

N/A		
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STORMWATER STATEMENT

The overall stormwater management plan for the site was approved with the first building 2015. Based on this overall report the project was assigned a post-developed curve number of 88. The total onsite drainage area going to the existing stormwater basins was 67.5 acres. Based on the calculation below the proposed impervious area for the project as 39.5 acres or 1,720,620 square feet.

$$Cn = (39.5 \times 98 + 28.0 \times 74) / 67.5 = 88$$

The campus is currently built out with 5 buildings, two existing Astra units and a substation. The exiting impervious area onsite is 1,639,203 SF (37.631 Ac.)

This new proposal will construct 7,707 SF of impervious area with the access road and 2,808 SF of impervious with the Astra units. The total new impervious area on the site will be 1,649,718 SF (37.872 Ac.).

The additional imperious area proposed with this project still falls under the overall impervious area permitted with the master Stormwater Plan approved with Building #1.

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MUCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. CURB RADII NOT LABELED ARE 4.5' OR ONE-HALF THE WIDTH OF CURB ISLAND.
5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
7. ALL PRIVATE PAVEMENT MARKINGS SHALL BE WHITE UNLESS OTHERWISE NOTED.
8. ANY EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE CITY OF DUBLIN'S AND/OR PRIVATE OWNER'S SATISFACTION.
9. THE SITE DOES NOT LIE WITHIN A FEMA FLOOD HAZARD ZONE PER MAP 39049C0127K, DATED JUNE 17, 2008.
10. LOWER SIDEWALK ON EACH SIDE OF ADA RAMP TO ENSURE RAMP SLOPE DOES NOT EXCEED 12:1.
11. ALL DRIVES BETWEEN 20'-26' IN WIDTH SHALL BE POSTED WITH NO PARKING-FIRE LANE" SIGNAGE. PORTIONS OF DRIVE ISLES SHALL BE PAINTED YELLOW FOR FURTHER INDICATION. SITE CONTRACTOR IS TO COORDINATE WITH WASHINGTON TOWNSHIP FIRE DEPARTMENT FOR SIGNAGE LOCATION AND SPACING, AS WELL AS PAVEMENT MARKINGS. SIGNAGE SHALL CONFORM TO FIRE DEPARTMENT CODE 37-80.

SITE ZONING INFORMATION

ZONING DISTRICT = INNOVATION DISTRICT, ID-3
PROPOSED USE = DATA CENTER, OFFICE
PROPOSED BUILDING TYPE = DATA CENTER, OFFICE
LOT# = 3 = 68.747 ACRES
OWNER = CITY OF DUBLIN
TAX DISTRICT = CITY OF DUBLIN--WASH TWP
PARCEL NUMBER = 275--0000001



CONFIDENTIAL

PROJECT ADDRESS

6645 CROSBY COURT
DUBLIN, OH 43064

PROJECT DELIVERY PACKAGE

100% DRAWING ISSUE

SEAL/SIGNATURE

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ISSUE DATE: 10/27/2022 PROJECT NO: 22-0001-1276

DESIGNED: JLB ARCHITECT / ENGINEER: JDW

MARK	DATE	DESCRIPTION
1	30MAR2022	60% REVIEW
2	08APR2022	90% REVIEW
3	22APR2022	100% DRAWING ISSUE
4	12AUG2022	PRICING
5	27OCT2022	ART SECOND REVIEW

MECHANICAL ENGINEER
N/A

ELECTRICAL ENGINEER
JEFF HOUSEL
206-266-3435
6645 CROSBY COURT
DUBLIN, OH 43064

CIVIL ENGINEER
ADVANCED CIVIL DESIGN, INC.
JAMES WHITACRE
614-428-7750
781 SCIENCE BLVD, SUITE 100
GAHANNA, OH, 43230

STRUCTURAL ENGINEER
SHIRK & O'DONOVAN
CONSULTING ENGINEERS, INC
614-436-5465
370 E. WILSON BRIDGE RD.
WORTHINGTON, OH 43085
1" = 40'

ARCHITECT
N/A

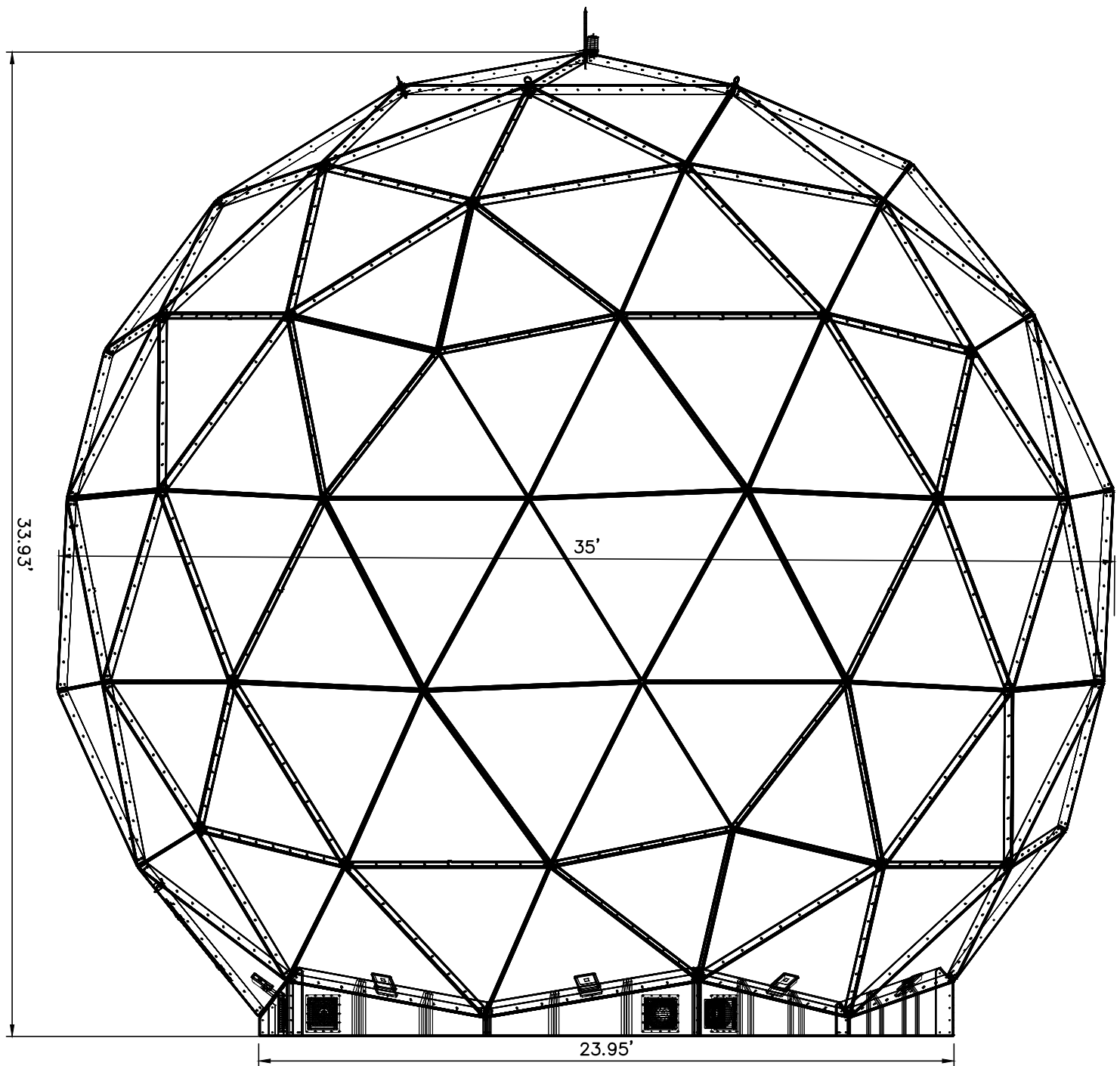
OTHER ENGINEER
EXANTE 360, INC.
SECURITY CONSULTANT
214-846-7685
895 DOVE STREET, 2ND FLOOR
NEWPORT BEACH, CA 92660

PROJECT: DUBLIN ASTRA

TITLE: SITE PLAN

DRAWING: C03

SCALE: 1" = 30' AGILE No: REV:



RADOME ELEVATION

SCALE: 1" = 5'

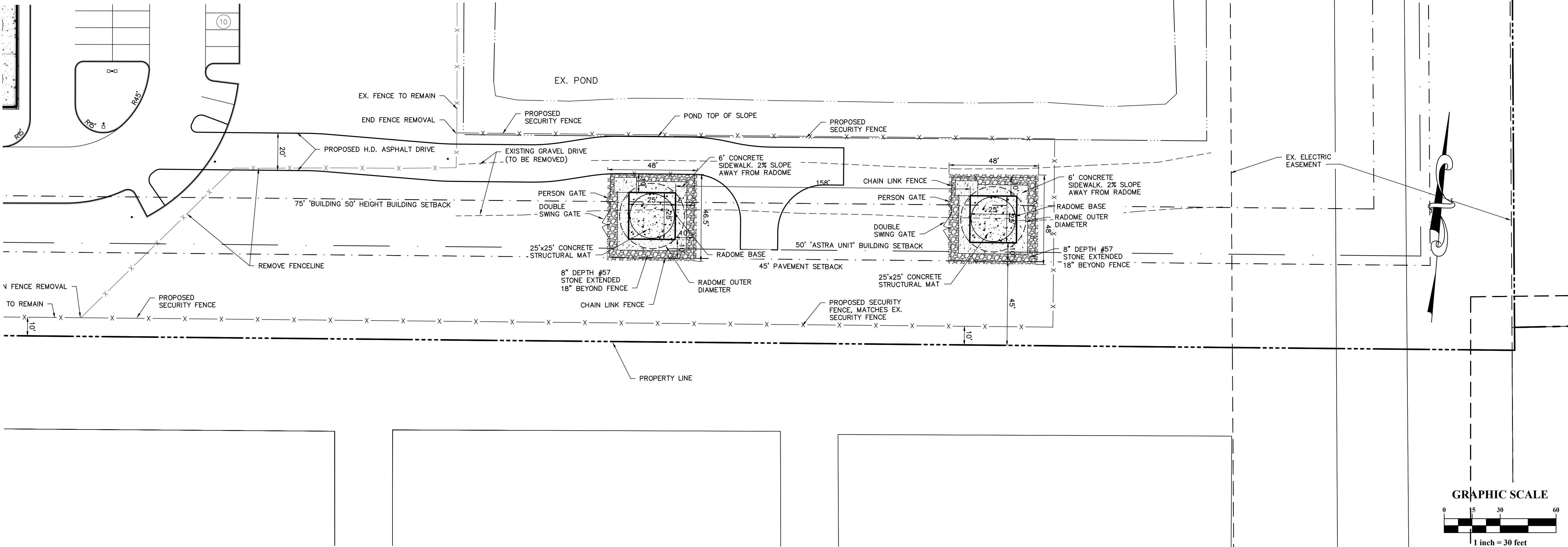
WIRE MESH FENCE SPECIFICATIONS:

1. 2" mesh opening, 9 gage black vinyl coated chain link mesh fabric. Top, middle and bottom rails shall be 1 5/8" O.D. SCH 40 GALV, with turnbuckle selvage at top and bottom rails.
2. Fence posts: shall be minimum of 2 3/8" O.D. SCH 40 GALV for intermediate posts and shall be 2 7/8" O.D. SCH 40 GALV terminal or gate posts. Wire ties shall be 6 GA aluminum, placed at maximum 12" o.c. Fence posts shall be set at spacings of a maximum of 10' o.c.

For all fences and gates, 2" maximum gap allowed between bottom of fence/gate and surrounding ground.

Reference security drawings and specifications for gate requirements.

Fencing must be 8 feet tall, 2 inches x 2 inches wire mesh material.





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DUBLIN, OH 43064

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DESIGNED: JLB	ARCHITECT / ENGINEER: JDW
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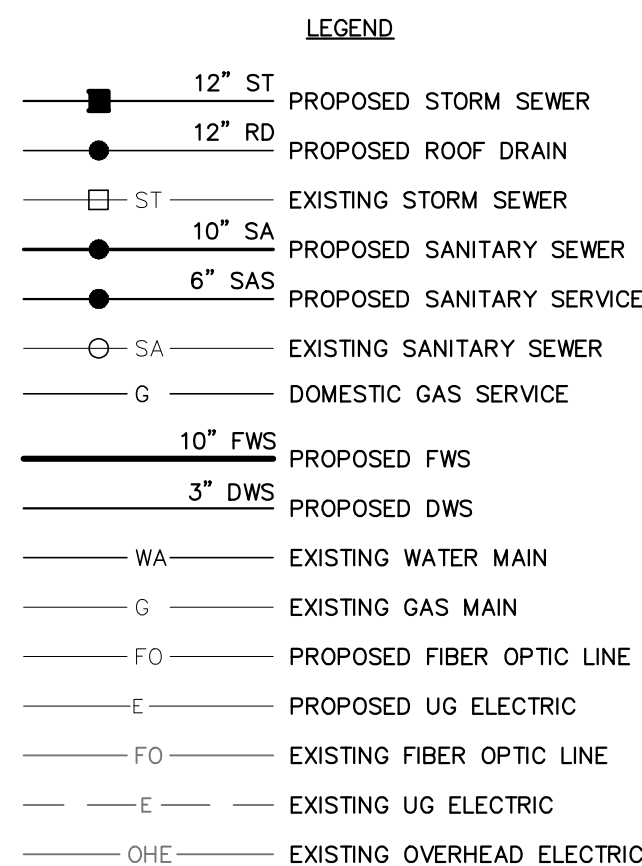
MECHANICAL ENGINEER N/A	ELECTRICAL ENGINEER JEFF HOUSEL 206-266-3435 6645 CROSBY COURT DUBLIN, OH 43064
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<u>ARCHITECT</u> N/A	<u>OTHER ENGINEER</u> EXANTE 360, INC. SECURITY CONSULTANT 214-846-7685 895 DOVE STREET, 2ND FLOOR NEWPORT BEACH, CA 92660
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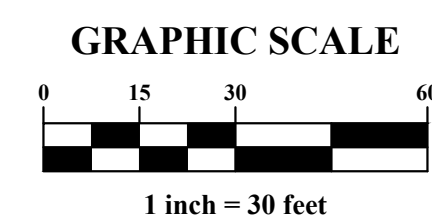
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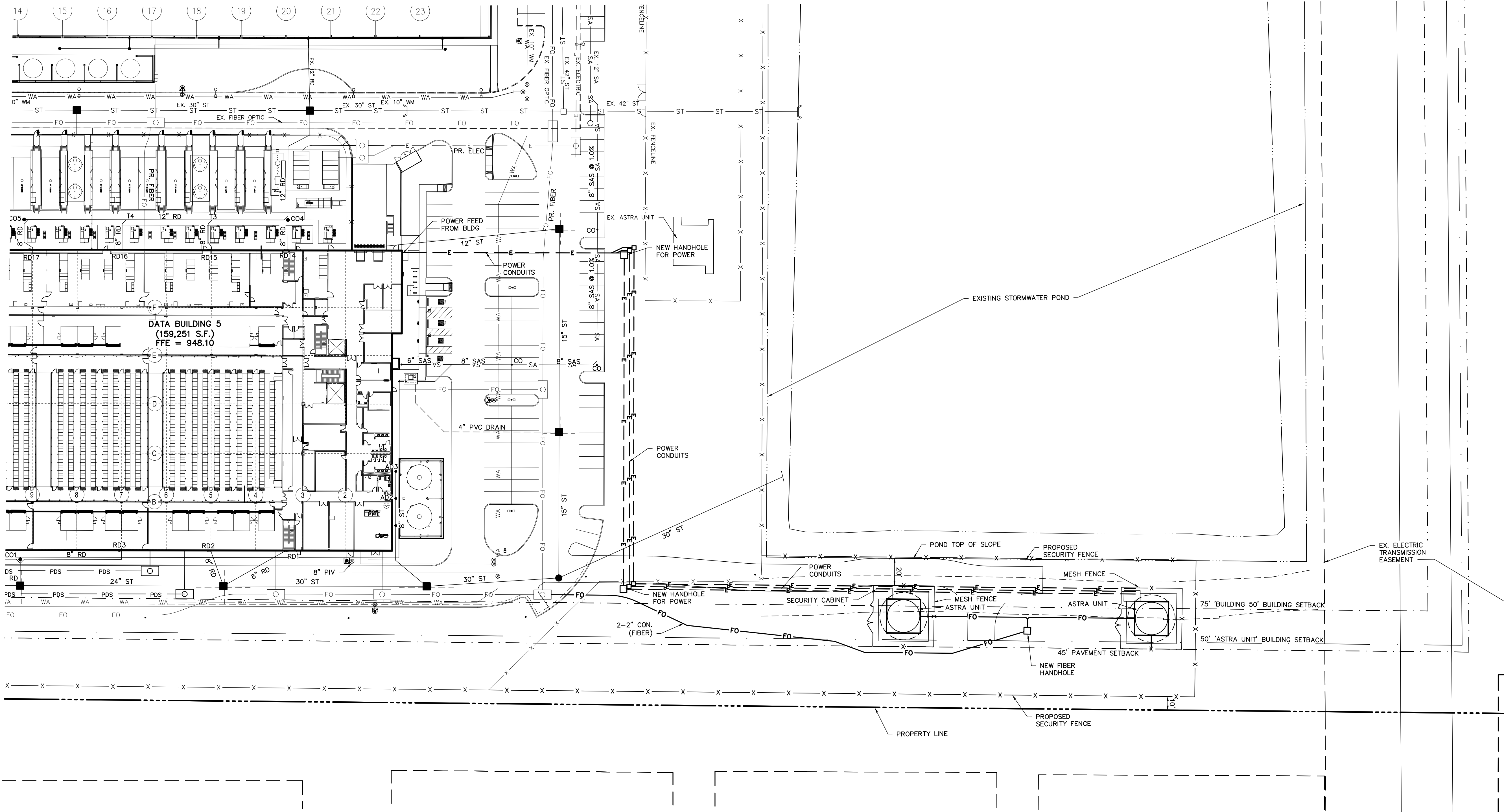
DRAWING: **C04**

SCALE:	AGILE No:	RE
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1. EXISTING CONTOURS SHOWN AT 1 FOOT INTERVALS.
2. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
5. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
6. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TC XXX.XX.

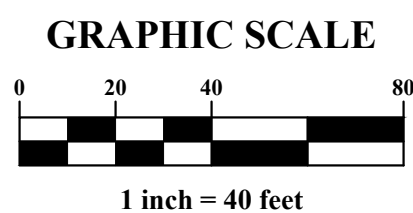




- LEGEND**
- 12" ST PROPOSED STORM SEWER
 - 12" RD PROPOSED ROOF DRAIN
 - 10" SA EXISTING STORM SEWER
 - 10" SAS PROPOSED SANITARY SEWER
 - 6" SAS PROPOSED SANITARY SERVICE
 - SA EXISTING SANITARY SEWER
 - G DOMESTIC GAS SERVICE
 - 10" FWS PROPOSED FWS
 - 3" DWS PROPOSED DWS
 - WA EXISTING WATER MAIN
 - G EXISTING GAS MAIN
 - PDS PROPOSED FIBER OPTIC PDS LINE
 - FO PROPOSED FIBER OPTIC LINE
 - E PROPOSED UG ELECTRIC
 - FO EXISTING FIBER OPTIC LINE
 - E EXISTING UG ELECTRIC
 - OHE EXISTING OVERHEAD ELECTRIC

ABBREVIATIONS

RD = ROOF DRAIN
AD = AREA DRAIN
CO = CLEAN OUT
W = WYE
IWW = INDUSTRIAL WASTE WATER
FDC = FIRE DEPARTMENT CONNECTION
EX. = EXISTING
PR. = PROPOSED
TW = TOP WALL
BW = BOTTOM WALL



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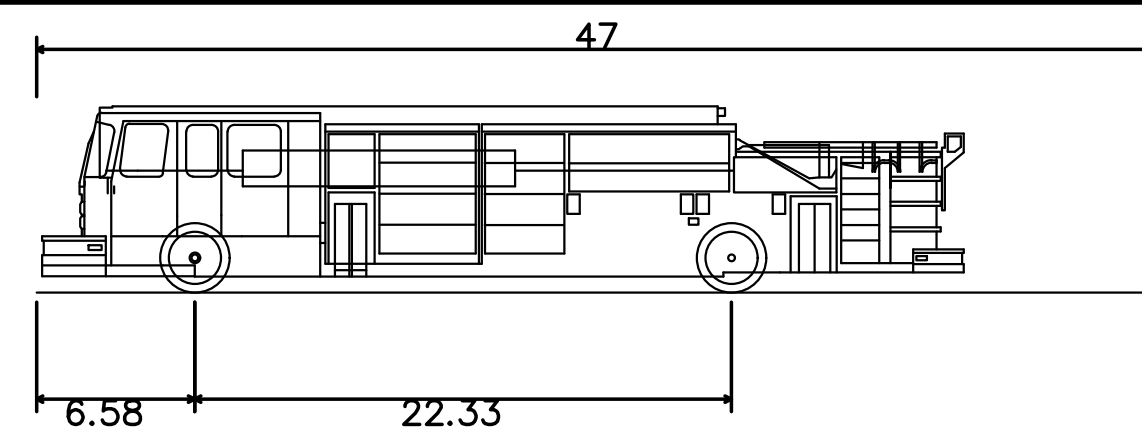
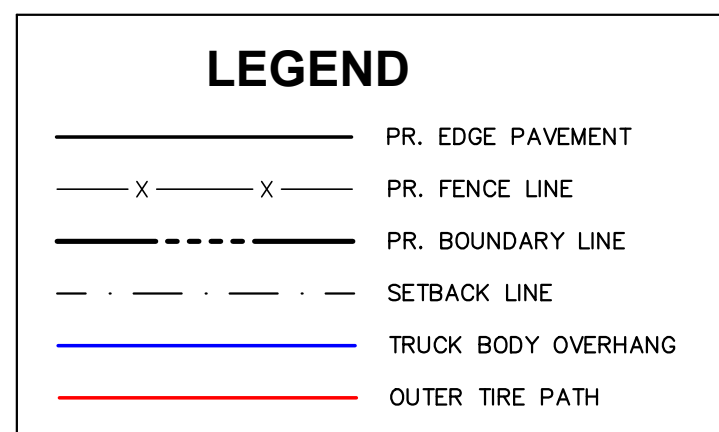
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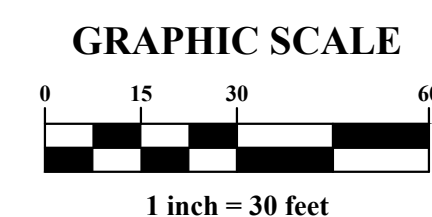
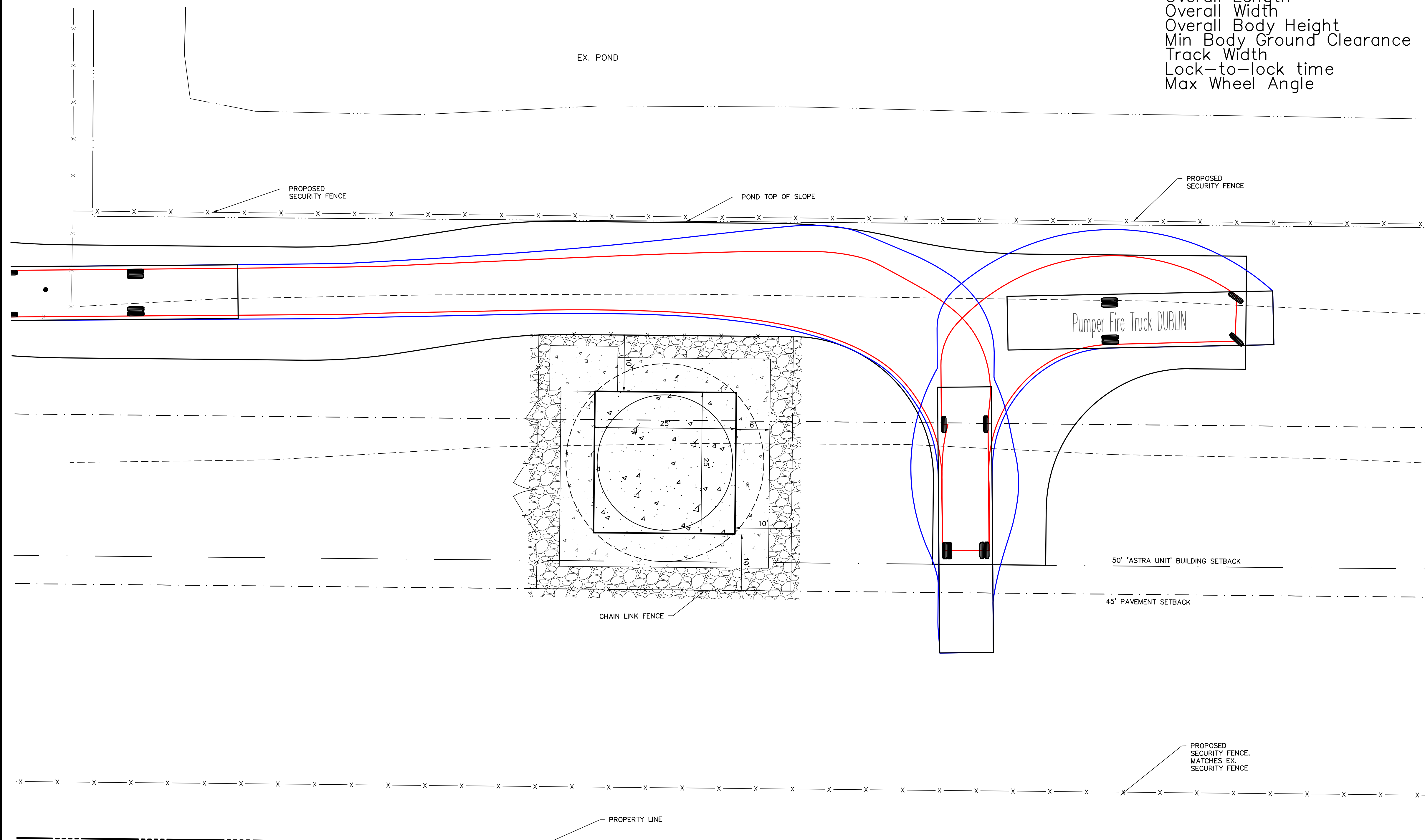
MECHANICAL ENGINEER N/A	ELECTRICAL ENGINEER JEFF HOUSEL 206-266-3435 6645 CROSBY COURT DUBLIN, OH 43064
CIVIL ENGINEER ADVANCED CIVIL DESIGN, INC. JAMES WHITACRE 614-428-7750 781 SCIENCE BLVD, SUITE 100 GAHANNA, OH 43230	STRUCTURAL ENGINEER SHIRK & O'DONOVAN CONSULTING ENGINEERS, INC. 614-436-5465 370 E. WILSON BRIDGE RD. WORTHINGTON, OH 43085 1" = 40'
ARCHITECT N/A	OTHER ENGINEER EXANTE 360, INC. SECURITY CONSULTANT 214-846-7885 895 DOVE STREET, 2ND FLOOR NEWPORT BEACH, CA 92660

PROJECT:	DUBLIN ASTRA		
TITLE:	UTILITY PLAN		
DRAWING:	C05		
SCALE: 1" = 40'	AGILE No:	REV:	



Pumper Fire Truck DUBLIN
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

47.000ft
9.500ft
7.759ft
0.670ft
8.250ft
4.00s
45.00°



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ISSUE DATE: 10/27/2022

PROJECT NO:	22-0001-1276
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DESIGNED: JLB

ARCHITECT / ENGINEER: J.D.W.

[illegible]

<u>MECHANICAL ENGINEER</u> N/A	<u>ELECTRICAL ENGINEER</u> JEFF HOUSEL 206-266-3435 6645 CROSBY COURT DUBLIN, OH 43064
<u>CIVIL ENGINEER</u> ADVANCED CIVIL DESIGN, INC. JAMES WHITACRE 614-428-7750 7817 SCIENCE BLVD, SUITE 100 GAHANNA, OH, 43230	<u>STRUCTURAL ENGINEER</u> SHIRK & O'DONOVAN CONSULTING ENGINEERS, INC 614-436-5465 370 E. WILSON BRIDGE RD. WORTHINGTON, OH 43085 1" = 40'
<u>ARCHITECT</u> N/A	<u>OTHER ENGINEER</u> EXANTE 360, INC. SECURITY CONSULTANT 214-846-7855 895 DOVE STREET, 2ND FLOOR NEWPORT BEACH, CA 92660

PROJECT: DUBLIN ASTRA

TITLE: **TURNING EXHIBIT**

DRAWING: **C03.1**

SCALE: _____

AGILE No

	REV
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