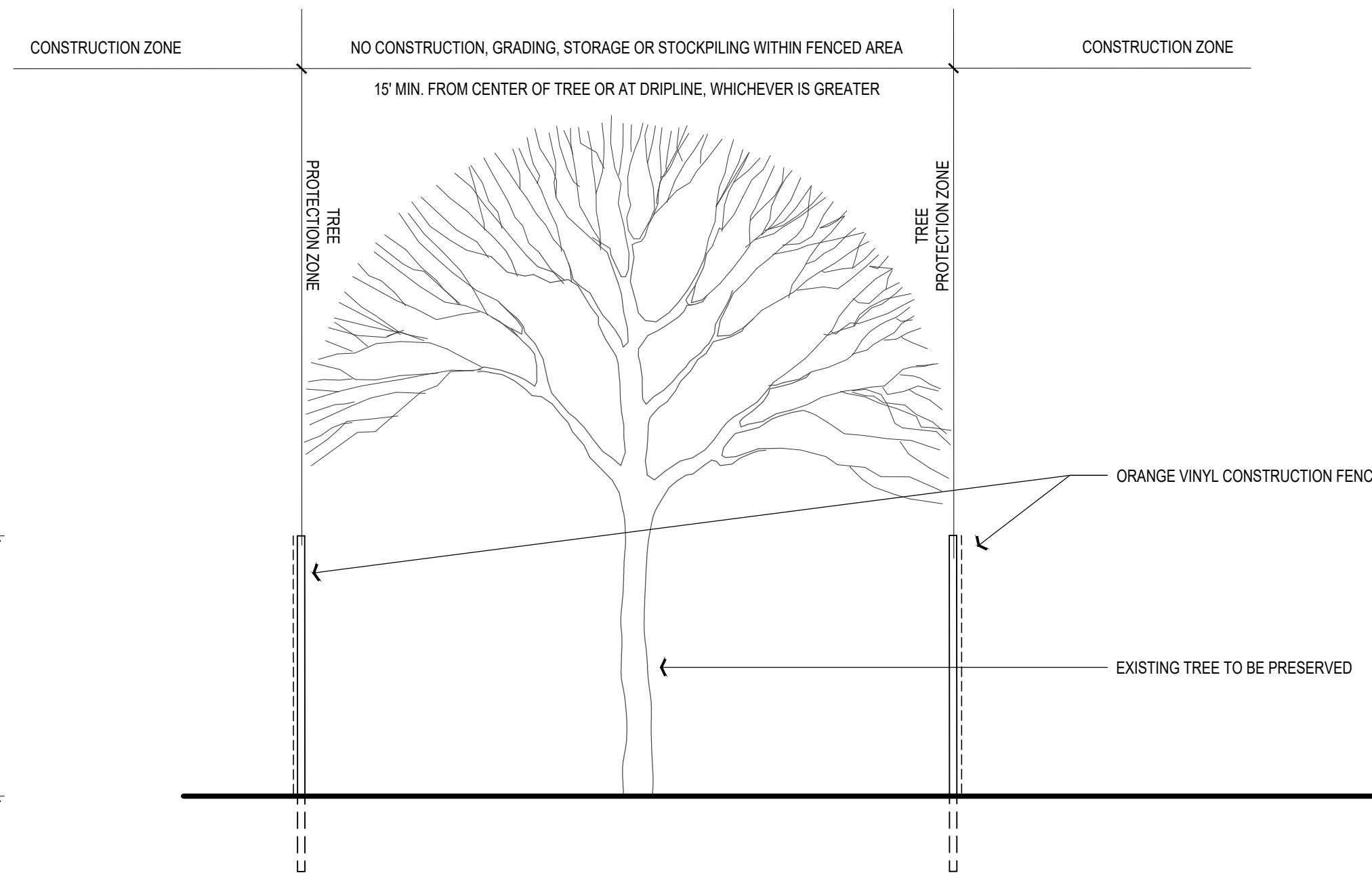
C SHRUB
SCALE: 1/2" = 1'-0"



D PERENNIALS & GROUNDCOVER
SCALE: 1" = 1'-0"



E TREE PROTECTION FENCE
SCALE: 1/2" = 1'-0"



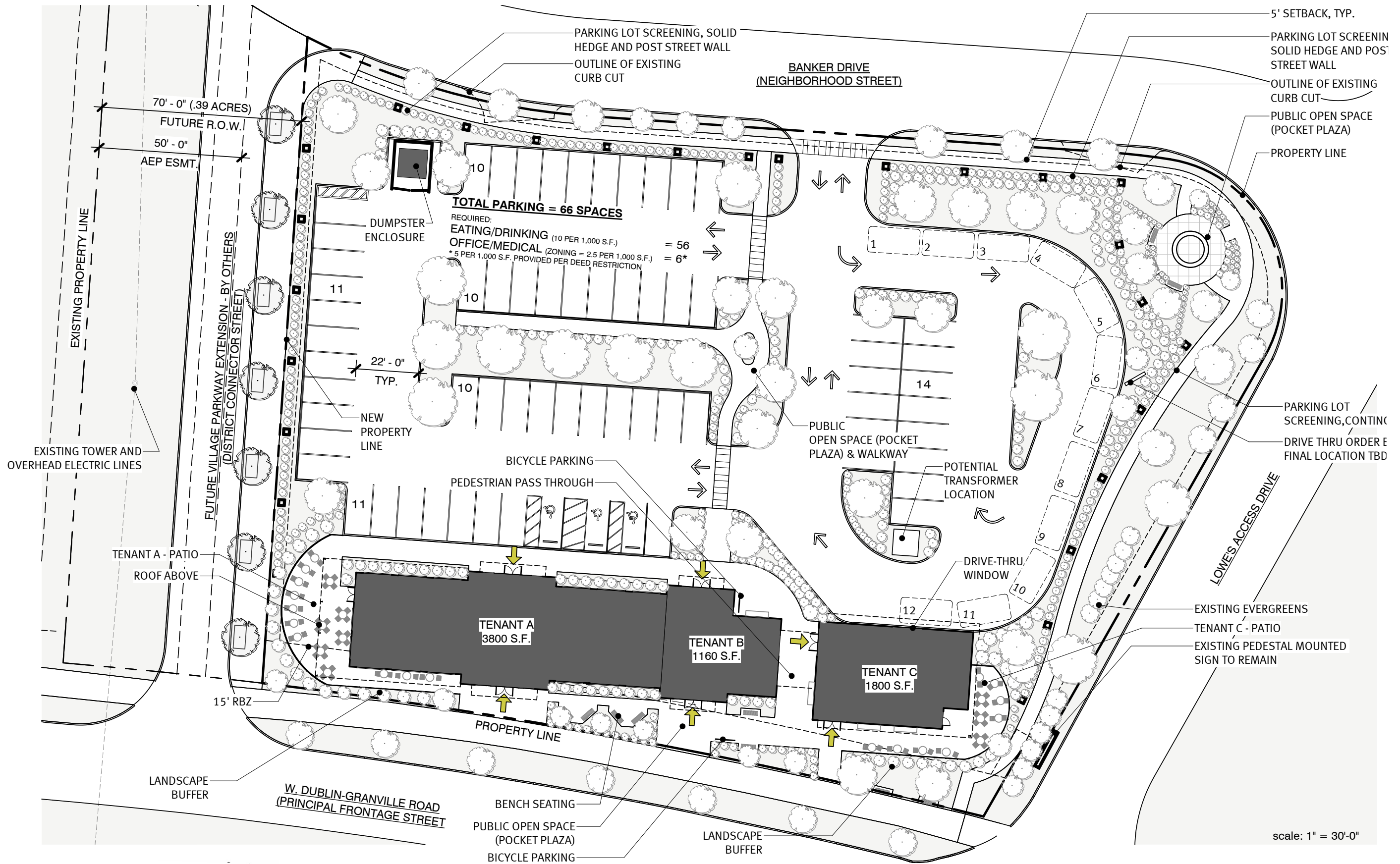
F SITE WALL COLUMN
SCALE: 1/2" = 1'-0"

4000 W. Dublin-Granville Road
BSD Preliminary Development Plan
04.08.2022

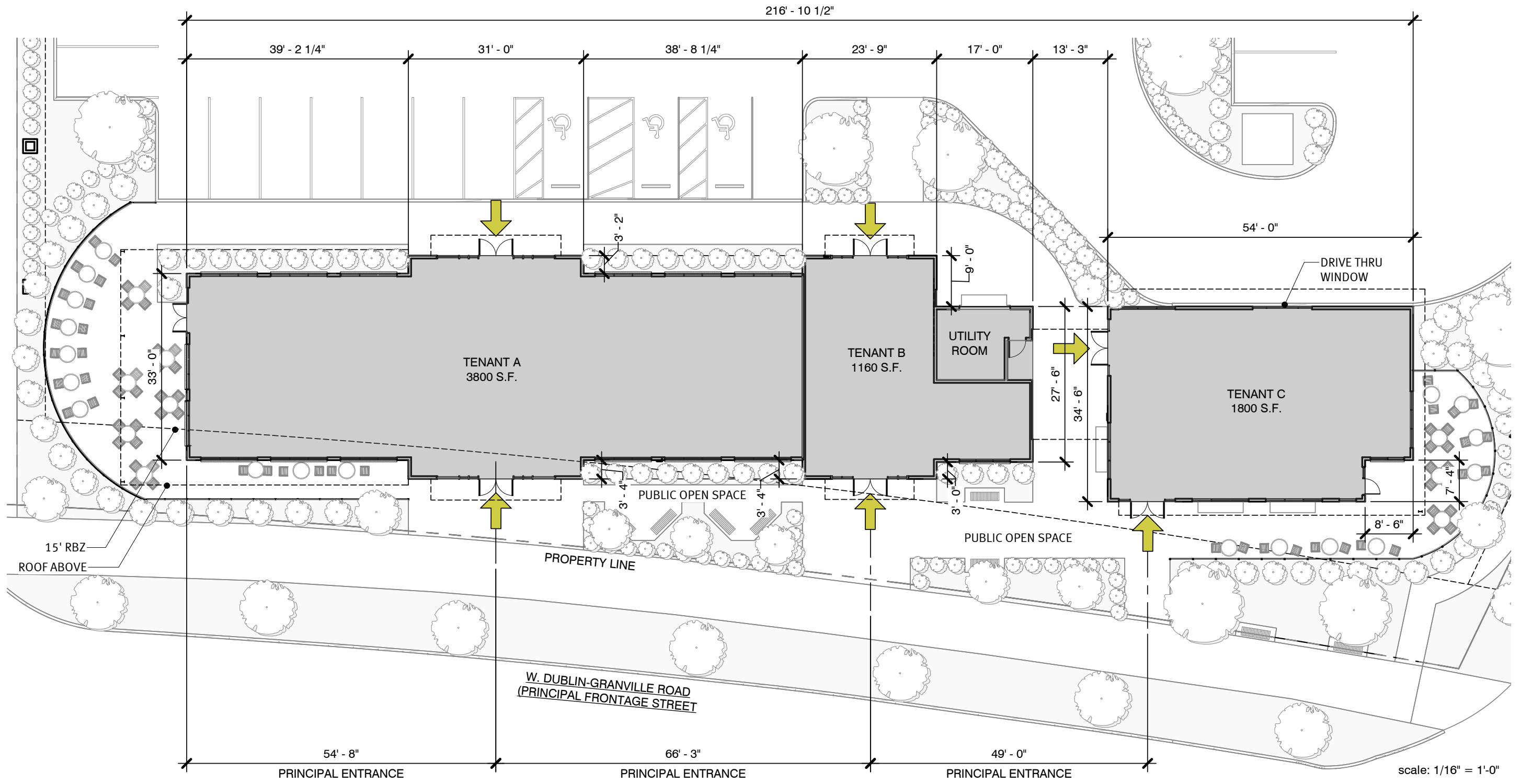


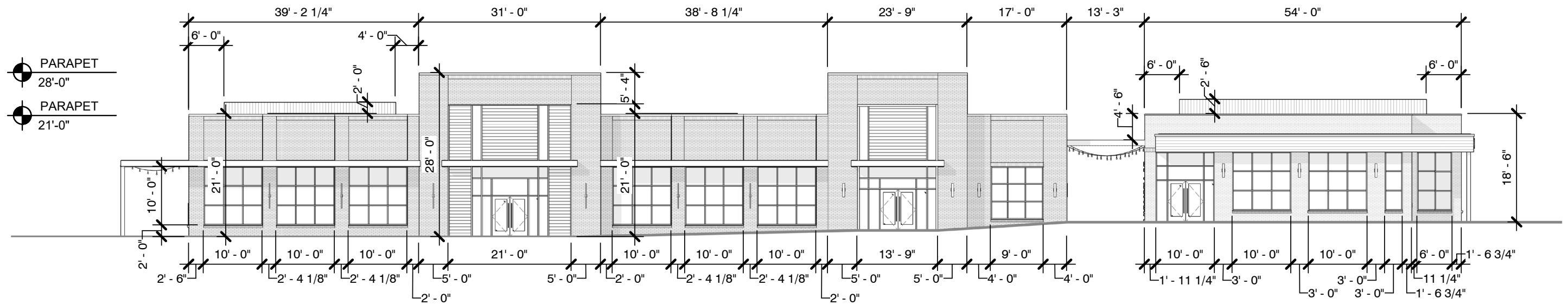






scale: 1" = 30'-0"





Transparency Calculations

Facade	Facade Area	Total Facade s.f.	Total Glass s.f.	Percent of Total Facade	Minimum Percent Required
North	Ground Story Street Facing	N/A	N/A	N/A	20%
North	Full Facade	4,649 SF	1,134 SF	24.4%	
South	Ground Story Street Facing	1,222 SF	810 SF	66.2%	60%
South	Full Facade	4,649 SF	1,399 SF	30.1%	
West	Ground Story Street Facing	237 SF	144 SF	60.8%	60%
West	Full Facade	693 SF	256 SF	36.9%	
East	Ground Story Street Facing	N/A	N/A	N/A	20%
East	Full Facade	653 SF	160 SF	24.5%	

Facade Requirements

Building Height

Required: 2 Stories min height
 Provided: 1 Story

Blank Wall Limitations

Required: Yes
 Provided: Yes

Building Entrance

Principal Entrance Location

Required: Entry on primary street facade of building
 Provided: Yes

Street Facades: Number of Entrances

Required: 1 per 75'
 Provided: Yes

Parking Lot Facades: Number of Entrances

Required: 1 per 100'
 Provided: Yes

Mid-Building Pedestrianway

Required: No, only for buildings longer than 250'
 Provided: Yes

Facade Divisions

Vertical Increments

Required: No greater than 40'
 Provided: Yes

Horizontal Facade Divisions

Required: No
 Provided: No

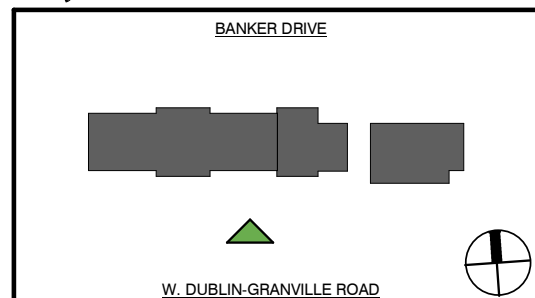
Required Change in Roof Plane or Type

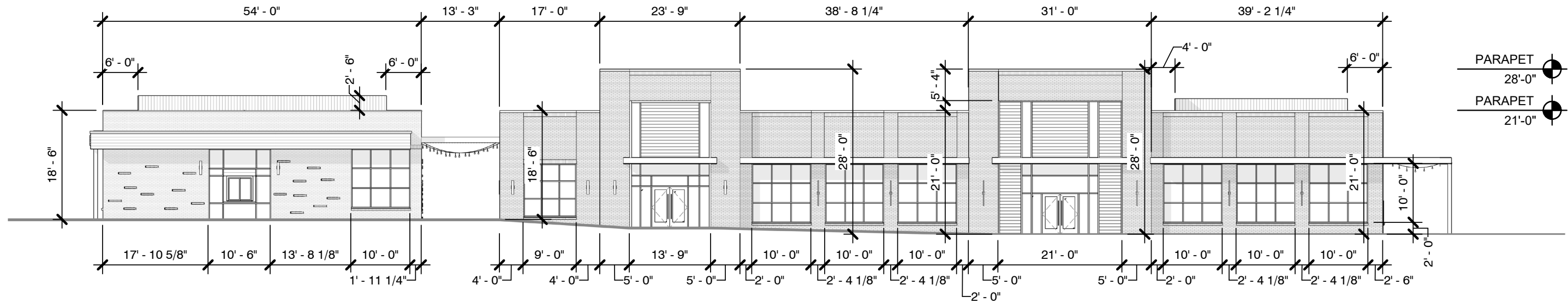
Required: No
 Provided: No

Primary Material Calculations

Facade	Total Facade s.f.	Material	Total Material s.f.	Percent of Total Facade	Primary Material Total (80% Required)
North	4,649 SF	Stone	0 SF	0%	81.6%
North		Brick	2,581 SF	55.5%	
North		Glass	1,215 SF	26.1%	
South	4,649 SF	Stone	0 SF	0%	83.4%
South		Brick	2,479 SF	53.3%	
South		Glass	1,399 SF	30.1%	
West	693 SF	Stone	0 SF	0%	95.2%
West		Brick	404 SF	58.3%	
West		Glass	256 SF	36.9%	
East	653 SF	Stone	0 SF	0%	83.9%
East		Brick	388 SF	59.4%	
East		Glass	160 SF	24.5%	

Key Plan





Transparency Calculations

Facade	Facade Area	Total Facade s.f.	Total Glass s.f.	Percent of Total Facade	Minimum Percent Required
North	Ground Story Street Facing	N/A	N/A	N/A	20%
North	Full Facade	4,649 SF	1,134 SF	24.4%	
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East	Ground Story Street Facing	N/A	N/A	N/A	20%
East	Full Facade	653 SF	160 SF	24.5%	

Facade Requirements

Building Height
 Required: 2 Stories min height
 Provided: 1 Story

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 Required: Yes
 Provided: Yes

Building Entrance
Principal Entrance Location
 Required: Entry on primary street facade of building
 Provided: Yes

Street Facades: Number of Entrances
 Required: 1 per 75'
 Provided: Yes

Parking Lot Facades: Number of Entrances
 Required: 1 per 100'
 Provided: Yes

Mid-Building Pedestrianway
 Required: No, only for buildings longer than 250'
 Provided: Yes

Facade Divisions
Vertical Increments
 Required: No greater than 40'
 Provided: Yes

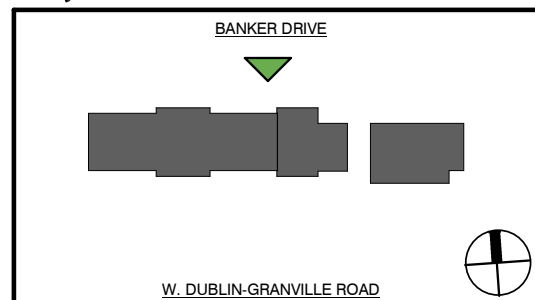
Horizontal Facade Divisions
 Required: No
 Provided: No

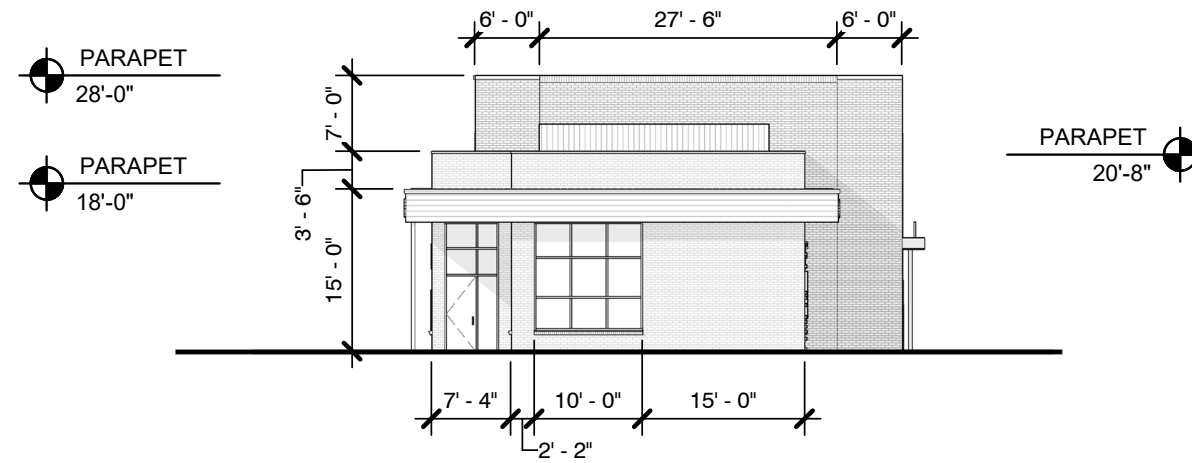
Required Change in Roof Plane or Type
 Required: No
 Provided: No

Primary Material Calculations

Facade	Total Facade s.f.	Material	Total Material s.f.	Percent of Total Facade	Primary Material Total (80% Required)
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West		Glass	256 SF	36.9%	
East	653 SF	Stone	0 SF	0%	83.9%
East		Brick	388 SF	59.4%	
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Key Plan





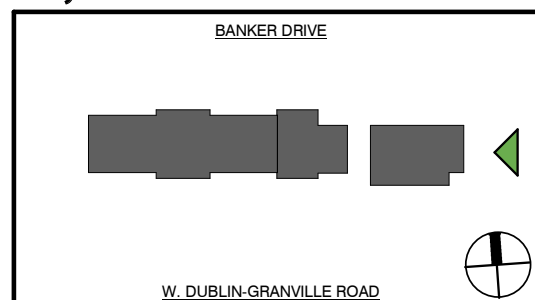
Transparency Calculations

Facade	Facade Area	Total Facade s.f.	Total Glass s.f.	Percent of Total Facade	Minimum Percent Required
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Key Plan



Facade Requirements

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Provided: 1 Story

Blank Wall Limitations

Required: Yes

Provided: Yes

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Provided: Yes

Mid-Building Pedestrianway

Required: No, only for buildings longer than 250'

Provided: Yes

Facade Divisions

Vertical Increments

Required: No greater than 40'

Provided: Yes

Horizontal Facade Divisions

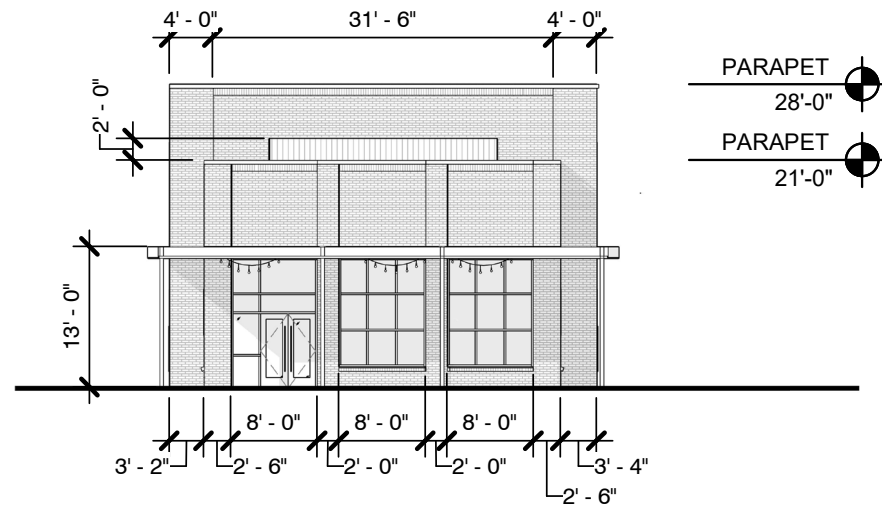
Required: No

Provided: No

Required Change in Roof Plane or Type

Required: No

Provided: No



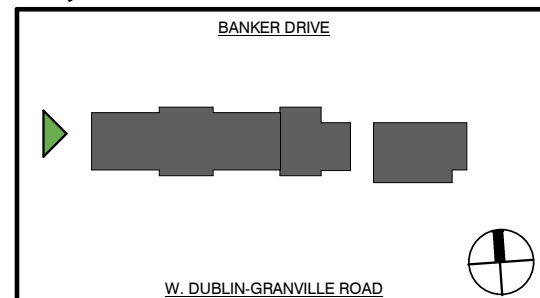
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East		Brick	388 SF	59.4%	
East		Glass	160 SF	24.5%	

Key Plan



Facade Requirements

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Required: 2 Stories min height
 Provided: 1 Story

Blank Wall Limitations

Required: Yes
 Provided: Yes

Building Entrance

Principal Entrance Location

Required: Entry on primary street facade of building
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 Provided: No

Required Change in Roof Plane or Type

Required: No
 Provided: No

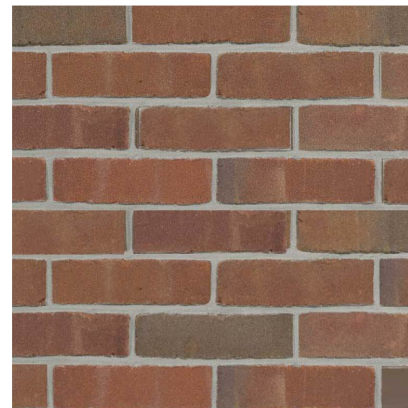


Note: Signage shown for reference only. Final locations to be determined and approved through Master Sign Plan

Coded Notes

- 1 BRICK VENEER, COLOR 1
- 2 BRICK VENEER, COLOR 2
- 3 BRICK VENEER, COLOR 3
- 4 STOREFRONT WINDOW SYSTEM
- 5 METAL PANEL - HORIZONTAL
- 6 METAL PANEL - VERTICAL (ROOFTOP SCREENING)
- 7 WOOD SIDING
- 8 BRICK SOLDIER COURSE (1 ROW)
- 9 BRICK ROWLOCK SILL
- 10 METAL CANOPY (COVERED)
- 11 METAL RAILING
- 12 METAL COPING
- 13 DRIVE THRU WINDOW
- 14 METAL CANOPY (TRELLIS)

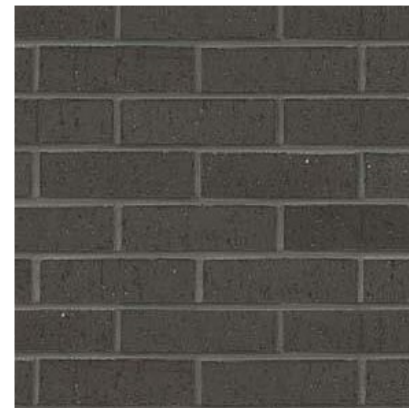
Exterior Materials



BRICK, COLOR 1
Glen-Gery, Aberdeen*



BRICK, COLOR 2
Belden, Saxony Blend*



BRICK, COLOR 3
Belden, Carbon Black Smooth*



METAL PANEL - HORIZONTAL
DMI Flush Reveal -12", Black*



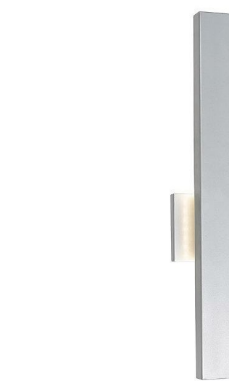
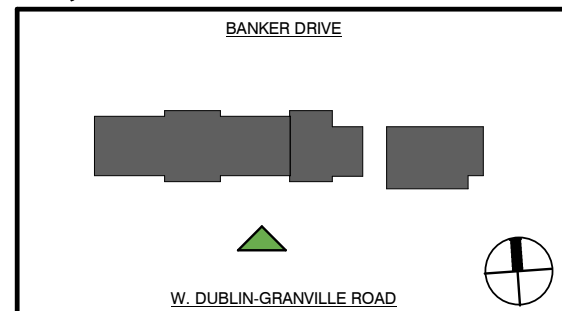
METAL PANEL - VERTICAL
DMI Flush Reveal -12", Black*



WOOD SIDING
Nova Exoclad, Batu Hardwood*

*or equal

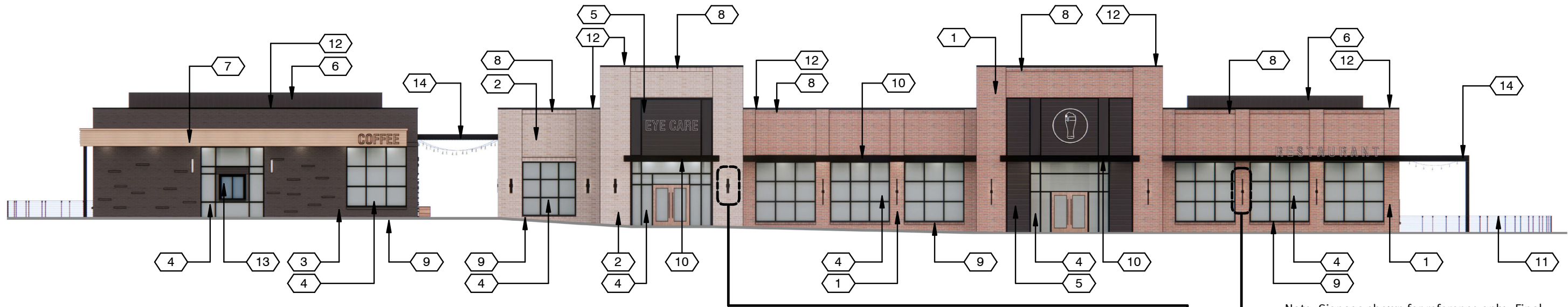
Key Plan



OUTDOOR WALL SCONCE
Clud LED Slim, Silica (Black at Tenant B)



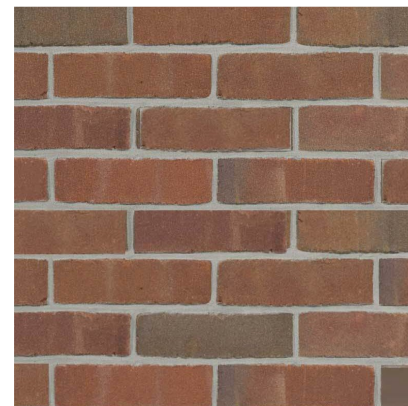
OUTDOOR WALL SCONCE
Alumilux LED Outdoor Wall Sconce, Black



Coded Notes

- 1 BRICK VENEER, COLOR 1
- 2 BRICK VENEER, COLOR 2
- 3 BRICK VENEER, COLOR 3
- 4 STOREFRONT WINDOW SYSTEM
- 5 METAL PANEL - HORIZONTAL
- 6 METAL PANEL - VERTICAL (ROOFTOP SCREENING)
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- 10 METAL CANOPY (COVERED)
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- 14 METAL CANOPY (TRELLIS)

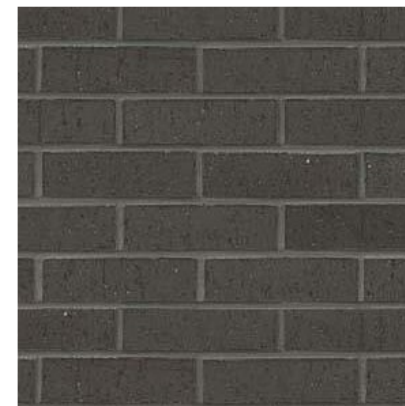
Exterior Materials



BRICK, COLOR 1
Glen-Gery, Aberdeen*



BRICK, COLOR 2
Belden, Saxony Blend*



BRICK, COLOR 3
Belden, Carbon Black Smooth*



METAL PANEL - HORIZONTAL
DMI Flush Reveal -12", Black*



METAL PANEL - VERTICAL
DMI Flush Reveal -12", Black*



WOOD SIDING
Nova Exoclad, Batu Hardwood*

*or equal

Note: Signage shown for reference only. Final locations to be determined and approved through Master Sign Plan

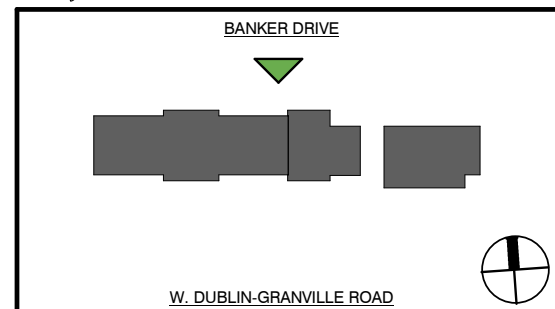


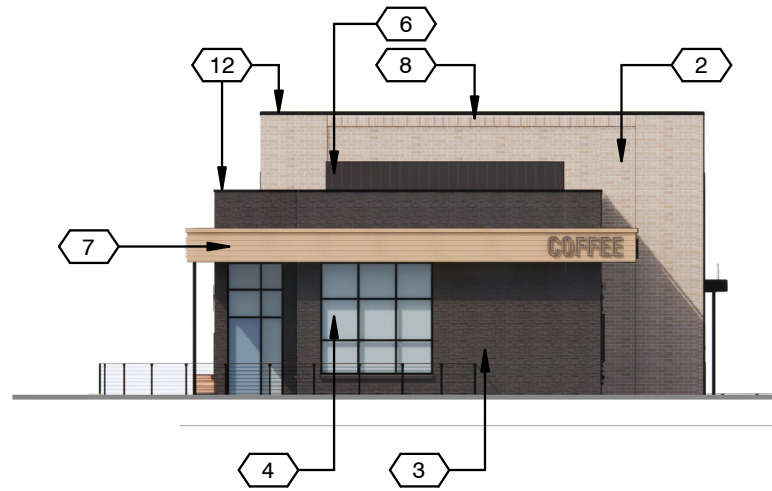
OUTDOOR WALL SCONCE
Alumilux LED Outdoor Wall Sconce, Black



OUTDOOR WALL SCONCE
Claud LED Slim, Silica (Black at Tenant B)

Key Plan

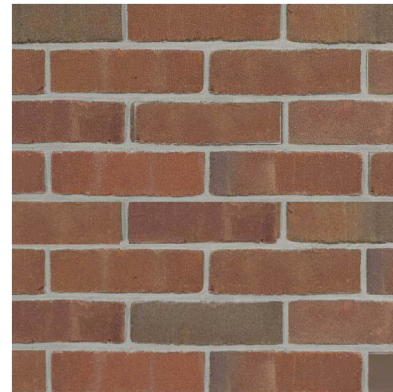




Coded Notes

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- 3 BRICK VENEER, COLOR 3
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- 12 METAL COPING
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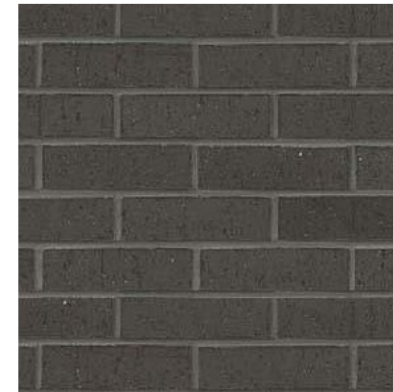
Exterior Materials



BRICK, COLOR 1
Glen-Gery, Aberdeen*



BRICK, COLOR 2
Belden, Saxony Blend*



BRICK, COLOR 3
Belden, Carbon Black Smooth*



METAL PANEL - HORIZONTAL
DMI Flush Reveal -12", Black*



METAL PANEL - VERTICAL
DMI Flush Reveal -12", Black*



WOOD SIDING
Nova Exoclad, Batu Hardwood*

*or equal

Note: Signage shown for reference only. Final locations to be determined and approved through Master Sign Plan

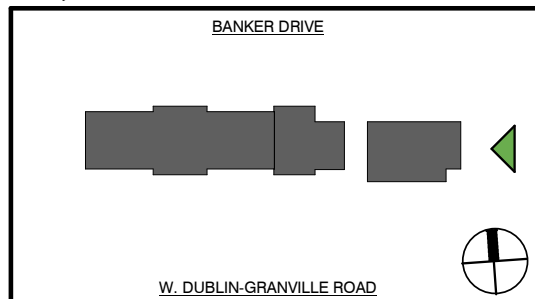


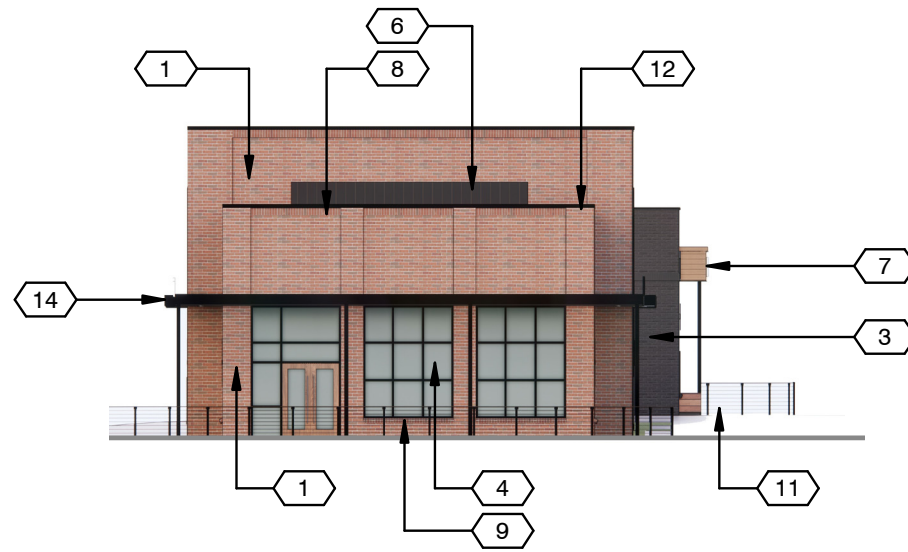
OUTDOOR WALL SCONCE
Claud LED Slim, Silica (Black at Tenant B)



OUTDOOR WALL SCONCE
Alumilux LED Outdoor Wall Sconce, Black

Key Plan

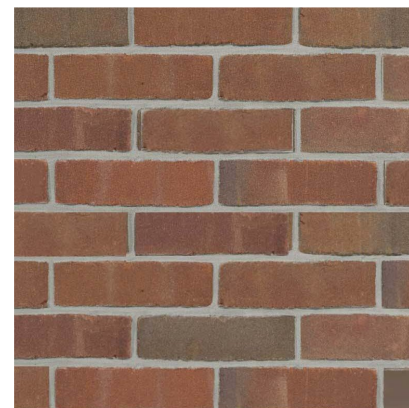




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- 10 METAL CANOPY (COVERED)
- 11 METAL RAILING
- 12 METAL COPING
- 13 DRIVE THRU WINDOW
- 14 METAL CANOPY (TRELLIS)

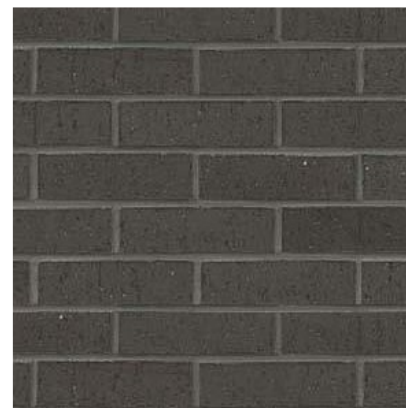
Exterior Materials



BRICK, COLOR 1
Glen-Gery, Aberdeen*



BRICK, COLOR 2
Belden, Saxony Blend*



BRICK, COLOR 3
Belden, Carbon Black Smooth*



METAL PANEL - HORIZONTAL
DMI Flush Reveal -12", Black*



METAL PANEL - VERTICAL
DMI Flush Reveal -12", Black*



WOOD SIDING
Nova Exoclad, Batu Hardwood*

*or equal

Note: Signage shown for reference only. Final locations to be determined and approved through Master Sign Plan

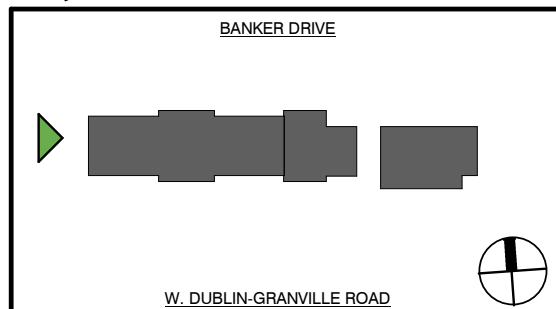


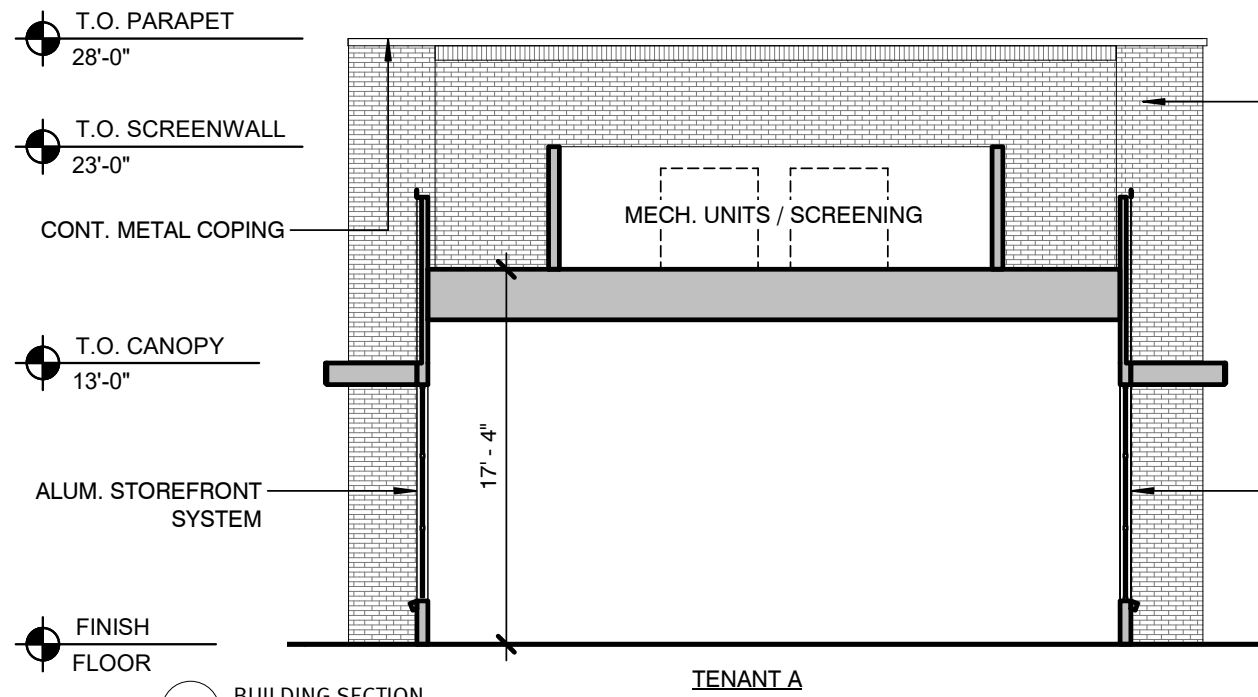
OUTDOOR WALL SCONCE
Clud LED Slim, Silica (Black at Tenant B)



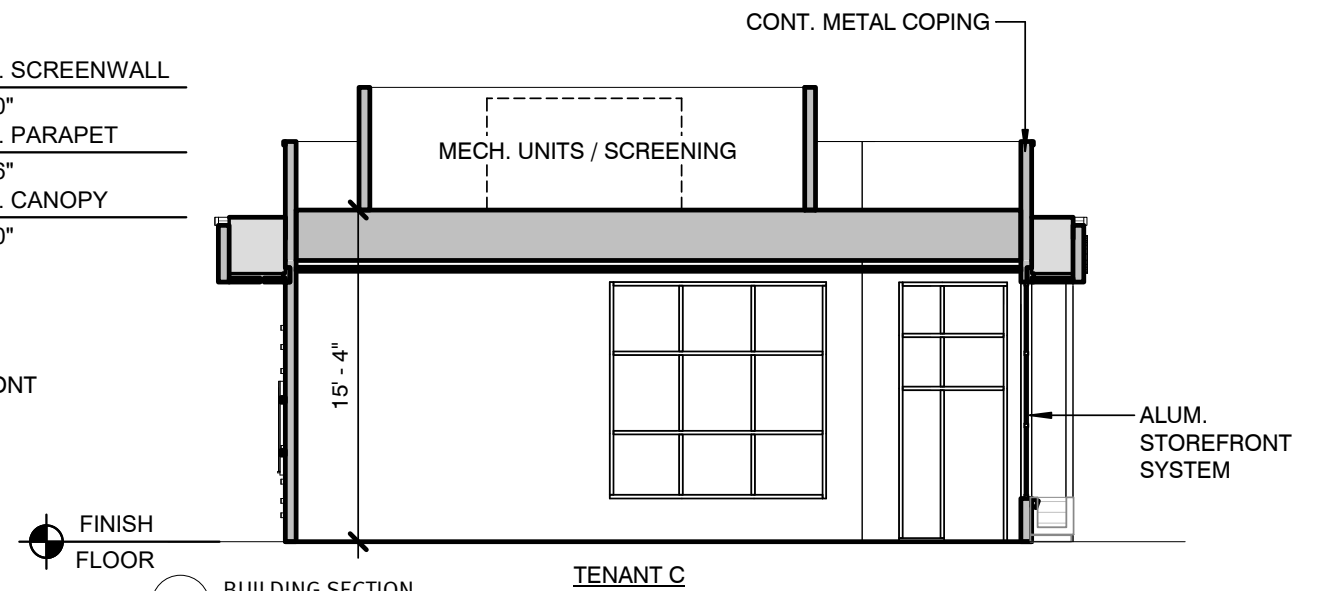
OUTDOOR WALL SCONCE
Alumilux LED Outdoor Wall Sconce, Black

Key Plan

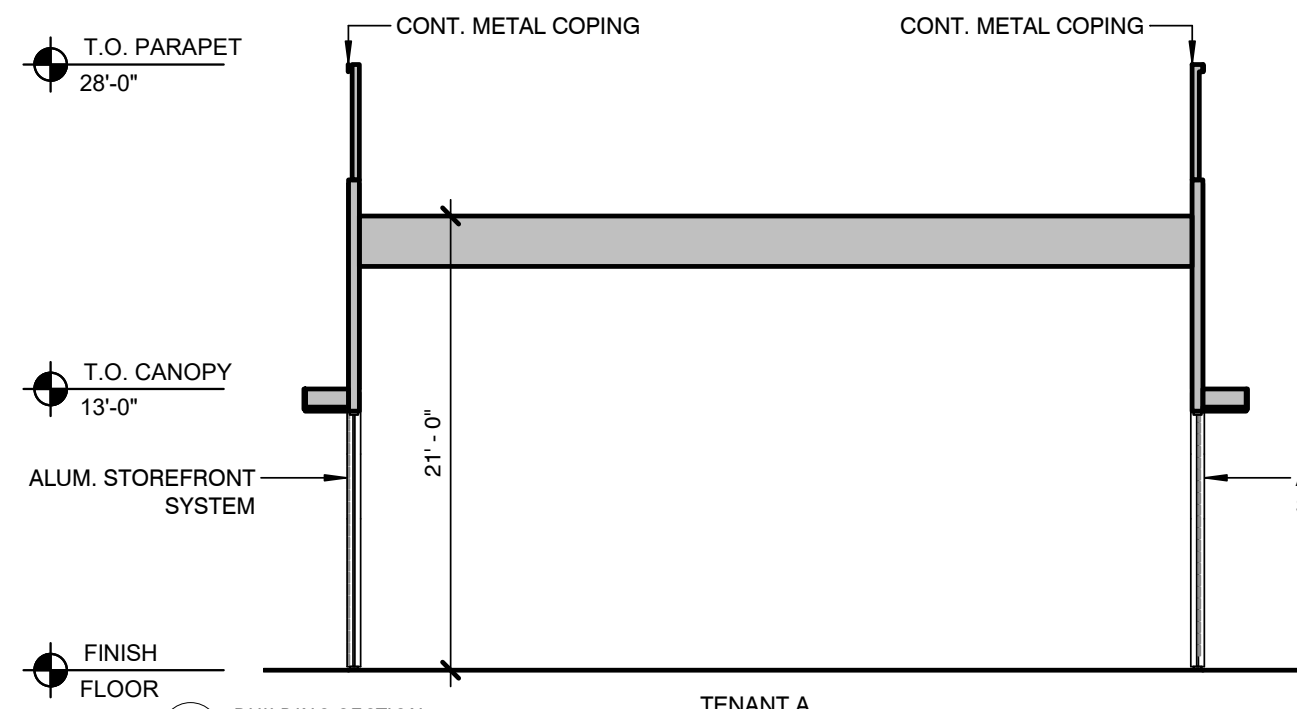




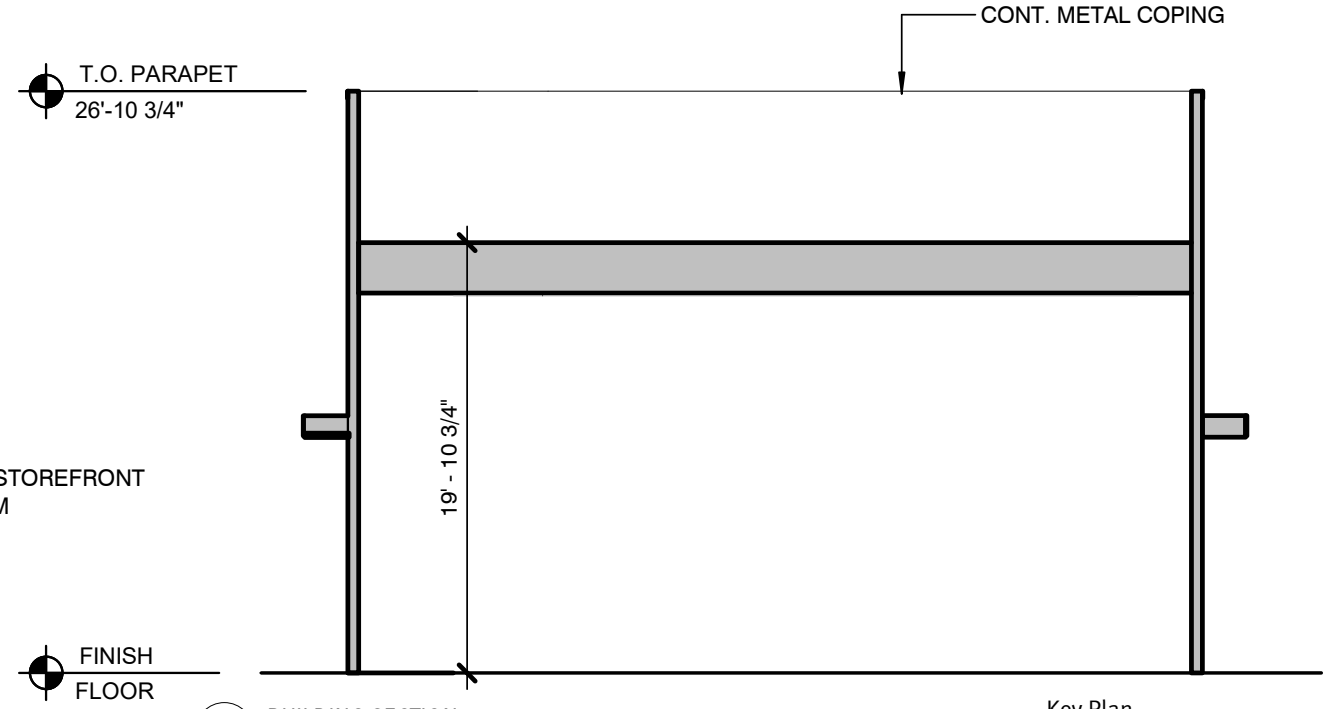
1 BUILDING SECTION
scale: 1/8" = 1'-0"



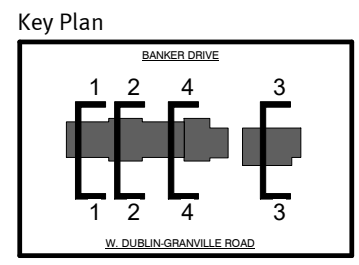
3 BUILDING SECTION
scale: 1/8" = 1'-0"

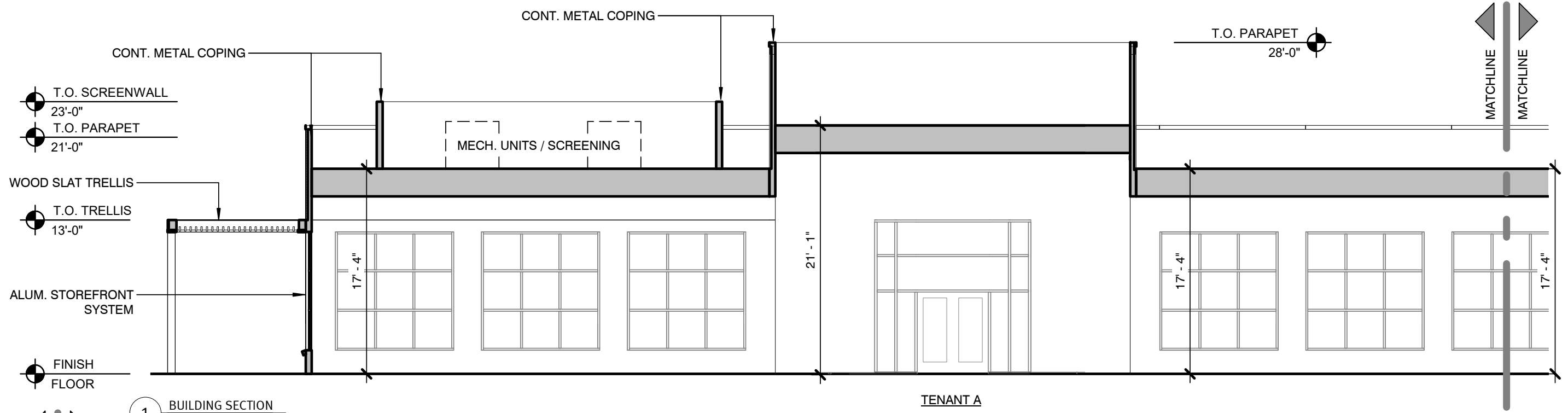


2 BUILDING SECTION
scale: 1/8" = 1'-0"

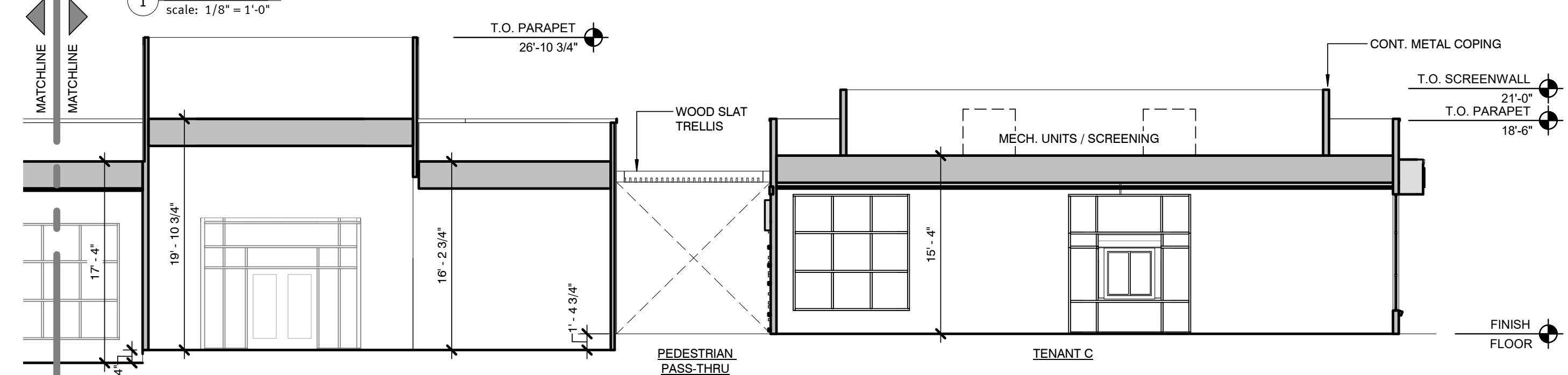


4 BUILDING SECTION
scale: 1/8" = 1'-0"





1 BUILDING SECTION
scale: 1/8" = 1'-0"



2 BUILDING SECTION
scale: 1/8" = 1'-0"

