

PROPERTY OWNER:

Beth Day
 19635 STATE ROUTE 4
 MARYSVILLE, OHIO 43040
 P (614) 214 2384

APPLICANT:

clb | Restaurants
 c/o Craig Barnum
 4330 TULLER ROAD
 DUBLIN, OH 43017
 P (614) 760 0432
 email: c.barnum@clbrestaurants.com

PROJECT REPRESENTATIVE:

LUSK Architecture
 c/o Michael Lusk, AIA NCARB
 6170 RIVERSIDE DRIVE
 DUBLIN, OH 43017
 P (614) 827 6000
 email: mlusk@luskarchitecture.com

DRAWING INDEX		Rev: 1 2 3 4 5 6 7 8 9 10									
SHEET	SHEET TITLE	1	2	3	4	5	6	7	8	9	10
GENERAL											
G1	COVER	X									
G2	PROJECT INFORMATION										
G3	ACCESSIBILITY SHEET										
CIVIL											
1/1	ALTA/NSPS LAND TITLE SURVEY										
C001	GENERAL NOTES										
C100	BASE UTILITY PLAN	X									
C101	ALTERNATE UTILITY PLAN	X									
L-1.0	SITE AND PARKING	X									
L-1.1	EXISTING CONDITIONS (LANDSCAPING)	X									
L-1.2	LANDSCAPE PLAN	X									
L-1.3	LANDSCAPE PLAN ALTERNATE 1										
ARCHITECTURAL											
D100	DEMOLITION FLOOR PLAN										
A100	FLOOR PLAN	X									
A100A	FLOOR PLAN ADD ALTERNATE	X									
A101	PAVILION ENLARGED DIMENSIONED FLOOR PLAN										
A102	PAVILION / HYPHEN REFLECTED CEILING PLAN										
A200	ROOF PLAN										
A200A	ROOF PLAN ADD ALTERNATE	X									
A300	EXTERIOR ELEVATIONS	X									
A301	EXTERIOR ELEVATIONS	X									
A301A	EXTERIOR ELEVATIONS ADD ALTERNATE										
A302	BASE COLORED ELEVATIONS										
A302A	ALTERNATE COLORED ELEVATIONS										
A400	BUILDING SECTIONS	X									
A501	WALL SECTIONS										
A502	WALL SECTIONS										
A600	PLAN / SECTIONS / DETAILS	X									
ELECTRICAL											
ES1.1	SITE PHOTOMETRICS PLAN	X									
ES1.2	EXTERIOR LIGHTING RENDERING										

PROJECT TEAM

TENANT:

clb | Restaurants
 4330 TULLER ROAD
 DUBLIN, OH 43017
 P (614) 760 0432
 www.clbrestaurants.com

ARCHITECT:

LUSK Architecture
 6170 RIVERSIDE DRIVE
 DUBLIN, OH 43017
 P (614) 827 6000
 www.luskarchitecture.com

CIVIL ENGINEER:

Mannik Smith GROUP
 1160 DUBLIN RD, SUITE 100
 COLUMBUS, OHIO 43215
 P (614) 441 4222
 www.MannikSmithGroup.com

LANDSCAPE ENGINEER:

Planit Studios
 500 W. WILSON BRIDGE RD, SUITE 314
 WORTHINGTON, OH 43085
 P (614) 505 0375
 www.planit-studios.com

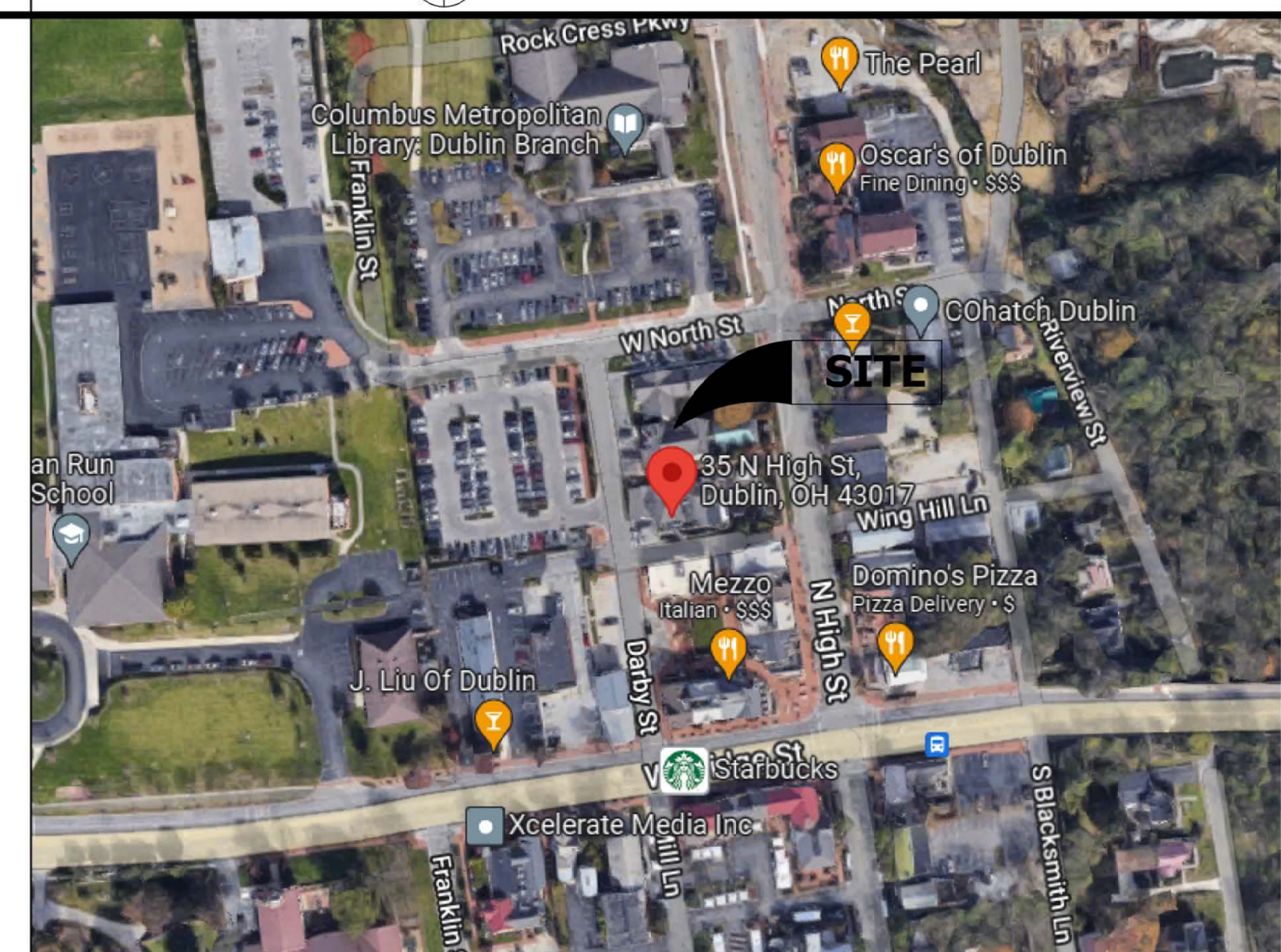
MEP ENGINEER:

Annex Engineering Group
 589 W. NATIONWIDE BLVD, SUITE B
 COLUMBUS, OH 43215
 P (614) 481 2292
 e-mail: info@annexmep.com

STRUCTURAL ENGINEER:

Jack D. Walters & Associates Inc.
 5166 Blazer Pkwy.
 DUBLIN, OH 43017
 P (614) 889 2516 |
 e-mail: jdwardcheng@gmail.com

VICINITY MAP



614.827.6000
 6170 Riverside Drive
 Dublin, OH 43017

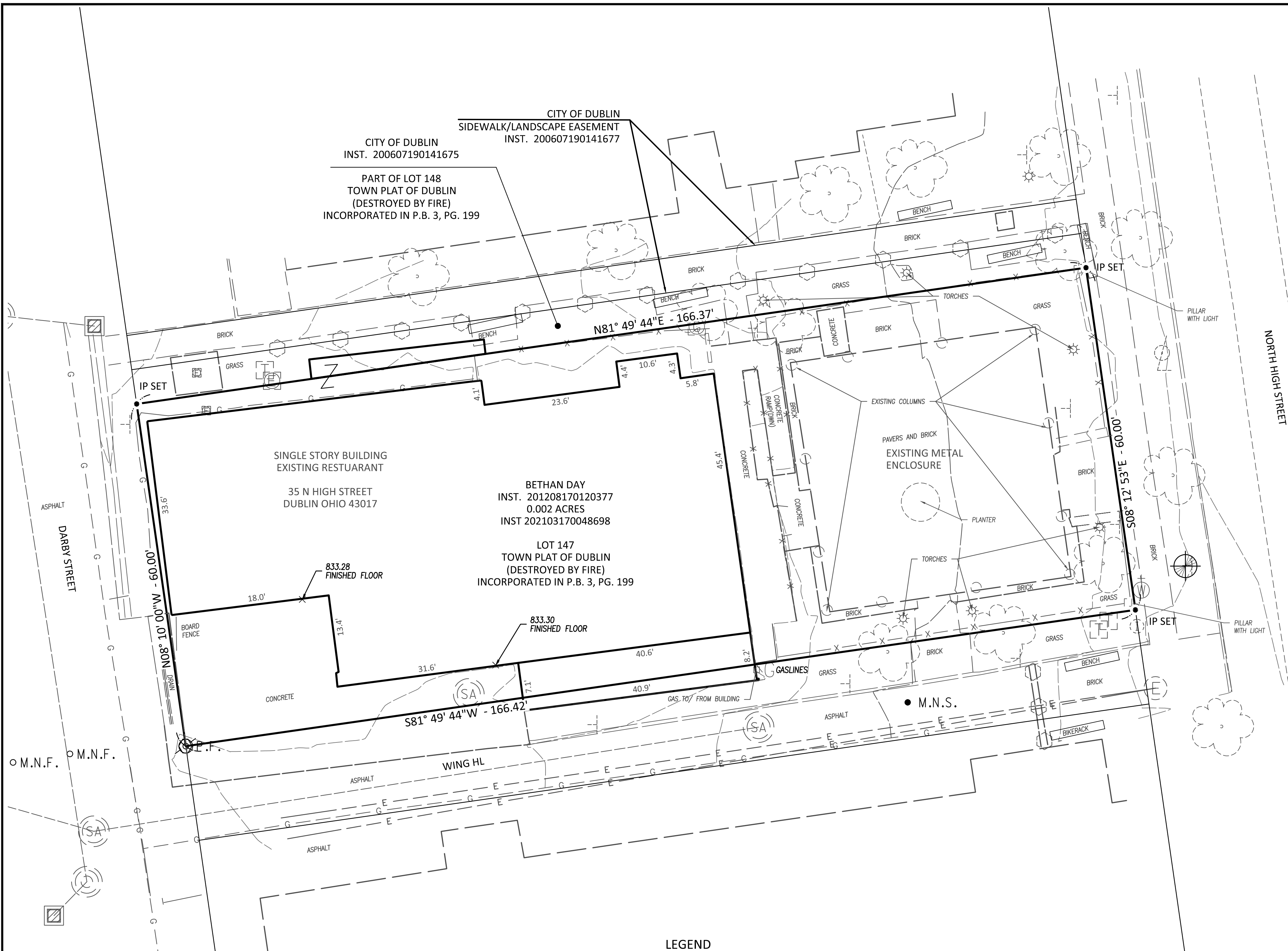


FINAL DEVELOPMENT PLANS
TUCCI'S RESTAURANT ADDITION
 35 NORTH HIGH STREET DUBLIN, OH 43017

FINAL SUBMITTAL DATE (REVISION #1)
11/30/2022
 PROJECT NUMBER
21034
 SHEET TITLE
COVER
 SHEET NUMBER

G1

PLOTTED: Mar 29, 2022 - 9:24am
 DRAWING: M:\2029 (Mannik & Smith Group - Tucci Restaurant - High St, Dublin)\SURVEY Dwg\22029-30-TUCCI.dwg: 22x34



LEGAL DESCRIPTION (AS PROVIDED):

SITUATED IN THE COUNTY OF FRANKLIN, IN THE STATE OF OHIO AND IN THE CITY OF DUBLIN:

BEING LOT NUMBER ONE HUNDRED AND FORTY-SEVEN (147) IN THE VILLAGE OF DUBLIN, AS THE SAME IS NUMBERED AND DELINEATED UPON THE RECORDED PLAT THEREOF, OF RECORD IN PLAT BOOK NO. 1 PAGE 193 AND PLAT BOOK NO. 3 PAGE 199, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF DUBLIN, BEING PART OF LOT 148 TOWN PLAT OF DUBLIN, ORIGINALLY PLATTED IN 1810 AND SUBSEQUENTLY DESTROYED BY FIRE, INCORPORATED BOUNDARY DEMONSTRATED IN PLAT BOOK 3 PAGE 199, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND ALSO PART OF A 0.0229 ACRE TRACT PRESENTLY OWNED BY CITY OF DUBLIN, OF RECORD IN INSTRUMENT NO. 200607190141675, FRANKLIN COUNTY RECORDER'S OFFICE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, FOR REFERENCE, AT A 1 INCH IRON PIN FOUND IN THE EAST LINE OF DARBY STREET (20' WIDE) MARKING THE SOUTHWEST CORNER OF LOT 148 AND SAID 0.0229 ACRE TRACT, AND THE NORTHWEST CORNER OF LOT 147, TOWN PLAT OF DUBLIN;

THENCE NORTH 81° 28' 27\"/>

NOTES PERTAINING TO EASEMENTS PROVIDED:

THE EASEMENTS SHOWN ON THIS SURVEY ARE FROM THE LIMITED LIEN PROPERTY REPORT PREPARED BY MONARCH TITLE SERVICES EFFECTIVE THROUGH MARCH 1, 2022 AND AS NOTED BELOW:

RESTRICTIONS CONTAINED IN THE DEEDS RECORDED IN INSTRUMENT NO. 202103170048698 AND INSTRUMENT NO. 200607190141675, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

LOCATED WITHIN AREA DESCRIBED AS IT PERTAINS TO THE RESTRICTIONS ON THE IMPROVEMENTS TO THE LOT. NO EASEMENTS PROVIDED TO PLOT.

EASEMENT TO THE CITY OF DUBLIN, OHIO, RECORDED IN INSTRUMENT NO. 200607190141677, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO. NOT LOCATED ON SUBJECT PARCEL BUT SHOWN HEREON

PLAT BOOK 1 PAGE 193 AND PLAT BOOK NO. 3 PAGE 199, PLAT RECORDS, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO. COPY NOT PROVIDED AND UNAVAILABLE DUE TO FIRE

REFERENCES:
 COUNTY DEED/OFFICIAL RECORD BOOKS AND PAGES AS SHOWN.

FLOOD ZONE:
 FLOOD ZONE: "X"
 PANEL NUMBER: 39049C0151K
 EFFECTIVE DATE: 06/17/2008

BASIS OF BEARINGS:
 THE BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES, SOUTH ZONE (2011 ADJUSTMENT) AND ARE FOR THE SOLE PURPOSE OF SHOWING ANGULAR MEASUREMENT.

SURVEYORS CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 8, 9, 11(a), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 24, 2022

DATE OF PLAT OR MAP: 03/29/2022

Mark Alan Smith
 MARK ALAN SMITH, P.S.
 OHIO PROFESSIONAL SURVEYOR NO.8232



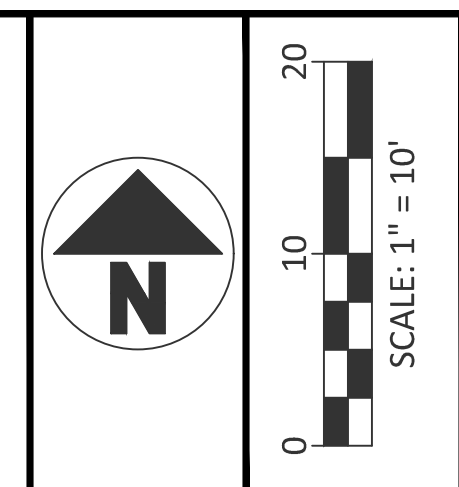
LEGEND

	GAS LINE		DECIDUOUS TREE
	GAS LINE MARKER		EVERGREEN TREE
	GAS VENT		TELEPHONE BOX
	GAS METER		TELEPHONE LINE
	GAS MANHOLE		TELEPHONE LINE MARKER
	GAS VALVE		TELEPHONE AND LIGHT POLE
	LIGHTING PULL BOX		POWER TELEPHONE AND LIGHT POLE
	LIGHT POLE		TELEPHONE MANHOLE
	UNDERGROUND ELECTRIC LINE		TELEPHONE POLE
	UNDERGROUND ELECTRIC MARKER		TRAFFIC PULL BOX
	STORM MANHOLE		POWER AND TELEPHONE POLE
	CATCH BASIN		TRAFFIC MANHOLE
	SANITARY MANHOLE		ELECTRIC BOX
	SIGN		UNKNOWN MANHOLE
	POST/BOLLARD W/ LIGHTS		UNKNOWN UTILITY POLE
	POWER AND LIGHT POLE		
	POWER POLE		

UTILITY NOTES:
 THE SURVEYOR HAS EXERCISED ALL DILIGENCE IN ATTEMPTING TO LOCATE AND DEPICT ALL ABOVE GROUND VISIBLE EVIDENCE OF UTILITY LINES. ALL VISIBLE EVIDENCE OF UTILITY LINES ARE ACCURATELY DEPICTED; AND UNDERGROUND UTILITY LINES ARE SHOWN TO THE EXTENT THAT RELIABLE DOCUMENTATION THAT IDENTIFIES THEIR LOCATIONS IS AVAILABLE AND HAS BEEN PROVIDED TO THE SURVEYOR. NO INDEPENDENT SUB-SURFACE EXAMINATION OF THE PROPERTY HAS BEEN MADE.

GENERAL NOTES:
 AT THE TIME OF THE SURVEY:

- THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING OR OTHER CONSTRUCTION RELATED ACTIVITIES.
- THERE WAS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS, CONSERVATION AREAS ON THE SITE.
- THERE ARE NO KNOWN PLANS FOR RIGHT-OF-WAY CHANGES.
- EASEMENTS NOT DIMENSIONED ARE GRAPHICALLY DEPICTED.
- THERE WAS NO OBSERVED EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION.
- THERE IS PHYSICAL VEHICULAR ACCESS FROM DARBY STREET, VIA A CONCRETE DRIVE.
- ALL REFERENCE TO AN "IRON PIN SET" ARE 5/8" DIAMETER X 30" LONG WITH CAP "DGL/MAS 8232"



NO	REVISION	DATE
9		
8		
7		
6		
5		
4		
3		
2		
1		

LOT 147 TOWN PLAT OF DUBLIN, PLATTED IN 1810 - DESTROYED BY FIRE, INCORPORATED IN PLAT BOOK 3, PAGE 199
 CITY OF DUBLIN
 FRANKLIN COUNTY, OHIO

ALTA/NSPS LAND TITLE SURVEY

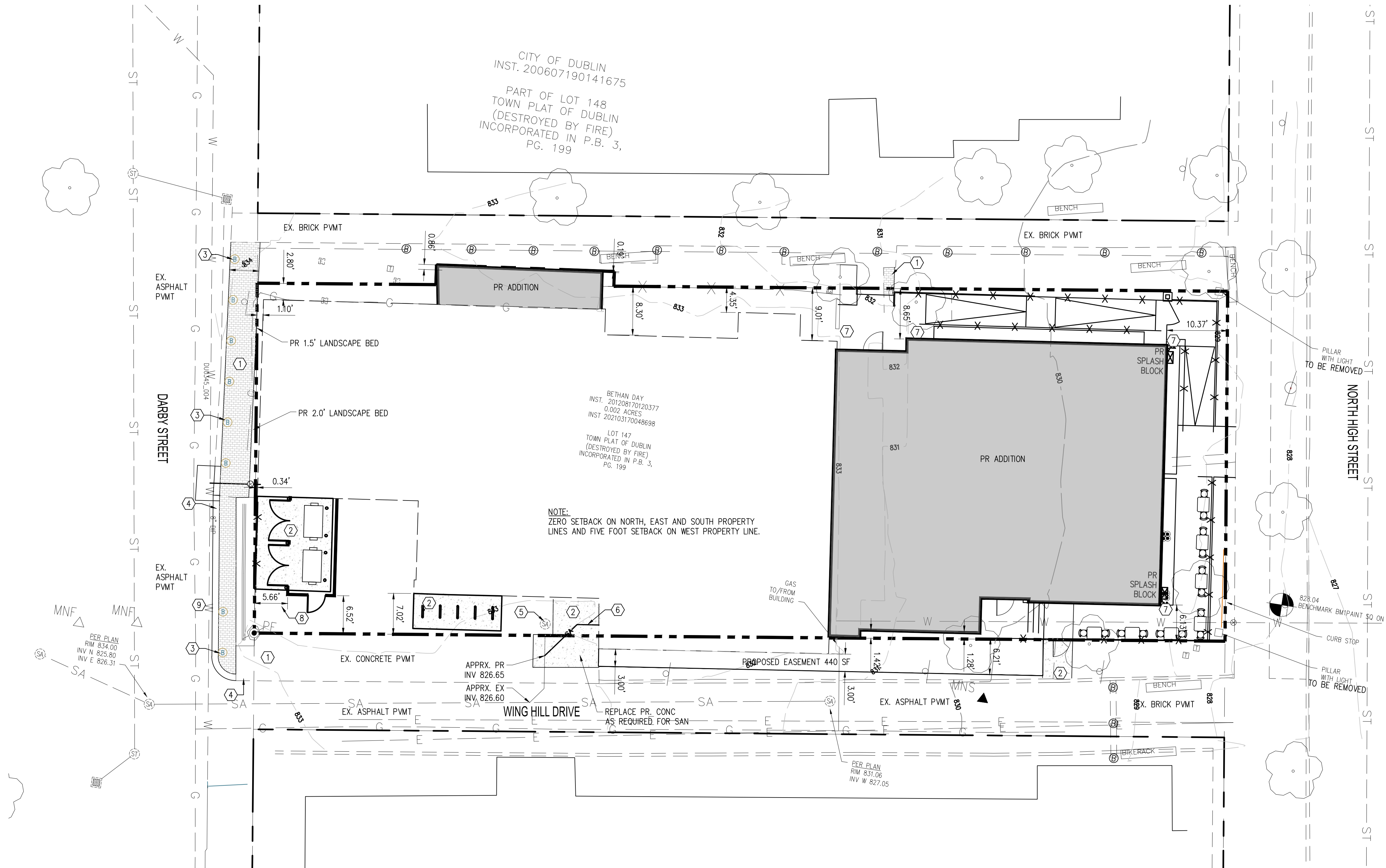
FILE: 22029-30-TUCCI.dwg
 JOB NO.: 22029
 DRAWN BY: MAS
 ISSUED: 03/11/2022

1/1

CITY OF DUBLIN
INST. 200607190141675
PART OF LOT 148
TOWN PLAT OF DUBLIN
(DESTROYED BY FIRE)
INCORPORATED IN P.B. 3,
PG. 199

BETHAN DAY
INST. 201208170120377
0.002 ACRES
INST. 202103170048698
LOT 147
TOWN PLAT OF DUBLIN
(DESTROYED BY FIRE)
INCORPORATED IN P.B. 3,
PG. 199

NOTE:
ZERO SETBACK ON NORTH, EAST AND SOUTH PROPERTY
LINES AND FIVE FOOT SETBACK ON WEST PROPERTY LINE.



UTILITY PLAN NOTES

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY THE MANNIK & SMITH GROUP, INC., THE CURRENT REQUIREMENTS OF THE CITY OF DUBLIN, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OUPS AT 800-362-2764, THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- CONDUIT LOCATIONS TO SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH MEP.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN ALL UTILITIES.
- COMPACTED GRANULAR BACKFILL IS TO BE USED FOR WATER, SANITARY SERVICE, AND STORM SEWER WHEN WITHIN THE INFLUENCE OF PAVEMENT

CODED NOTES

- PR BRICK WALK, NIC
- PR CONCRETE PAVEMENT
- PR BOLLARDS AT 7' O.C. PER CITY OF DUBLIN STANDARDS, NIC
- PR FLUSH MOUNTABLE CURB, NIC
- EX. SANITARY MANHOLE
- PROPOSED 6" SANITARY SERVICE LINE 2.08% MIN SLOPE. REFER TO PLUMBING PLANS FOR CONNECTION
- PROPOSED DOWNSPOUT. PROVIDE A SPLASH BLOCK AT EACH DOWNSPOUT
- PROPOSED 6" DIP FIRE SUPPRESSION LINE
- MAINTAIN MINIMUM 18" OF VERTICAL SEPARATION BETWEEN WATERLINE AND ALL UTILITIES. DEFLECT WATERLINE AS NEEDED.

PROPOSED		EXISTING	
	PR WATER LINE		EX WATER LINE
	PR SANITARY LINE		EX SANITARY LINE
	PR WATER VALVE		EX STORM LINE
			EX ELECTRIC LINE
			EX GAS LINE
			EX OVERHEAD LINE
			EX COMM LINE
			EX WATER VALVE
			EX SANITARY MANHOLE
			EX CATCH BASIN
			EX CURB INLET
			EX STORM MANHOLE



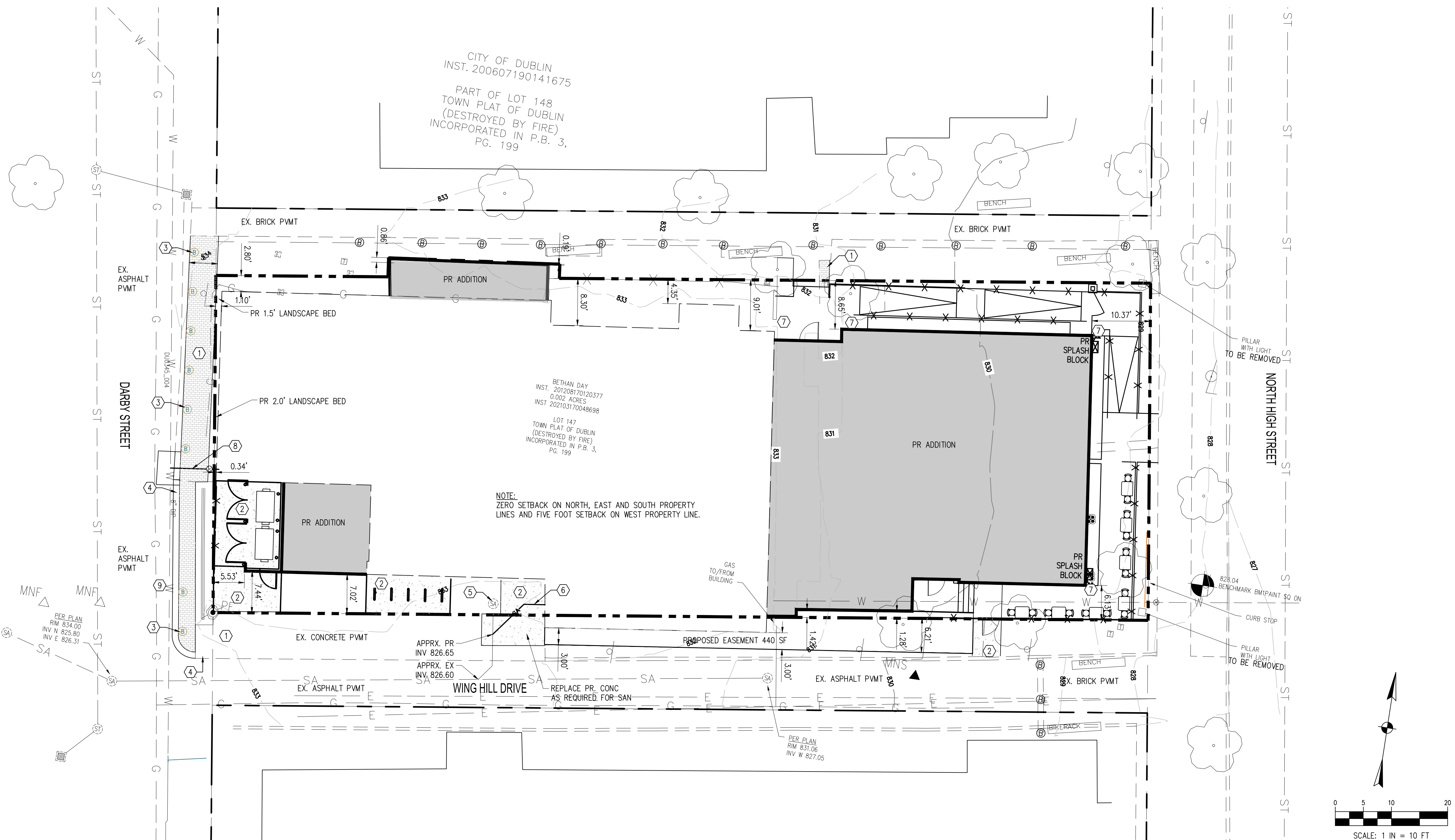
614.827.6000
6170 Riverside Drive
Dublin, OH 43017



FINAL DEVELOPMENT PLANS - **BASE PROPOSAL**
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	C100
SHEET NUMBER	UTILITY PLAN



UTILITY PLAN NOTES

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY THE MANNIK & SMITH GROUP, INC., THE CURRENT REQUIREMENTS OF THE CITY OF DUBLIN, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OUPS AT 800-362-2764, THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- CONDUIT LOCATIONS TO SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH MEP.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN ALL UTILITIES.
- COMPACTED GRANULAR BACKFILL IS TO BE USED FOR WATER, SANITARY SERVICE, AND STORM SEWER WHEN WITHIN THE INFLUENCE OF PAVEMENT

CODED NOTES

- PR BRICK WALK, NIC
- PR CONCRETE PAVEMENT
- PR BOLLARDS AT 7' O.C. PER CITY OF DUBLIN STANDARDS, NIC
- PR FLUSH MOUNTABLE CURB, NIC
- EX. SANITARY MANHOLE
- PROPOSED 6" SANITARY SERVICE LINE 2.08% MIN SLOPE. REFER TO PLUMBING PLANS FOR CONNECTION
- PROPOSED DOWNSPOUT. PROVIDE A SPLASH BLOCK AT EACH DOWNSPOUT
- PROPOSED 6" DIP FIRE SUPPRESSION LINE
- MAINTAIN MINIMUM 18" OF VERTICAL SEPARATION BETWEEN WATERLINE AND ALL UTILITIES. DEFLECT WATERLINE AS NEEDED.

LEGEND

PROPOSED	EXISTING	SYMBOL	DESCRIPTION
---	---	WV	EX WATER VALVE
---	---	SA	EX SANITARY MANHOLE
⊗	⊗	CB	EX CATCH BASIN
---	---	CI	EX CURB INLET
---	---	SM	EX STORM MANHOLE
---	---	---	EX WATER LINE
---	---	---	EX SANITARY LINE
---	---	---	EX STORM LINE
---	---	---	EX ELECTRIC LINE
---	---	---	EX GAS LINE
---	---	---	EX OVERHEAD LINE
---	---	---	EX COMM LINE



614.827.6000
6170 Riverside Drive
Dublin, OH 43017



FINAL DEVELOPMENT PLANS - ALTERNATIVE PROPOSAL

TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	C101
SHEET NUMBER	UTILITY PLAN-ALT

LEGEND

ADJACENT PARCEL ID NUMBERS

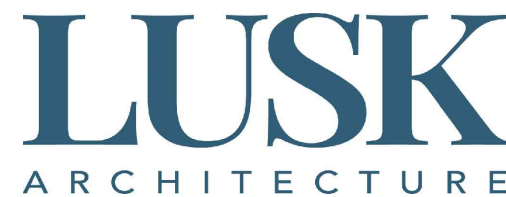
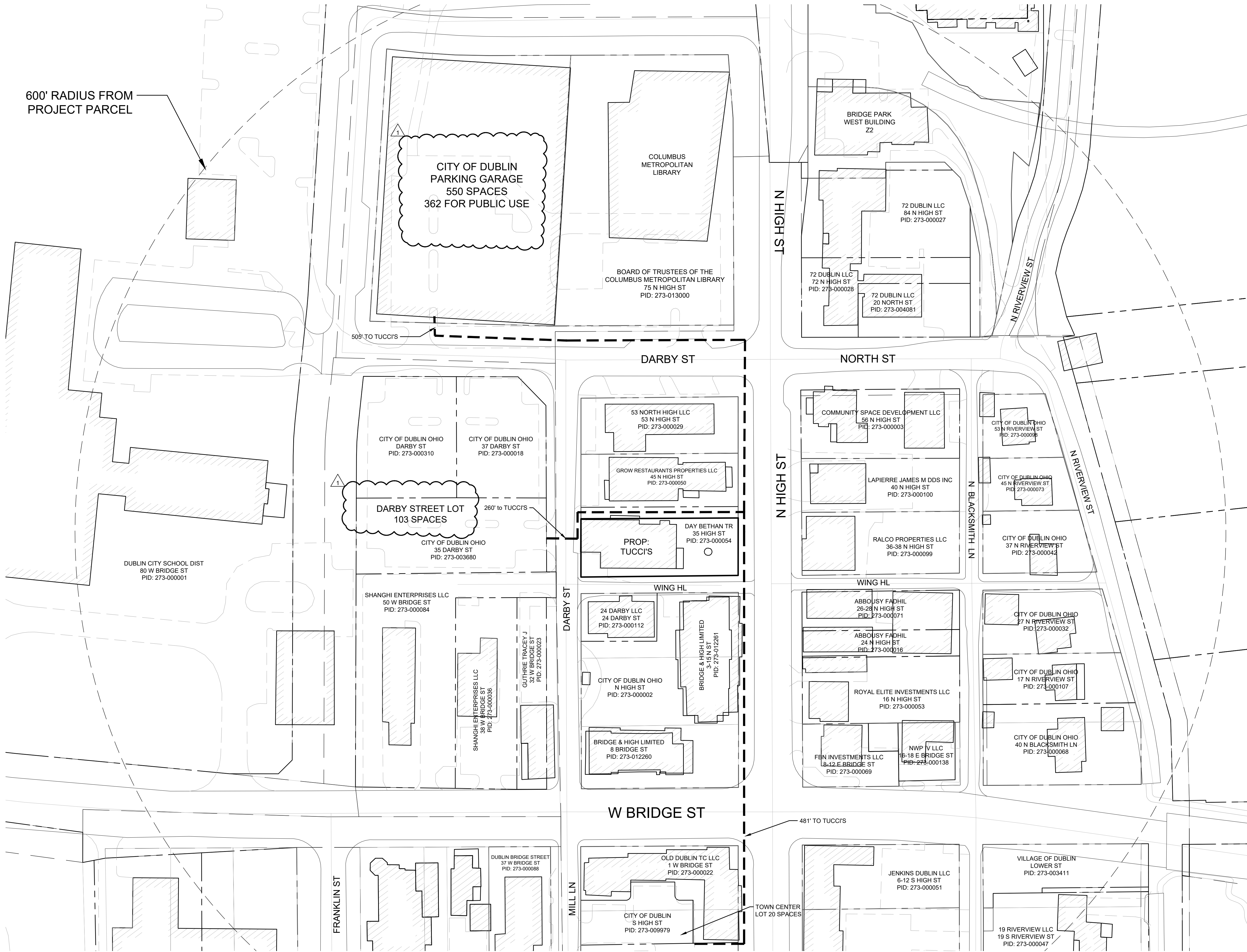
273-012999	273-000084	273-012386
273-013000	273-000036	273-012387
273-013001	273-000023	273-012388
273-010936	273-000112	273-012389
273-012983	273-012261	273-000113
273-012984	273-000002	273-000051
273-000027	273-012260	273-000040
273-000028	273-000071	273-000056
273-004081	273-000016	273-000008
273-000003	273-000053	273-000089
273-000100	273-000069	273-000072
273-000099	273-000138	273-000094
273-012538	273-000177	273-003411
273-005565	273-000032	273-000047
273-005564	273-000107	273-000079
273-003513	273-000025	273-000080
273-005566	273-000077	273-013047
273-000098	273-012159	273-003410
273-000073	273-012160	
273-000042	273-012432	
273-000001	273-000088	
273-000310	273-000111	
273-000018	273-000109	
273-003680	273-000022	
273-000029	273-009979	
273-000050	273-000037	
273-012200	273-000062	

PARKING REQUIREMENTS

SUMMARY:
Dublin City Code requires 10 parking spaces per 1,000 ft² of building G.F.A. The Historic Core District can be interpreted as a "Mixed-Use development" with individual parcels sharing centralized public parking in order to maintain the city's desired density and character. As such, Tucci's will primarily rely on the adjacent Darby Street Lot, with a capacity of 103 parking spaces to meet the restaurant's parking demand and city zoning ordinance. In times of high parking demand, nearby public parking including the Library Parking Garage (550 spaces 362 for public use), and the Town Center Lot (20 spaces). While the building footprint on the project site is expanding, the number of tables, and thus patrons and parking demand, is expected to only increase slightly in comparison to its current capacity (This is due to proposed addition to replace an outdoor patio seating area covered with a temporary structure).

PARKING REQUIREMENT	10 SPACES PER 1,000 S.F.
TUCCI'S BASE FOOTPRINT:	7,779 ft ²
REQUIRED SPACES:	78 SPACES
REQUIRED BIKE:	8 (10 PROVIDED)
NEARBY PUBLIC PARKING SPACES:	485 SPACES
PARKING REQUIREMENT	10 SPACES PER 1,000 S.F.
TUCCI'S ALT A-1 FOOTPRINT:	8,145 ft ²
REQUIRED SPACES:	81 SPACES
REQUIRED BIKE:	8 (10 PROVIDED)
NEARBY PUBLIC PARKING SPACES:	485 SPACES
PARKING REQUIREMENT	10 SPACES PER 1,000 S.F.
TUCCI'S ALT A-2 FOOTPRINT:	8,130 ft ²
REQUIRED SPACES:	81 SPACES
REQUIRED BIKE:	8 (10 PROVIDED)
NEARBY PUBLIC PARKING SPACES:	485 SPACES
PARKING REQUIREMENT	10 SPACES PER 1,000 S.F.
TUCCI'S ALT A-1 & A-2 FOOTPRINT:	8,496 ft ²
REQUIRED SPACES:	85 SPACES
REQUIRED BIKE:	9 (10 PROVIDED)
NEARBY PUBLIC PARKING SPACES:	485 SPACES

600' RADIUS FROM PROJECT PARCEL



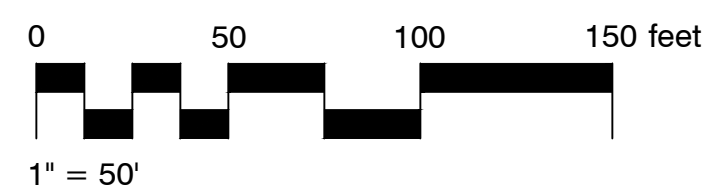
614.827.6000
6170 Riverside Drive
Dublin, OH 43017



FINAL DEVELOPMENT PLANS

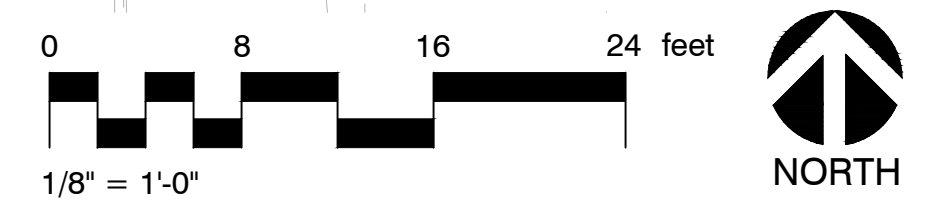
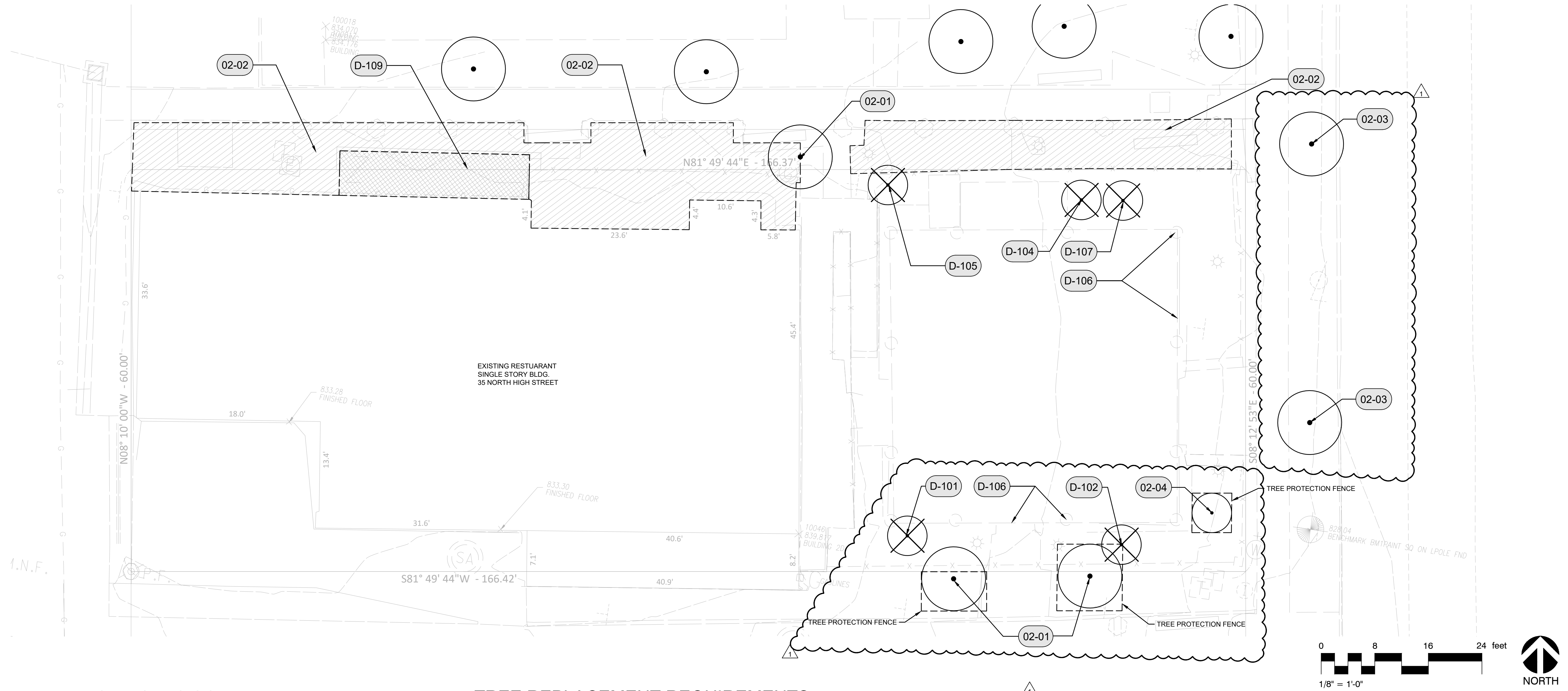
TUCCI'S RESTAURANT ADDITION

35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	SITE AND PARKING
SHEET NUMBER	L-1.0

L-1.0



REFERENCE NOTES SCHEDULE

SYMBOL	02 EXISTING CONDITIONS DESCRIPTION	QTY	DETAIL
02-01	Existing Tree to be preserved and protected during construction.	1	L-1.1
02-02	Existing Landscaping to be preserved. Any plant material damaged in construction to be replaced with stock in equal or healthier condition than the original.		
02-03	Ex. street tree.		
02-04	9" DBH Lilac to be preserved with base bid. If alternate 1 is chosen tree to be removed.	1	L-1.1
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	QTY	DETAIL
32-01	1-Loop wave style bike rack. ULINE. 2 3/8" dia. 10 Gauge Steel with black powder coat finish.		
32-02	Ritter ProGrass honeycomb lawn protection. Seed to match existing turf.		
SYMBOL	DEMOLITION DESCRIPTION	QTY	DETAIL
D-101	6" DBH Lilac to be removed.		
D-102	8" DBH Lilac to be removed.		
D-104	4" DBH Lilac to be removed.		
D-105	3" DBH Hornbeam to be removed.		
D-106	Temporary structure to be removed.		
D-107	6" DBH Lilac to be removed.		
D-109	Landscaping to be removed for building addition.		

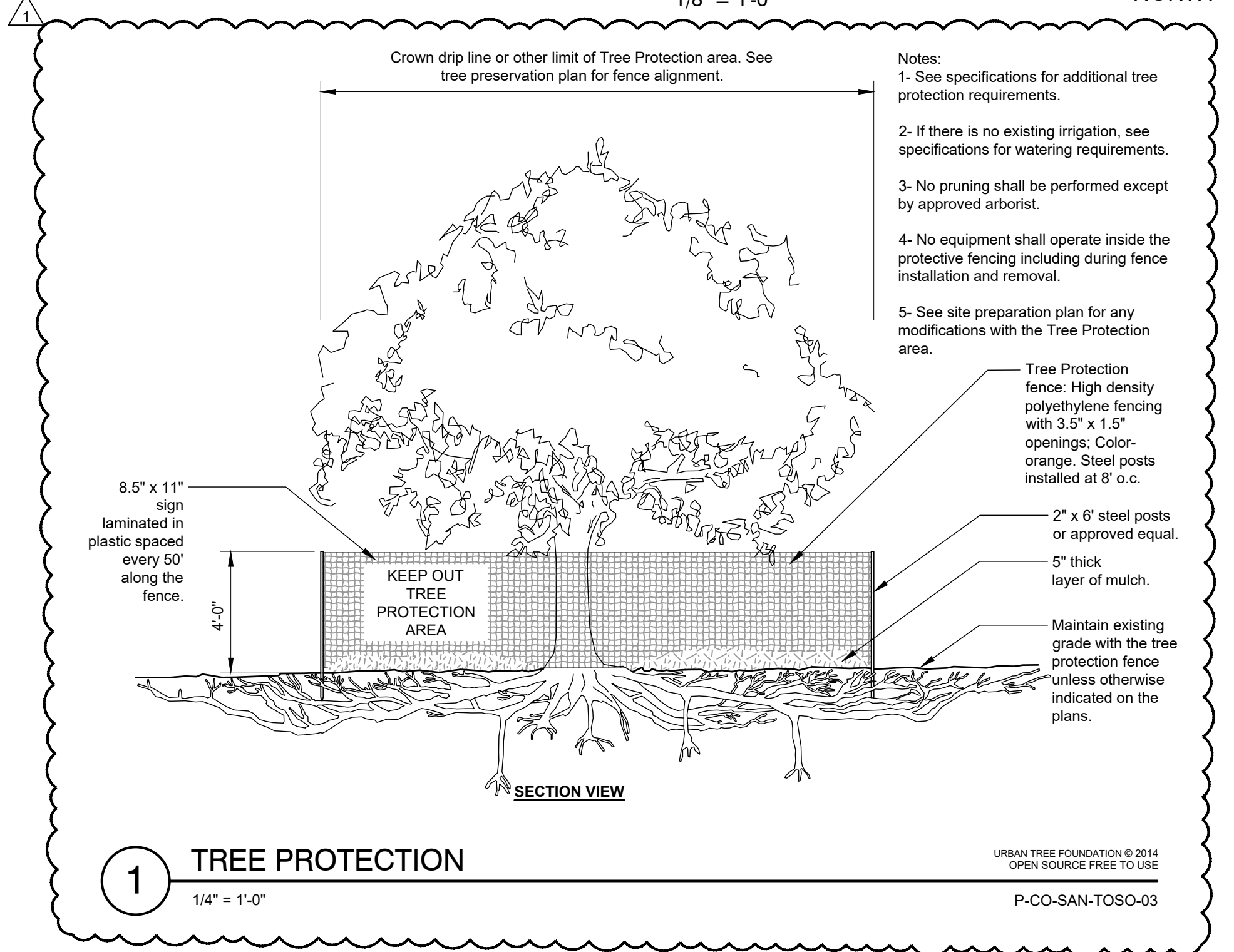
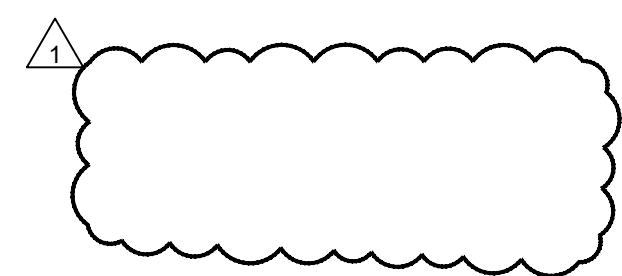
TREE REPLACEMENT REQUIREMENTS

FROM SECTION 153.146 OF DUBLIN CITY ZONING ORDINANCE.

(A) Replacement trees. The total number of caliper inches of replacement trees for a site shall equal or exceed the combined diameter of the protected tree(s) removed. All replacement trees should be of a deciduous species which is indigenous to the region and shall be made with new trees of not less than two and one-half inches caliper. Replacements shall be made within one year of the date of the removal of any trees for which such replacement is required. All replacement trees shall otherwise conform to § 153.135(C) of the Landscape Code.

--- **Sum total diameter of all trees to be removed equals 29"**

(B) Replacement fee. In the event the Planning Director or designee determines that full replacement would result in the unreasonable crowding of trees upon the lot, a fee equivalent to the cost of the excess aggregate caliper shall be paid into the city's general fund to be used for reforestation on public property. The fees collected under this section shall be deposited with the Department of Finance to the credit of the general fund. The fees required to be paid by this section shall be used solely for the planting of trees on publicly owned property. The municipality shall expend additional funds for tree removal and/or tree pruning from other funds. This fee shall be reviewed annually as part of the Fee and Service Charge Revenue/Cost Comparison System.



614.827.6000
6170 Riverside Drive
Dublin, OH 43017

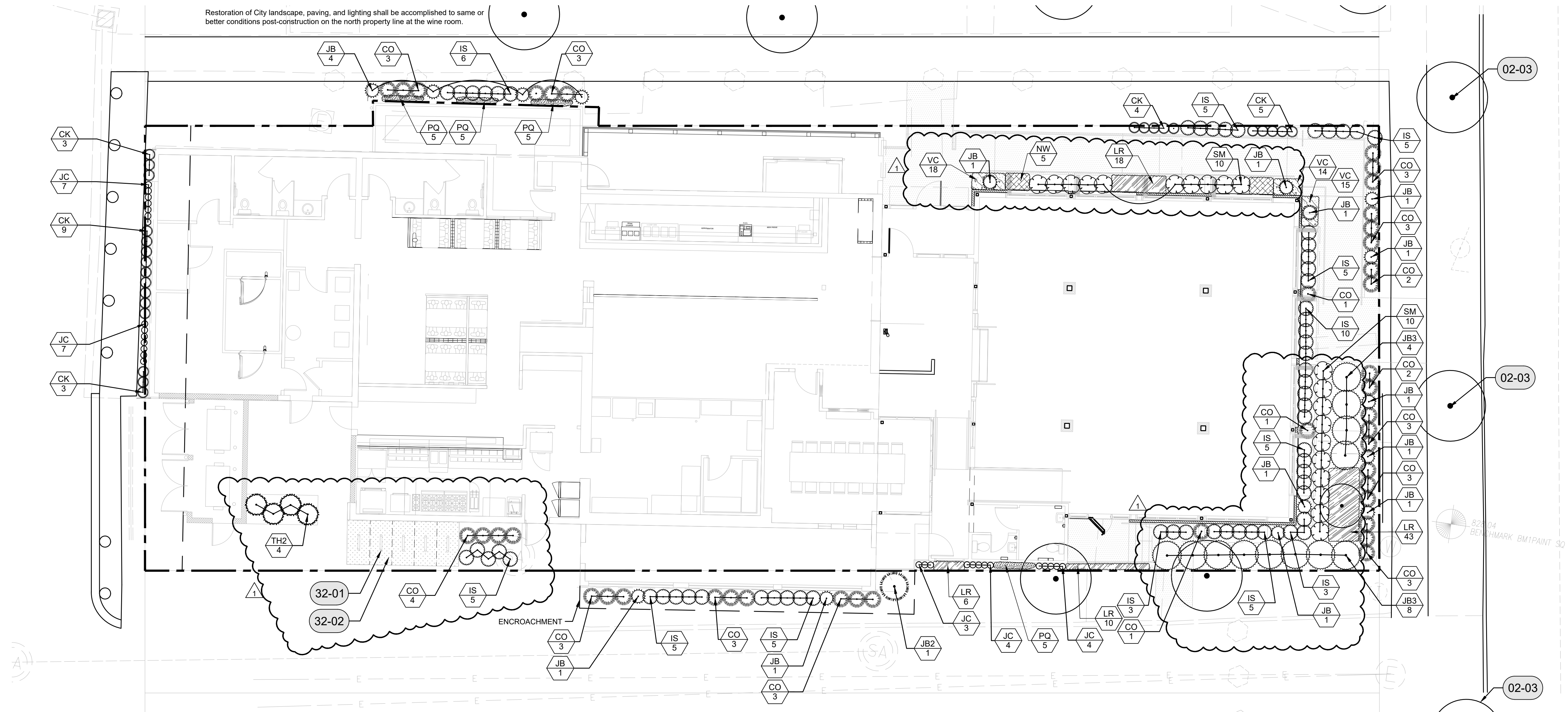


FINAL DEVELOPMENT PLANS
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	EXISTING CONDITIONS
SHEET NUMBER	L-1.1

Restoration of City landscape, paving, and lighting shall be accomplished to same or better conditions post-construction on the north property line at the wine room.



GENERAL NOTES:

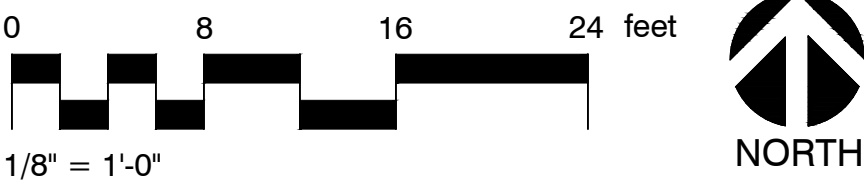
1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN IT CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, UTILITIES, EASEMENTS OR FIELD GATHERED DATA.
2. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR SHALL INCLUDE FOR PAYMENT THE COSTS OF REMOVAL AND DISPOSAL OF ALL TREES, BRUSH AND STUMPS WITHIN THE SCOPE OF PROPOSED WORK.
4. LOCATION, SUPPORT PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.
5. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
6. CONTRACTOR SHALL CALL UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL NOT REMOVE ANY TREES, SHRUBS, OR OTHER LANDSCAPE FEATURES NOT IDENTIFIED FOR REMOVAL WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNER.
8. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS AT ALL TIMES.
9. ALL DIMENSIONS AND WALL RADII ARE TAKEN TO FACE OF CURB OR WALL, UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY OWNERS REP OF ANY DISCREPANCIES.
11. ALL CONCRETE WORK TO RECEIVE CONTROL JOINTS AT 5' O.C., AND EXPANSION JOINTS AT 30' O.C. MAXIMUM, WITH LIGHT BROOM FINISH UNLESS OTHERWISE NOTED ON PLANS.

PLANT SCHEDULE BASE

TREES	QTY	COMMON / BOTANICAL NAME	CONT	SIZE
JB2	1	Blue Point Juniper / Juniperus chinensis 'Blue Point'	B & B	5-6' HT
TH2	4	Holmstrup Arborvitae / Thuja occidentalis 'Holmstrup'	B & B	5-6' HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	
CK	25	Karl Foerster Feather Reed Grass / Calamagrostis x acutiflora 'Karl Foerster'	#1 Cont.	
CO	41	Overdam Feather Reed Grass / Calamagrostis x acutiflora 'Overdam'	#1 Cont.	
IS	62	Shamrock Inkberry Holly / Ilex glabra 'Shamrock'	24" HT MIN	
JB	16	Blue Arrow Juniper / Juniperus scopulorum 'Blue Arrow'	B&B 4'-5' Ht.	
JB3	12	Blue Chip Juniper / Juniperus horizontalis 'Blue Chip'	5 gal	
JC	27	Pencil Point Common Juniper / Juniperus communis 'Pencil Point'	B&B 4'-5' Ht.	
SM	20	Dakota Goldcharm® Japanese Spirea / Spiraea japonica 'Mertyann'	5 gal	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT
	LR	77	Royal Purple Lilyturf / Liriope muscari 'Royal Purple'	4" pot 12" o.c.
	NW	10	Walker's Low Catmint / Nepeta x 'Walker's Low'	1 Gal 16" o.c.
	PQ	20	Virginia Creeper / Parthenocissus quinquefolia Plants to be trained to climb stainless steel trellis system. See Arch Elevations for final placement.	#1 Cont. 12" o.c.
	VC	47	Common Periwinkle / Vinca minor	Flat P.P. 8" o.c.

REFERENCE NOTES SCHEDULE BASE

SYMBOL	DESCRIPTION	QTY	DETAIL
	02 EXISTING CONDITIONS Ex. street tree.		
	32 EXTERIOR IMPROVEMENTS 1-Loop wave style bike rack. ULINE. 2 3/8" dia. 10 Gauge Steel with black powder coat finish.		
	Ritter ProGrass honeycomb lawn protection. Seed to match existing turf.		



GENERAL PLANTING NOTES:

1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN-IT STUDIOS CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, EASEMENTS OR FIELD GATHERED DATA.
2. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
5. ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
6. CONSULT PLANT SCHEDULE FOR PLANT SIZES AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
7. ALL PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-2014) IN REGARDS TO SIZING, GROWING AND B&B SPECIFICATIONS.
8. ALL PROPOSED PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 6", ADDITIONAL AMENDMENTS TO BE ADDED PER SOILS REPORT.
9. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
10. PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-8 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE AND TO BE AMENDED WITH ORGANIC SOIL CONDITIONER.
11. IN AREAS WHERE BEDROCK OR HEAVILY COMPACTED ROCK FILL IS ENCOUNTERED, THE PLANTING HOLES ARE TO BE DUG TO A MINIMUM OF THREE TIMES THE WIDTH AND ONE FOOT DEEPER THAN THE SIZE OF THE ROOT BALL. NOTIFY LANDSCAPE ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
12. CONTRACTOR TO PROVIDE A FULL 1 YEAR GUARANTEE ON ALL PLANTS INSTALLED AND PROVIDE COMPLETE MAINTENANCE ON ALL WORK DONE BEGINNING ON THE DAY OF APPROVAL FROM OWNER'S REPRESENTATIVE AND CONTINUING FOR A THREE MONTH DURATION AT WHICH TIME OWNER'S REPRESENTATIVE WILL DECLARE JOB ACCEPTANCE.
13. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL SHRUBS AND GROUND COVER BEDS (EXISTING AND NEW), PLANTING BEDS, AND SHRUB MASSES SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
15. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO LAYING SOD OR SEEDING.
16. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED. (SEE LANDSCAPE PLANS). SEEDING OR SODDING BY LANDSCAPE CONTRACTOR.
17. IF APPLICABLE LANDSCAPE CONTRACTOR TO COORDINATE WITH EXISTING OR PROPOSED IRRIGATION SYSTEM. IF PROPOSED IRRIGATION SYSTEM COORDINATE WITH IRRIGATION CONTRACTOR AND INSTALLATION OF SYSTEM.



614.827.6000
6170 Riverside Drive
Dublin, OH 43017



FINAL DEVELOPMENT PLANS - BASE PROPOSAL
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



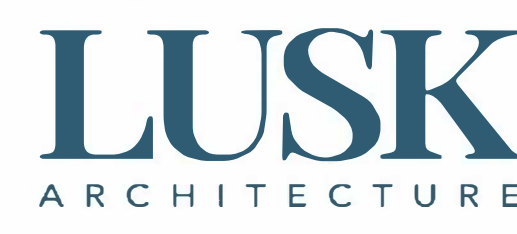
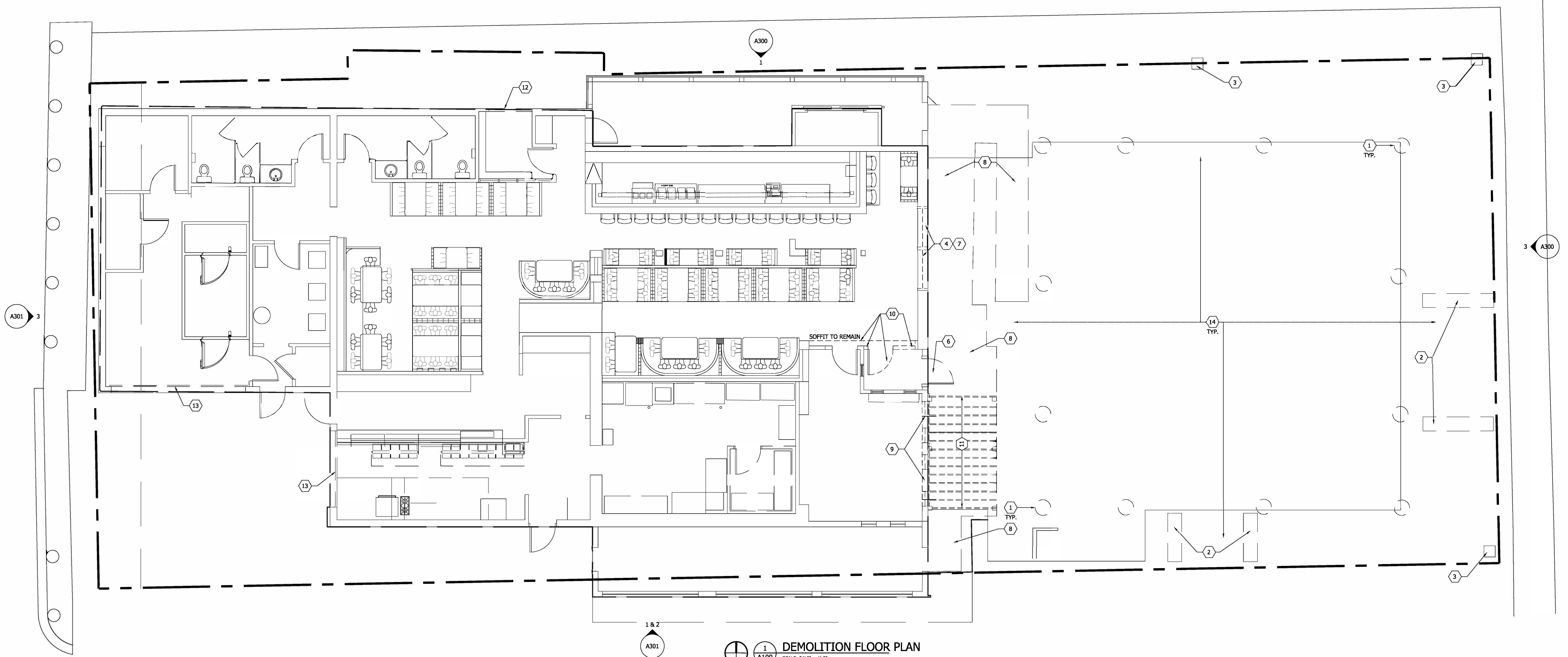
FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	LANDSCAPE PLAN
SHEET NUMBER	L-1.2

DEMO CODED NOTES

1. ALL EXISTING ROUND CONCRETE COLUMNS TO BE CUT OUT JUST BELOW FINISH GRADE, FOR NEW FOUNDATIONS. SEE STRUCTURAL FOR MORE INFO.
2. INDICATES BRICK WING WALLS, WITH LIMESTONE CAP TO BE REMOVED ENTIRELY DOWN JUST BELOW GRADE.
3. EXISTING BRICK COLUMNS WITH LIMESTONE CAP TO BE REMOVED ENTIRELY DOWN JUST BELOW GRADE.
4. EXISTING WINDOWS AND BRICK SOLDIER COURSE TO BE REMOVED DOWN TO CONCRETE, AND PREPPED FOR NEW CASED OPENING. SEE STRUCTURAL FOR NEW HEADER SIZE.
5. EXISTING DOOR(S), FRAME AND HARDWARE TO BE REMOVED AND SALVAGED. PREPARE EXISTING OPENING FOR IN-FILL CONSTRUCTION, IF APPLICABLE. REFER TO CONSTRUCTION PLAN.
6. EXISTING DOOR AND HARDWARE TO BE REMOVED AND SALVAGED. PATCH AND REPAIR AS REQUIRED.
7. CREATE NEW CASED OPENING, PATCH AND REPAIR EXISTING CONSTRUCTION AS REQUIRED. PROVIDE HEADER, MATCH EXISTING CONSTRUCTION. REFER TO CONSTRUCTION PLAN AND STRUCTURAL FOR HEADER SIZE.
8. ALL CONCRETE RAMPS, PADS AND RAILINGS TO BE DEMOLISHED.
9. EXISTING WALL, WINDOWS AND BRICK TO BE REMOVED AND BEAM ADDED ABOVE FOR PRIVATE DINING ROOM EXPANSION. REFER TO CONSTRUCTION PLAN FOR NEW WORK.
10. EXISTING DOOR AND HARDWARE TO BE REMOVED AND SALVAGED. INFILL WALL FRAMING TO BE REMOVED TO CREATE A CASED OPENING, SOFFIT ABOVE TO REMAIN. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING INTERIOR FINISH.
11. EXISTING PERGOLA TO BE REMOVED IN ITS ENTIRETY AND TURNED OVER TO OWNER IF SALVAGEABLE.
12. THIS PORTION OF EXIST. EXTERIOR WALL TO BE REMOVED TO CREATE NEW OPENING FOR WINE ROOM EXPANSION. PATCH AND REPAIR EXPOSED WALL AND FLOOR AS REQUIRED.
13. EXISTING GARAGE DOORS TO BE REMOVED FOR INFILL CMU. INTERIOR FINISH SIDE TO MATCH EXISTING.
14. ALL BRICK PAVERS IN EXISTING PATIO AREA TO BE REMOVED IF THEY ARE NOT ON A COMPACTED SAND BED, TYPICAL.

DEMO GENERAL NOTES

1. ALL EXIT SIGNS, EMERGENCY FLOOD LIGHTS, FIRE EXTINGUISHERS, AND LIFE SAFETY ITEMS TO BE SALVAGED AND RETURNED TO ORIGINAL LOCATION, UNLESS NOTED OTHERWISE.
2. ALL EXISTING CONSTRUCTION AND ITEMS TO REMAIN TO BE PROTECTED DURING CONSTRUCTION. PATCH AND REPAIR AS REQUIRED.
3. REFER TO PLUMBING SHEETS FOR TRENCHING OR CORE DRILLING REQUIRED FOR NEW PLUMBING FIXTURES.
4. CONFIRM STORAGE OR DISPOSAL OF ALL WALL MOUNTED ITEMS, MILLWORK, CASEWORK, AND DISPLAY FIXTURES WITH OWNER.



614.827.6000
6170 Riverside Drive
Dublin, OH 43017



1 & 2
A301
NORTH
1
A100
SCALE: 3/16" = 1'-0"
DEMOLITION FLOOR PLAN

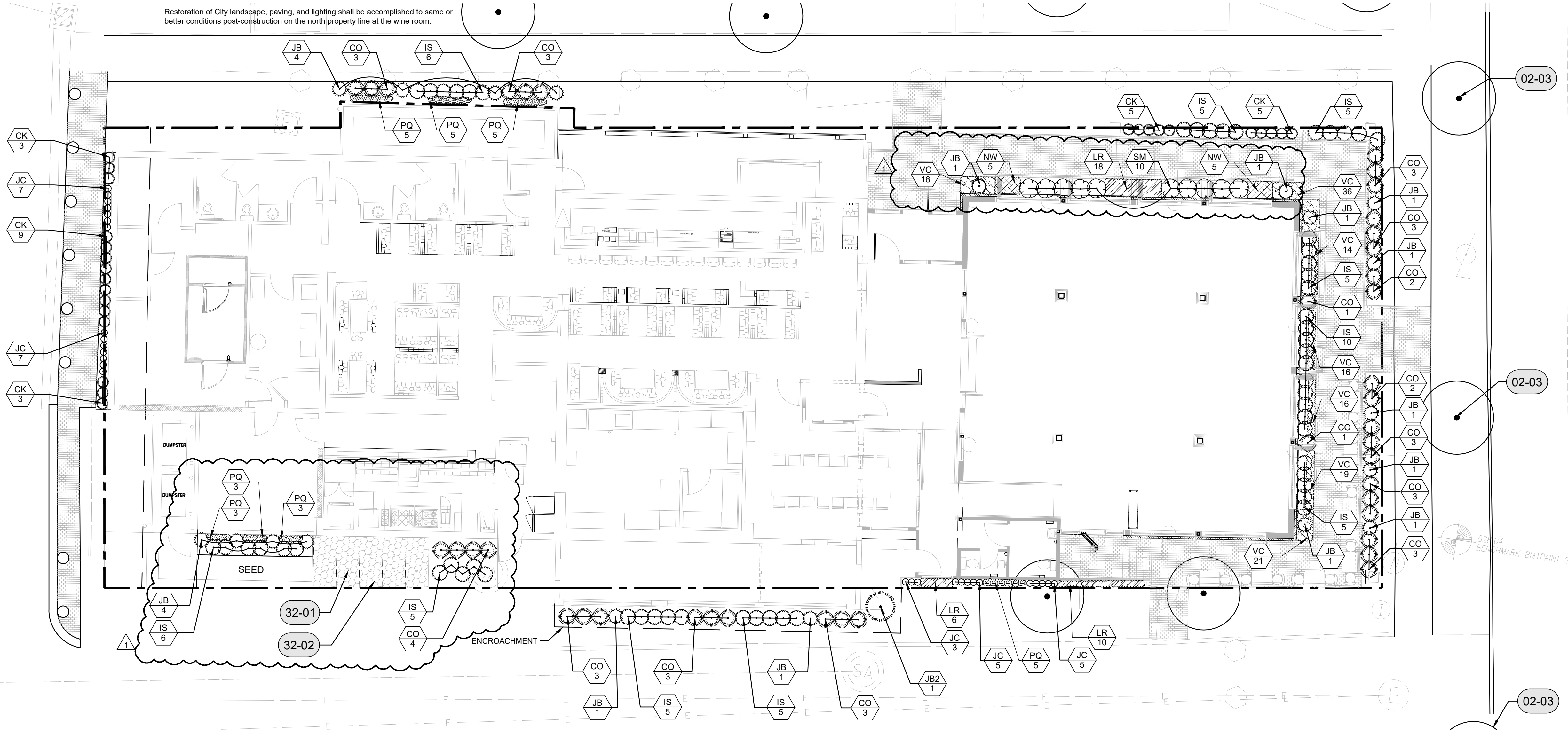
FINAL DEVELOPMENT PLANS
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)
11/30/2022
PROJECT NUMBER
21034
SHEET TITLE
DEMOLITION FLOOR PLAN
SHEET NUMBER

D100

Restoration of City landscape, paving, and lighting shall be accomplished to same or better conditions post-construction on the north property line at the wine room.

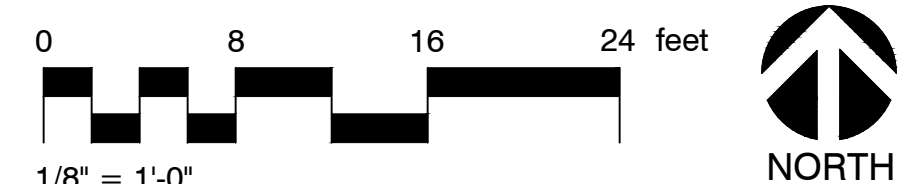


GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN IT CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, UTILITIES, EASEMENTS OR FIELD GATHERED DATA.
2. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR SHALL INCLUDE FOR PAYMENT THE COSTS OF REMOVAL AND DISPOSAL OF ALL TREES, BRUSH AND STUMPS WITHIN THE SCOPE OF PROPOSED WORK.
4. LOCATION, SUPPORT PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.
5. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
6. CONTRACTOR SHALL CALL UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL NOT REMOVE ANY TREES, SHRUBS, OR OTHER LANDSCAPE FEATURES NOT IDENTIFIED FOR REMOVAL WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNER.
8. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS AT ALL TIMES.
9. ALL DIMENSIONS AND WALL RADII ARE TAKEN TO FACE OF CURB OR WALL, UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY OWNERS REP OF ANY DISCREPANCIES.
11. ALL CONCRETE WORK TO RECEIVE CONTROL JOINTS AT 5' O.C., AND EXPANSION JOINTS AT 30' O.C. MAXIMUM, WITH LIGHT BROOM FINISH UNLESS OTHERWISE NOTED ON PLANS.

PLANT SCHEDULE ALTERNATE

TREES	QTY	COMMON / BOTANICAL NAME	CONT	SIZE
JB2	1	Blue Point Juniper / Juniperus chinensis 'Blue Point'	B & B	5-6' HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	
CK	25	Karl Foerster Feather Reed Grass / Calamagrostis x acutiflora 'Karl Foerster'	#1 Cont.	
CO	40	Overdam Feather Reed Grass / Calamagrostis x acutiflora 'Overdam'	#1 Cont.	
IS	57	Shamrock Inkberry Holly / Ilex glabra 'Shamrock'	24" HT MIN	
JB	19	Blue Arrow Juniper / Juniperus scopulorum 'Blue Arrow'	B&B 4'-5' Ht.	
JC	27	Pencil Point Common Juniper / Juniperus communis 'Pencil Point'	B&B 4'-5' Ht.	
SM	10	Dakota Goldcharm® Japanese Spirea / Spiraea japonica 'Mertyann'	5 gal	



GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT
	LR	34	Royal Purple Lilyturf / Liriope muscari 'Royal Purple'	4" pot 12" o.c.
	NW	10	Walker's Low Catmint / Nepeta x 'Walker's Low'	1 Gal 16" o.c.
	PQ	29	Virginia Creeper / Parthenocissus quinquefolia Plants to be trained to climb stainless steel trellis system. See Arch Elevations for final placement.	#1 Cont. 12" o.c.
	VC	141	Common Periwinkle / Vinca minor	Flat P.P. 8" o.c.

REFERENCE NOTES SCHEDULE ALTERNATE

SYMBOL	02 EXISTING CONDITIONS DESCRIPTION	QTY	DETAIL
	Ex. street tree.		
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	QTY	DETAIL
	1-Loop wave style bike rack. ULINE. 2 3/8" dia. 10 Gauge Steel with black powder coat finish.		
	Ritter ProGrass honeycomb lawn protection. Seed to match existing turf.		

GENERAL PLANTING NOTES:

1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN-IT STUDIOS CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, EASEMENTS OR FIELD GATHERED DATA.
2. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
5. ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
6. CONSULT PLANT SCHEDULE FOR PLANT SIZES AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT LIST QUANTITIES ARE FOR CONVENIENCE ONLY.
7. ALL PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-2014) IN REGARDS TO SIZING, GROWING AND B&B SPECIFICATIONS.
8. ALL PROPOSED PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 6", ADDITIONAL AMENDMENTS TO BE ADDED PER SOILS REPORT.
9. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
10. PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-8 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE AND TO BE AMENDED WITH ORGANIC SOIL CONDITIONER.
11. IN AREAS WHERE BEDROCK OR HEAVILY COMPACTED ROCK FILL IS ENCOUNTERED, THE PLANTING HOLES ARE TO BE DUG TO A MINIMUM OF THREE TIMES THE WIDTH AND ONE FOOT DEEPER THAN THE SIZE OF THE ROOT BALL. NOTIFY LANDSCAPE ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
12. CONTRACTOR TO PROVIDE A FULL 1 YEAR GUARANTEE ON ALL PLANTS INSTALLED AND PROVIDE COMPLETE MAINTENANCE ON ALL WORK DONE BEGINNING ON THE DAY OF APPROVAL FROM OWNER'S REPRESENTATIVE AND CONTINUING FOR A THREE MONTH DURATION AT WHICH TIME OWNER'S REPRESENTATIVE WILL DECLARE JOB ACCEPTANCE.
13. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL SHRUBS AND GROUND COVER BEDS (EXISTING AND NEW), PLANTING BEDS, AND SHRUB MASSES SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
15. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO LAYING SOD OR SEEDING.
16. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDDED. (SEE LANDSCAPE PLANS). SEEDING OR SODDING BY LANDSCAPE CONTRACTOR.
17. IF APPLICABLE LANDSCAPE CONTRACTOR TO COORDINATE WITH EXISTING OR PROPOSED IRRIGATION SYSTEM, IF PROPOSED IRRIGATION SYSTEM COORDINATE WITH IRRIGATION CONTRACTOR AND INSTALLATION OF SYSTEM.



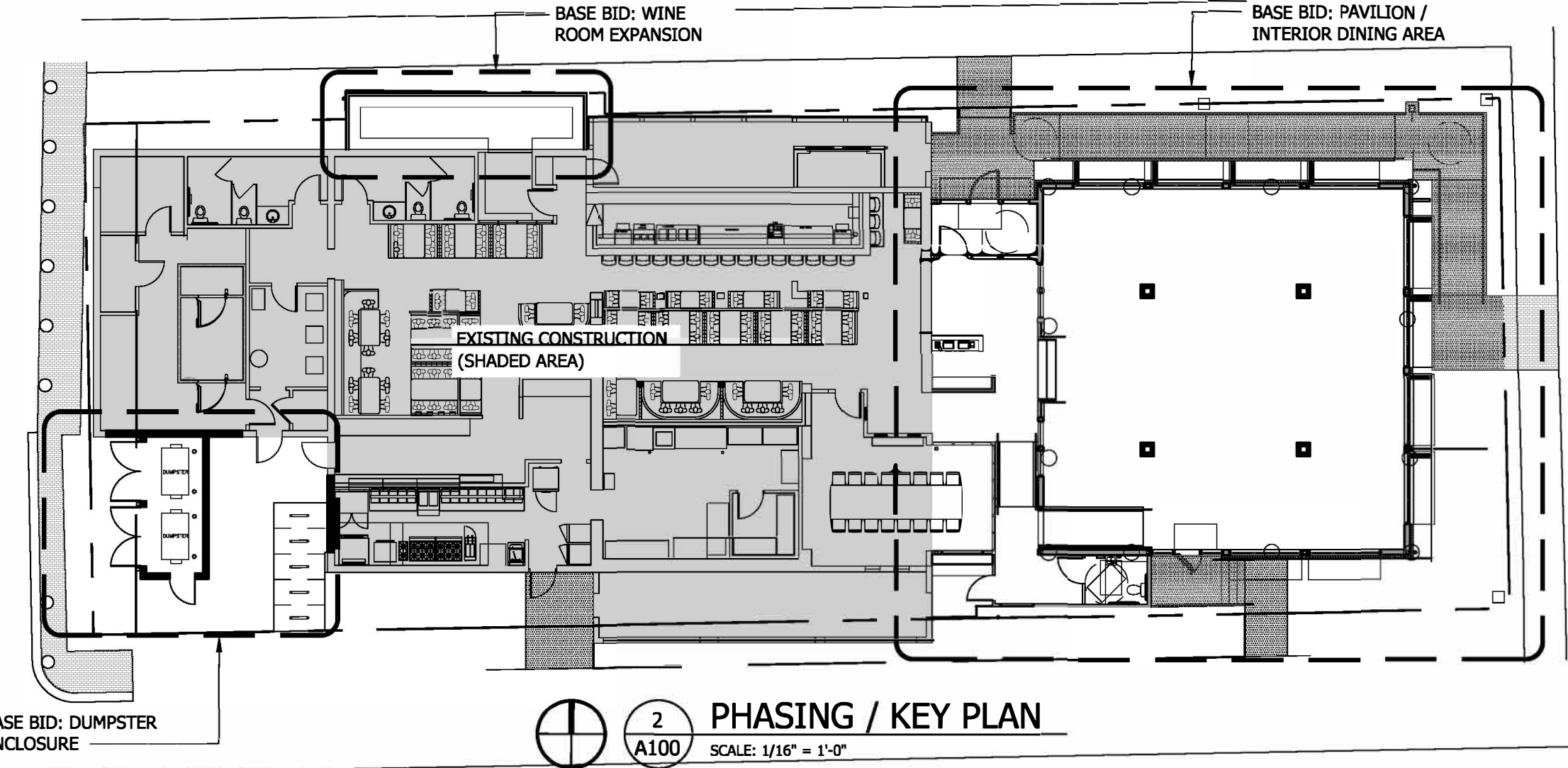
614.827.6000
6170 Riverside Drive
Dublin, OH 43017



FINAL DEVELOPMENT PLANS - ALTERNATE PROPOSAL
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017

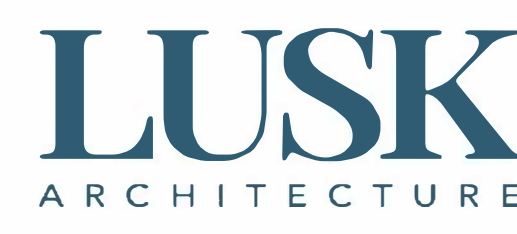
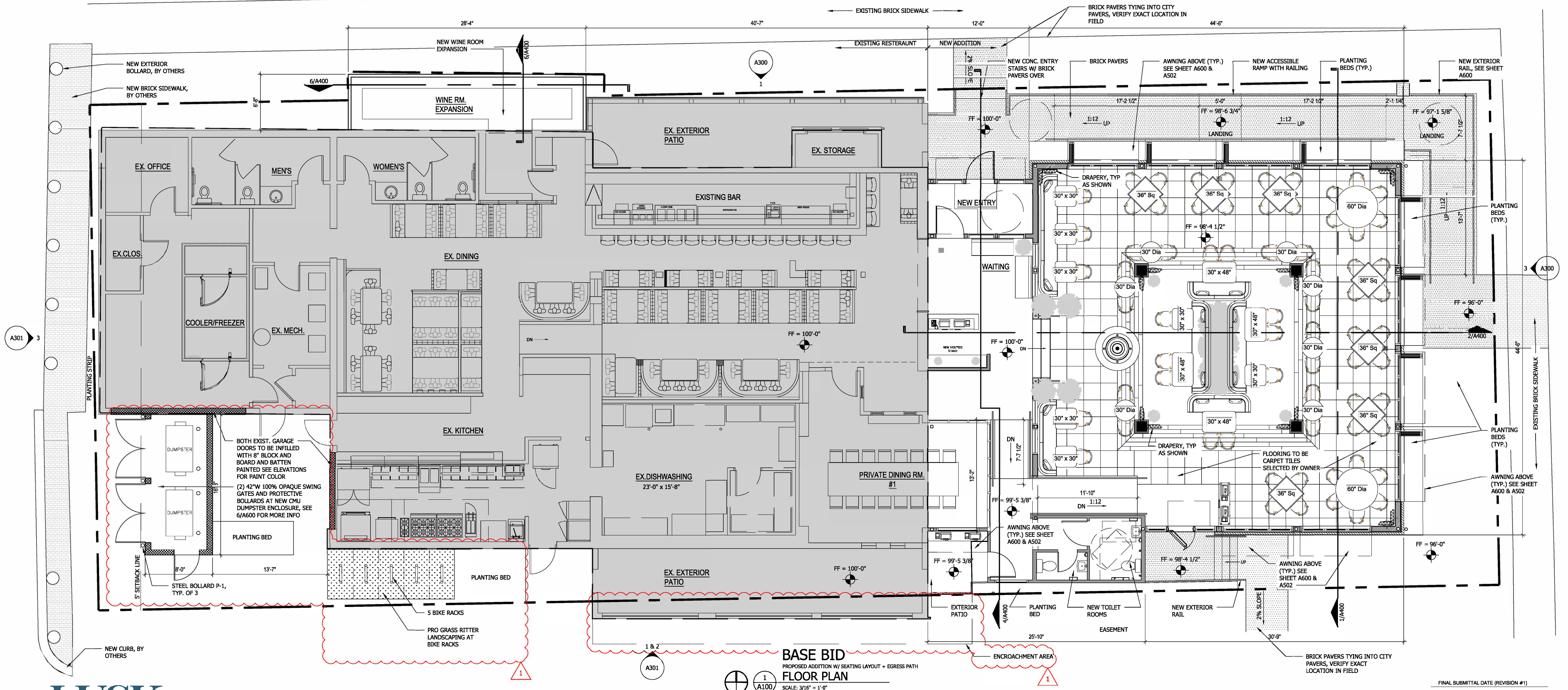


FINAL SUBMITTAL DATE	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	LANDSCAPE PLAN ALTERNATE ONE
SHEET NUMBER	L-1.3



NOTE:
SIGNAGE NOT A PART OF THIS ARB APPROVAL.

SHADED AREA INDICATES EXISTING CONSTRUCTION



614.827.6000
6170 Riverside Drive
Dublin, OH 43017

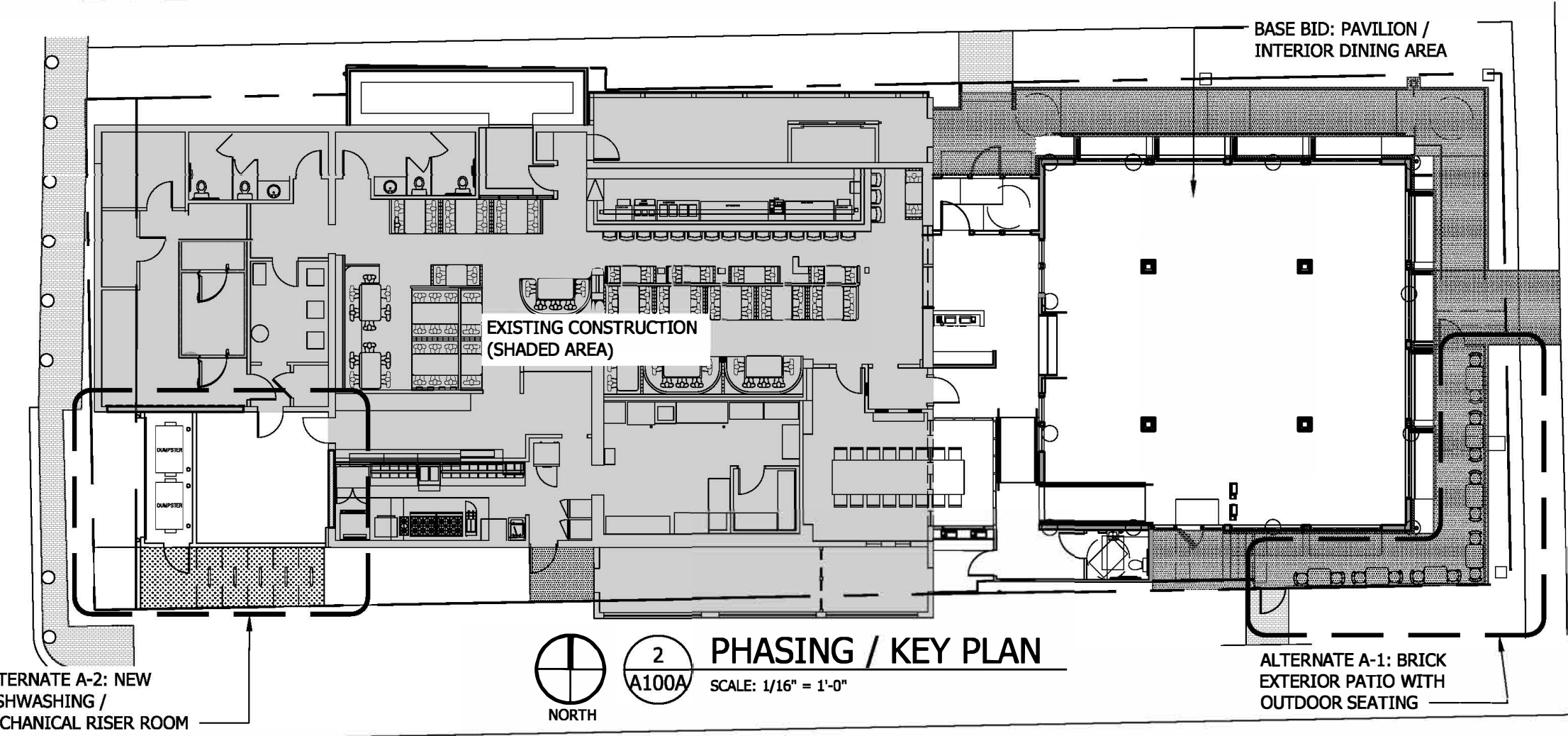


FINAL DEVELOPMENT PLANS - BASE PROPOSAL
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)
11/30/2022
PROJECT NUMBER
21034
SHEET TITLE
BASE BID FLOOR PLAN
SHEET NUMBER

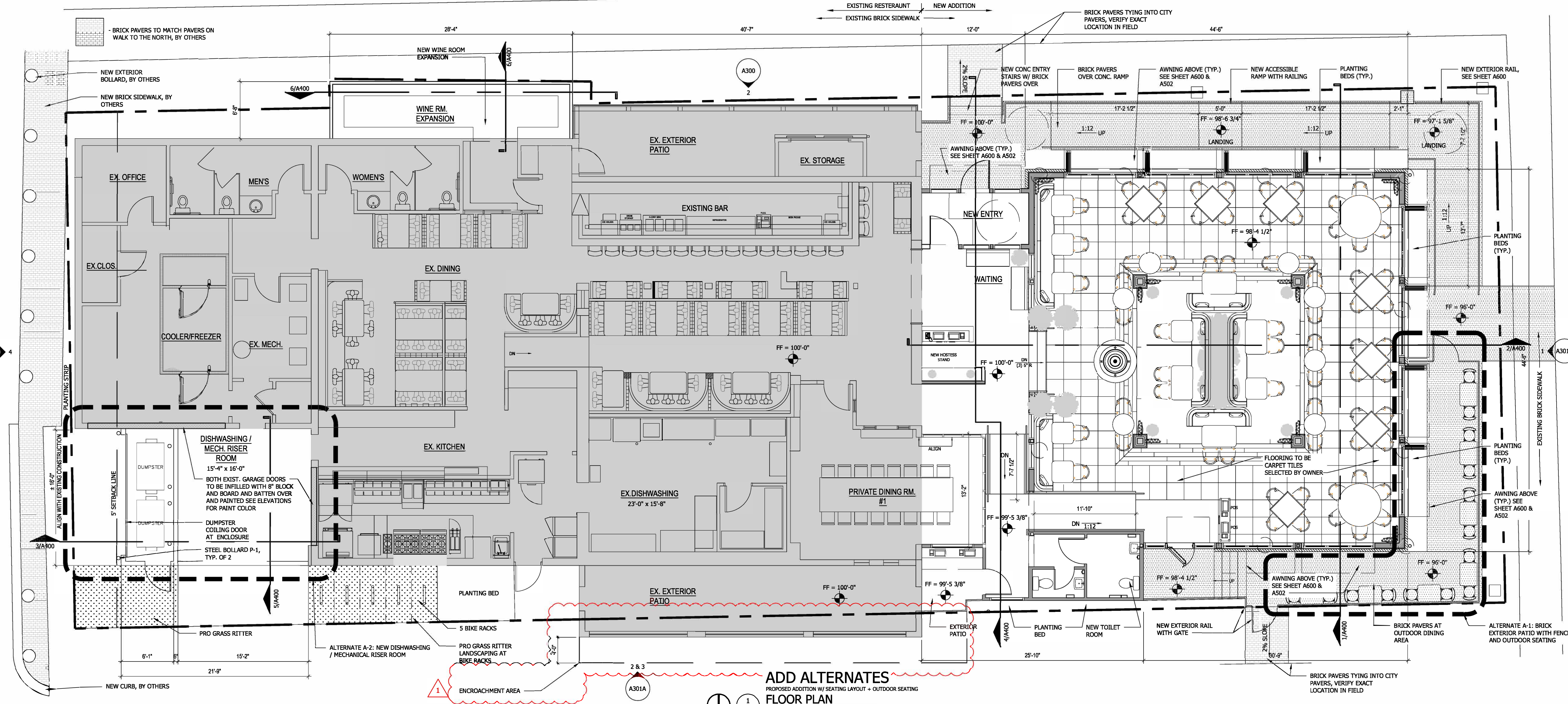
A100



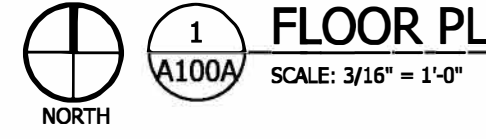
NOTE:
SIGNAGE NOT A PART OF THIS ARB APPROVAL.

SHADED AREA INDICATES EXISTING CONSTRUCTION

BRICK PAVERS TO MATCH PAVERS ON WALK TO THE NORTH, BY OTHERS



ADD ALTERNATES
PROPOSED ADDITION W/ SEATING LAYOUT + OUTDOOR SEATING



614.827.6000
6170 Riverside Drive
Dublin, OH 43017

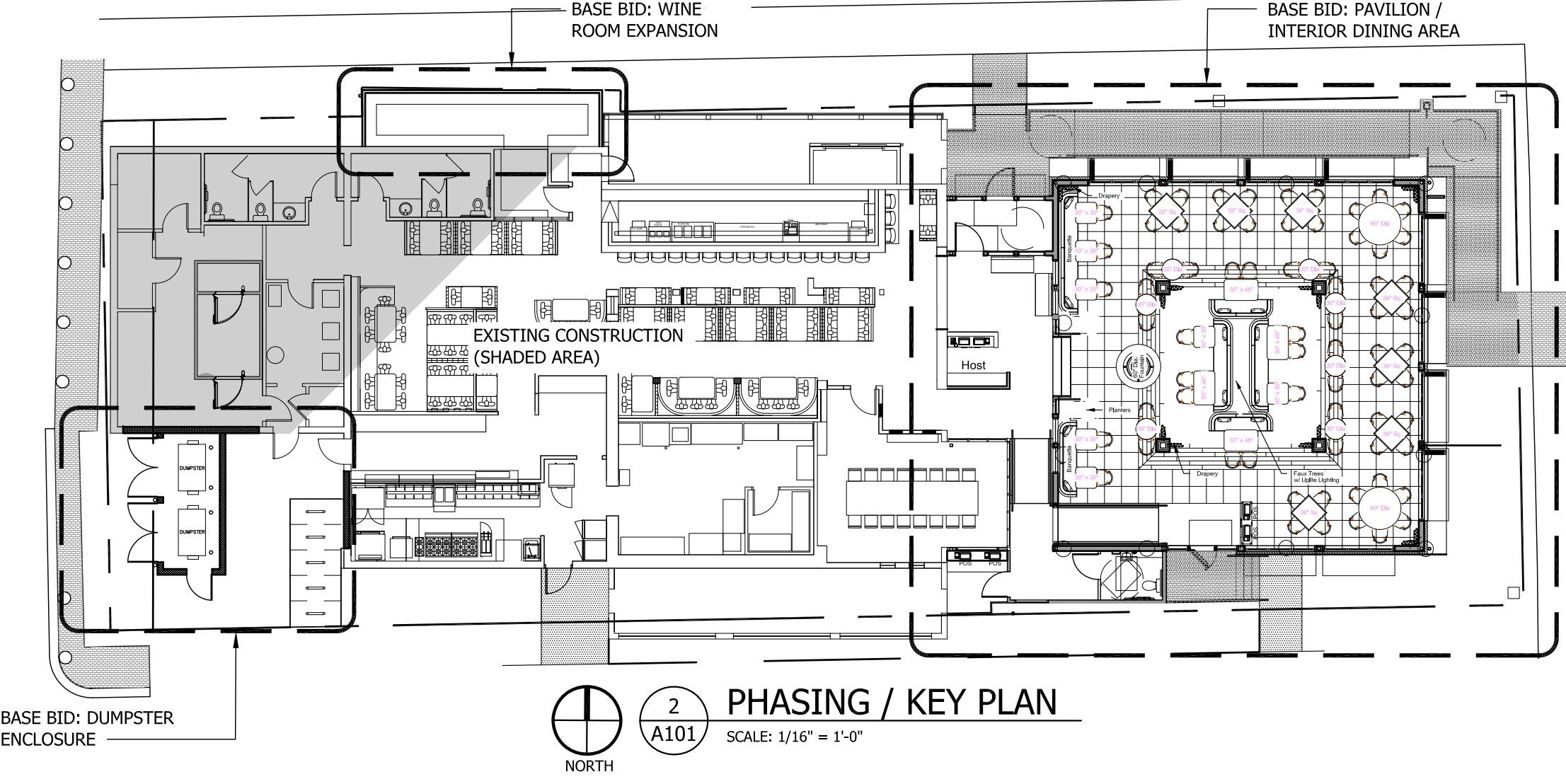
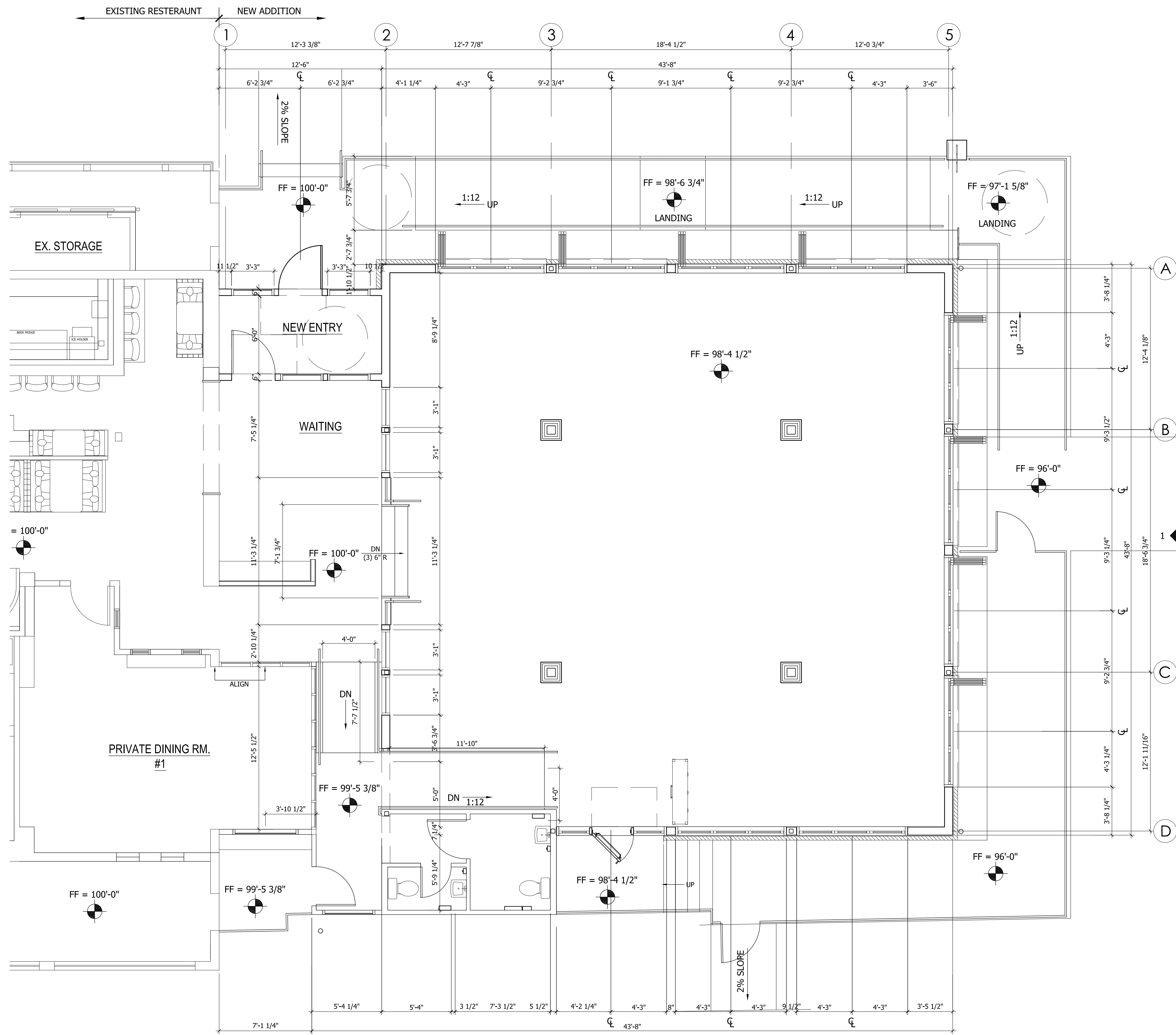


FINAL DEVELOPMENT PLANS - ALTERNATE PROPOSAL
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017

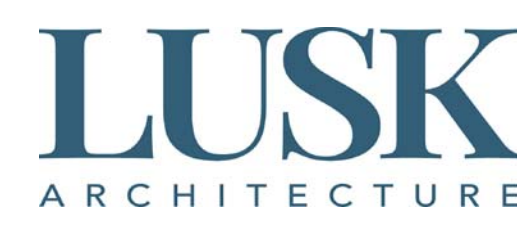


FINAL SUBMITTAL DATE (REVISION #1)
11/30/2022
PROJECT NUMBER
21034
SHEET TITLE
ADD ALTERNATE FLOOR PLAN
SHEET NUMBER

A100A



PAVILION DIMENSION PLAN
1
 A101
 ENLARGED FLOOR PLAN
 SCALE: 1/4" = 1'-0"



614.827.6000
 6170 Riverside Drive
 Dublin, OH 43017

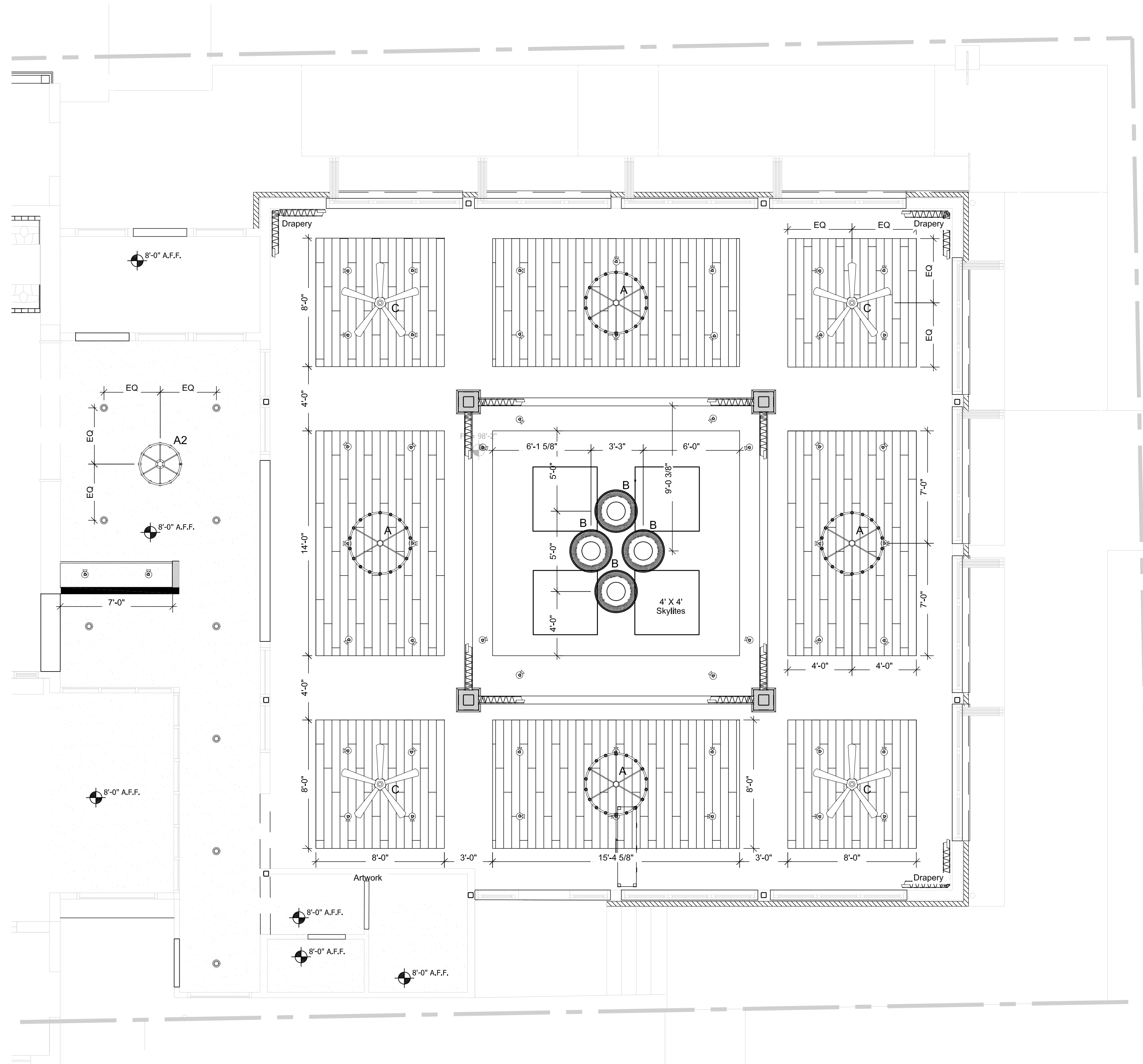


FINAL DEVELOPMENT PLANS
TUCCI'S RESTAURANT ADDITION
 35 NORTH HIGH STREET DUBLIN, OH 43017

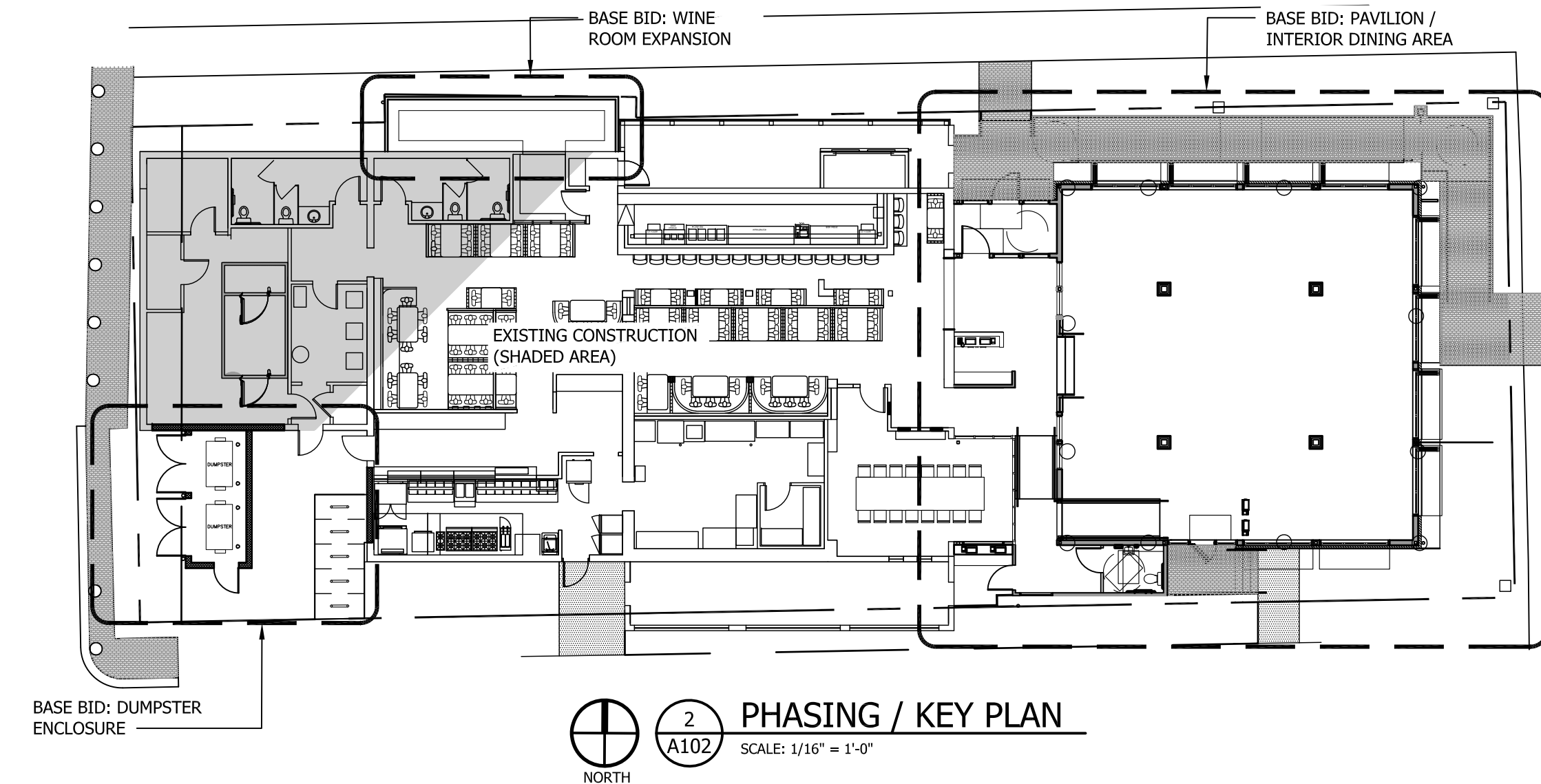


FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	ENLARGED FLOOR PLAN
SHEET NUMBER	A101

A101

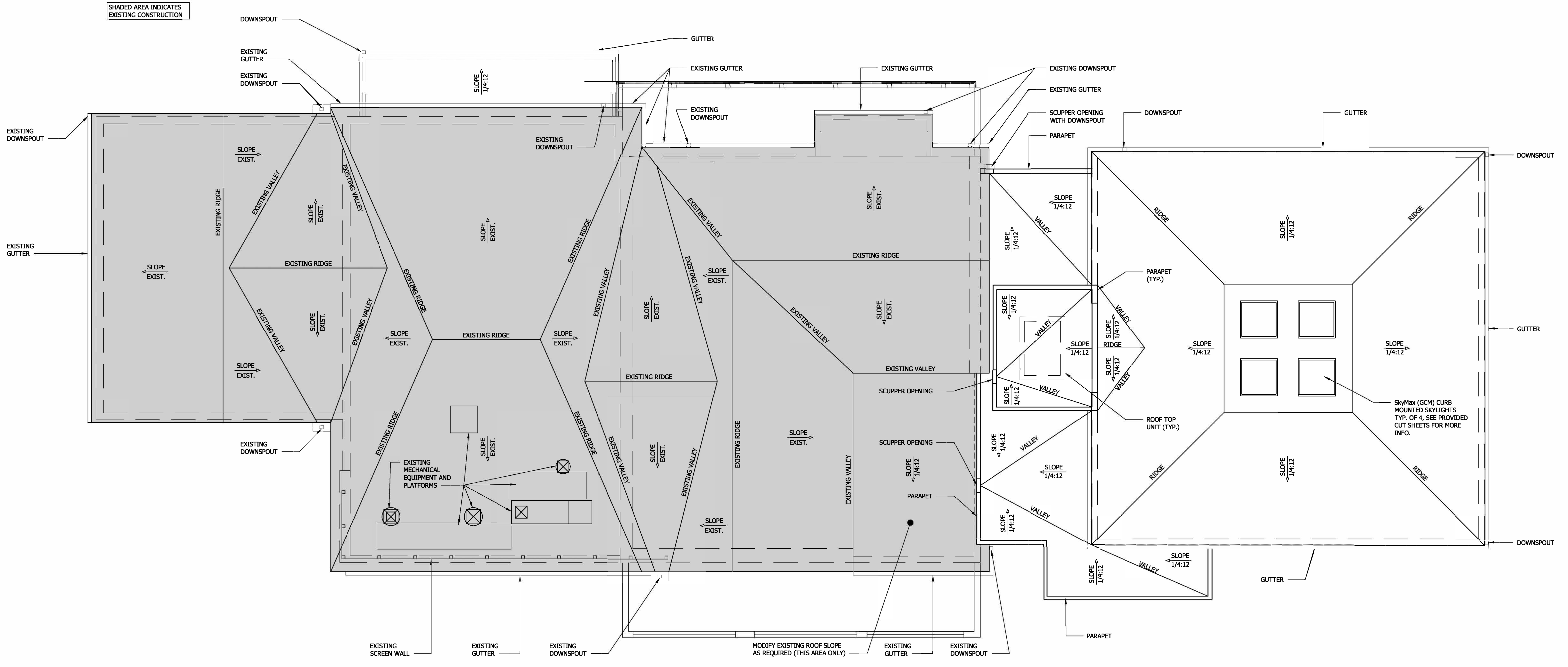


PAVILION ADDITION
 1 REFLECTED CEILING PLAN
 A102 SCALE: 1/4" = 1'-0"
 NORTH

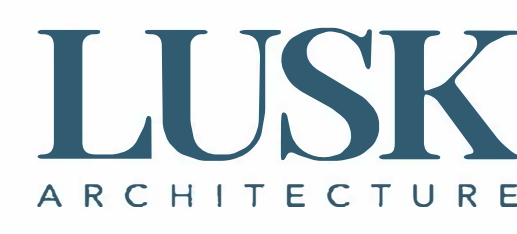


2 PHASING / KEY PLAN
 A102 SCALE: 1/16" = 1'-0"
 NORTH

SHADED AREA INDICATES EXISTING CONSTRUCTION



BASE BID
1
A200
ROOF PLAN
 SCALE: 3/16" = 1'-0"



614.827.6000
 6170 Riverside Drive
 Dublin, OH 43017

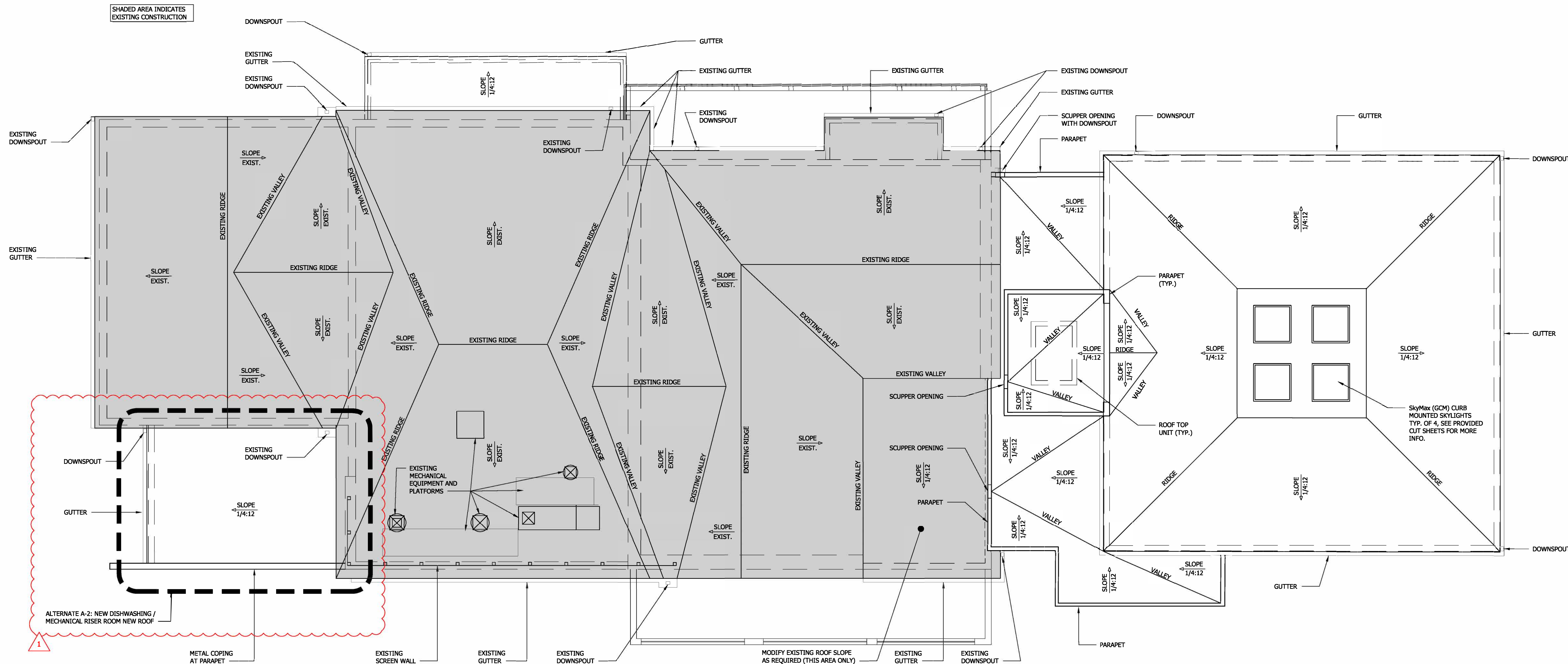


FINAL DEVELOPMENT PLANS - BASE PROPOSAL
TUCCI'S RESTAURANT ADDITION
 35 NORTH HIGH STREET DUBLIN, OH 43017

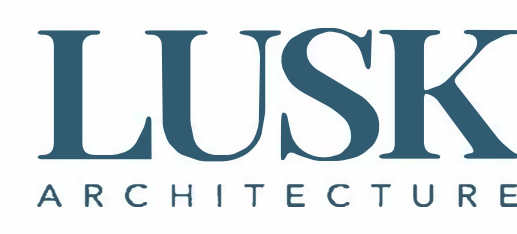


FINAL SUBMITTAL DATE (REVISION #1)
11/30/2022
 PROJECT NUMBER
21034
 SHEET TITLE
BASE BID ROOF PLAN
 SHEET NUMBER

A200



ADD ALTERNATE
1 **ROOF PLAN**
 A300 SCALE: 3/16" = 1'-0"
 NORTH



614.827.6000
 6170 Riverside Drive
 Dublin, OH 43017

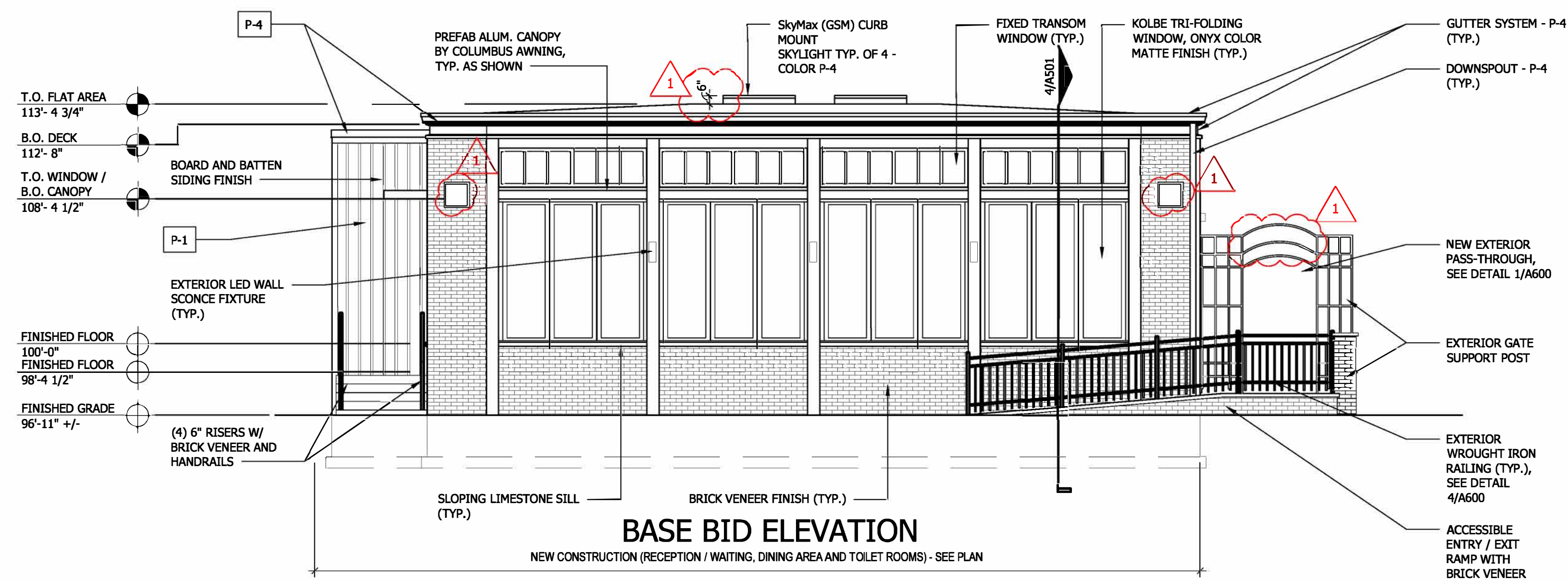


FINAL DEVELOPMENT PLANS - ALTERNATE PROPOSAL
TUCCI'S RESTAURANT ADDITION
 35 NORTH HIGH STREET DUBLIN, OH 43017

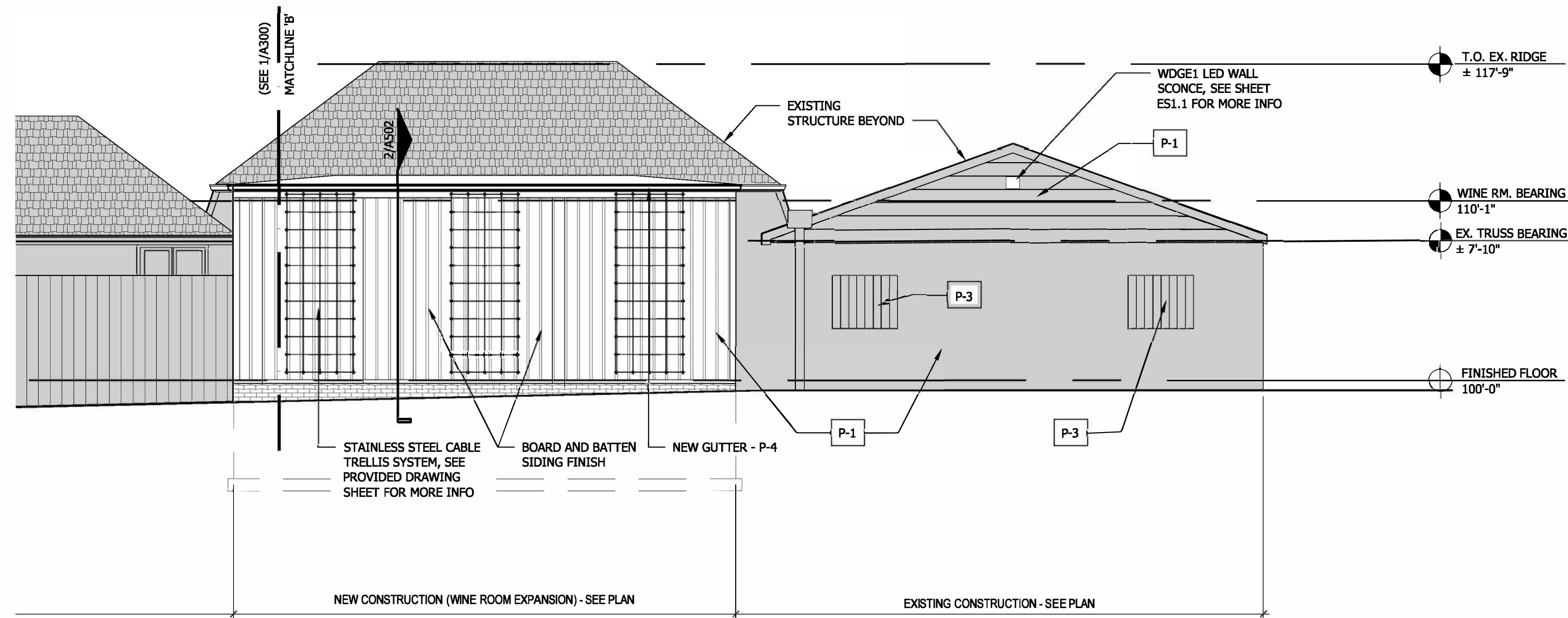


FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	ADD ALTERNATE ROOF PLAN
SHEET NUMBER	

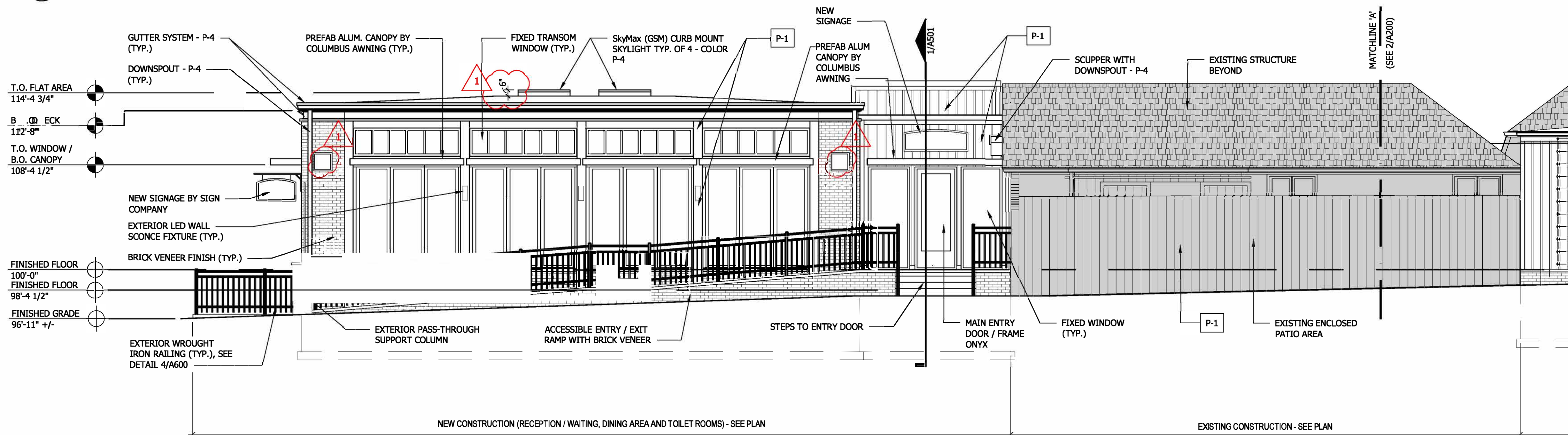
A200A



3 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

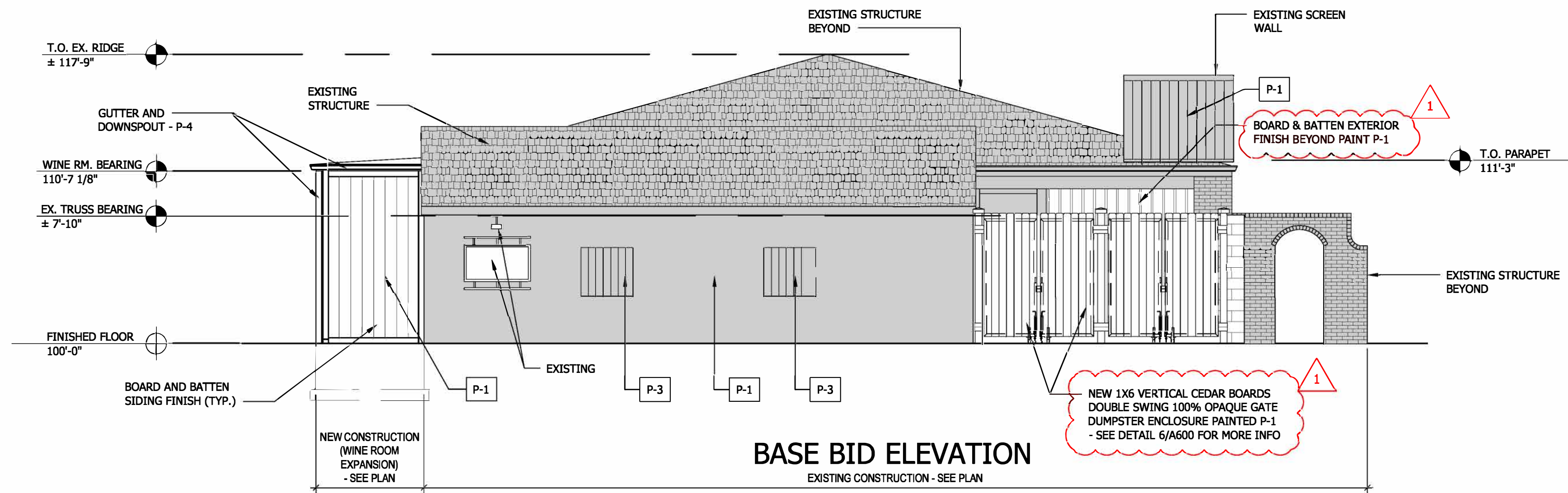
FINISH LEGEND

- P-1 - SW 2840 HAMMERED SILVER
 - P-2 - NOT USED
 - P-3 - SW 2847 ROYCROFT COOPER GREEN
 - P-4 - KYMAR 500 / HYLAR 5000
EXTRA DARK BRONZE METALLIC
- ALL NEW BRICK VENEER - FULL DEPTH
(3 5/8" x 2 1/4" x 7 5/8")
 - ALL ALUM. CLAD WINDOWS AND DOORS - COLOR ONYX
 - HOLLOW METAL DOORS AND FRAMES COLOR TO MATCH ADJACENT WALL COLOR
 - SILLS TO BE SLOPING LIMESTONE

GENERAL NOTE:
ALL NON-ESSENTIAL EXPOSED PIPING, CONDUIT, WIRING ETC. TO BE REMOVED FROM ALL ELEVATIONS OR PAINTED WITH THE SAME COLOR AS THE SURFACE THEY ARE MOUNTED ON. ALL EXPOSED PIPING ON BRICK TO BE REMOVED.

NOTE:
SIGNAGE NOT A PART OF THIS ARB APPROVAL.



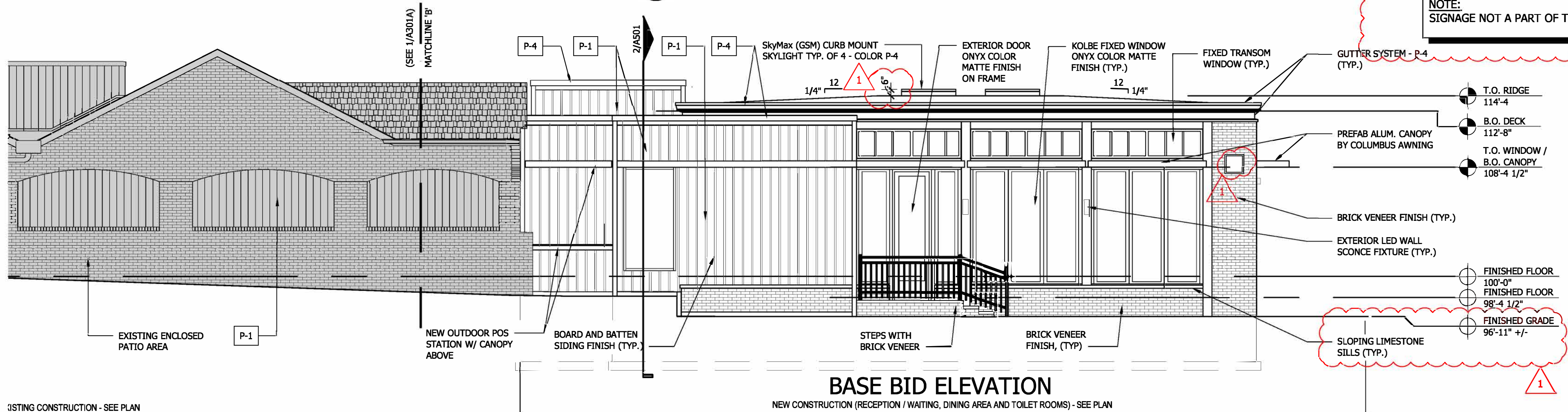


3 WEST ELEVATION
SCALE: 3/16" = 1'-0"

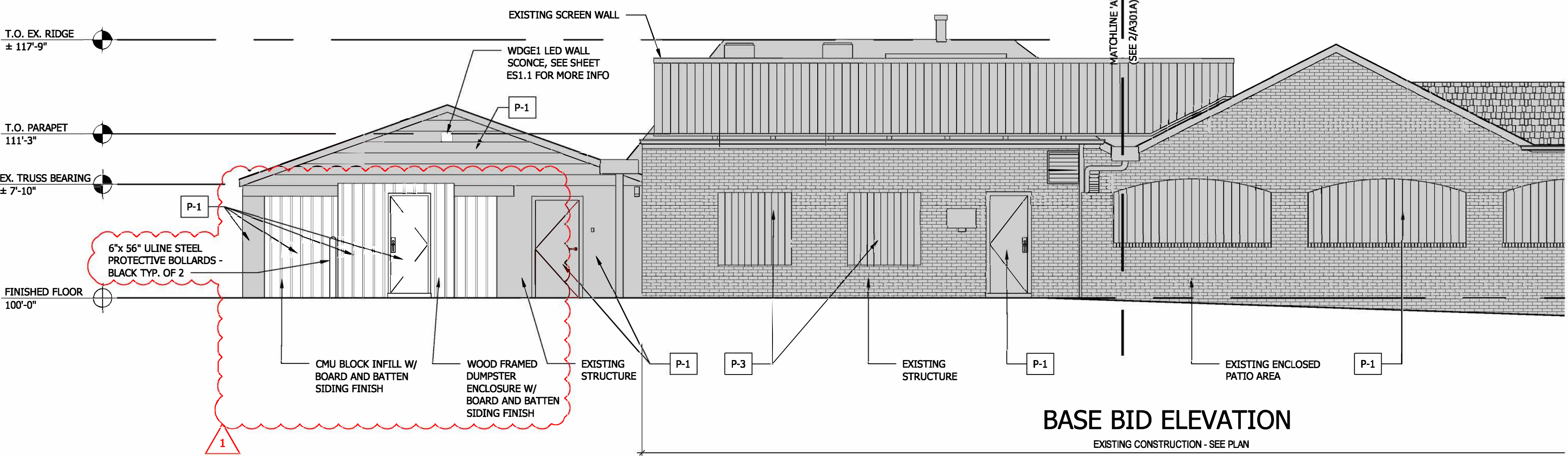
- FINISH LEGEND**
- P-1 - SW 2840 HAMMERED SILVER
 - P-2 - NOT USED
 - P-3 - SW 2847 ROYCROFT COOPER GREEN
 - P-4 - KYNAR 500 / HYLAR 5000 EXTRA DARK BRONZE METALLIC
- ALL NEW BRICK VENEER - FULL DEPTH (3 5/8" x 2 1/4" x 7 5/8")
 - ALL ALUM. CLAD WINDOWS AND DOORS - COLOR ONYX
 - HOLLOW METAL DOORS AND FRAMES COLOR TO MATCH ADJACENT WALL COLOR
 - SILLS TO BE SLOPING LIMESTONE

GENERAL NOTE:
ALL NON-ESSENTIAL EXPOSED PIPING, CONDUIT, WIRING ETC. TO BE REMOVED FROM ALL ELEVATIONS OR PAINTED WITH THE SAME COLOR AS THE SURFACE THEY ARE MOUNTED ON. ALL EXPOSED PIPING ON BRICK TO BE REMOVED.

NOTE:
SIGNAGE NOT A PART OF THIS ARB APPROVAL.



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



614.827.6000
6170 Riverside Drive
Dublin, OH 43017

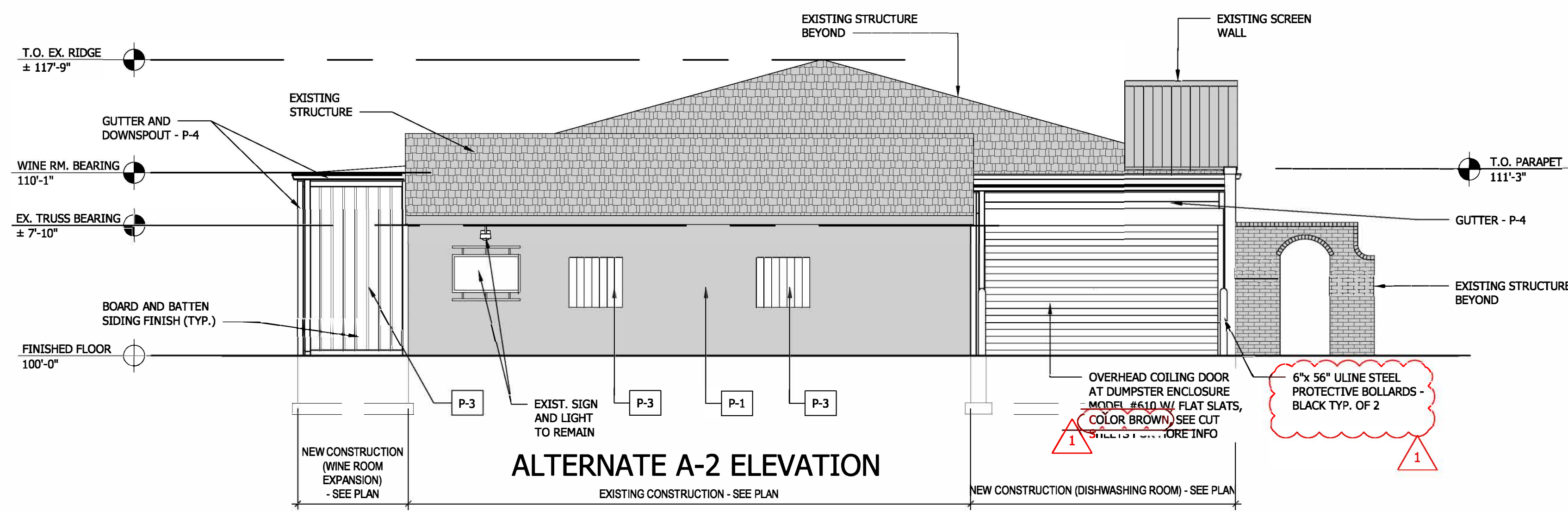


FINAL DEVELOPMENT PLANS - BASE PROPOSAL
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



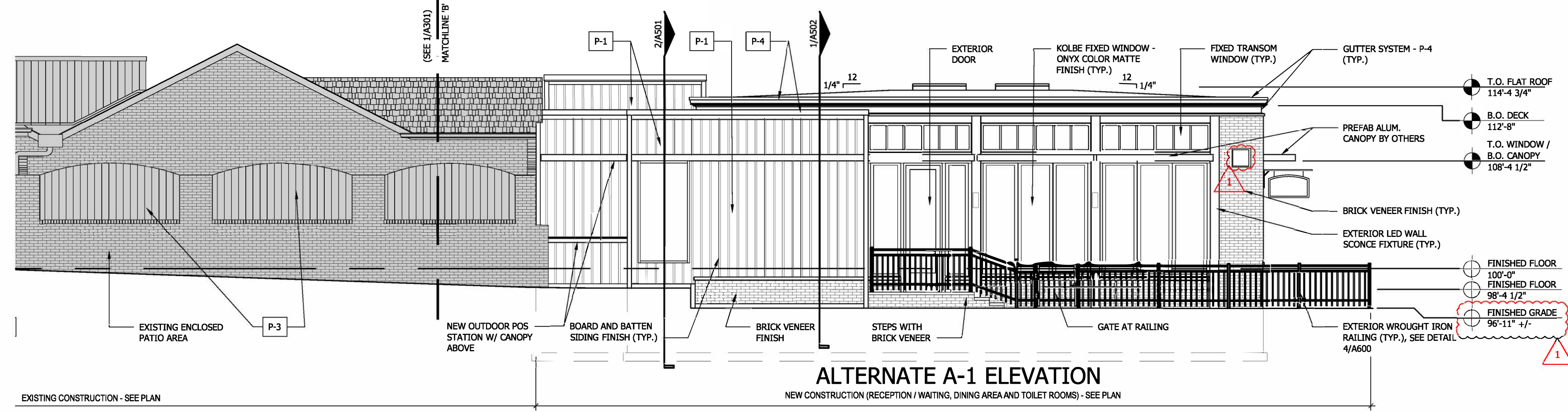
FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	BASE EXTERIOR ELEVATIONS
SHEET NUMBER	

A301



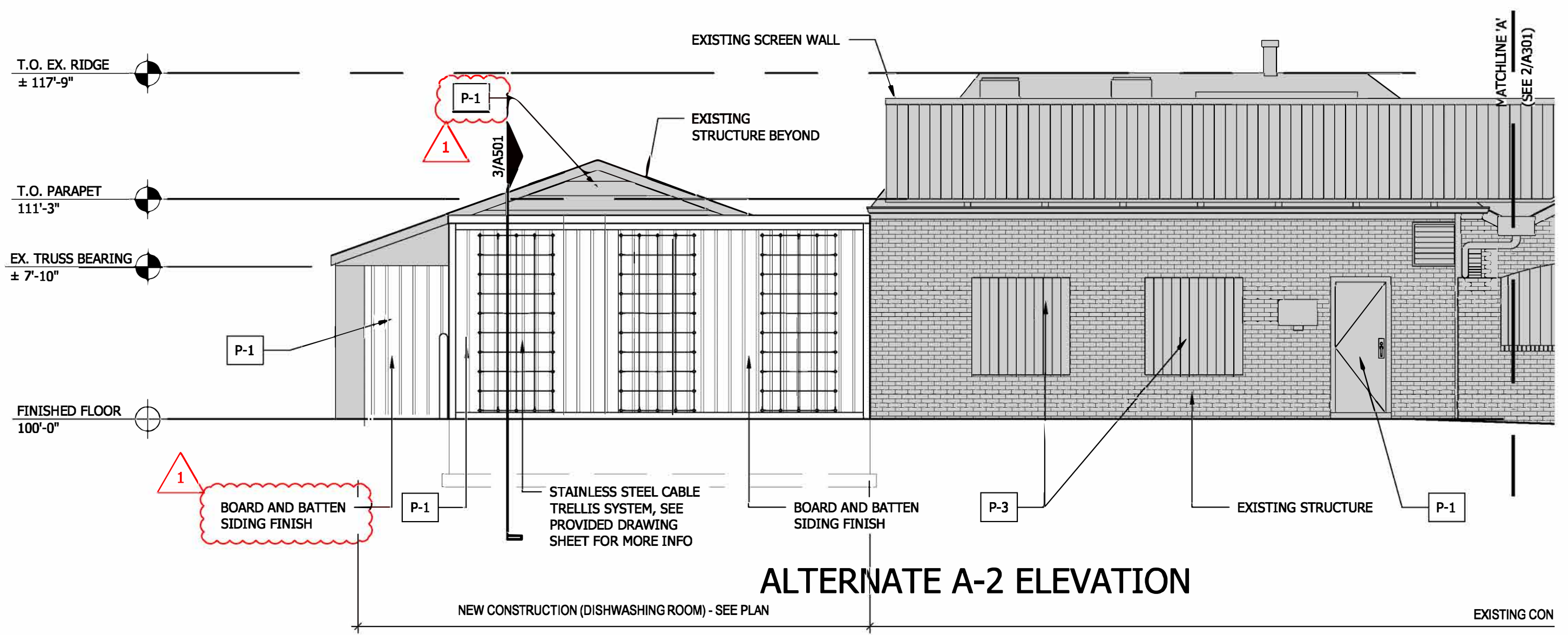
ALTERNATE A-2 ELEVATION
EXISTING CONSTRUCTION - SEE PLAN

4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



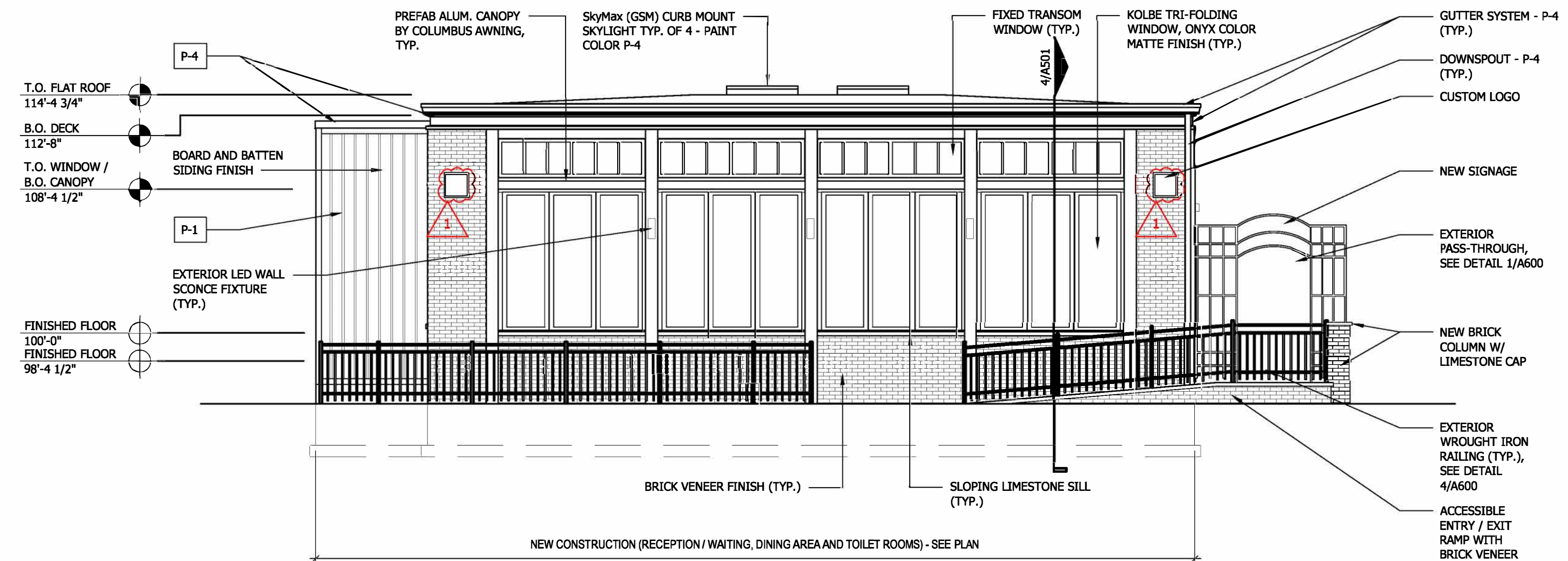
ALTERNATE A-1 ELEVATION
NEW CONSTRUCTION (RECEPTION / WAITING, DINING AREA AND TOILET ROOMS) - SEE PLAN

3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



ALTERNATE A-2 ELEVATION
NEW CONSTRUCTION (DISHWASHING ROOM) - SEE PLAN

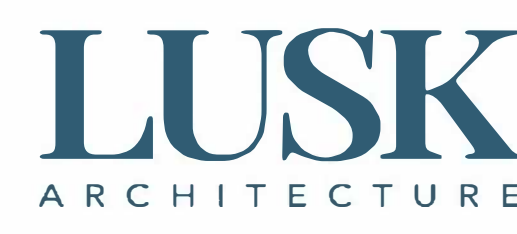
2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



NEW CONSTRUCTION (RECEPTION / WAITING, DINING AREA AND TOILET ROOMS) - SEE PLAN

1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

- FINISH LEGEND**
- P-1 - SW 2840 HAMMERED SILVER
 - P-2 - NOT USED
 - P-3 - SW 2847 ROYOCROFT COOPER GREEN
 - P-4 - KYNAR 500 / HYLAR 5000 EXTRA DARK BRONZE METALLIC
- ALL NEW BRICK VENEER - FULL DEPTH (3 5/8" x 2 1/4" x 7 5/8")
 - ALL ALUM. CLAD WINDOWS AND DOORS - COLOR ONYX
 - HOLLOW METAL DOORS AND FRAMES COLOR TO MATCH ADJACENT WALL COLOR
 - SILLS TO BE SLOPING LIMESTONE
- GENERAL NOTE:**
ALL NON-ESSENTIAL EXPOSED PIPING, CONDUIT, WIRING ETC. TO BE REMOVED FROM ALL ELEVATIONS OR PAINTED WITH THE SAME COLOR AS THE SURFACE THEY ARE MOUNTED ON. ALL EXPOSED PIPING ON BRICK TO BE REMOVED.
- NOTE:**
SIGNAGE NOT A PART OF THIS ARB APPROVAL.



614.827.6000
6170 Riverside Drive
Dublin, OH 43017

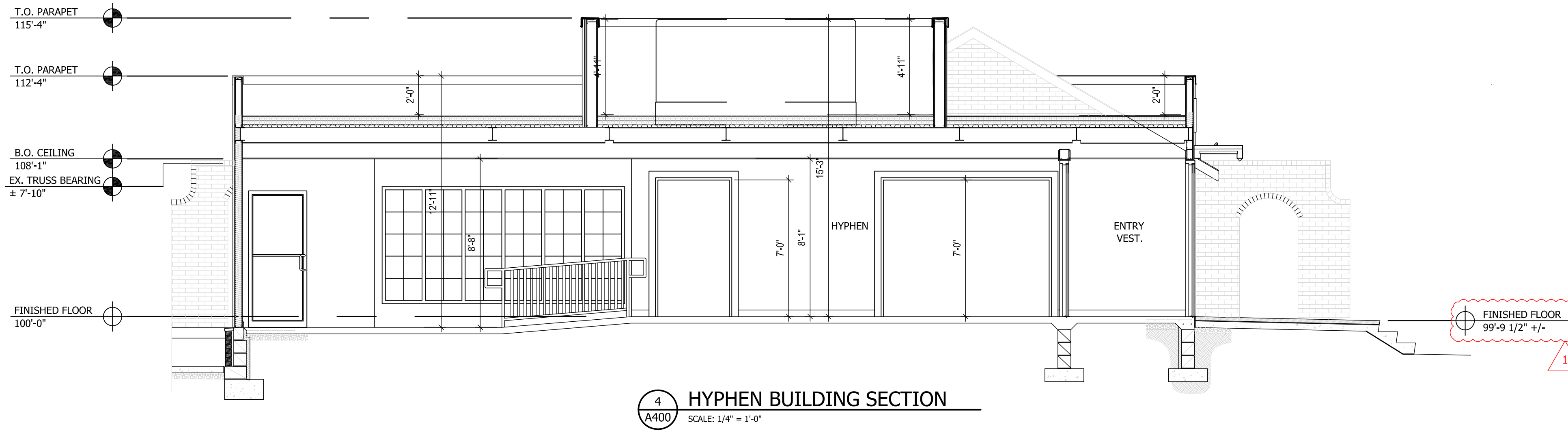


FINAL DEVELOPMENT PLANS - ALTERNATE PROPOSAL
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017

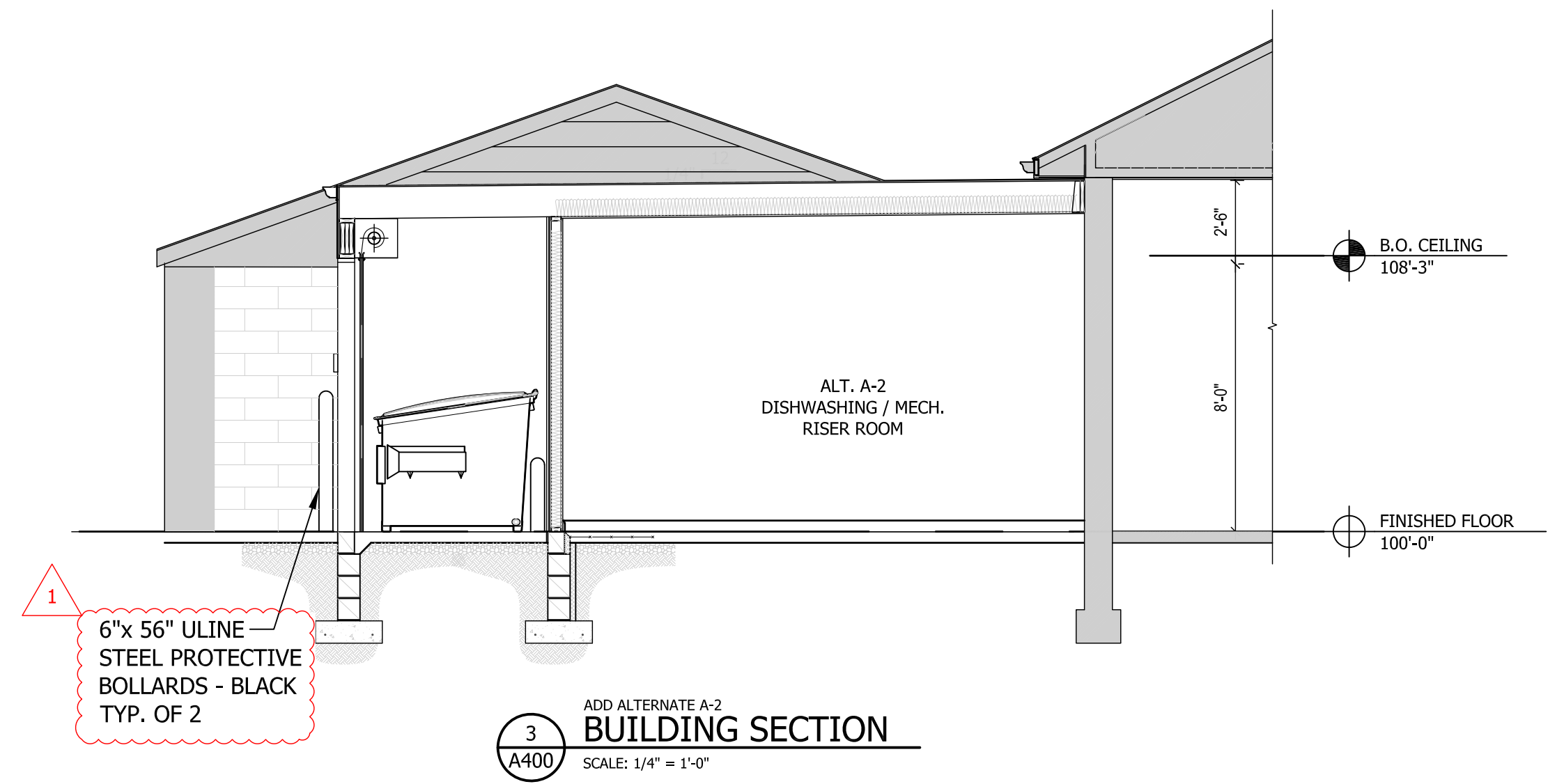


FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	ALT. EXTERIOR ELEVATIONS
SHEET NUMBER	

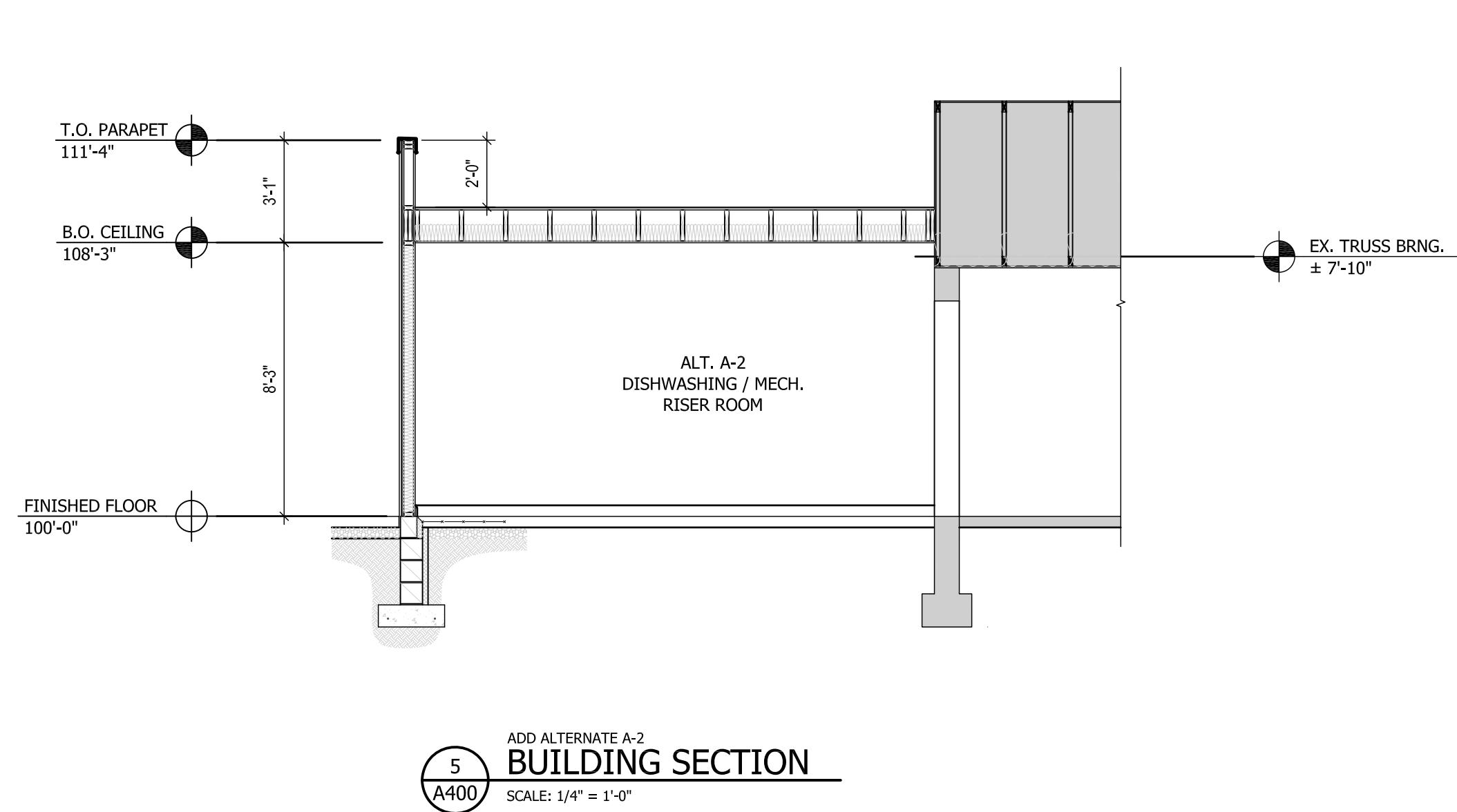
A301A



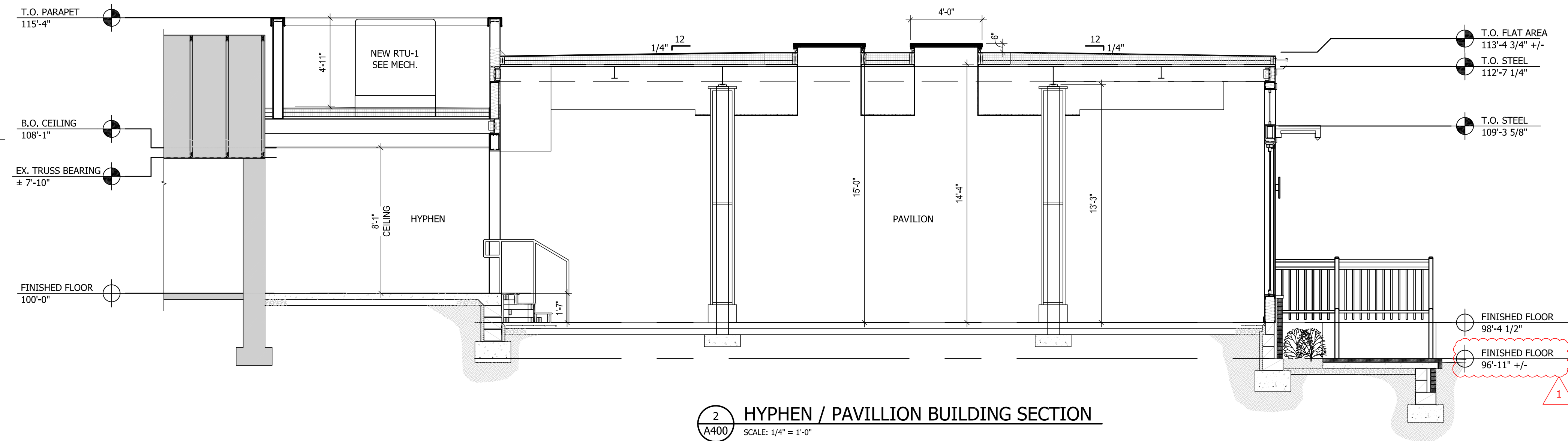
4 HYPHEN BUILDING SECTION
SCALE: 1/4" = 1'-0"



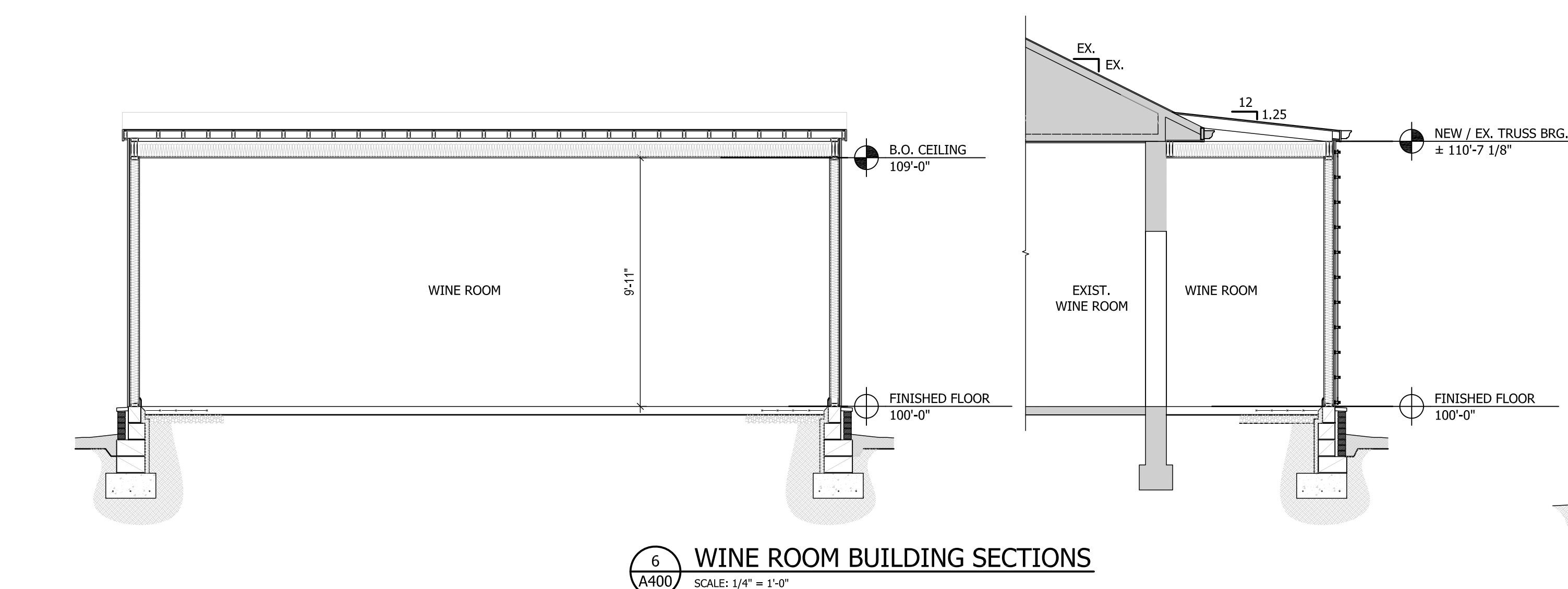
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



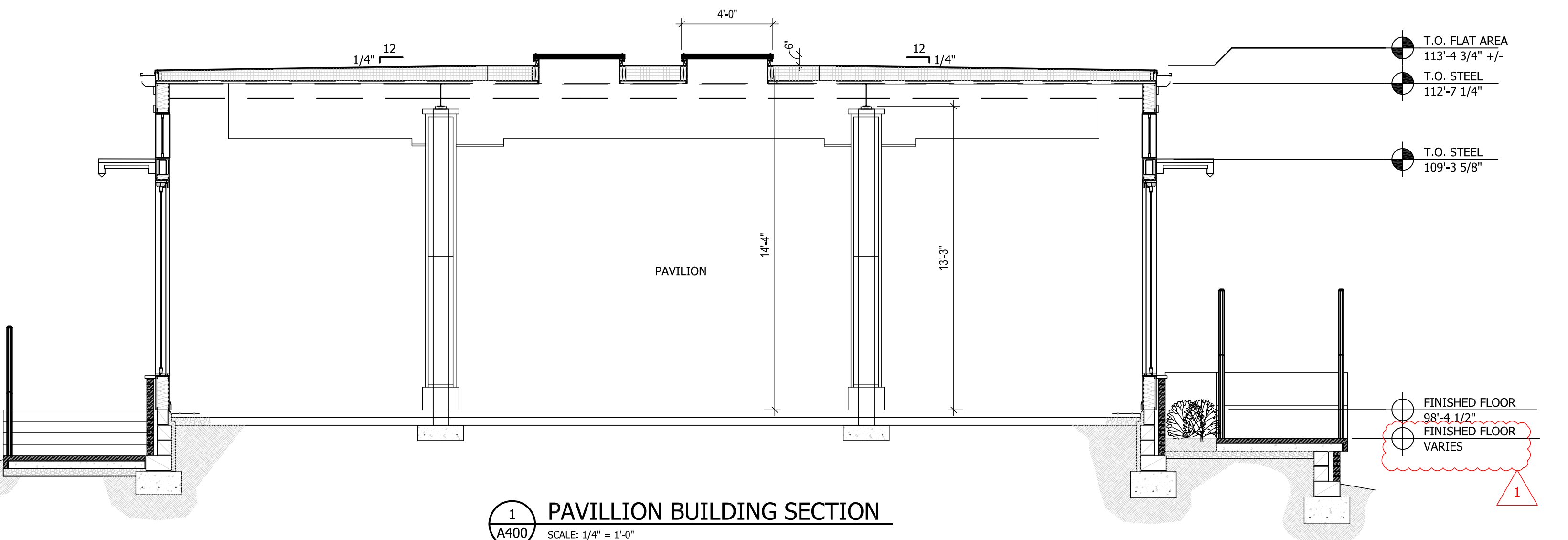
5 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 HYPHEN / PAVILLION BUILDING SECTION
SCALE: 1/4" = 1'-0"



6 WINE ROOM BUILDING SECTIONS
SCALE: 1/4" = 1'-0"



1 PAVILLION BUILDING SECTION
SCALE: 1/4" = 1'-0"



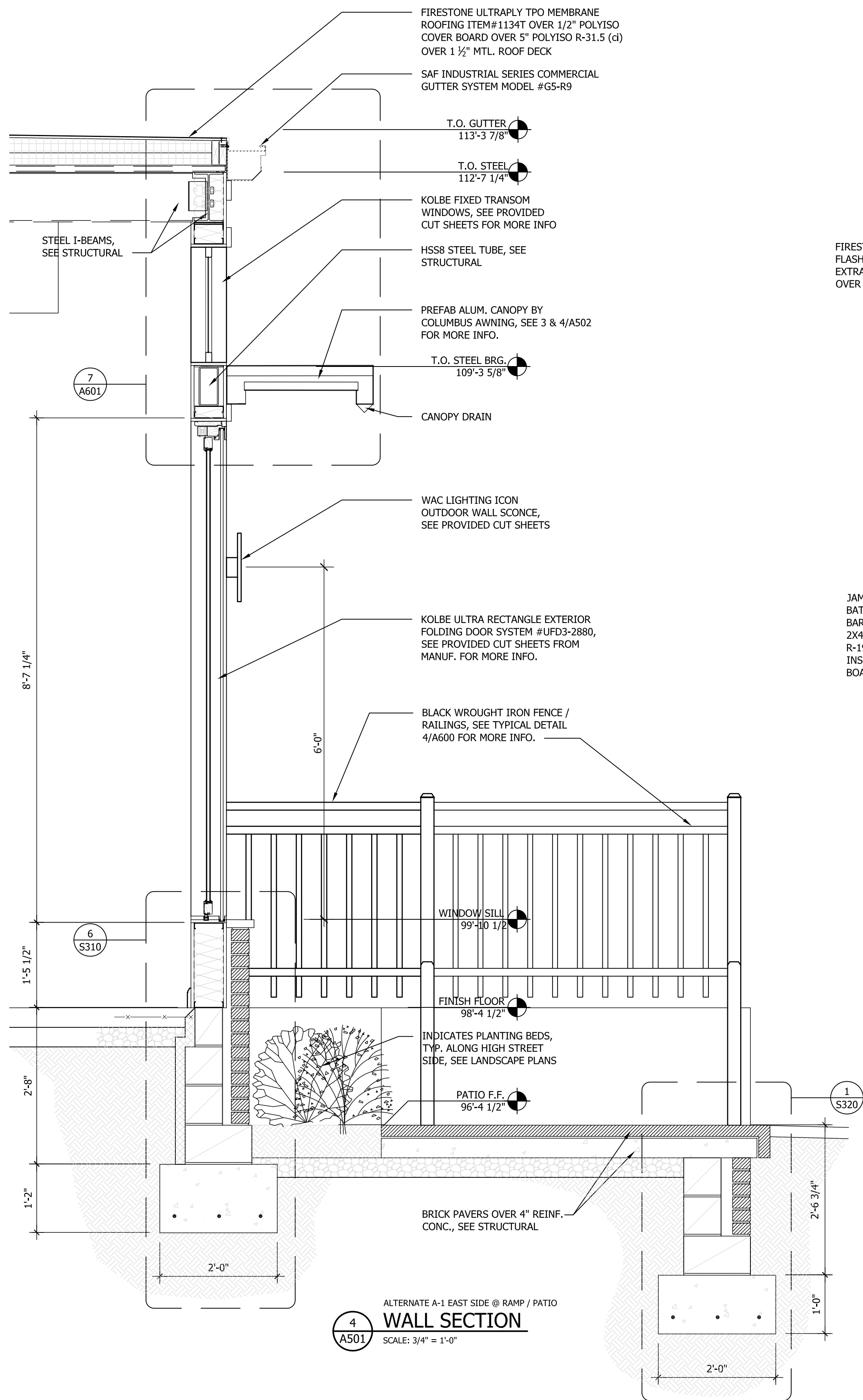
614.827.6000
6170 Riverside Drive
Dublin, OH 43017



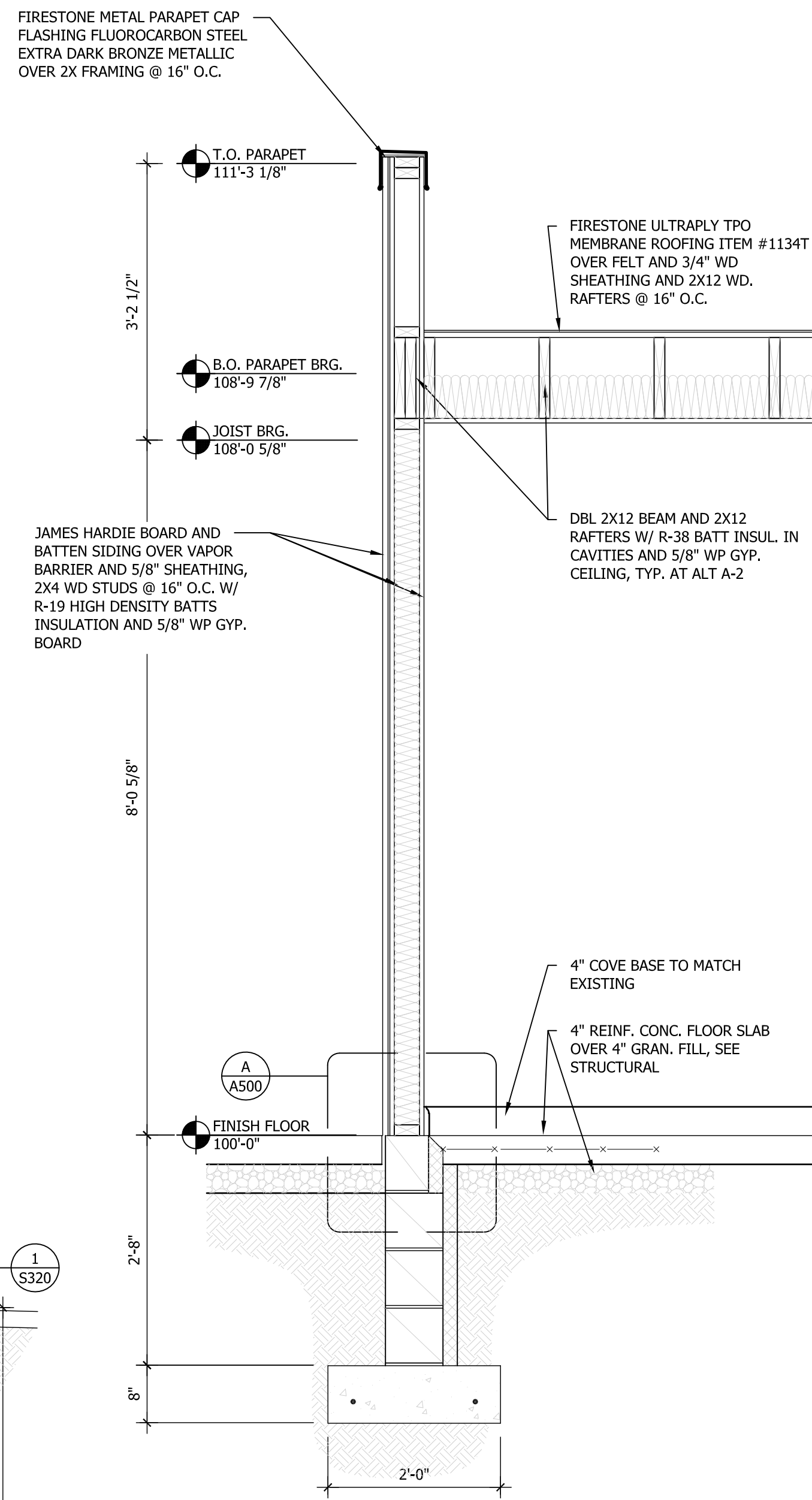
FINAL DEVELOPMENT PLANS
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



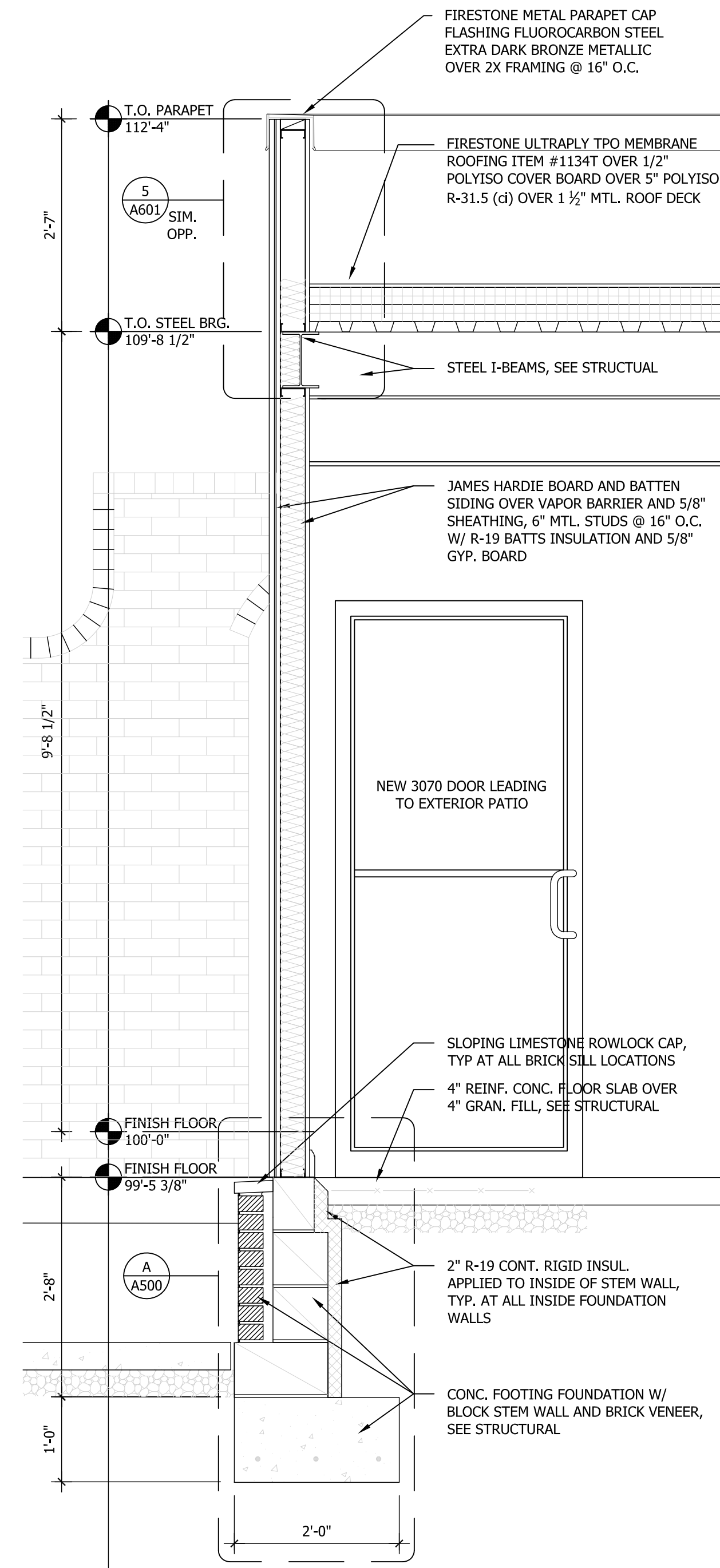
FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	BUILDING SECTIONS
SHEET NUMBER	A400



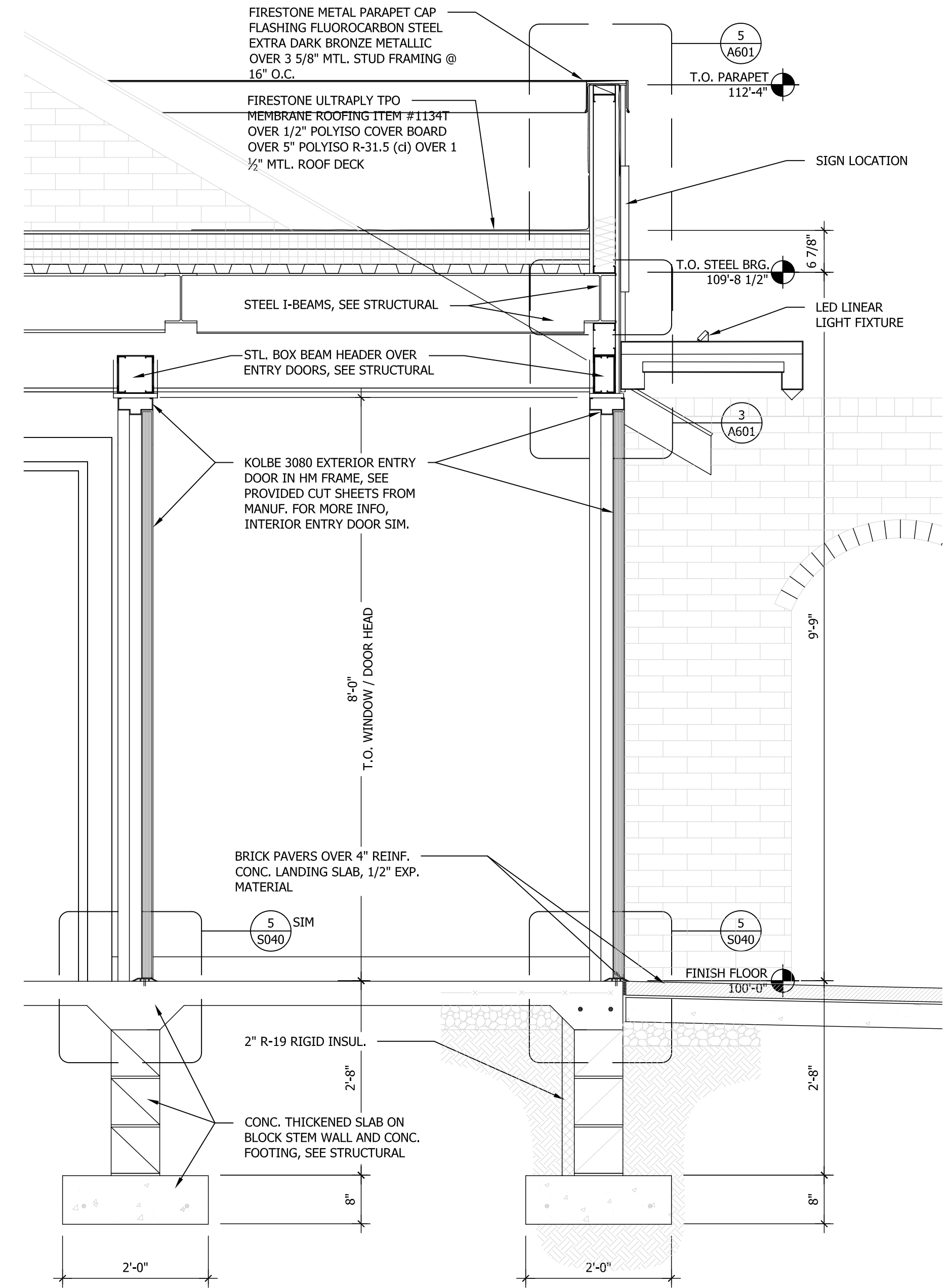
4
A501
ALTERNATE A-1 EAST SIDE @ RAMP / PATIO
WALL SECTION
SCALE: 3/4" = 1'-0"



3
A501
ALTERNATE A-2
WALL SECTION
SCALE: 3/4" = 1'-0"



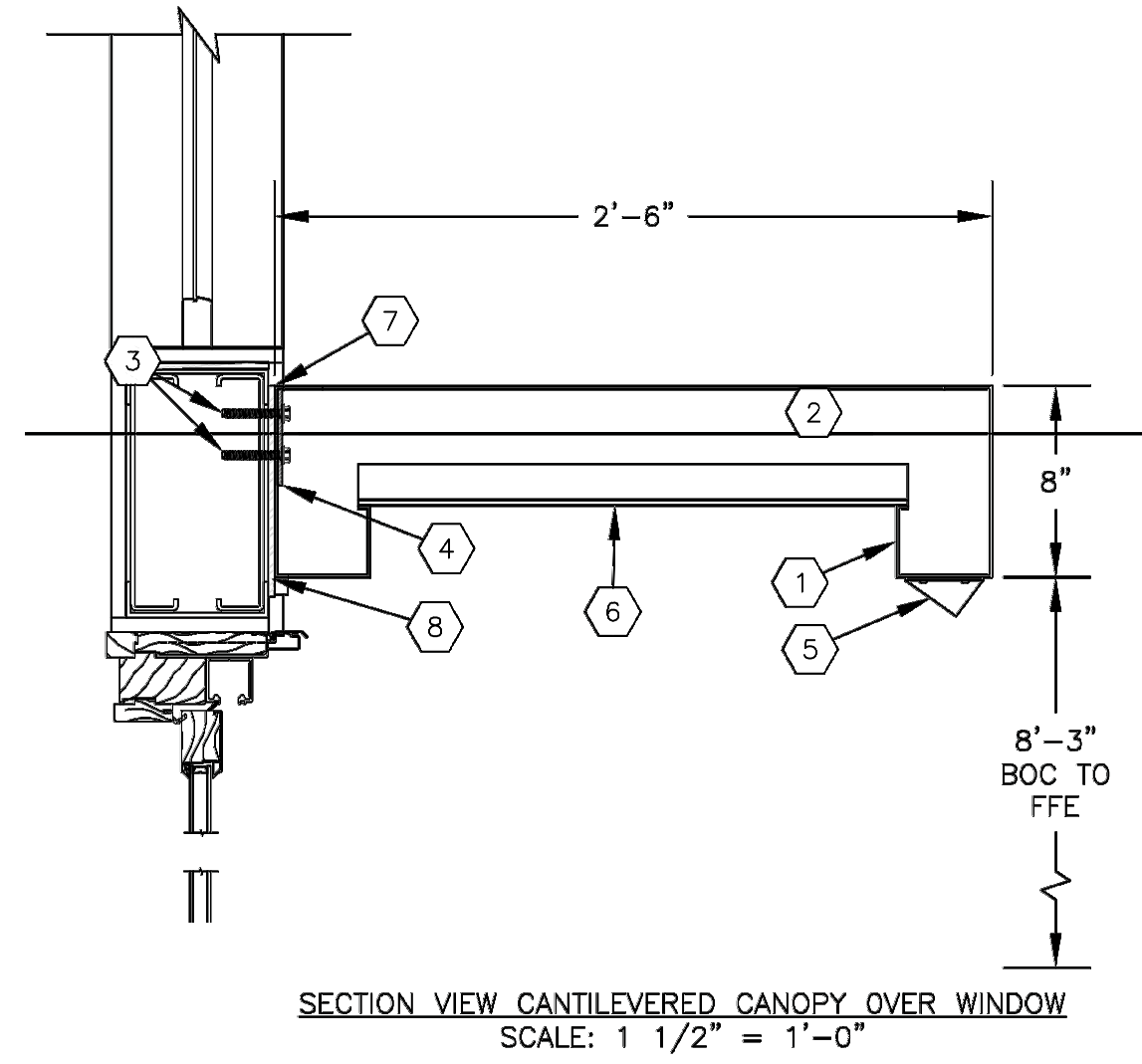
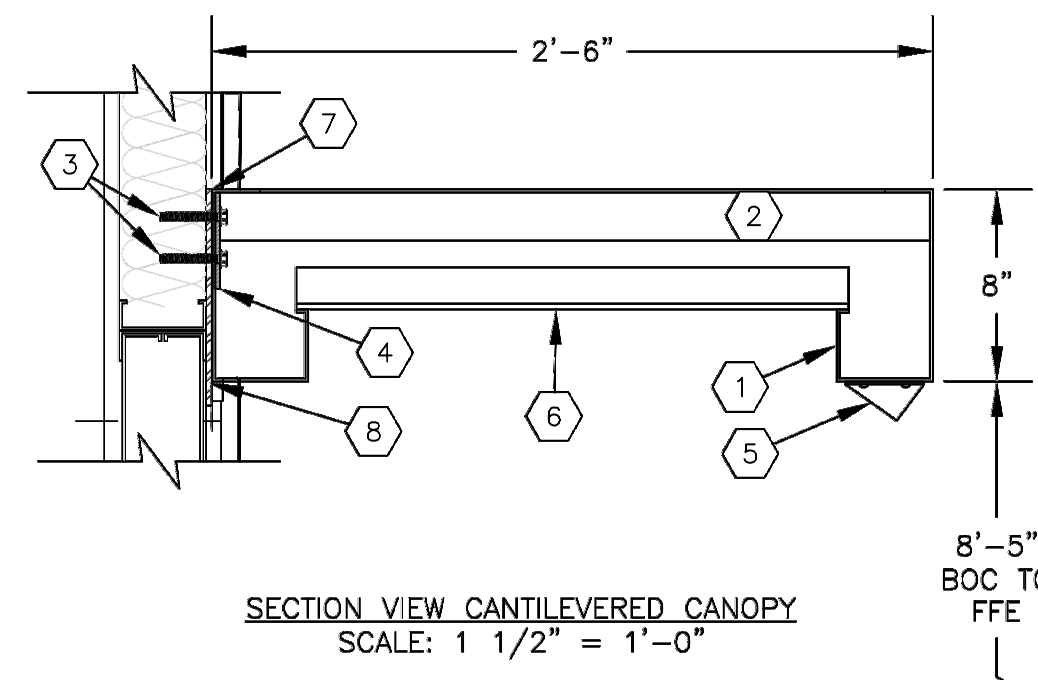
2
A501
SOUTH SIDE OF BUILDING
WALL SECTION
SCALE: 3/4" = 1'-0"



1
A501
MAIN ENTRY
WALL SECTION
SCALE: 3/4" = 1'-0"

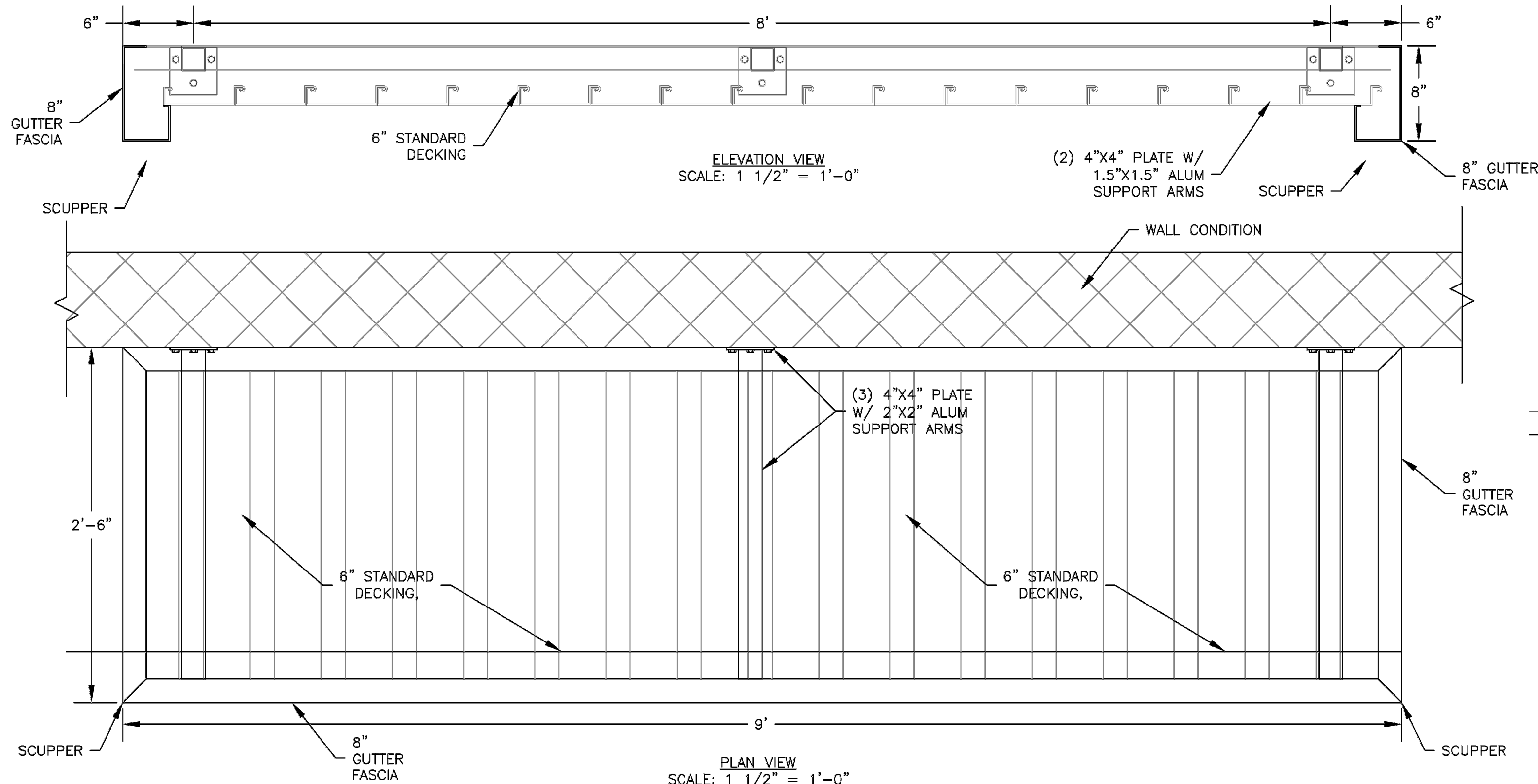
KEYNOTES:

- ① 8" GUTTER FASCIA (GUTTER FASCIA PERIMETER IS PRE-WELDED)
- ② QTY 3, 2"x2" ALUM TUBING SUPPORT ARM WELDED TO WALL BRACKET & FRAME
- ③ QTY 9, 8"x2 1/2" TAP FLEX
- ④ QTY 3, 4"x4" WALL BRACKET
- ⑤ QTY 1, SCUPPER RIGHT CORNER
- ⑥ 6" FLAT STANDARD DECKING
- ⑦ CAULKING ALONG TOP OF CANOPY AND WALL
- ⑧ 9" METAL PLATE PROVIDED & INSTALLED BY OTHERS FOR FLUSH CANOPY INSTALLATION WITH NO RECESSES

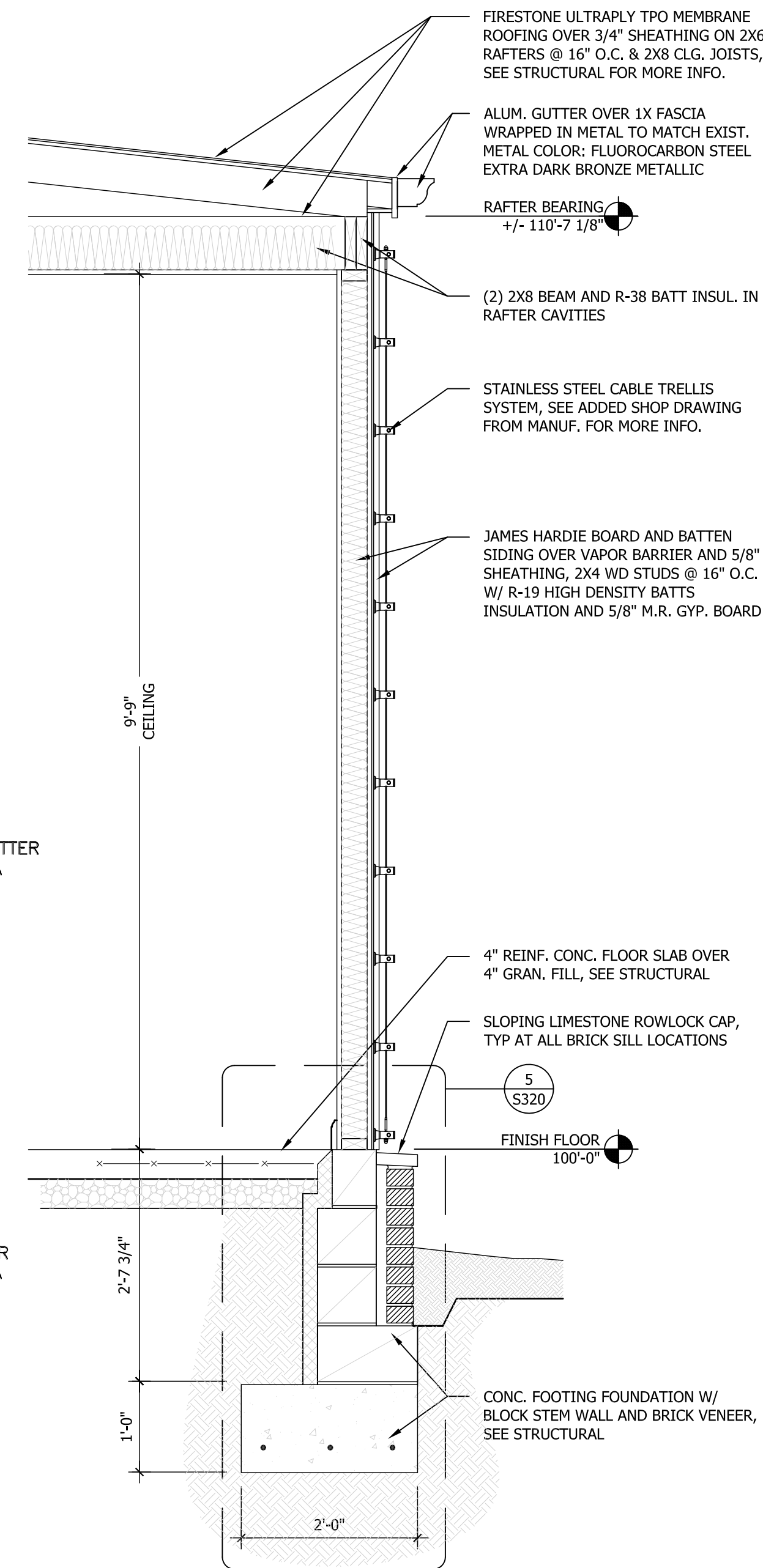


4
A502
TYPICAL AWNINGS
SECTIONS / DETAILS
SCALE: 1 1/2" = 1'-0"

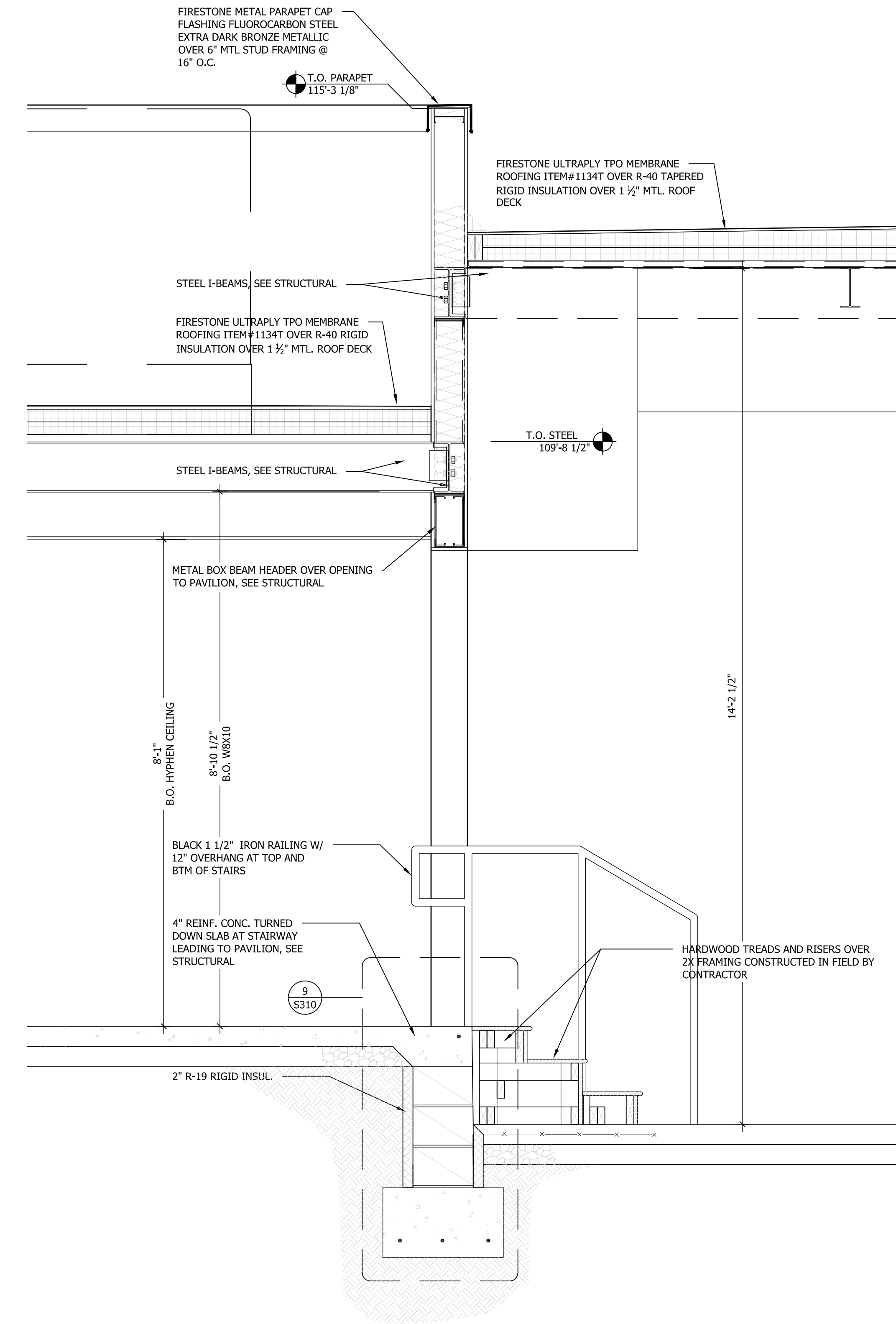
NOTE:
GUTTER FASCIA PERIMETER IS PRE-WELDED



3
A502
TYPICAL AWNINGS
PLAN / ELEVATION VIEW
SCALE: 1 1/2" = 1'-0"



2
A502
WINE ROOM
WALL SECTION
SCALE: 3/4" = 1'-0"



1
A502
HYPHEN / PAVILLION
WALL SECTION
SCALE: 3/4" = 1'-0"



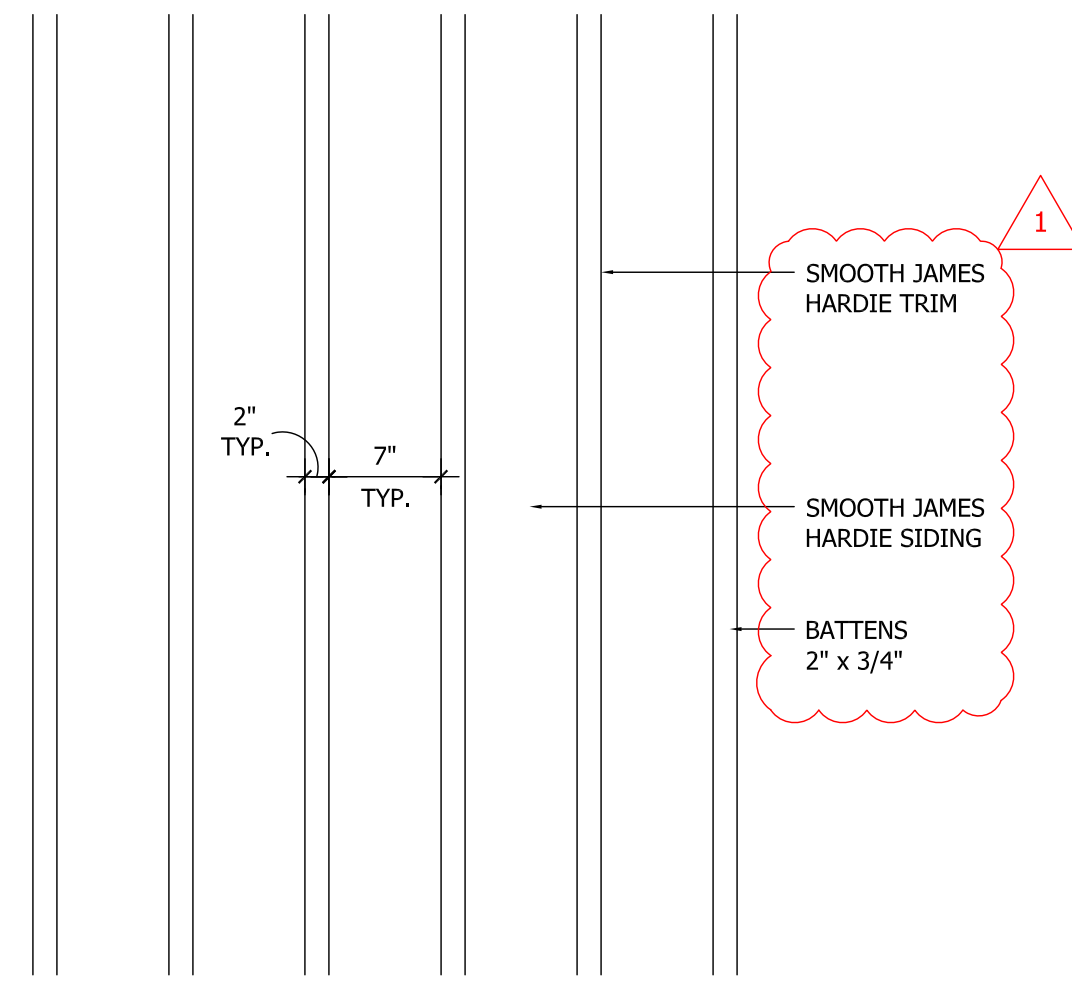
614.827.6000
6170 Riverside Drive
Dublin, OH 43017



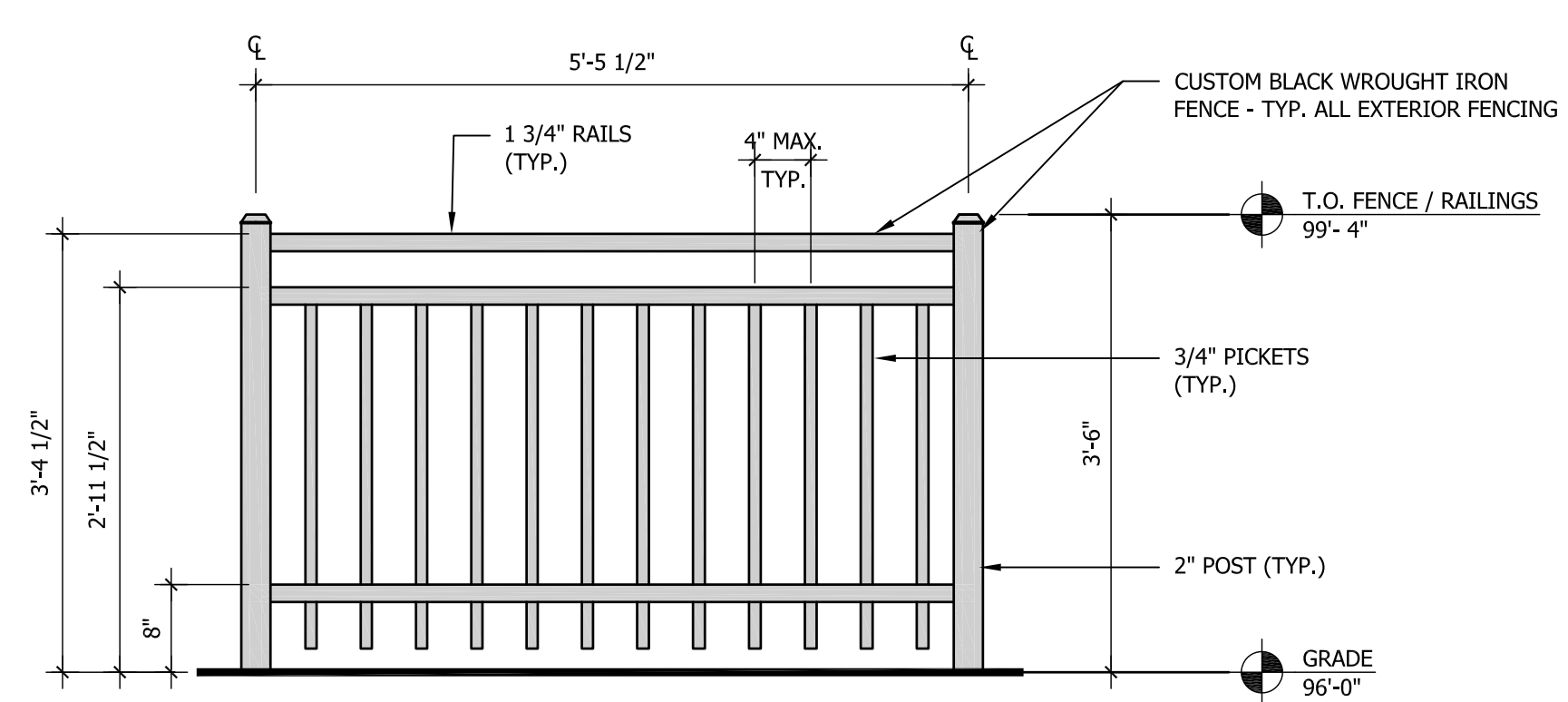
FINAL DEVELOPMENT PLANS
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



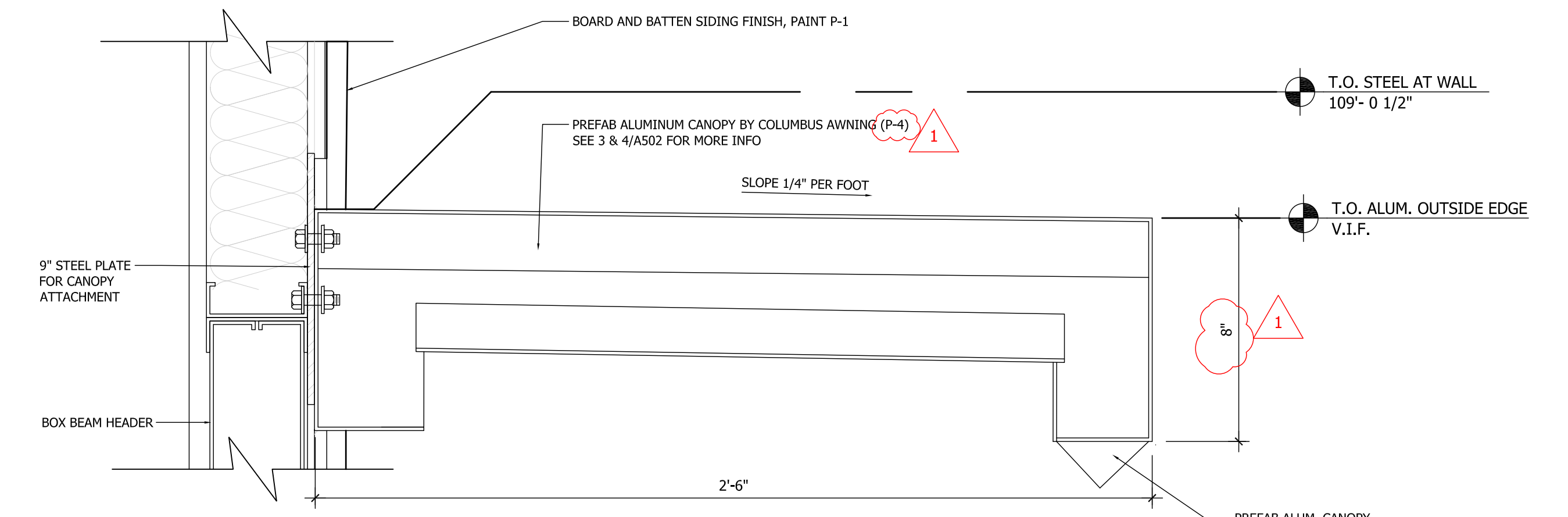
FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	WALL SECTIONS
SHEET NUMBER	A502



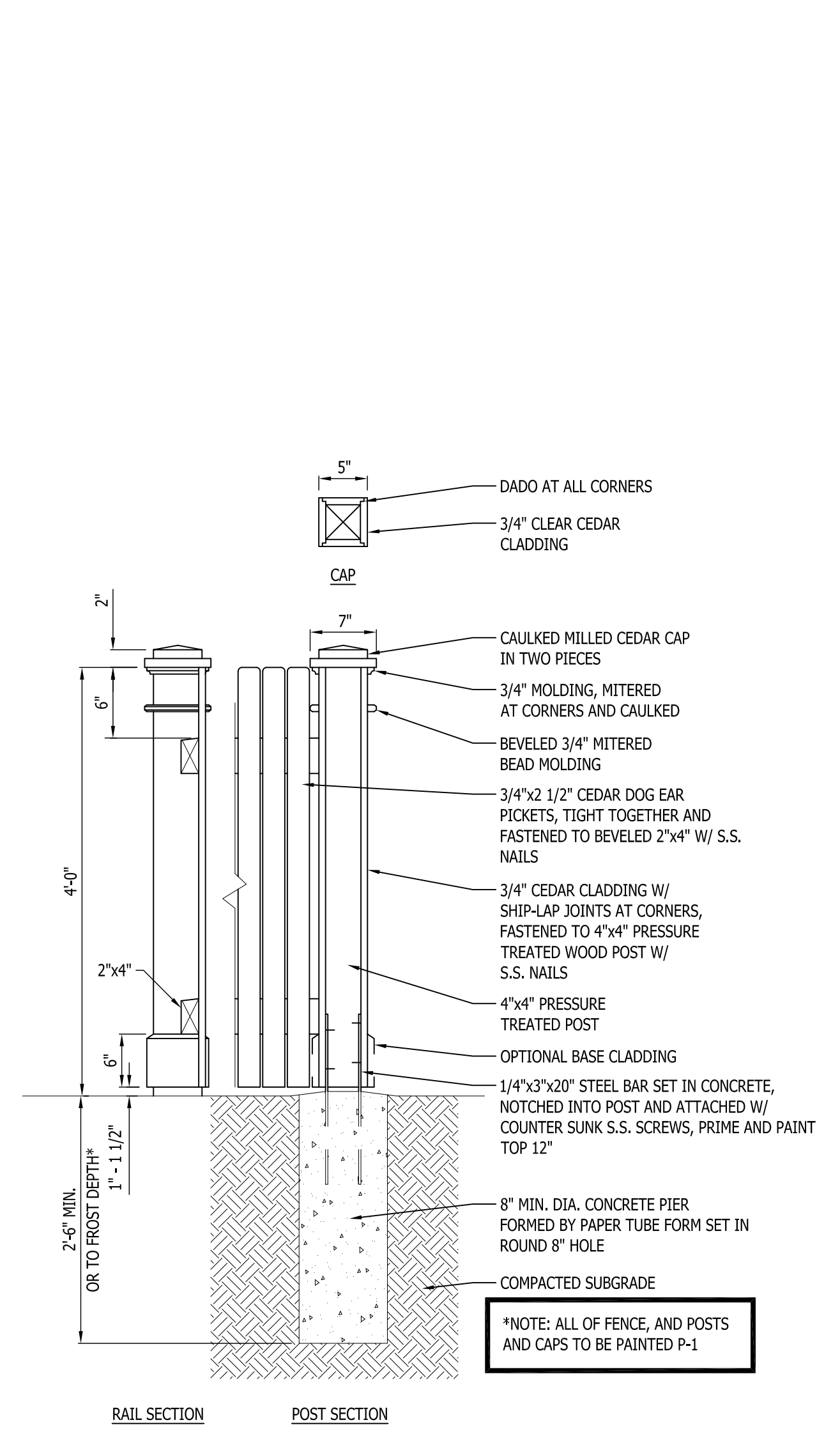
5
A600
BOARD AND BATTEN
DETAIL
SCALE: 1" = 1'-0"



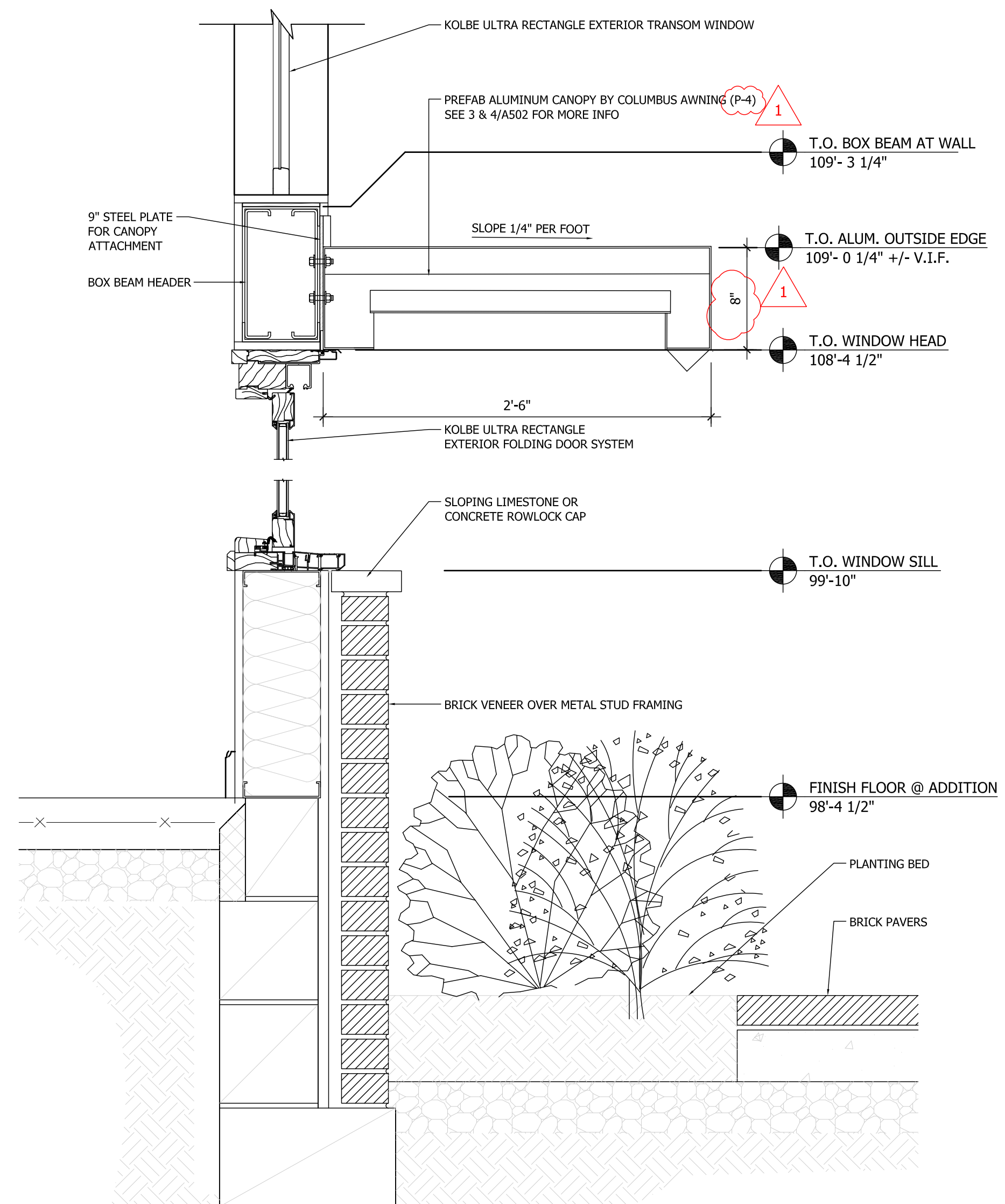
4
A600
TYPICAL WROUGHT IRON EXTERIOR FENCE
PARTIAL ELEVATION
SCALE: 3/4" = 1'-0"



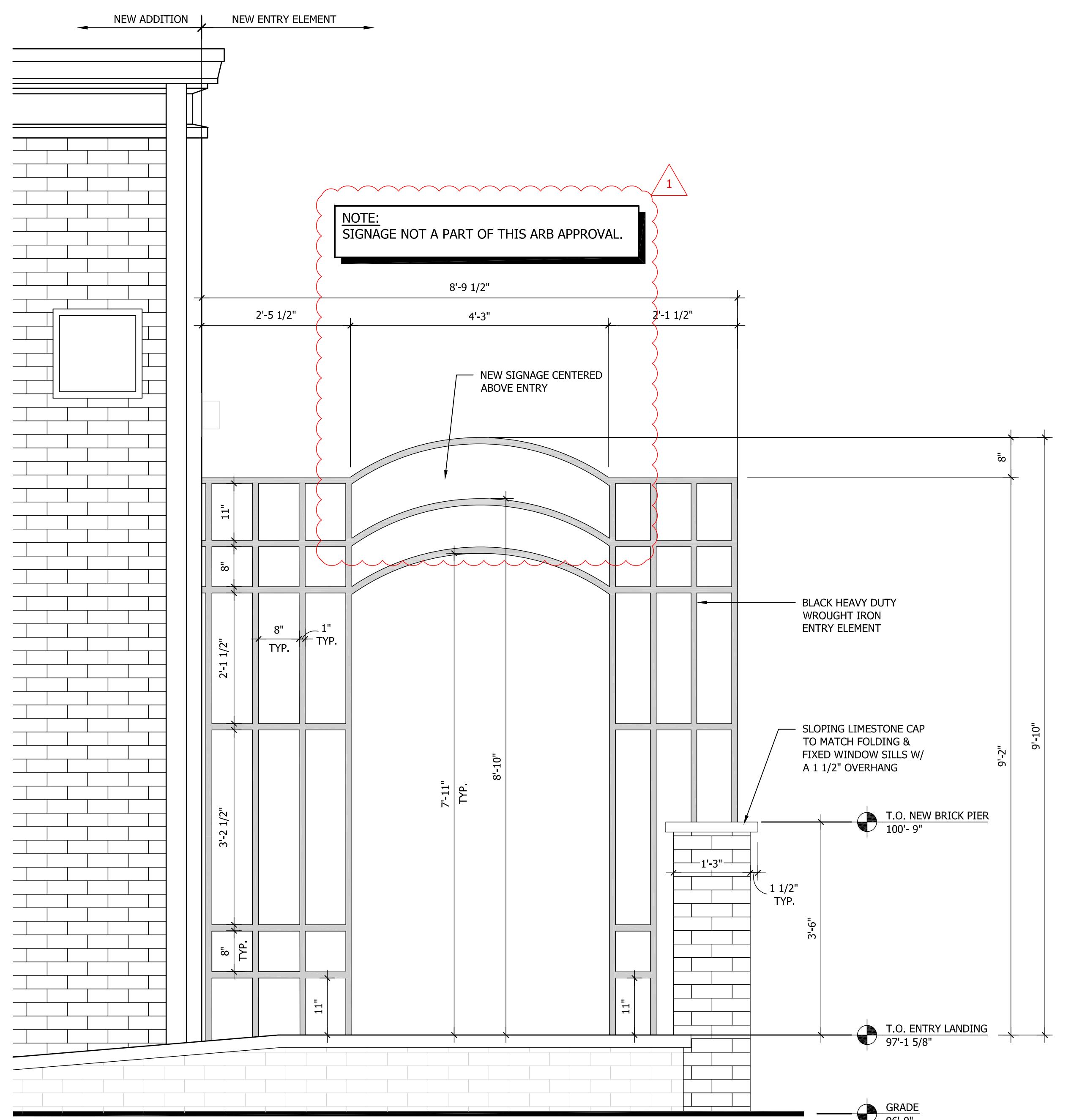
3
A600
CANOPY DETAIL @ ENTRY
DETAIL
SCALE: 1 1/2" = 1'-0"



6
A600
DUMPSTER ENCLOSURE GATES
DETAIL
SCALE: 3/4" = 1'-0"



2
A600
TYPICAL SILL / HEAD (FOLDING WINDOWS)
DETAIL
SCALE: 1 1/2" = 1'-0"



1
A600
ENTRY GATE ELEMENT
ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"



614.827.6000
6170 Riverside Drive
Dublin, OH 43017



FINAL DEVELOPMENT PLANS
TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)	11/30/2022
PROJECT NUMBER	21034
SHEET TITLE	PLAN / SECTIONS / DETAILS
SHEET NUMBER	

A600

S1 Kendo L Wet Linear Illumination System

Features

- 24VDC Class 2 fixtures made to order up to 16'4". Fixtures can be linked up to 10' depending on output.
- Suitable for environmental, millwork recessed and surface mount applications.
- Approved for closed/storage space applications per NEC 410.10(A)(3) and 410.10(C)(1).
- Vibrant colors with R9 values up to 98.
- 3 Year warranty.
- Dot free even illumination achievable in certain outputs.
- Single micro beamed LEDs +/- 30 CCT.
- Dims with minimal color shift.
- Class 2 listed for wet locations.
- Proprietary strong bond solder method handles up to 50lbs of torque on wire leads and connectors.

Finish options

IP68: Silver, Black powder coated, White powder coated

Profile dimensions

IC RATED: Black powder coated

RoHS: Silver powder coated

Technical information

Output	Length (ft)	Average power consumption at 4'	Lumens / Watt (lm/W)	Maximum system length (ft)	Color temperature	Multiplier	CR	R _a	R _g
50 (3000K)	107.6	12.1 W	141.6	107	3000K	0.71	97	95	101
50 (4000K)	107.6	12.1 W	141.6	107	4000K	0.81	98	97	102
50 (5000K)	107.6	12.1 W	141.6	107	5000K	0.85	94	90	102
50 (6000K)	107.6	12.1 W	141.6	107	6000K	1.00	94	90	96

Ordering code

Model: WS-W54614, WS-W54620

ICON - LED Outdoor Sconce
WS-W54614, WS-W54620

dweLED by WAC Lighting

Fixture Type: W2
Catalog Number: []
Project: []
Location: []

PRODUCT DESCRIPTION
Like a simple reference to something greater, the up and down lights accentuate linear architectural forms.

SPECIFICATIONS
Construction: Aluminum body with acrylic diffuser
Input: 120V-277V
Dimming: 100% - 10% ELV
Light Source: High output LED
Finish: Brushed Aluminum (AL), Bronze (BZ), Black (BK)
Standards: ETL, UL, Wet location listed, IP65 Rated, ADA Compliant

FEATURES
Simple classic simple idea, infinite applications
Shaded light source for great low-glare illumination
Down located inside the fixture
Up & down light
Universal listed (120V-277V)
Color Temperature: 3000K
CRI: 90
Rated Life: 54,000 hours

Dimensions
WS-W54614: 5" x 3" x 14"
WS-W54620: 5" x 3" x 20"

ORDER NUMBER
Model: WS-W54614, WS-W54620
Size: 14", 20"
Watt: 11W, 17W
LED Lumens: 827, 1218
Delivered Lumens: 455, 678
Finish: AL, BK, BZ

Example WS-W54614-AL

dweLED.com
Phone: 800.526.2588
Fax: 800.526.2585

Headquarters/Southern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ottawa, CA K1V 1W0

dweLED retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB.2019

HYDREL

PARADOX 4
4" Architectural In-Grade LED (Line Voltage)

HIGHLIGHTS

- Tilt Kit Optic includes a 5", 10" and 15" tilt filters at a 5° axial spread filter
- Integral junction box for wire splicing
- U.V. stabilized, impact and corrosion resistant housing
- Integral driver

5 Year Warranty
IP67

Specifications
Length: 5", 10", 15"
Width: 4"
Height: 8"
Weight: 200 lbs

DIMENSIONS

LUMEN PACKAGES

Delivered Lumens	4"	10"	15"
Watt	10	10	10
LMF	40	40	50

Note: Based on 4°C

15 DEG TILT FILTER SHALL BE USED

© 2014-2021 Ansys Brands Lighting, Inc. • One Lithonia Way, Cummins Ga. 30012
Phone: 800-705-SERV (9378) • www.hydel.com

WDGE1 LED
Architectural Wall Sconce

Specifications
Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight (without options): 9 lbs

WDGE1 LED Family Overview

Model	Standard CCT	Color	P1	P2	Lumens (LMF)	P3	P4	P5	P6
WDGE1LED	4W	—	—	—	2,000	—	—	—	—
WDGE2LED	10W	18W	Standard / 4 degree	12,000	2,000	4,000	6,000	—	—
WDGE3LED	10W	18W	Standard / 4 degree	2,000	4,000	12,000	—	—	—
WDGE4LED	—	—	Standard / 4 degree	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF VOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Beam Spread	Voltage	Mounting	Notes
WDGE1 LED	P1	27K	2700K	80CRI	VF	Wool center broad beam	Shipped included SRM Surface mounting bracket
	P2	30K	3000K	90CRI	VW	Wool center wide	Shipped separately: SRM Surface mounting bracket (dry/damp business only)
		318	3200K				Shipped separately: SRM Surface mounting bracket (dry/damp business only)
		40K	4000K				Shipped separately: SRM Surface mounting bracket (dry/damp business only)
		50K	5000K				Shipped separately: SRM Surface mounting bracket (dry/damp business only)

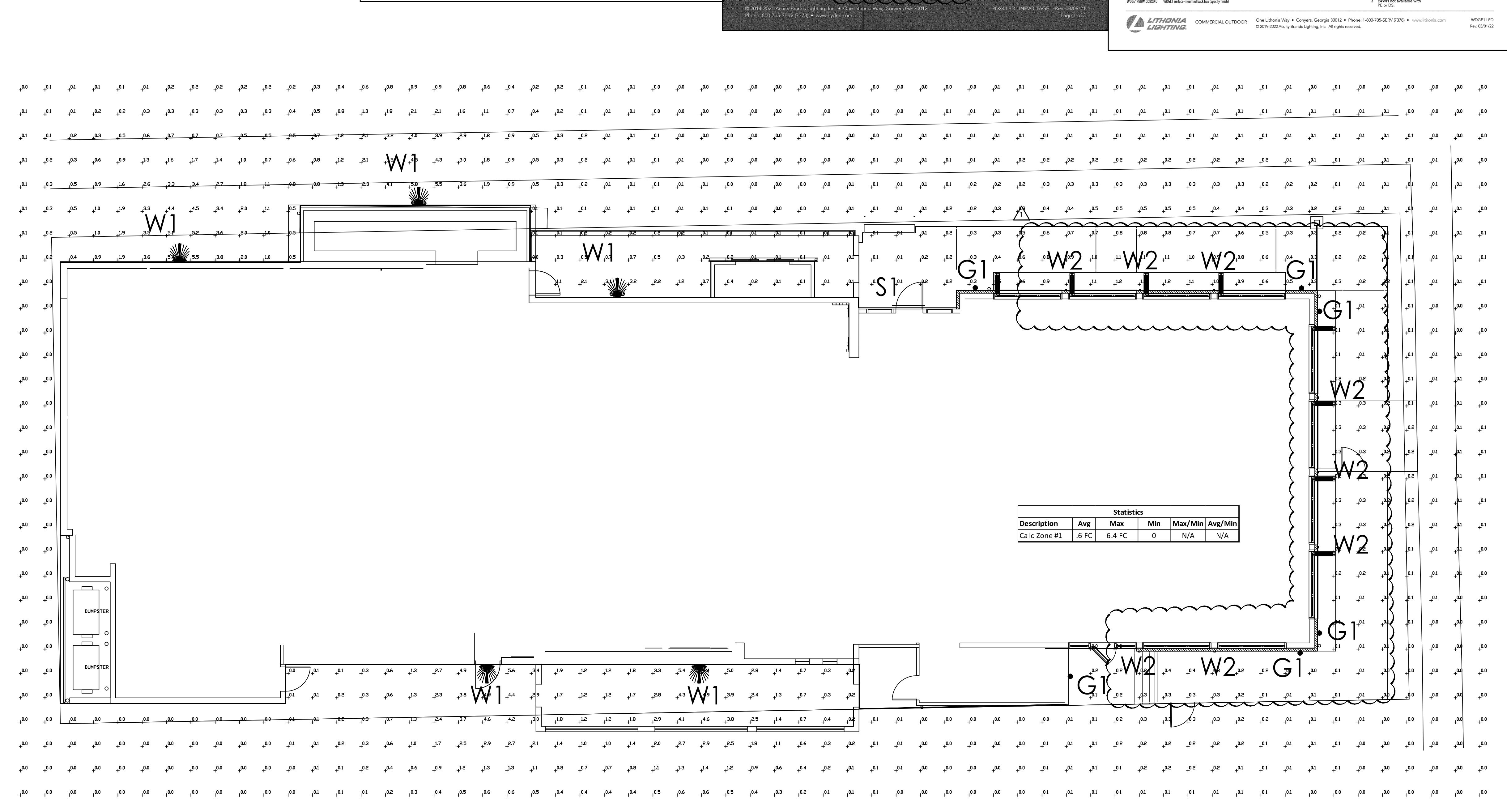
Accessories

Emergency battery backup, Certified in UL File 20164385 (9W, 17V max)
Physical fixture base
Dual switching (comes with 2 drivers and 2 light outputs, see page 3 for details)
3-30' dimming wires (subject to stock) (see page 3 for details)
Remote control (see page 3 for details)
UL Listed (see page 3 for details)

NOTES

- Not available in 120V.
- 347V not available with 120V.
- 347V not available with 277V.
- PE not available with 120V.
- New supplier for D.C. Not available with 120V.
- 347V not available with 277V.

LITHONIA LIGHTING COMMERCIAL OUTDOOR
© 2019-2022 Ansys Brands Lighting, Inc. All rights reserved.



1 SITE LIGHTING POINT BY POINT PHOTOMETRIC PLAN
N.T.S.

annex ENGINEERING GROUP
300 W. Nationwide Blvd. Ste. 4
Columbus, Ohio 43215
Tel: 614-481-2253

COPYRIGHT 2022. ALL DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF ANNEX ENGINEERING GROUP AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

PREPARED FOR
CLB Restaurants
4330 Tuller Road
Dublin, OH 43017
614-760-0432

SEAL

TUCCI'S ADDITION
FINAL DEVELOPMENT PLANS
35 N. HIGH STREET
DUBLIN, OHIO 43017

DRAWING SET

- 11/02/2022 BID SET
- CHECK SET
- BID
- PERMIT
- CONSTRUCTION

REVISIONS

NO.	DATE	REVISION
1	11/02/2022	REVISION 1

PROJECT NUMBER 21034
SHEET TITLE SITE POINT BY POINT PLAN
SHEET NUMBER

ENGINEER

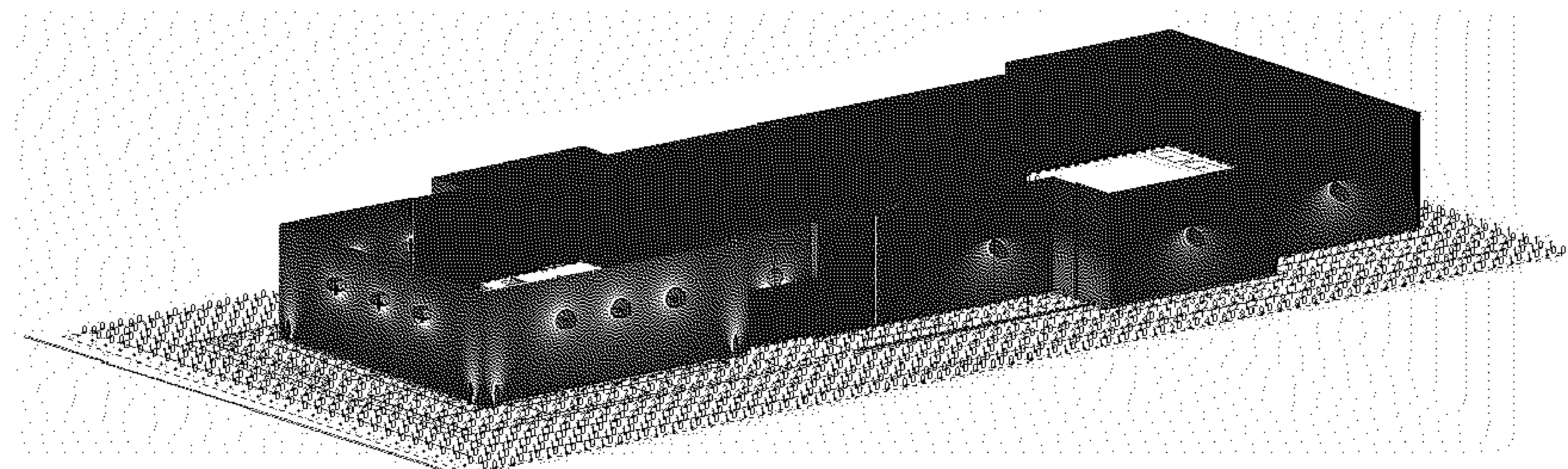


COPYRIGHT 2022. ALL DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF ANNEX ENGINEERING GROUP AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

PREPARED FOR

CLB Restaurants
4330 Tuller Road
Dublin, OH 43017
614-760-0432

SEAL



**TUCCI'S ADDITION
FINAL DEVELOPMENT PLANS**
35 N. HIGH STREET
DUBLIN, OHIO 43017

DRAWING SET

- 11/02/2022 BID SET
- CHECK SET
- BID
- PERMIT
- CONSTRUCTION

REVISIONS

NO.	DATE	REVISION
1	11/02/2022	REVISION 1

PROJECT NUMBER

21034

SHEET TITLE

EXTERIOR LIGHTING RENDERING

SHEET NUMBER

ES1.2

1 EXTERIOR LIGHTING RENDERING
N.T.S.