

# FIRST WATCH<sup>®</sup>

## THE DAYTIME CAFE

# 6505 DUBLIN CENTER DR - DUBLIN, OH 43017

### PROJECT DIRECTORY

TENANT	LANDLORD	ARCHITECT OF RECORD	PLANNING & ZONING AUTHORITY
FIRST WATCH RESTAURANTS INC. 8725 PENDERV PLACE, SUITE 201 BRADENTON, FL 34201 PHONE: (941) 907-9800	PARADIGM DEVELOPMENT GROUP 3974 BROWN PARK DR. SUITE E HILLIARD, OH 43026 CONTACT: BRETT LESLIE EMAIL: brett.paradigm@gmail.com	ARCHITECTURAL GROUP INTERNATIONAL 15 WEST SEVENTH STREET COVINGTON, KENTUCKY 41011 CONTACT: MEGAN ESSWEIN PHONE: (859) 261-5400 FAX: (859) 261-5530 EMAIL: messwein@ag-us.com	CITY OF DUBLIN PLANNING DEPARTMENT 5200 EMERALD PARKWAY DUBLIN, OH 43016 CONTACT: TAYLOR MULLINAX PHONE: (614) 410-4600 EMAIL: tmullinax@dublin.oh.us

### CODE INFORMATION

#### GENERAL BUILDING CODE DATA

BUILDING OFFICIAL JURISDICTION: CITY OF DUBLIN BUILDING STANDARDS  
PROJECT DESCRIPTION: FIRST WATCH RESTAURANT - 6505 DUBLIN CENTER DR, DUBLIN, OH 43017

#### APPLICABLE CODES:

BUILDING: 2017 OHIO BUILDING CODE  
STRUCTURAL: 2017 OHIO BUILDING CODE  
PLUMBING: 2017 OHIO PLUMBING CODE  
MECHANICAL: 2017 OHIO MECHANICAL CODE  
ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE, NFPA 70  
FIRE/LIFE SAFETY: 2017 OHIO FIRE CODE  
ACCESSIBILITY: CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN  
ENERGY CODE: OHIO ENERGY CODE, CHAPTER 13, 2012 INTERNATIONAL ENERGY CODE  
GAS PIPING: 2015 INTERNATIONAL FUEL GAS CODE

#### CHAPTER 3 - USE AND OCCUPANCY:

303 A-2 - ASSEMBLY (RESTAURANT)

#### CHAPTER 6 - TYPE OF CONSTRUCTION

CLASSIFICATION: VB

#### FIRE-RESISTANCE RATINGS (TABLE 601):

STRUCTURAL FRAME: 0 HOURS  
BEARING WALLS:  
INTERIOR: 0 HOURS  
EXTERIOR: 0 HOURS  
NON-BEARING WALLS:  
INTERIOR: 0 HOURS  
EXTERIOR: 0 HOURS  
FLOOR CONSTRUCTION: 0 HOURS  
ROOF CONSTRUCTION: 0 HOURS

#### CHAPTER 8 - INTERIOR FINISHES

##### TABLE 803.5

##### USE A-2 ASSEMBLY:

INTERIOR WALL AND CEILING FINISHES:  
EXIT ENCLOSURES AND EXIT PASSAGEWAYS:  
CORRIDORS:  
ROOMS AND ENCLOSED SPACES:

CLASS B  
CLASS B  
CLASS C

804 INTERIOR FLOOR FINISHES:  
EXIT ENCLOSURES, EXIT PASSAGEWAYS,  
AND CORRIDORS:  
ROOMS AND ENCLOSED SPACES:

CLASS II AND DOC FF-1 "PILL TEST" OR HIGHER  
CLASS II AND DOC FF-1 "PILL TEST" OR HIGHER

#### CHAPTER 9 - FIRE PROTECTION SYSTEMS

903.2.1.2 AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED BASED ON THE TENANT OCCUPANT LOAD AND SQUARE FOOTAGE.

#### CHAPTER 10 - MEANS OF EGRESS

##### TABLE 1004.1.1

WAITING AREA (86 SF): 19 OCCUPANTS 5 NET SF PER OCCUPANT  
DINING RM-FIXED SEATING (BOOTH) (336 SF): 52 OCCUPANTS 24" OF SEATING PER OCCUPANT  
DINING RM-FIXED SEATING (BANQUETTE) (281 SF, 77'-11" LINEAR FT.): 52 OCCUPANTS 18" OF SEATING PER OCCUPANT  
DINING RM-UNCONCENTRATED (1688 SF - 336 SF - 261 SF = 1091 SF) 72 OCCUPANTS 15 NET SF PER OCCUPANT  
EXTERIOR SEATING: 42 OCCUPANTS  
KITCHEN (2281 SF): 11 OCCUPANTS 200 GROSS SF PER OCCUPANT

#### TOTAL:

206 OCCUPANTS FOR EGRESS CALCULATION  
248 OCCUPANTS FOR PLUMBING FIXTURE CALCULATION

TABLE 1016.1 MAXIMUM EXIT ACCESS TRAVEL DISTANCE FOR ASSEMBLY USE = 200 FEET

TABLE 1019.1 MINIMUM NUMBER OF REQUIRED EXITS = 2 (LESS THAN 500 OCCUPANTS PER FLOOR)

#### CHAPTER 11 - ACCESSIBILITY

PROJECT HAS BEEN DESIGNED TO BE ACCESSIBLE IN ACCORDANCE WITH ANSI A117.1 GUIDELINES.

### GENERAL NOTES

ARCHITECTURAL		ORIGINAL DRAWING DATE	REVISION 04/12/2022	REVISION 06/02/2022
A001A	COVER SHEET	04/07/2022	X	X
A003	OVERALL BUILDING PLAN	04/07/2022		X
A004	SITE PLAN	04/12/2022		X
A101	FLOOR PLAN	04/12/2022		X
A102	FURNITURE & FIXTURE PLAN	04/12/2022		X
A107	PATIO PLAN & DETAILS	04/12/2022		X
A501	EXTERIOR ELEVATIONS	04/07/2022	X	X
A502	EXTERIOR ELEVATIONS	04/07/2022		X
E111	ELECTRICAL PHOTOMETRICS	05/25/2022		X

### PROJECT SCOPE

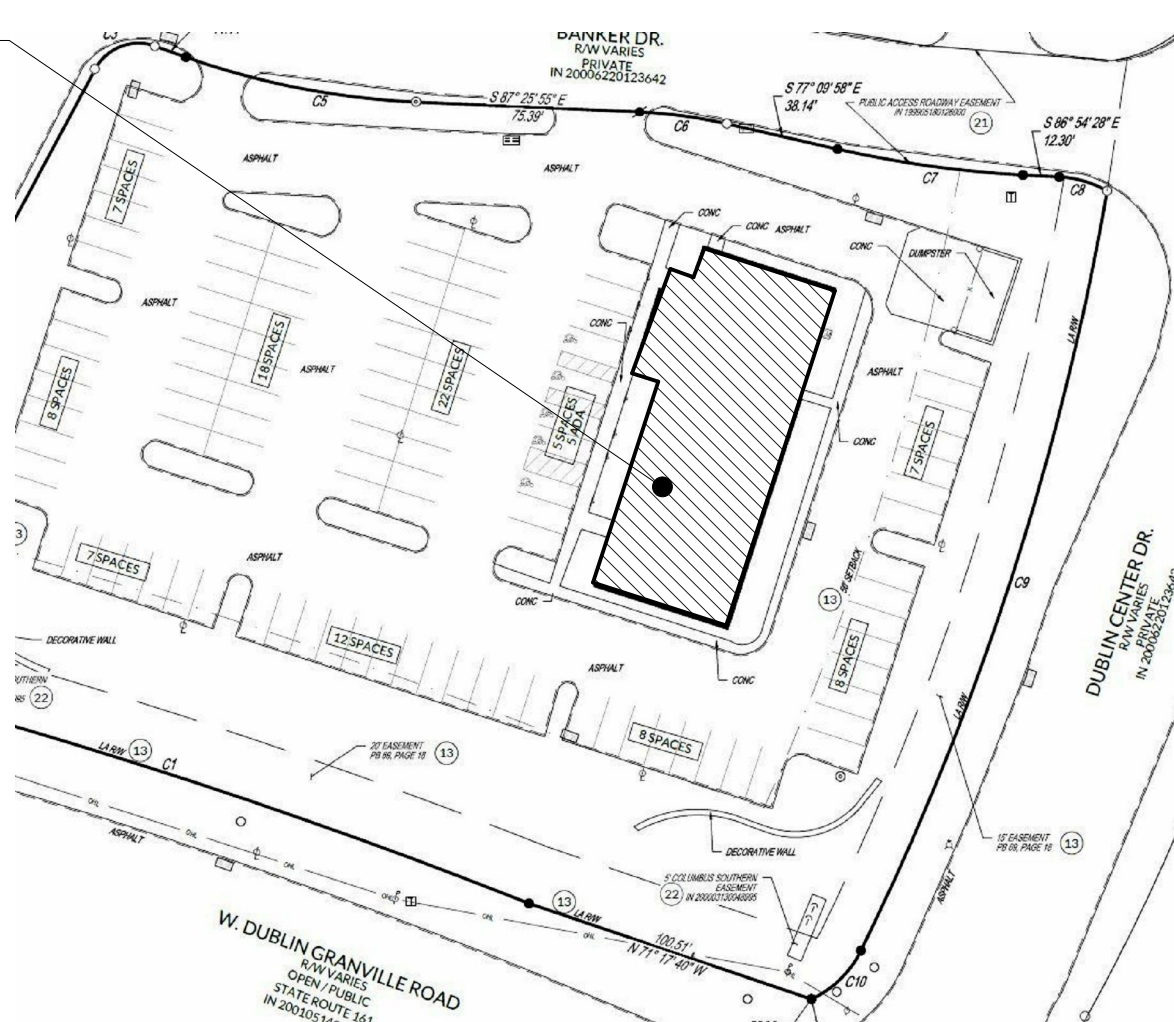
THE WORK WILL CONSIST OF NEW CONCRETE WALK  
WAY AT NEW DOOR, NEW WINDOWS AT PREVIOUSLY  
INFILLED SPACES, & NEW EXTERIOR FINISHES

THE EXISTING SPACE'S CURRENT USE IS (A-2)  
ASSEMBLY. WE WILL BE KEEPING THE SAME USE.

FUTURE SCOPE ON INTERIOR WORK TO BE ISSUED  
UNDER SEPARATE CONSTRUCTION DRAWINGS.

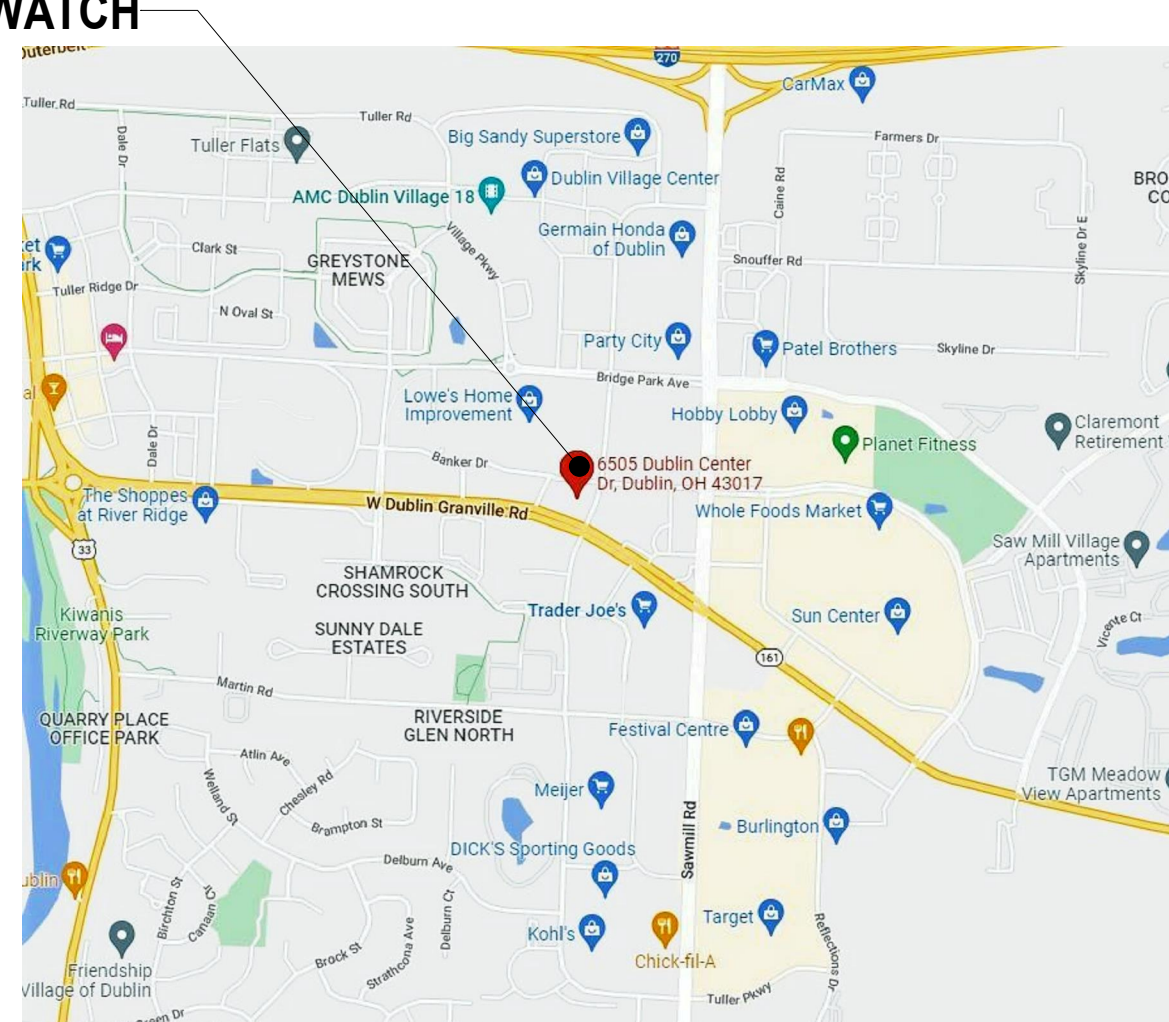
### KEY PLAN

FIRST WATCH



### VICINITY MAP

FIRST WATCH



Revisions:

04/07/2022 MN

PLANNING APPROVAL

04/25/2022 MN

ISSUED FOR BID/PERMIT

NO.	DATE	BY	CITY	DESCRIPTION
1	04/12/2022	MN	CITY	COMMENTS
2	06/02/2022	MBE	OWNER	CHANGES

**FIRST WATCH<sup>®</sup>**  
THE DAYTIME CAFE



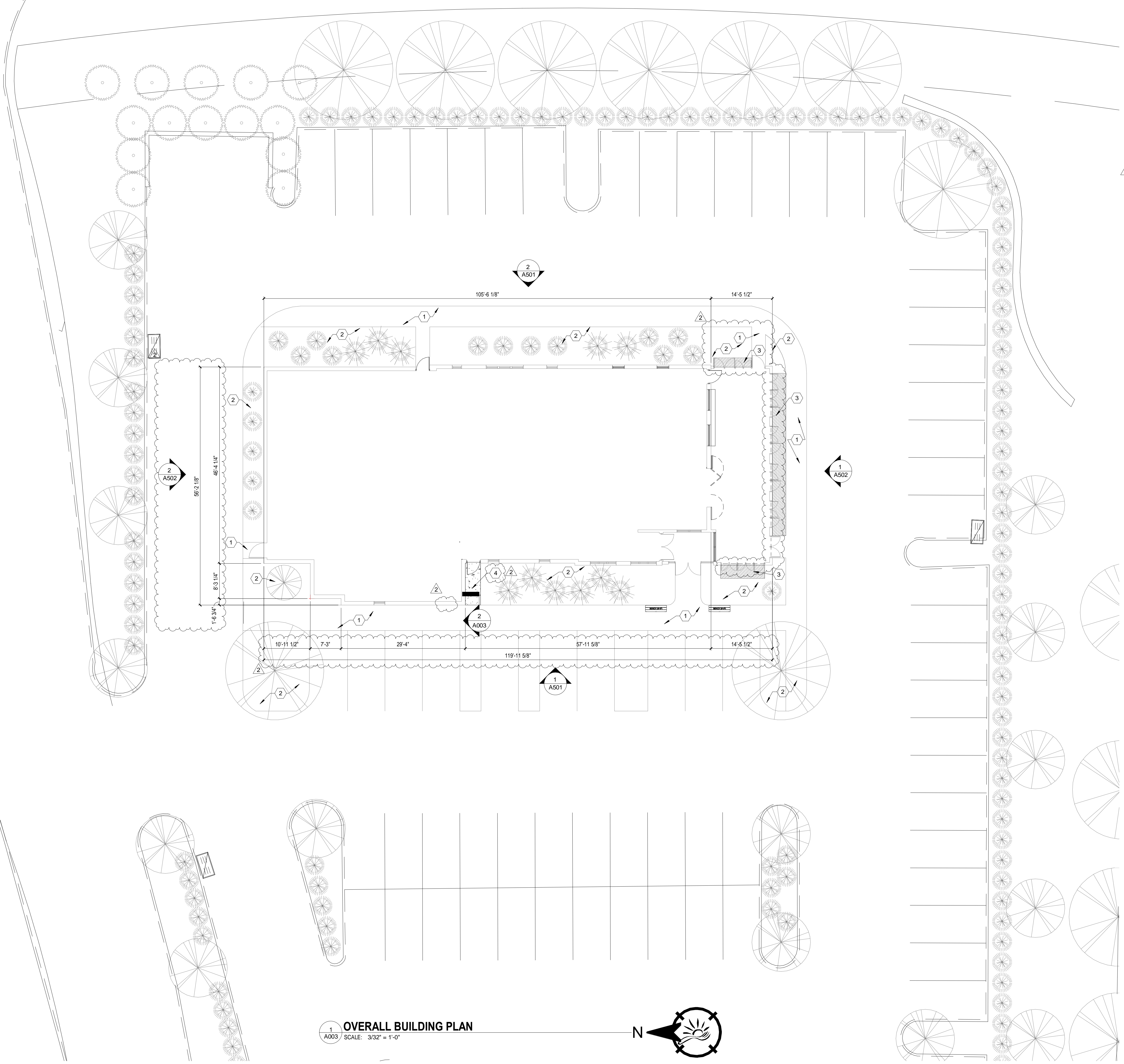
**FIRST WATCH  
SAWMILL**

DUBLIN, OH

PROJECT # 210924  
DATE ISSUED 4/25/2022

**COVER SHEET**

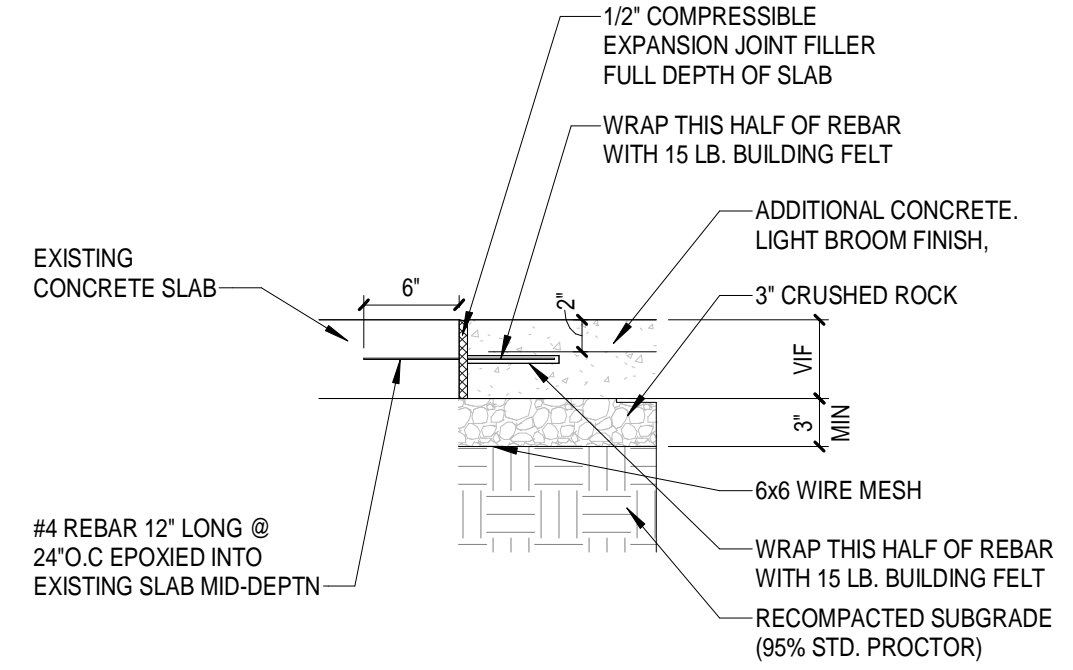
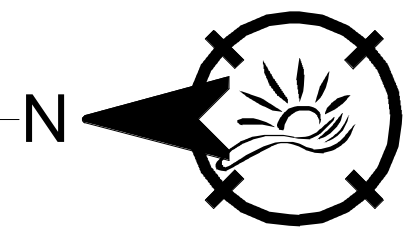
**A001A**



### KEYED NOTES

- 1 EXISTING SIDEWALK TO REMAIN.
- 2 EXISTING LANDSCAPE AREA TO REMAIN.
- 3 EXISTING BRICK PAVERS TO REMAIN.
- 4 EXISTING LANDSCAPE TO BE REMOVED AND REPLACED WITH NEW SLAB.

1 OVERALL BUILDING PLAN  
SCALE: 3/32" = 1'-0"



2 CONSTRUCTION JOINT  
SCALE: 1" = 1'-0"

This drawing is the property of ARCHITECTURAL GROUP INT'L and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as stated herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:

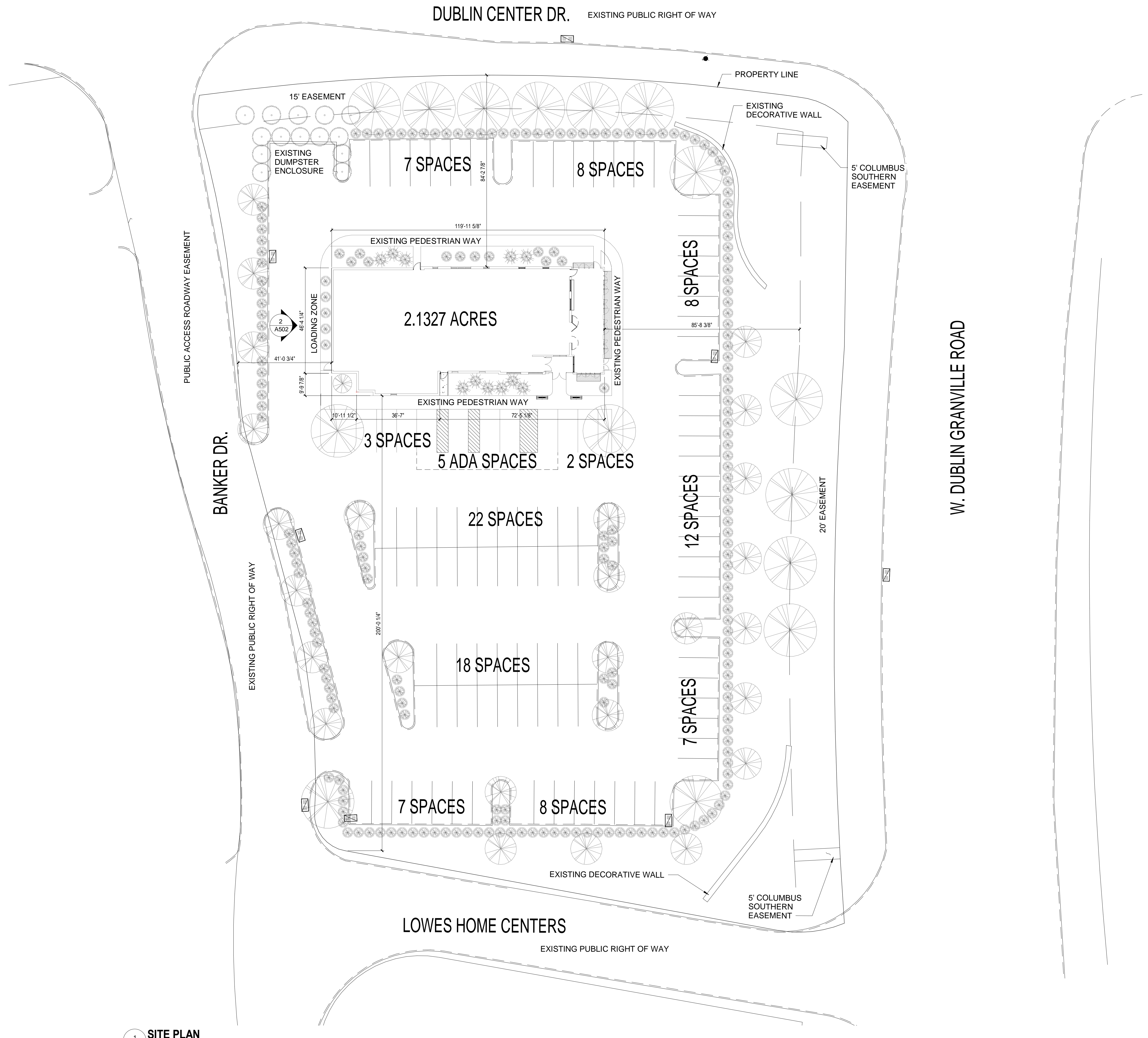
04/07/2022	MIN	
------------	-----	--

PLANNING APPROVAL

04/25/2022	MIN	
------------	-----	--

ISSUED FOR BID/PERMIT

NO.	DATE	BY	DESCRIPTION
2	06/02/2022	MBE	OWNER CHANGES



1 SITE PLAN  
A004 SCALE: 1" = 20'-0"

This drawing is the property of ARCHITECTURAL GROUP INT'L, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as stated herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:

04/07/2022	MIN	
------------	-----	--

PLANNING APPROVAL

04/25/2022	MIN	
------------	-----	--

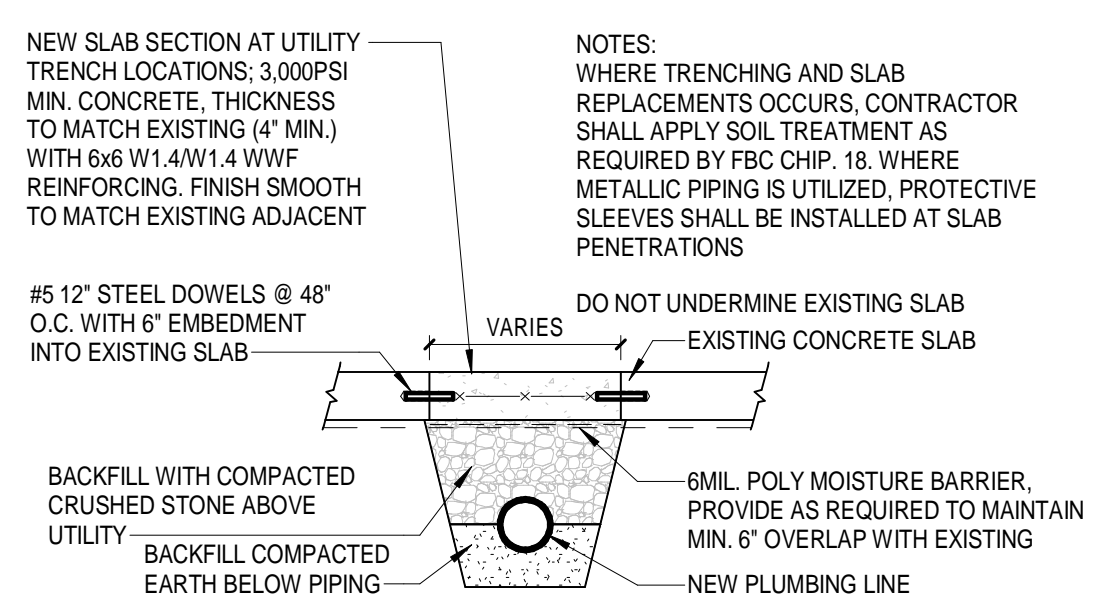
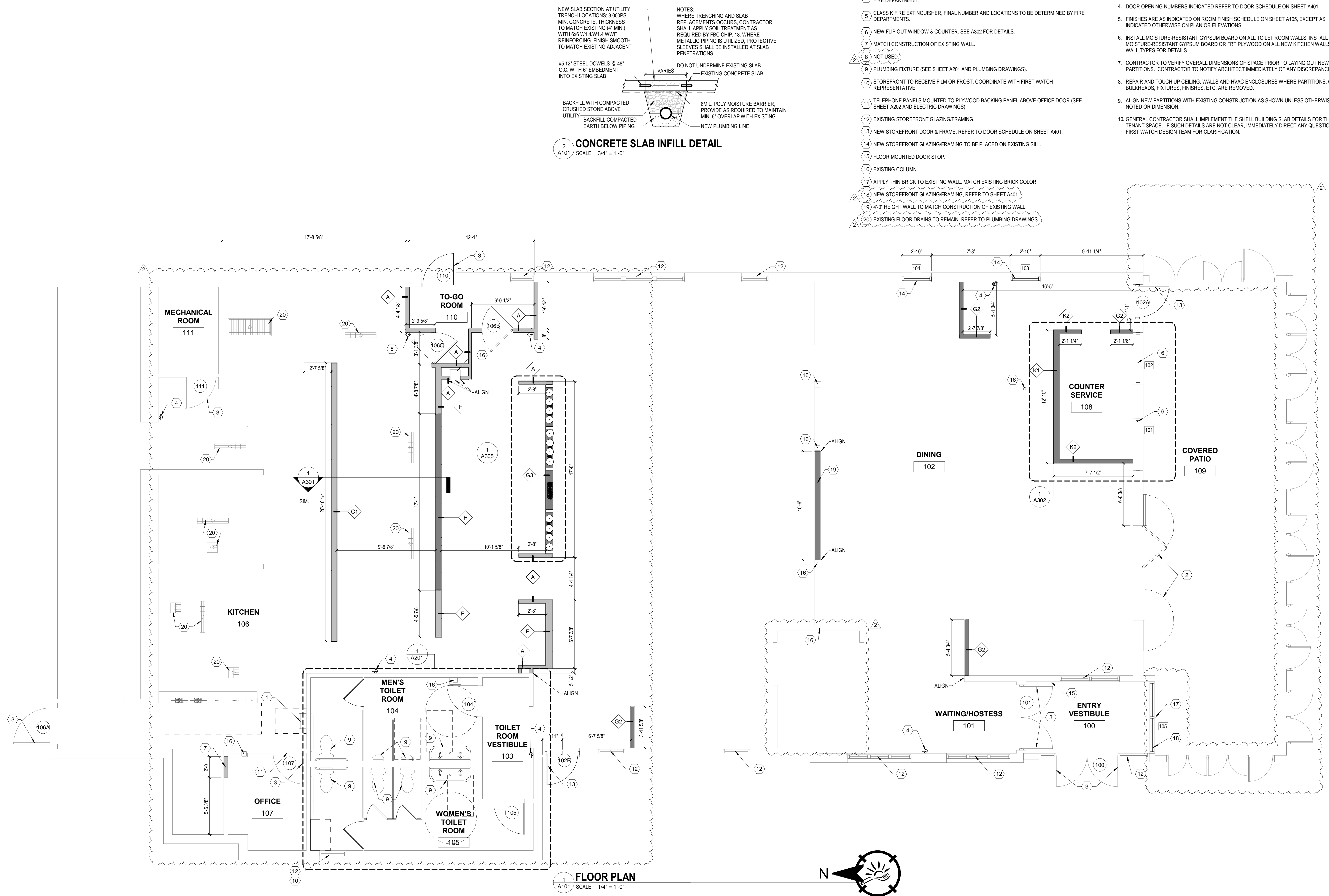
ISSUED FOR BID/PERMIT

NO.	DATE	BY	DESCRIPTION
2	06/02/2022	MBE	OWNER CHANGES


**FIRST WATCH**  
THE DAYTIME CAFE

**FIRST WATCH SAWMILL**  
DUBLIN, OH

PROJECT # 210924  
DATE ISSUED 4/25/2022

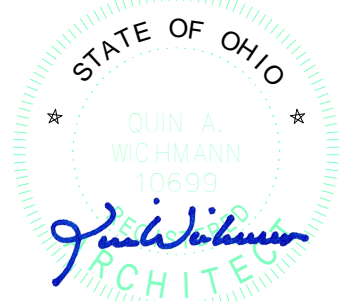


- ### KEYED NOTES
- EXISTING ROOF LADDER TO REMAIN.
  - EXISTING FOLDING DOORS TO REMAIN.
  - EXISTING DOOR & FRAME, REFER TO DOOR SCHEDULE ON SHEET A401
  - MULTIPURPOSE FIRE EXTINGUISHER, FINAL NUMBER AND LOCATIONS TO BE DETERMINED BY FIRE DEPARTMENT.
  - CLASS K FIRE EXTINGUISHER, FINAL NUMBER AND LOCATIONS TO BE DETERMINED BY FIRE DEPARTMENTS.
  - NEW FLIP OUT WINDOW & COUNTER. SEE A302 FOR DETAILS.
  - MATCH CONSTRUCTION OF EXISTING WALL.
  - NOT USED.
  - PLUMBING FIXTURE (SEE SHEET A201 AND PLUMBING DRAWINGS).
  - STOREFRONT TO RECEIVE FILM OR FROST. COORDINATE WITH FIRST WATCH REPRESENTATIVE.
  - TELEPHONE PANELS MOUNTED TO PLYWOOD BACKING PANEL ABOVE OFFICE DOOR (SEE SHEET A202 AND ELECTRIC DRAWINGS).
  - EXISTING STOREFRONT GLAZING/FRAMING.
  - NEW STOREFRONT DOOR & FRAME, REFER TO DOOR SCHEDULE ON SHEET A401.
  - NEW STOREFRONT GLAZING/FRAMING TO BE PLACED ON EXISTING SILL.
  - FLOOR MOUNTED DOOR STOP.
  - EXISTING COLUMN.
  - APPLY THIN BRICK TO EXISTING WALL. MATCH EXISTING BRICK COLOR.
  - NEW STOREFRONT GLAZING/FRAMING, REFER TO SHEET A401.
  - 4'-0" HEIGHT WALL TO MATCH CONSTRUCTION OF EXISTING WALL.
  - EXISTING FLOOR DRAINS TO REMAIN. REFER TO PLUMBING DRAWINGS.
- ### GENERAL NOTES
- UNHATCHED WALLS/PARTITIONS ARE EXISTING (TO REMAIN); SHADED WALLS/PARTITIONS ARE NEW AND INDICATED WITH WALL TAG.
  - PARTITION LETTERS INDICATED REFER TO PARTITION TYPES ON SHEET A102a.
  - ALL DIMENSIONS ARE FROM FACE OF STUD OR MASONRY TO FACE OF STUD OR MASONRY EXCEPT AS NOTED.
  - DOOR OPENING NUMBERS INDICATED REFER TO DOOR SCHEDULE ON SHEET A401.
  - FINISHES ARE AS INDICATED ON ROOM FINISH SCHEDULE ON SHEET A105, EXCEPT AS INDICATED OTHERWISE ON PLAN OR ELEVATIONS.
  - INSTALL MOISTURE-RESISTANT GYPSUM BOARD ON ALL TOILET ROOM WALLS. INSTALL MOISTURE-RESISTANT GYPSUM BOARD OR FRP PLYWOOD ON ALL NEW KITCHEN WALLS- SEE WALL TYPES FOR DETAILS.
  - CONTRACTOR TO VERIFY OVERALL DIMENSIONS OF SPACE PRIOR TO LAYING OUT NEW PARTITIONS. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
  - REPAIR AND TOUCH UP CEILING, WALLS AND HVAC ENCLOSURES WHERE PARTITIONS, CEILING BULKHEADS, FIXTURES, FINISHES, ETC. ARE REMOVED.
  - ALIGN NEW PARTITIONS WITH EXISTING CONSTRUCTION AS SHOWN UNLESS OTHERWISE NOTED OR DIMENSION.
  - GENERAL CONTRACTOR SHALL IMPLEMENT THE SHELL BUILDING SLAB DETAILS FOR THIS TENANT SPACE. IF SUCH DETAILS ARE NOT CLEAR, IMMEDIATELY DIRECT ANY QUESTIONS TO FIRST WATCH DESIGN TEAM FOR CLARIFICATION.



ARCHITECTURAL GROUP INTERNATIONAL  
15 West Seventh Street, Covington, KY 41011  
P: 859.361.5400 F: 859.361.5530  
www.agi-usa.com

*designing where you want to go.*



STATE OF OHIO  
2024  
JULIAN ARCHITECT  
JULIAN ARCHITECT

This drawing is the property of ARCHITECTURAL GROUP INT'L, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as stated herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:

04/07/2022	MM	
PLANNING APPROVAL		
04/25/2022	MM	
ISSUED FOR BID/PERMIT		

NO.	DATE	BY	DESCRIPTION
2	06/02/2022	MBE	OWNER CHANGES



**FIRST WATCH**  
THE DAYTIME CAFE



**FIRST WATCH SAWMILL**  
DUBLIN, OH

PROJECT # 210924  
DATE ISSUED 4/25/2022

## KEYED NOTES

- ARTWORK/DECOR ITEM SUPPLIED BY FIRSTWATCH, G.C. TO PROVIDE BLOCKING AS REQUIRED - COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE AND SHEETS A201 & A202. IF BLOCKING CANNOT BE ADDED, PLEASE USE TOGGLE BOLT FASTENERS (REFER TO MANUFACTURER SPECIFICATIONS FOR SIZES).
- COMP COFFEE TALLE USED AS BUSSESTATION.
- BOOTH END TO BE FASTENED TO THE FLOOR
- DESK.
- CUSTOM 42X15 CABINET BY MILLWORK VENDOR, COORDINATE WITH FIRST WATCH REPRESENTATIVE.
- CHAIR.
- NOT USED.
- TO-GO SHELF PROVIDED BY FIRST WATCH.
- ACCESSIBLE SEATING LOCATION.

- METAL WOOD SHELF WALL FEATURE - SEE SHEETS A202 & A305 FOR DETAILS.
- EXISTING COOLER WITH NEW SHELVING
- DRY STORAGE CABINET 3'-0". SEE MILLWORK DETAIL ON A302.
- EXISTING BUILT-IN SHELVING TO REMAIN.

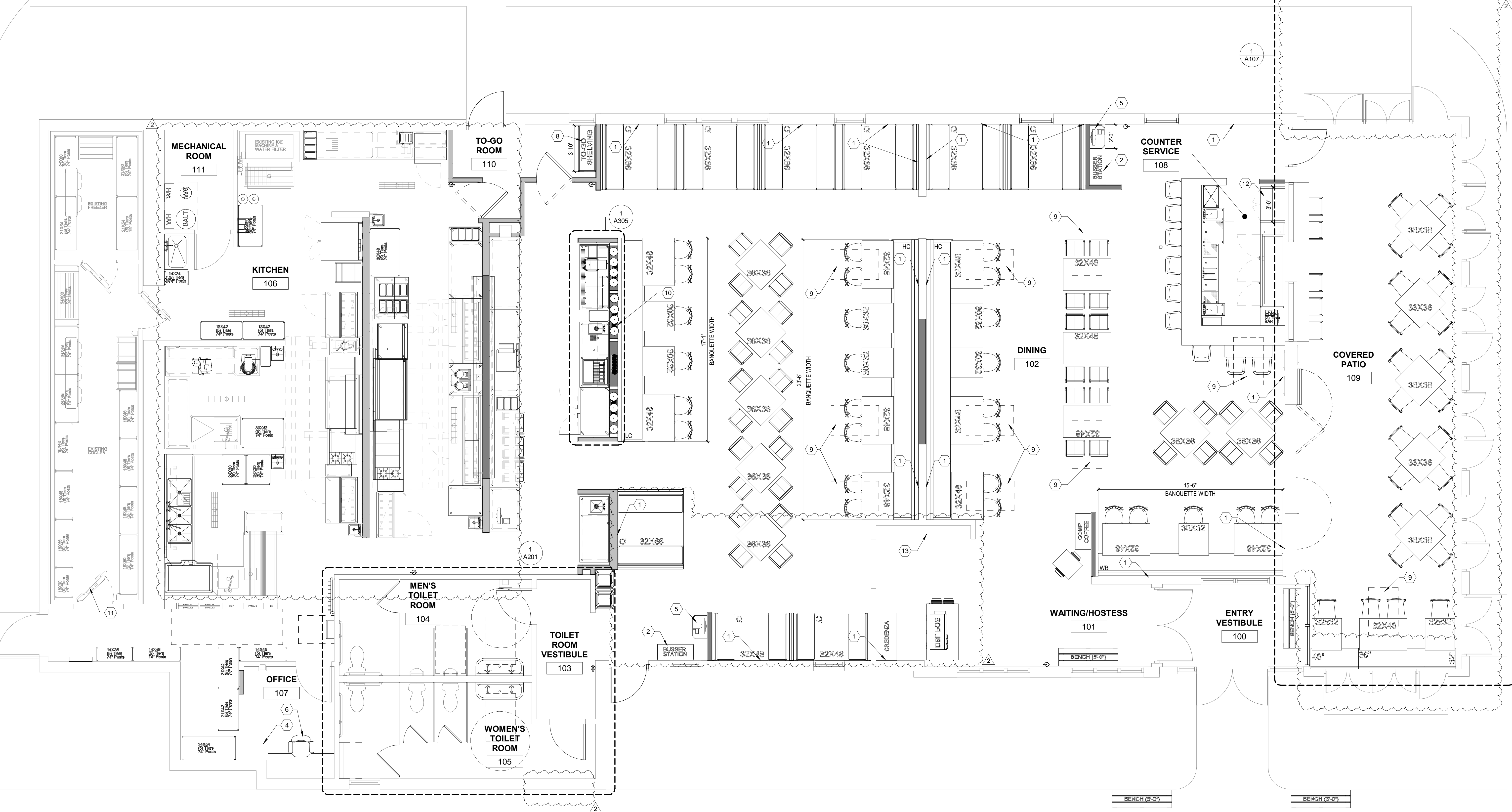
## GENERAL NOTES

- ALL FURNITURE PROVIDED BY OWNER, CONTRACTOR TO ASSEMBLE TABLE BASES AND INSTALL. SEE A102a FOR FURNITURE LEGEND.
- FURNITURE LOCATIONS ARE AS INDICATED, PROVIDE MINIMUM 3'-0" CLEARANCE BETWEEN ALL PERMANENT FURNITURE PIECES.
- ADDITIONAL FIXTURE INFORMATION IS INDICATED ON ELEVATIONS.
- ALL MATERIALS MUST BE INSTALLED TO FIRST WATCH SPECIFICATIONS AND STANDARDS. ANY ITEMS NOT INSTALLED TO FIRST WATCH STANDARDS WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO FIRST WATCH.
- PROVIDE FIRE RETARDANT TREATED PLYWOOD BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED ITEMS AND AS SPECIFICALLY NOTED. CONCEAL ALL BLOCKING IN WALLS.
- BOOTHES AND BANQUETTES ARE DESIGNATED AS HIGH BACK (H) OR LOW BACK (L). REFER TO PLAN FOR LOCATION SPECIFIC ORDERING INFORMATION.
- WAITING AREA FURNITURE TO BE DETERMINED BY FIRST WATCH PRIOR TO OPENING DATE.
- WALK-IN COOLER TO BE 2" FROM ALL WALLS.
- COMMUNITY TABLE TOPS TO BE REMOVED UPON DELIVERY AND RE-ATTACHED ONCE LOCATED IN THE SPACE.

4 TABLE ASSEMBLY PLAN  
A102 / SCALE: 1/2" = 1'-0"

3 TABLE ASSEMBLY PLAN  
A102 / SCALE: 1/2" = 1'-0"

2 TABLE ASSEMBLY PLAN  
A102 / SCALE: 1/2" = 1'-0"



1 FURNITURE PLAN  
A102 / SCALE: 1/4" = 1'-0"



This drawing is the property of ARCHITECTURAL GROUP INT'L and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as issued herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:  
04/07/2022 MN  
PLANNING APPROVAL  
04/25/2022 MN  
ISSUED FOR BID/PERMIT

NO.	DATE	BY	DESCRIPTION
2	06/02/2022	MBE	OWNER CHANGES



FIRST WATCH SAWMILL  
DUBLIN, OH

PROJECT # 210924  
DATE ISSUED 4/25/2022

FURNITURE AND FIXTURE PLAN

A102

GENERAL NOTES

1. ALL MATERIALS MUST BE INSTALLED TO FIRST WATCH SPECIFICATIONS AND STANDARDS. ANY ITEMS NOT INSTALLED TO FIRST WATCH STANDARDS WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO FIRST WATCH.
2. G.C. TO PAINT ALL EXTERIOR STOREFRONT FRAMING PT-21.

KEYED NOTES

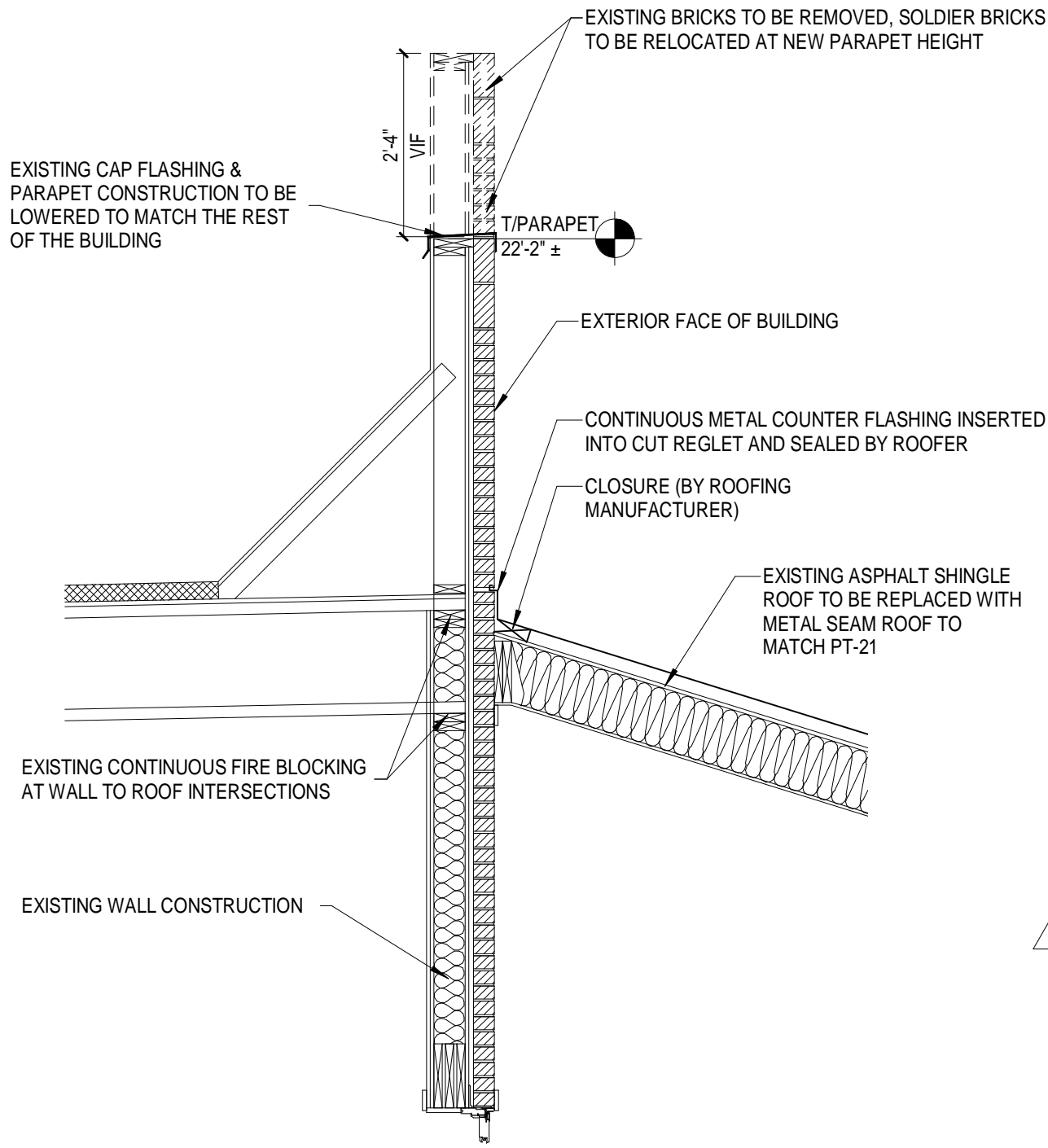
- 1 EXISTING ROOF TO BE REPLACED WITH METAL SEAM ROOF- BERRIDGE TEE-PANEL IN MATTE BLACK.
- 2 EXISTING PATIO DOOR/WINDOW FRAMES AND STILES TO BE PAINTED PT-21.
- 3 SIGNAGE BY SIGN VENDOR. SIGNAGE UNDER SEPARATE PERMIT.
- 4 NEW TROY SLOPE SCONCES TO REPLACE EXISTING SCONCES.
- 5 NOT USED.
- 6 NEW WINDOWS IN PREVIOUS OPENINGS.
- 7 PAINT ALL WINDOW & DOOR FRAMES AND DOWNSPOUTS PT-21 OR REPLACE TO MATCH PT-21. COORDINATE WITH FIRST WATCH REPRESENTATIVE.
- 8 NEW AWNING TO MATCH NEW ROOF. PROVIDED BY SIGNAGE VENDOR.

EXTERIOR FINISH SPECIFICATIONS

DESIGNATION	DESCRIPTION	COLOR	NOTES
PT-19	EXTERIOR PAINT	SW 7636 ORIGAMI WHITE	
PT-21	EXTERIOR PAINT	SW 7069 IRON ORE	
WP-14	REALSTONE SYSTEMS	ANTIQUE WOOD BARNWOOD PANEL	INSTALL PER MANUFACTURER'S INSTRUCTIONS. USE CORNER SCHLUTER IN SATIN NICKEL ANODIZED ALUMI. INSTEAD OF CORNER PANELS. COORDINATE WITH FIRST WATCH REPRESENTATIVE

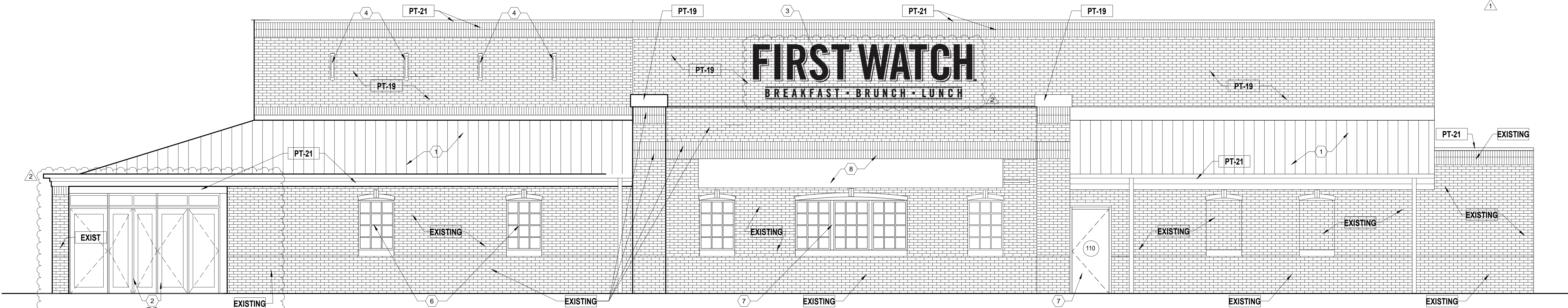
LIGHT FIXTURE LEGEND

SYMBOL	DESCRIPTION	FINISH	NOTES
	26" TROY SLOPE SCONCE EXTERIOR LIGHT	FORGED IRON	



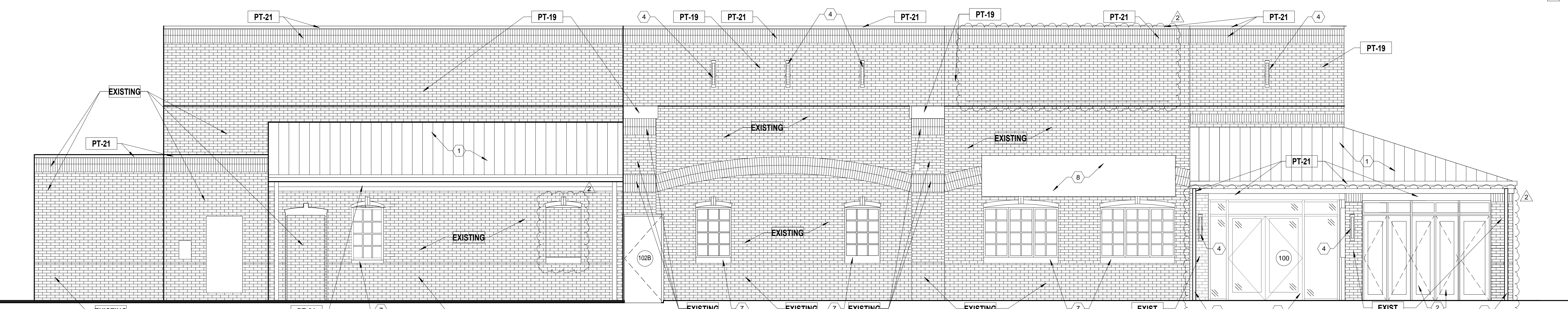
PARAPET SECTION

SCALE: 1/2" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



This drawing is the property of ARCHITECTURAL GROUP INT'L, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as issued herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:  
04/07/2022 MN  
PLANNING APPROVAL  
04/25/2022 MN  
ISSUED FOR BID/PERMIT

NO.	DATE	BY	CITY	DESCRIPTION
1	04/12/2022	MN		COMMENTS
2	06/02/2022	MBE		OWNER CHANGES



FIRST WATCH  
SAWMILL

DUBLIN, OH

PROJECT # 210924  
DATE ISSUED 4/25/2022

EXTERIOR  
ELEVATIONS

A501

CONSTRUCTION CONTACT DIRECTORY -

ALTERNATE VENDORS MAY BE USED PENDING FIRST WATCH APPROVAL

ITEM SUPPLIED	CONTRACTOR/ SUPPLIER
EXTERIOR RAILING POST	STAINLESS CABLE & RAILING INC. CABLE - VIEW ALUMINUM RAILING OR EQUAL. POST TO BE POWDER COATED FLAT BLACK FINISH

GENERAL NOTES

1. ALUMINUM/STEEL POST AND WOOD PROVIDED BY G.C.
2. G.C. TO CONFIRM WITH FIRST WATCH REPRESENTATIVE IF POST SHOULD BE CONSTRUCTED WITH ALUMINUM OR STEEL.

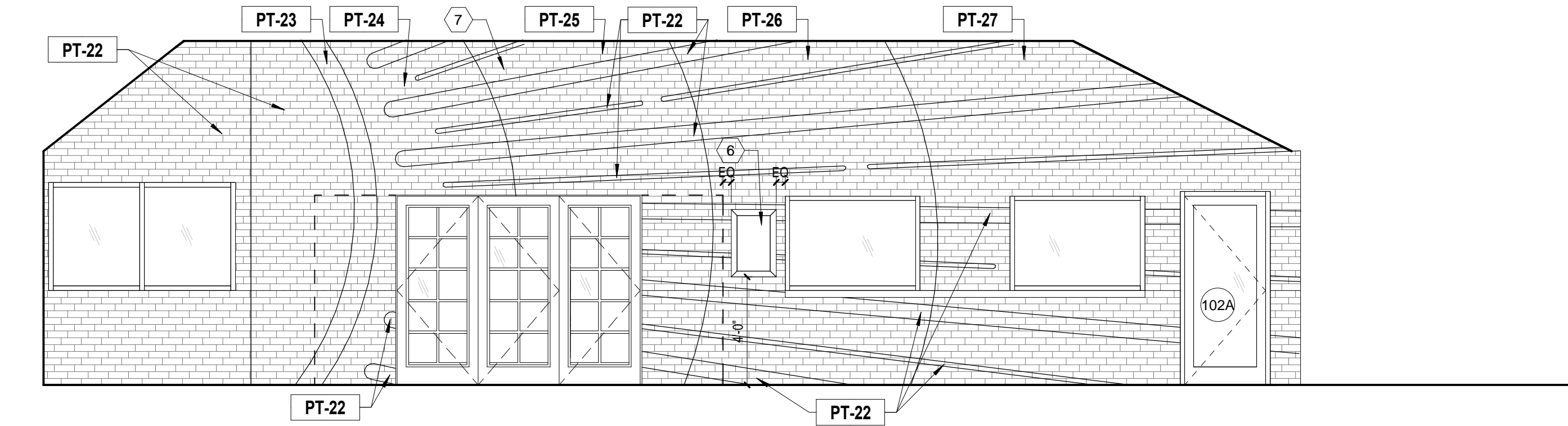
KEYED NOTES

- 1 NOT USED.
- 2 EXISTING SIDEWALK
- 3 EXISTING LANDSCAPING
- 4 NOT USED.
- 5 EXISTING BRICK PAVERS TO REMAIN
- 6 20X30 CHALKBOARD SUPPLIED BY NAUTICAL, INSTALLED BY G.C.
- 7 PAINTED MURAL OVER EXISTING BRICK. FIRST WATCH TO PROVIDE GRAPHIC FOR REPLICATION TO MURALIST

EXTERIOR FINISH SPECIFICATIONS

DESIGNATION	DESCRIPTION	COLOR	NOTES
PT-22	EXTERIOR PAINT	SW 6666 ENJOYABLE YELLOW	
PT-23	EXTERIOR PAINT	SW 6222 RIVERWAY	
PT-24	EXTERIOR PAINT	SW 0020 PEACOCK PLUME	
PT-25	EXTERIOR PAINT	SW 6420 DRIZZLE	
PT-26	EXTERIOR PAINT	SW 6485 RAIN DROP	
PT-27	EXTERIOR PAINT	SW 6484 MEANDER BLUE	

7 NOT USED  
A107 SCALE: 1" = 1'-0"



6 PATIO WALL ELEVATION  
A107 SCALE: 1/4" = 1'-0"

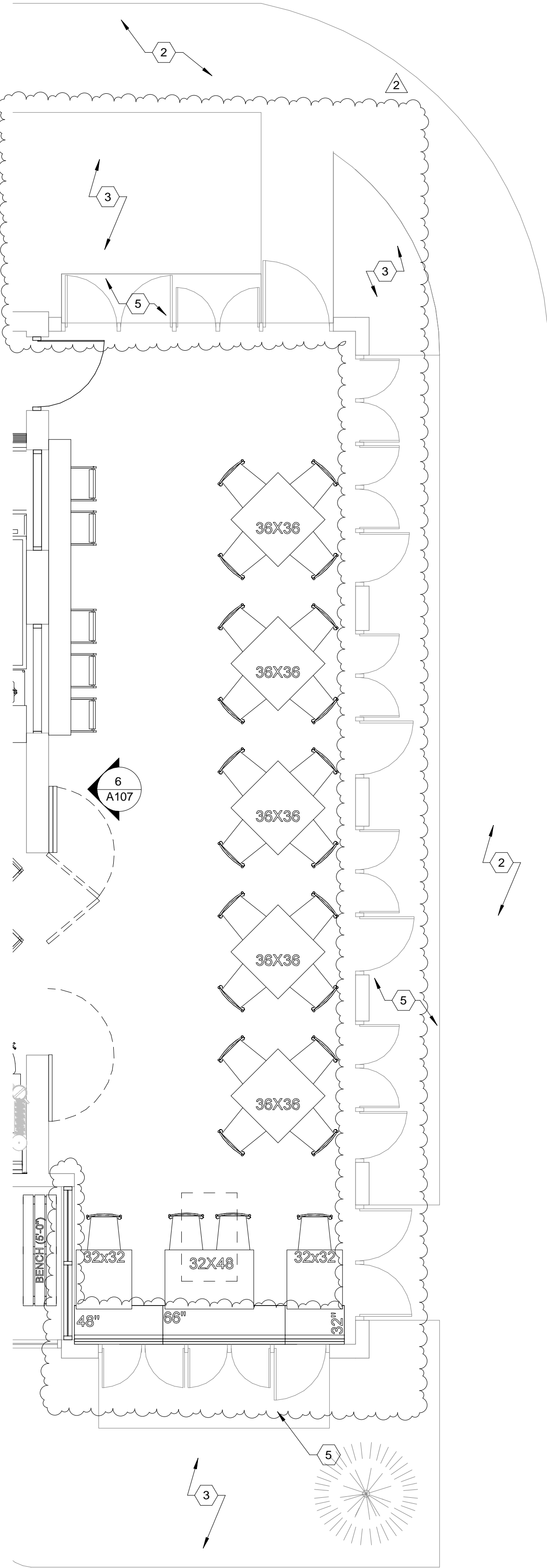
5 NOT USED  
A107 SCALE: 1" = 1'-0"

3 NOT USED  
A107 SCALE: 1" = 1'-0"

4 NOT USED  
A107 SCALE: 1" = 1'-0"

2 NOT USED  
A107 SCALE: 1" = 1'-0"

1 PATIO FURNITURE PLAN  
A107 SCALE: 1/4" = 1'-0"



This drawing is the property of ARCHITECTURAL GROUP INT'L, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as stated herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:  
04/07/2022 MN  
PLANNING APPROVAL  
04/25/2022 MN  
ISSUED FOR BID/PERMIT

NO.	DATE	BY	DESCRIPTION
2	06/02/2022	MBE	OWNER CHANGES



FIRST WATCH  
SAWMILL  
DUBLIN, OH

PROJECT # 210924  
DATE ISSUED 4/25/2022

PATIO PLAN  
AND DETAILS

A107

GENERAL NOTES

1. ALL MATERIALS MUST BE INSTALLED TO FIRST WATCH SPECIFICATIONS AND STANDARDS. ANY ITEMS NOT INSTALLED TO FIRST WATCH STANDARDS WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO FIRST WATCH.
2. G.C. TO PAINT ALL EXTERIOR STOREFRONT FRAMING PT-21.

KEYED NOTES

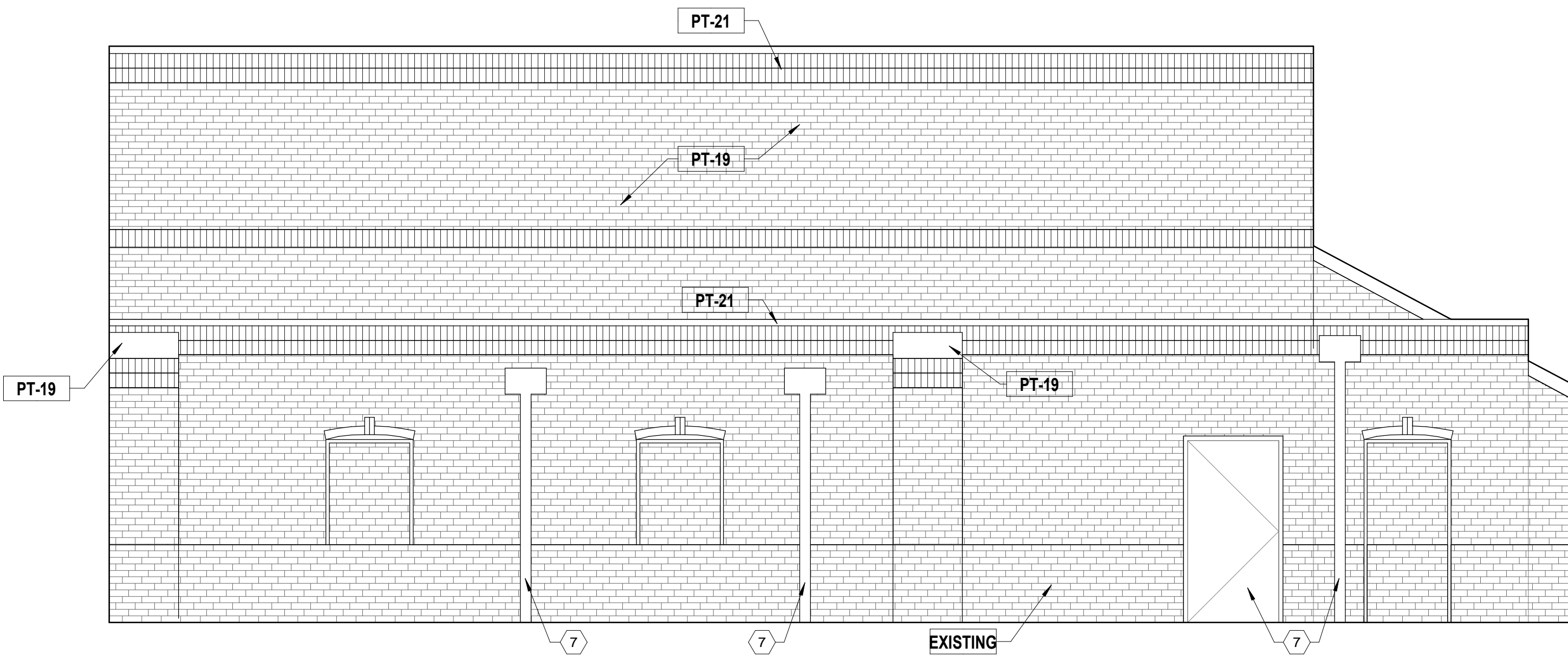
1. EXISTING ROOF TO BE REPLACED WITH METAL SEAM ROOF- BERRIDGE TEE-PANEL IN MATTE BLACK.
2. EXISTING PATIO DOOR/WINDOW FRAMES AND STILES TO BE PAINTED PT-21.
3. SIGNAGE BY SIGN VENDOR. SIGNAGE UNDER SEPARATE PERMIT.
4. NEW TROY SLOPE SCONCES TO REPLACE EXISTING SCONCES.
5. NOT USED.
6. NEW WINDOWS IN PREVIOUS OPENINGS.
7. PAINT ALL WINDOW & DOOR FRAMES AND DOWNSPOUTS PT-21 OR REPLACE TO MATCH PT-21. COORDINATE WITH FIRST WATCH REPRESENTATIVE.

EXTERIOR FINISH SPECIFICATIONS

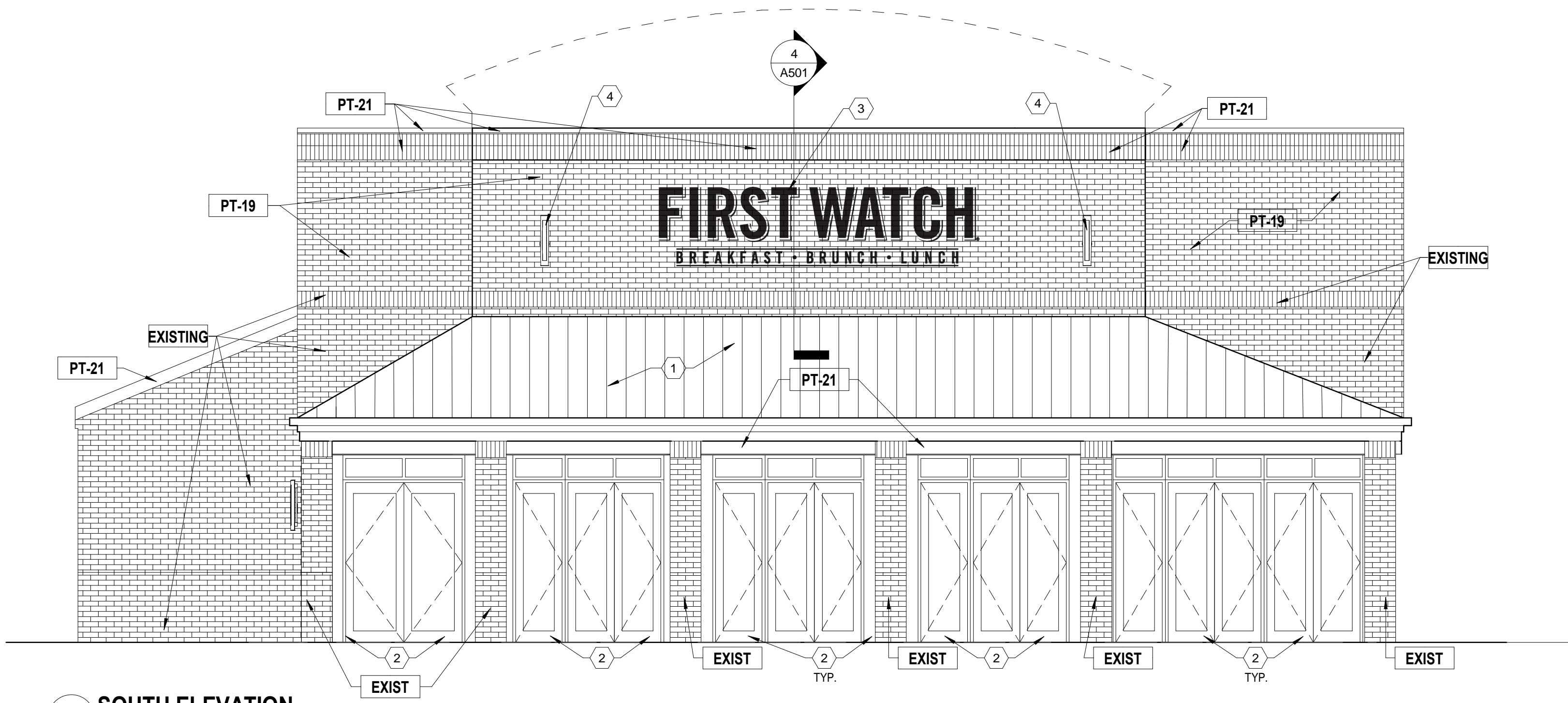
DESIGNATION	DESCRIPTION	COLOR	NOTES
PT-19	EXTERIOR PAINT	SW 7636 ORIGAMI WHITE	
PT-21	EXTERIOR PAINT	SW 7069 IRON ORE	
WP-14	REALSTONE SYSTEMS	ANTIQUE WOOD BARNWOOD PANEL	INSTALL PER MANUFACTURER'S INSTRUCTIONS. USE CORNER SCHLUTER IN SATIN NICKEL ANODIZED ALUMI. INSTEAD OF CORNER PANELS. COORDINATE WITH FIRST WATCH REPRESENTATIVE

LIGHT FIXTURE LEGEND

SYMBOL	DESCRIPTION	FINISH	NOTES
	26" TROY SLOPE SCONCE EXTERIOR LIGHT	FORGED IRON	



2 NORTH ELEVATION  
A502 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION  
A502 SCALE: 1/4" = 1'-0"



ARCHITECTURAL GROUP INTERNATIONAL  
15 West Seventh Street, Covington, KY 41011  
P: 859.361.5400 F: 859.361.5530  
www.agi-usa.com

designing where you want to go.



DESIGNED BY  
JULIUS ROSENTHAL ARCHITECT

This drawing is the property of ARCHITECTURAL GROUP INT'L, and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as listed herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:

04/07/2022 MN

PLANNING APPROVAL

04/25/2022 MN

ISSUED FOR BID/PERMIT

NO.	DATE	BY	DESCRIPTION
2	06/02/2022	MBE	OWNER CHANGES



FIRST WATCH  
SAWMILL

DUBLIN, OH

PROJECT # 210924  
DATE ISSUED 4/25/2022

EXTERIOR  
ELEVATIONS  
AND DETAILS

A502



ElumTools General Use Global Illuminance Results					
Calculation Points Name	Average	Maximum	Minimum	Avg/Min	Max/Min
Front Entrance	1 fc	4 fc	0 fc	10.0	37.9
Side of Building	0 fc	0 fc	0 fc	2.2	3.4

GENERAL PHOTOMETRIC PLAN NOTES

- A. PHOTOMETRIC REPORT: THIS PHOTOMETRIC REPORT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA (IES FILES). THIS LABORATORY DATA IS TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY SOMEWHAT DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- B. ILLUMINATION LEVELS: THE ILLUMINATION LEVELS SHOWN, MEASURED IN FOOTCANDLES, ARE BASED ON THE SPECIFIED CRITERIA. ANY SUBSTITUTIONS, DEVIATIONS IN LUMINAIRES OR MOUNTING HEIGHTS, OR ALTERATIONS TO THE LAYOUT, WILL AFFECT ILLUMINATION LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF KLH ENGINEERS.
- C. ADJUSTMENTS: PROVIDE FINAL ADJUSTMENTS TO AIMING ANGLE(S) OF LUMINAIRES IF OR AS REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJACENT PROPERTIES AND/OR ROADWAYS.
- D. LUMINAIRE SCHEDULE: REFER TO LUMINAIRE SCHEDULE FOR LUMINAIRE AND POLE INFORMATION. THE LUMINAIRE SCHEDULE INCLUDED ON THIS SHEET IS FOR PHOTOMETRIC REVIEW REFERENCE ONLY.
- E. ADJACENT CONTRIBUTIONS: CONTRIBUTIONS FROM ADJACENT STREET LIGHTING, ADJACENT PROPERTIES, AND BUILDING OR POLE MOUNTED LUMINAIRES NOT WITHIN THIS PROJECT SCOPE ARE NOT REFLECTED IN THIS PHOTOMETRIC REPORT.
- F. CRITERIA: FOOTCANDLE LEVELS SHOWN ARE MAINTAINED AND CALCULATED AT GRADE BASED ON SPECIFIED MOUNTING HEIGHT FOR POLE-MOUNTED FIXTURES.



ARCHITECTURAL GROUP INTERNATIONAL  
15 West Seventh Street, Covington, KY 41011  
P: 859.261.5400 F: 859.261.5530  
www.agi-us.com

designing where you want to go.



KOHR'S LONNEMANN HEIL ENGINEERS, INC.  
MECHANICAL/ELECTRICAL ENGINEERS  
WWW.KLHENGRS.COM  
1538 ALEXANDRIA PIKE, SUITE 11  
FT. THOMAS, KENTUCKY 41075  
800-354-9783  
859-442-8950  
859-442-9586 FAX

This drawing is the property of ARCHITECTURAL GROUP INTERNATIONAL and is not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. Scales as stated herein are valid on the original drawing only. Contractor shall carefully review all dimensions and conditions shown herein and at once report to the Architect any error, inconsistency or omission he may discover.

Revisions:

Mark	Date	By	Description
Issued			

NO.	DATE	BY	DESCRIPTION
1	05/26/22		Rev 2- Owner Changes



FIRST WATCH SAWMILL

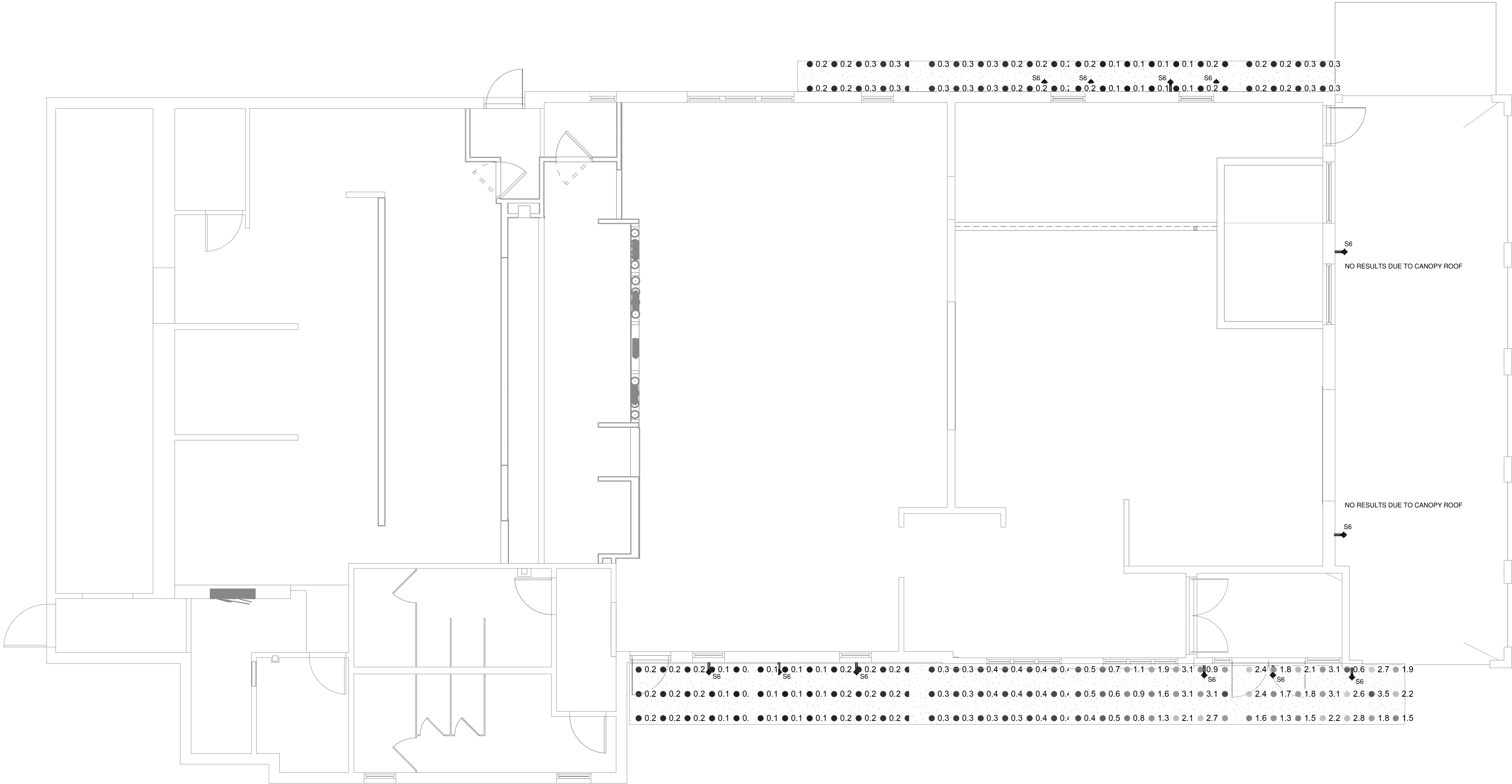
DUBLIN, OH

Project No. 210954  
KLH Project No. 24126  
Issue Date 5/26/2022

Title  
ELECTRICAL  
PHOTOMETRICS

Sheet

E111



OWNERSHIP OF INSTRUMENTS OF SERVICE  
All data, including but not limited to, field data, notes and other documents and instruments prepared by the Consultant as instruments of service shall remain the property of the Consultant. The Consultant shall retain all rights in and to the instruments of service, including without limitation, the right to reuse the instruments of service in whole or in part for any purpose.

1 ELECTRIC PHOTOMETRIC PLAN  
1/4" = 1'-0"