



## PLANNING REPORT

# Architectural Review Board

Wednesday, October 26, 2022

## 112 S. RIVERVIEW STREET 22-146INF

<https://dublinohiousa.gov/arb/22-146>

### Case Summary

Address	112 S. Riverview St, Dublin, OH 43017
Proposal	Informal review and feedback for the construction of a new two-story single-family residence in the Historic District.
Request	This is a request for non-binding review and feedback of a future development application.
Zoning	HD-HR, Historic Residential District
Planning Recommendation	Consideration of the Discussion Questions
Next Steps	Subsequent to informal review and feedback, the applicant may apply for a Minor Project to be considered by the Architectural Review Board (ARB).
Applicant	Kevin Koch, Corinthian Fine Homes
Case Manager	Zach Hounshell, Planner II 614.410.4652 <a href="mailto:zhounshell@dublin.oh.us">zhounshell@dublin.oh.us</a>

Site Location Map

22-146INF | 112 S. Riverview Street



- Site Features**
- 1 Significant Grade Change
  - 2 Floodplain / Floodway
  - 3 Building Site of 110 S. Riverview Street



## 1. Background

### Site Summary

The 0.26-acre site is located southeast of the intersection of Pinneyhill Lane and S. Riverview Street, and is zoned as HD-HR, Historic Residential District. The lot was created in 2021, when 110-112 S. Riverview Street was approved for demolition and the 0.58-acre site was split for the construction of 110 S. Riverview on the northern portion of the site.

The site is located on the western bank of the Scioto River. There is a significant grade change from west to east, which makes only the western portion of the site developable. Additionally, the site contains floodplain on the eastern half adjacent to the river further restricting the developable area. The site contains a number of mature trees. The site has frontage on S. Riverview Street, with no sidewalk provided on the street.

## 2. Zoning Code

### Historic District – Historic Residential District

On February 22, 2021, City Council approved amendments to the ARB section of the Zoning Code, which removed the Historic District from the Bridge Street District and established updated zoning requirements. March 23, 2021 is the effective date of this Ordinance, and future applications will be subject to these requirements. Accompanying these amendments was an area rezoning to reclassify the former Bridge Street Districts to Historic Zoning Districts, which was also approved by City Council on February 22, 2021.

The property, previously zoned BSD-HR, was zoned to HD-HR, Historic Residential District with the area rezoning. The intent of the Historic Residential District, as outlined in the Code, is to “encourage the preservation and development of homes on existing or new lots that are comparable in size, mass, and scale, while maintaining and promoting the traditional residential character of the Historic District”. The General Development Standards within the Code identify setbacks, lot coverage, and building height.

### Historic Design Guidelines

The *Historic Design Guidelines* supplement the Code and are considered when modifications are proposed in the Historic District. The Guidelines provide recommendations regarding the overall character of new construction including location, mass/scale, materials, and rooflines. The Guidelines recommend that new structures should be contextually sensitive to neighboring properties, being designed in a way that is cognizant of and complements existing setbacks, mass and scale, roof shape, height and materials of surrounding properties.

## 3. Project

The applicant is requesting non-binding feedback for the construction of a new two-story single-family residence on a 0.26-acre site in the Historic District. The proposed materials provided for the Board’s consideration are conceptual and do not specify final materials or details.

### Site Layout

The applicant is proposing a new ±2,500-square-foot footprint home on the east side of S. Riverview Street. The home is set back ±6 feet – 2 inches from the front property line, where zero feet is permitted along S. Riverview Street to help accommodate grade. Other proposed setbacks are ±4 feet – 6 inches from the northern side property line, ±60 feet from the rear

property line, and  $\pm 7$  feet from the southern side property line. The total side yard setback is  $\pm 11$  feet – 6 inches, which is less than the required 12-foot minimum; since this is new construction, Staff is skeptical that the criteria for a Waiver could be met. The home is sited similarly to the 110 S. Riverview project, with a front-loaded garage and front porch located along the S. Riverview frontage. Due to the topography of the site, the home is largely located towards the front of the lot, as steep grade change and floodplain hazards occupy the eastern half of the site.

Code requires front-loaded, attached garages be a minimum of 20 feet behind the front façade of the home. A Waiver would be required to allow for the garage in the proposed location. 110 S. Riverview Street was approved for a Waiver for a similar request in 2021.

Given the slope and topography of the site, the applicant will be required to provide floodplain bounds on the site plan to assure the home will remain outside of the floodplain limits.

### Scale, Mass, and Height

The depicted house, excluding the 4-car garage, is a gross total of  $\pm 4,600$ -square feet residence with a rectangular form. The Tudor and farm house-style home is proposed with a two story mass along S. Riverview Street, with a three-and-a-half story mass to the rear of the home, building down the grade of the lot. The proposed structure is 24 feet in height from grade to the top of the gable on S. Riverview Street. However, due to the grade, the height of the home from the rear elevation appears to exceed the height requirement. A Waiver would be required to be obtained from the ARB to permit the proposed height at the rear of the home; Staff is of the opinion that this rear massing is beyond that anticipated by the Guidelines and support for a Waiver is unlikely.

### Elevations

#### *West Elevation*

The west elevation is the front-facing façade of the home. The house features both front and side gable roofs with varying pitch, and a single dormer window between the garage and house on the second story. The applicant will be required to provide

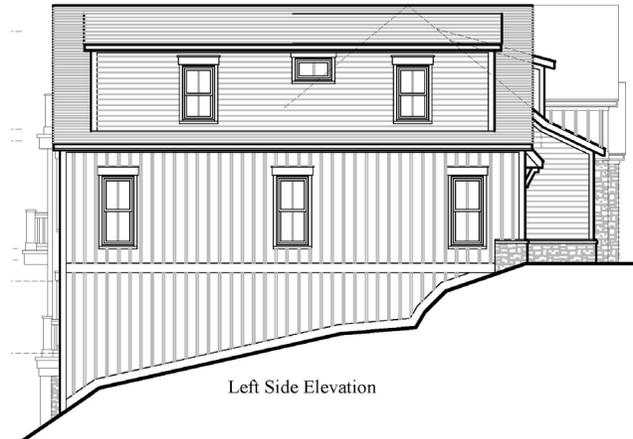


the roof pitch of all features on the home with the Minor Project. Any major roof pitch that does not fall between 6:12 and 12:12 would require a Waiver. The home features a mixture of materials, including stone, board and batten or vertical siding, and horizontal siding. The applicant is also proposing a variety of muntined windows, with a glass front entry door.

*North Elevation*

The north elevation faces the new construction at 110 S. Riverview Street. This elevation addresses the grade change from west to east on the site, towards the Scioto River. The home transitions from a two story to a three story plus basement walkout at the rear of the home. The elevation depicts a large shed roof element and the sides of multiple front-facing gable rooflines. The majority of the elevation is finished in a vertical siding or board and batten. The stone water table terminates as it turns the

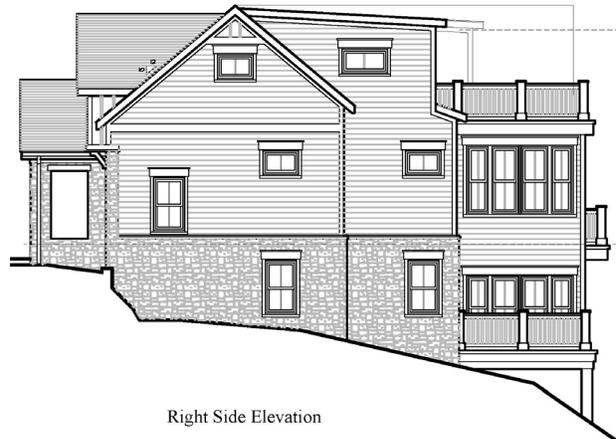
northwest corner of the house; previous approvals have required that a stone water table continue to the sides and rear. The windows appear to be two-over-two windows, with a smaller two pane window located centrally on the second story. Windows are not arranged in traditional groupings or patterns and appear to respond to the interior function of the house.



Left Side Elevation

*South Elevation*

The south elevation faces the existing residence of 134-136 S. Riverview Street. Similar to the north elevation, the significant grade change is reflected in the massing of the home moving east on the site. This elevation contains a mix of front and side gable rooflines with varying roof pitches. The Guidelines indicate that building massing should reflect the underlying topography; this does not happen here. The stone water table is carried around the southwest corner of the home and clads the lower level. The remainder of the façade is finished in a horizontal siding. This elevation also includes a selection of two pane and two-over-two windows, not arranged in traditional groupings or patterns.



Right Side Elevation

*East Elevation*

The east elevation faces the Scioto River. The massing of the rear elevation depicts a three and one half story home, as the lowest level operates as a walkout basement. The overall shape is an unbroken rectangle, with little relief from the massing. The home shows three balconies on different levels, and main materials are vertical or board and batten siding, and horizontal siding. The walkout basement exits on the north end of the elevation onto a stoop, with a crawl space located centrally on the lowest level. This elevation proposes a variety of windows and window sizes.



#### 4. Discussion Questions

- 1) Does the Board support the proposed site layout, including Waivers for the garage location and the side yard setback?
- 2) Does the Board support the proposed mass and scale of the home, including the massing's response to the topography?
- 3) Does the Board support the conceptual architectural character and details of the home, including roof lines and window placement?
- 4) Does the Board support the variety and use of materials proposed for the home?
- 5) Other considerations by the Board.