PROPERTY OWNER:

Beth Day

19635 STATE ROUTE 4 MARYSVILLE, OHIO 43040 P (614) 214 2384

APPLICANT:

clb | Restaurants

c/o Craig Barnum 4330 TULLER ROAD

DUBLIN, OH 43017 P (614) 760 0432

email: c.barnum@clbrestaurants.com

PROJECT REPRESENTITIVE:

LUSK Architecture

c/o Michael Lusk, AIA NCARB

6170 RIVERSIDE DRIVE DUBLIN, OH 43017

P (614) 827 6000

email: mlusk@luskarchitecture.com

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PROJECT TEAM

__TENANT:

clb | Restaurants

4330 TULLER ROAD DUBLIN, OH 43017 P (614) 760 0432

___www.clbrestaurants.com

LANDSCAPE ENGINEER:

Planit Studios

500 W. WILSON BRIDGE RD. SUITE 314 WORTHINGTON, OH 43085 P (614) 505 0375 www.planit-studios.com __ARCHITECT:

LUSK Architecture

6170 RIVERSIDE DRIVE DUBLIN OH 43017 P (614) 827 6000 www.luskarchitecture.com

__MEP ENGINEER:

COLUMBUS, OH 43215

e-mail: info@annexmep.com

P (614) 481 2292

589 W. NATIONWIDE BLVD, SUITE B

Annex Engineering Group

CIVIL ENGINEER:

Mannik Smith GROUP

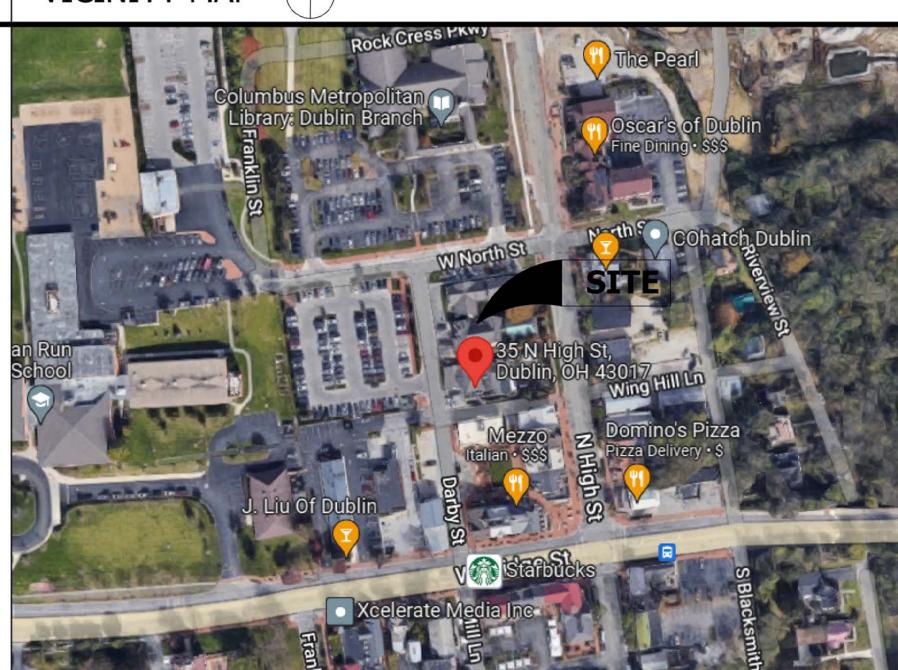
1160 DUBLIN RD. SUITE 100 COLUMBUS OHIO 43215 P (614) 441 4222 www.MannikSmithGroup.com

__STRUCTURAL ENGINEER:

Jack D. Walters & Associates Inc.

5166 Blazer Pkwy.
DUBLIN,OH 43017
P (614) 889 2516 |
e-mail: jdwarcheng@gmail.com

VICINITY MAP



FINAL SUBMITTAL DATE (REVISION #1)

11/30/2022

PROJECT NUMBER

21034

SHEET TITLE

COVER

SHEET NUMBER

ARCHITECTURE

614.827.6000

I 6170 Riverside Drive

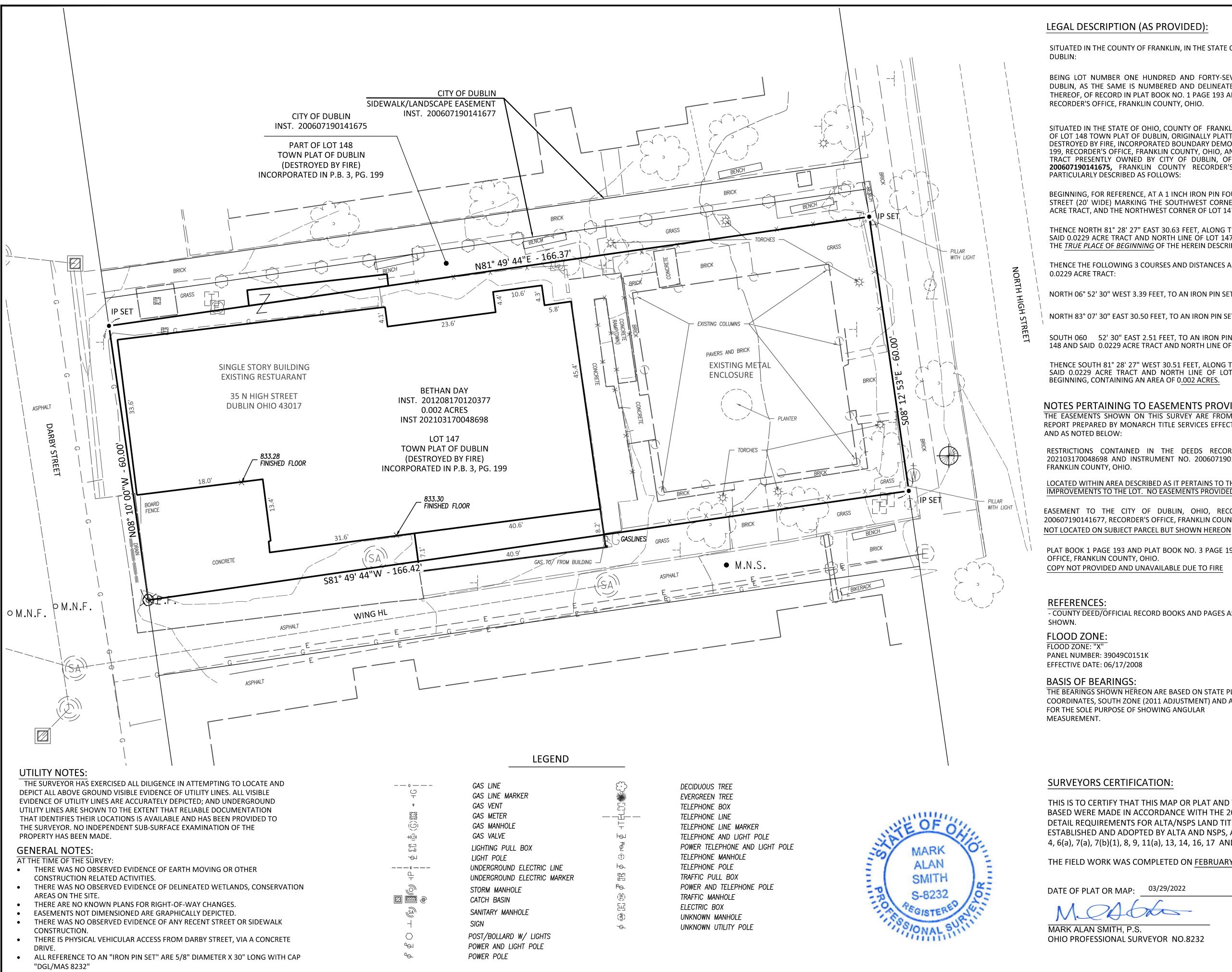
Dublin, OH 43017



FINAL DEVELOPMENT PLANS

TUCCI'S RESTAURANT ADDITION

35 NORTH HIGH STREET DUBLIN, OH 43017



SITUATED IN THE COUNTY OF FRANKLIN, IN THE STATE OF OHIO AND IN THE CITY OF

BEING LOT NUMBER ONE HUNDRED AND FORTY-SEVEN (147) IN THE VILLAGE OF DUBLIN, AS THE SAME IS NUMBERED AND DELINEATED UPON THE RECORDED PLAT THEREOF, OF RECORD IN PLAT BOOK NO. 1 PAGE 193 AND PLAT BOOK NO. 3 PAGE 199,

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF DUBLIN, BEING PART OF LOT 148 TOWN PLAT OF DUBLIN, ORIGINALLY PLATTED IN 1810 AND SUBSEQUENTLY DESTROYED BY FIRE, INCORPORATED BOUNDARY DEMONSTRATED IN PLAT BOOK 3 PAGE 199, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND ALSO PART OF A 0.0229 ACRE TRACT PRESENTLY OWNED BY CITY OF DUBLIN, OF RECORD IN INSTRUMENT NO. 200607190141675, FRANKLIN COUNTY RECORDER'S OFFICE, AND BEING MORE

BEGINNING, FOR REFERENCE, AT A 1 INCH IRON PIN FOUND IN THE EAST LINE OF DARBY STREET (20' WIDE) MARKING THE SOUTHWEST CORNER OF LOT 148 AND SAID 0.0229 ACRE TRACT, AND THE NORTHWEST CORNER OF LOT 147, TOWN PLAT OF DUBLIN;

THENCE NORTH 81° 28' 27" EAST 30.63 FEET, ALONG THE SOUTH LINE OF LOT 148 AND SAID 0.0229 ACRE TRACT AND NORTH LINE OF LOT 147, TO AN IRON PIN SET MARKING THE TRUE PLACE OF BEGINNING OF THE HEREIN DESCRIBED TRACT;

THENCE THE FOLLOWING 3 COURSES AND DISTANCES ACROSS SAID LOT 148 AND SAID

NORTH 06° 52' 30" WEST 3.39 FEET, TO AN IRON PIN SET;

NORTH 83° 07' 30" EAST 30.50 FEET, TO AN IRON PIN SET;

SOUTH 060 52' 30" EAST 2.51 FEET, TO AN IRON PIN SET IN THE **SOUTH** LINE OF LOT 148 AND SAID 0.0229 ACRE TRACT AND NORTH LINE OF LOT 147;

THENCE SOUTH 81° 28' 27" WEST 30.51 FEET, ALONG THE SOUTH LINE OF LOT 148 AND SAID 0.0229 ACRE TRACT AND NORTH LINE OF LOT 147, TO THE TRUE PLACE OF BEGINNING, CONTAINING AN AREA OF 0.002 ACRES.

NOTES PERTAINING TO EASEMENTS PROVIDED:

THE EASEMENTS SHOWN ON THIS SURVEY ARE FROM THE LIMITED LIEN PROPERTY REPORT PREPARED BY MONARCH TITLE SERVICES EFFECTIVE THROUGH MARCH 1, 2022

RESTRICTIONS CONTAINED IN THE DEEDS RECORDED IN INSTRUMENT NO. 202103170048698 AND INSTRUMENT NO. 200607190141675, RECORDER'S OFFICE,

LOCATED WITHIN AREA DESCRIBED AS IT PERTAINS TO THE RESTRICTIONS ON THE IMPROVEMENTS TO THE LOT. NO EASEMENTS PROVIDED TO PLOT.

EASEMENT TO THE CITY OF DUBLIN, OHIO, RECORDED IN INSTRUMENT NO. 200607190141677, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

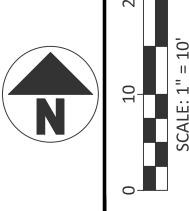
PLAT BOOK 1 PAGE 193 AND PLAT BOOK NO. 3 PAGE 199, PLAT RECORDS, RECORDER'S

- COUNTY DEED/OFFICIAL RECORD BOOKS AND PAGES AS

THE BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES, SOUTH ZONE (2011 ADJUSTMENT) AND ARE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 8, 9, 11(a), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 24, 2022



SUR

SPS

22029-3D-TUCCI.dw JOB NO.: 22029 DRAWN BY: SSUED: 03/11/2022

GENERAL CONSTRUCTION NOTES:

- 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. THE CURRENT CITY OF DUBLIN STANDARDS AND SPECIFICATIONS SHALL GOVERN THE MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS.
- 2. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS.
- 3. WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED) INCLUDING CITY OF DUBLIN REQUIREMENTS, THE MORE STRINGENT SPECIFICATION
- 4. DATA ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- 5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- 7. THE OWNER AT ITS DISCRETION RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- 8. ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY AND AT NO ADDITIONAL COST TO THE OWNER.
- 9. THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.
- 10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR
- 11. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- 12. WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE
- 13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE
- 15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWNGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
- 16. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.

MAINTENANCE OF TRAFFIC NOTES

- 1. ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORD WITH THE <u>OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES</u> AND PER ALL CITY REQUIREMENTS. ROAD MUST REMAIN OPEN AT ALL TIMES. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN AND SUBMIT TO THE CITY AND OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO COORDINATE ANY NECESSARY LANE CLOSURES WITH THE CITY.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH ODOT REGULATIONS AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM ODOT, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- 3. ANY ADDITIONAL TRAFFIC CONTROL BEYOND THAT SHOWN ON THE PLANS THAT IS REQUESTED OR REQUIRED BY THE CITY WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE OWNER.

EXISTING CONDITIONS AND DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER. ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT

- 5. CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, REMOVAL OF TREES, STUMPS, VEGETATION, AND DEBRIS NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.
- 6. SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- 7. THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRE CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
- 8. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL
- BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY LISTED ON THE PLANS. 9. MATERIALS NOTED ON THE PLANS TO BE SALVAGED TO OWNER SHALL BE STORED IN
- AREAS INDICATED ON THE PLANS, OR TO THE OWNERS SATISFACTION. 10. USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
- 11. THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY
- ITEMS THAT ARE DAMAGED. 12. THE BUILDING PAD AREA IS DEFINED AS THE AREA TWENTY (20) FEET OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, INCLUDING ATTACHED WALKWAYS, CANOPIES, SIDEWALKS, LOADING DOCKS, UTILITY PADS, AND ANY OTHER SUCH APPURTENANCES.

13. ANY AND ALL DAMAGE TO EXISTING PAVEMENT WITHIN THE LAYDOWN AREA SHALL

14. ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION AT THEIR SOLE EXPENSE.

LAYOUT AND PAYING NOTES

- 1. THE CONTRACTOR SHALL CONFINE THEIR ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT. THE EXISTING RIGHT-OF-WAYS. AND CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- 2. THE CONTRACTOR SHALL MAKE THEIR OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT
- 3. THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.
- 4. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- 5. ALL CURB RAMPS, SIDEWALKS, AND PARKING AREAS REQUIRED FOR ACCESSIBILITY SHALL SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990.
- 6. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS
- 7. ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC FLOW IN ALL DRIVE LANES WITHIN PARKING FIELDS.
- 8. DO NOT PLACE MIX ON FROZEN OR WET SURFACES, OR WHEN PRECIPITATION IS
- 9. DO NOT PLACE MIX WHEN AIR OR SURFACE TEMPERATURE IS BELOW THE FOLLOWING: BINDER COURSE AND WALKS - 40° F - WEARING COURSE, ROADWAYS AND PARKING AREAS - 50° F
- 10. ANY MATERIAL DELIVERED TO THE SPREADER HAVING A TEMPERATURE LOWER THAN 250° F SHALL NOT BE USED.
- 11. THE MINIMUM ROLLER WEIGHT FOR PAVEMENT SHALL BE TEN (10) TON. ALL COURSES SHALL BE COMPACTED TO A MINIMUM OF NINETY-THREE (93%) PERCENT OF THEORETICAL MAXIMUM DENSITY (TMD).
- 12. ALL PAVEMENT MARKINGS, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HIGHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED AND CONFORM TO ASTM A36 OR ASTM A441 AND SHOULD BE GALVANIZED IN ACCORDANCE WITH AASHTO M111.
- 13. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE 50° F MINIMUM. APPLY TWO (2) COATS.
- 14. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS. 15. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD
- APPROVED BY ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS.
- 16. DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED. 17. A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED FROM THE FACE OF CURB
- AND ANY PART OF A LIGHT POLE OR TRAFFIC SIGN. 18. CONTRACTOR SHALL SAW-CUT IN A NEAT, STRAIGHT LINE FOR SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY
- PAVED PAVEMENT. 19. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES
- OF JOINTING TOOL 20. CONTRACTOR SHALL SAWCUT TIE-INS AT EXISTING CURBS TO ENSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAWCUT AND TRANSITION TO EXISTING PAVEMENT TO ENSURE POSITIVE DRAINAGE.
- 21. ALL CONCRETE SHALL BE 6% (+/-11/%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A 28 DAY STRENGTH OF 4,000 PSI MINIMUM AND SHALL HAVE A MAXIMUM W/C OF 0.50. ALL CONCRETE SHALL BE MADE WITH TYPE I OR TYPE II CEMENT UNLESS OTHERWISE SPECIFIED.
- 22. ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH. VERTICAL FACES SHALL BE
- 23. BASE AND ASPHALT THICKNESS SPECIFIED ARE THE MINIMUM REQUIRED.
- 24. ALL CURB RADII ARE 4', UNLESS OTHERWISE NOTED. FOR CURBED ISLANDS SHOWN WITH ONE LABELED RADIUS, THE LABELED RADIUS SHALL APPLY TO ALL FOUR CORNERS OF THE ISLAND.
- 25. ALL CONCRETE FOR CURBS SHALL BE AIR ENTRAINED TO BE 6% (+/-11/2%), MADE WITH SAND AND GRAVEL AGGREGATE AND SHALL CONFORM TO A TWENTY EIGHT (28)

DAY STRENGTH OF 4,500 PSI MINIMUM, SHALL HAVE A MAXIMUM W/C OF 0.40 AND

- 26. CONTRACTOR SHALL INSTALL ALL CURBING IN A TRUE LINE AND PROPER GRADE IN ACCORDANCE WITH THE APPROVED SITE PLANS AND APPROPRIATE STATE DOT SPECIFICATIONS. CURVED CURB SECTIONS SHALL BE USED FOR RADII LESS THAN 30'. ALL CURBING SHALL BE BACKFILLED WITH CLEAN AGGREGATE.
- 27. CONTRACTOR SHALL REPAIR ANY CURB DAMAGED DURING CONSTRUCTION ACTIVITIES.
- 28. ALL CURBS SHALL BE FULL DEPTH CONCRETE CURB WITH 6" REVEAL, UNLESS OTHERWISE NOTED.
- 29. BUILDING FOOTPRINTS ARE SHOWN FOR INTENT ONLY. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING FOUNDATION AND WALL DIMENSIONS.

31. SEE ARCHITECTURAL PLANS FOR FROST SLAB DETAILS AND SPECIFICATIONS.

- 30. CONTRACTOR TO COORDINATE TRANSFORMER AND GENERATOR PAD DIMENSIONS AND SPECIFICATIONS WITH MEP PLANS AND ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
- 32. CONTRACTOR TO INSTALL ALL UTILITY PIPING, SEWERS, CONDUIT PRIOR TO PAYING OPERATIONS. CONTRACTOR TO COORDINATE ALL SITE UTILITIES WITH UTILITY PLAN, AND MEP PLANS.

GENERAL GRADING & DRAINAGE NOTES:

WITH THE ADJACENT GRADE.

DISTURBANCE AND NOTES.

- 1. PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE CITY ENGINEERING DEPARTMENT AND THE CONSTRUCTION MANAGER.
- 2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH
- 4. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- 5. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF
- 6. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL
- 7. THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- 8. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- 9. THE CONTRACTOR SHALL VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE
- MCINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS. 10. SPOT ELEVATIONS SHOWN DEPICT THE PROPOSED PAVEMENT OR GROUND SURFACE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS OTHERWISE NOTED. TOP OF ALL CONCRETE CURBING IS 6-INCHES ABOVE SPOT ELEVATIONS UNLESS OTHERWISE
- 11. IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY/ALL EXCAVATION.
- 12. THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE OF OHIO REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREON WILL BE THE "TOPOGRAPHY OF RECORD" FOR ANY AND ALL SOIL VOLUME DISPUTES.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL STATE AND LOCAL REQUIREMENTS ASSOCIATED WITH IMPORTING SOIL FROM ANOTHER SITE.
- 14. ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 671 TYPE F.
- 15. ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS), SUBJECT TO SETTLEMENT, WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE ENGINEER, OR THEIR REPRESENTATIVE, WILL PREVAIL.
- 16. PAVEMENT EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH ITEM 203.12 OF OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. THE CONTRACTOR MAY BE REQUIRED TO MAKE COMPACTION TESTS. TESTS SHALL BE TAKEN BY A TESTING COMPANY APPROVED BY THE ENGINEER. THE COST OF THESE TESTS SHALL BE PAID BY THE CONTRACTOR. "PROOF" ROLLING WILL BE REQUIRED PRIOR TO PAVING AND SHALL BE CONDUCTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND PERFORMED WITH THE OWNER'S INSPECTOR PRESENT AND PAID FOR BY THE

GENERAL UTILITY NOTES:

- 1. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS, ELECTRICAL AND TELECOMMUNICATIONS CONDUIT, AND GAS LINES SHOWN ON THESE PLANS WITH THE
- ARCHITECTURAL AND M.E.P. PLANS PRIOR TO START OF CONSTRUCTION. 2. IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
- 3. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
- 4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES. AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- 5. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
- 6. THE CONTRACTOR SHALL ARRANGE FOR COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND CITY AND NOTIFY NEIGHBORING EFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- 7. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER,

- LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN
- 8. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- 9. RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
- 10. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE OHIO ENVIRONMENTAL PROTECTION AGENCY, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- 11. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- 12. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
- 13. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- 14. SANITARY LATERAL AND STORM SEWERS SHALL MAINTAIN 10-FOOT MIN. HORIZONTAL AND 1.5-FOOT MIN. VERTICAL SEPARATION DISTANCE FROM WATER LINES. A 1-FOOT MIN. VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UTILITIES INCLUDING GAS, ELECTRICAL AND TELEPHONE. ADDITIONAL PROTECTION MEASURES INCLUDING, BUT NOT LIMITED TO, CONCRETE PIPE ENCASEMENT MAY BE REQUIRED IF INDICATED CLEARANCES ARE NOT MET.
- 15. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- 16. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- 17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- 18. UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS
- 19. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
- 20. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE. ALL TOP OF CASTING ELEVATIONS SHOWN IN THE PLANS FOR CURB INLETS ARE AT THE TOP OF CURB.
- 21. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CONSTRUCTION MANAGER AND IF ALLOWED BY THE CITY AND/OR COUNTY ENGINEERS.
- 22. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF WATER MAINS & SERVICES TO A POINT 5' OUTSIDE OF EACH BUILDING. THE INDIVIDUAL BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONNECTIONS TO INTERIOR
- 23. CONTRACTOR TO REFERENCE SITE ELECTRICAL PLAN FOR LOCATION OF ELECTRIC CONDUIT FOR ALL SITE ELECTRICAL WORK.
- 24. CONTRACTOR TO REFERENCE MEP SITE PLAN FOR ALL ELECTRICAL AND COMMUNICATION CONDUIT RUNS PRIOR TO START OF CONSTRUCTION.
- 25. ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH CITY STANDARDS AND REGULATIONS. THE CITY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE FOR SCHEDULING OF AN
- 26. CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.

STORM UTILITY NOTES

- 1. NORTHINGS AND EASTINGS FOR CATCH BASINS, AREA DRAINS, AND MANHOLES GIVEN IN SITE PLANS ARE UNDERSTOOD TO REPRESENT THE CENTER OF THE INLET STRUCTURE. COORDINATES AT CURB INLETS ARE TO BE AT THE FACE OF CURB. HEADWALL COORDINATES ARE AT THE FACE.
- 2. ALL CATCH BASINS/MANHOLES, UNLESS STATED OTHERWISE IN STRUCTURE SCHEDULE SHALL BE AS FOLLOWS OR APPROVED EQUAL:
- CATCH BASINS IN CONCRETE PAVEMENT: EAST JORDAN IRON WORKS 5110 WITH TYPE M3 HEAVY DUTY SINUSOIDAL GRATE.
- CATCH BASINS IN ASPHALT PAVEMENT: EAST JORDAN IRON WORKS 5100 WITH TYPE M1 5105 GRATE.
- 3. ALL STORM SEWER PIPES SHALL BE HDPE OR PVC UNLESS STATED OTHERWISE ON THE PLANS. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND MEET THE REQUIREMENTS OF ONE OF

CATCH BASINS IN GRASS: EAST JORDAN IRON WORKS 6500 BEEHIVE DITCH GRATE.

- THE FOLLOWING SPECIFICATIONS: AASHTO M252, TYPE S FOR 4-INCH THROUGH 10-INCH PIPE, AASHTO M294, TYPE S FOR 12-INCH THROUGH 36-INCH PIPE, ASTM F2306 FOR 12-INCH THROUGH 60-INCH PIPE, OR ASTM F2648 FOR 4-INCH THROUGH 60" PIPE. JOINTS SHALL BE SILT-TIGHT BELL AND SPIGOT CONNECTIONS. HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT—IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- RE-INFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
- 4. ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.

SANITARY UTILITY NOTES

1. THE LOCATION, SIZE, AND DEPTH OF THE EXISTING SANITARY LATERAL OR MAIN

SHALL BE VERIFIED IN THE FIELD IN THE PRESENCE OF THE CITY INSPECTOR. THE SLOPE OF THE LATERAL TO THE BUILDING WILL THEN BE DETERMINED. THE CITY MUST APPROVE THE TYPE AND LOCATION OF ANY CONNECTION PRIOR TO INSTALLATION. THE EXISTING SANITARY LATERAL SHALL BE TELEVISED PRIOR TO INSTALLATION OF ANY SANITARY SEWER SYSTEM COMPONENTS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IS THE EXISTING LATERAL IS NOT FOUND TO BE IN GOOD CONDITION.

- 2. SANITARY LATERAL SHALL BE A MINIMUM 6" DIAMETER OF PVC PIPE, ASTM D3034 SDR 26 WITH RUBBER GASKET JOINTS OR APPROVED EQUAL. LATERALS SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE, AND HAVE A MINIMUM OF 3 FT. COVER. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- 3. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- MANHOLE SECTION AND CONSTRUCTION SHALL CONFORM TO ASTM C-478. 5. THE CONTRACTOR SHALL TEST FLEXIBLE PIPING FOR DEFLECTION THAT PREVENTS PASSAGE OF BALL OR CYLINDER OF SIZE NOT LESS THAN 95 PERCENT OF PIPING DIAMETER. DEFLECTION OF 5% SHALL NOT BE EXCEEDED.
- 6. THE CONTRACTOR SHALL TEST SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PERFORM AIR TESTS ON SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH UNI-B-6. TEST PLASTIC GRAVITY SEWER PIPING ACCORDING TO ASTM F 1417 AND CONCRETE GRAVITY SEWER PIPING ACCORDING TO ASTM C-924.
- 7. THE CONTRACTOR SHALL PERFORM HYDRAULIC TEST IN MANHOLES ACCORDING TO ASTM C-969.

- 1. ALL BACK FLOW PREVENTION DEVICES SHALL BE APPROVED BY THE CITY'S UTILITY DEPARTMENT.
- 2. ALL FIRE SERVICE MAINS SHALL BE INSTALLED BY AN INDIVIDUAL WITH APPROPRIATE CERTIFICATION BY THE STATE OF OHIO.
- IN THOSE AREAS WHERE IT IS REQUIRED TO LOWER THE WATER LINE TO CLEAR AN OBSTACLE AND THE DEFLECTION WILL BE GREATER THAN 18", THE USE OF BENDS WILL BE REQUIRED TO CLEAR THE OBSTACLE AND BRING THE WATER MAIN UP TO THE STANDARD FIVE (5) FEET OF COVER.
- WATER MAIN SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH AWWA STANDARD C900 FOR POLYMNYL CHLORIDE (PVC) PRESSURE PIPE AND FABRICATED FITTINGS, 4-INCH, THROUGH 12-INCH, FOR WATER DISTRIBUTION, OR AWWA STANDARD C909 FOR MOLECULARLY ORIENTED POLYMNYL CHLORIDE (PVCO) PRESSURE PIPE, 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION AND CLEARLY MARKED AS SUCH. PVC WATER PIPE SHALL BE CERTIFIED TO NSF INTERNATIONAL STANDARD NO. 61.
- WATER METER AND BACKFLOW PREVENTER ARE INSTALLED WITHIN THE BUILDING. REFERENCE BUILDING PLANS FOR DETAIL.
- MINIMUM DEPTH OF WATER MAIN COVER SHALL BE FIVE (5) FEET BELOW FINISH

- 1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- 2. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER.
- 3. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER AT ALL CROSSINGS.
- 4. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER. 5. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT—TO—OUT CLEAR) WILL BE

BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.

MUNICIPALITY, AND STATE.

SITE MAINTENANCE & RESTORATION NOTES 1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION. POLLUTION, AND DUST CONTROL MEASURES THROUGHOUT THE ENTIRE

MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER AT ALL CROSSINGS.

- CONSTRUCTION PROJECT. REFERENCE THE SWPPP PLAN, NOTES AND DETAILS. MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF
- SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY. ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED
- ACCORDING TO THE CITY REQUIREMENTS. 4. ALL DISTURBANCE INCURRED TO CITY OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION
- OF THE CITY, LOCAL, AND/OR STATE DOT. 5. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, LOCAL

FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS

OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.

RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES,

DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE

FINAL SUBMITTAL DATE (REVISION #1) 11/30/2022

PROJECT NUMBER

SHEET TITLE

C001

GENERAL NOTES

21034

FINAL DEVELOPMENT PLANS

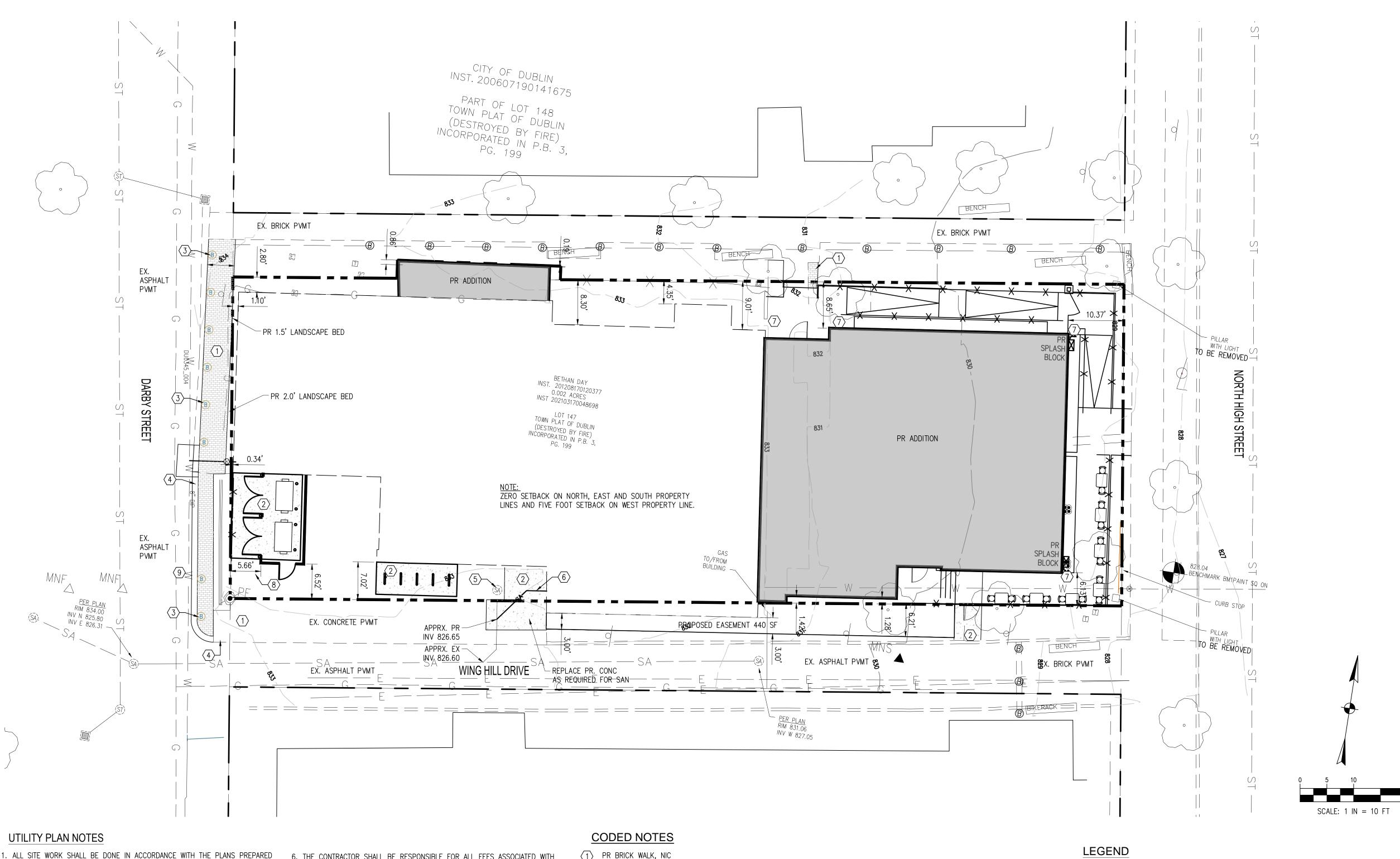
TUCCI'S RESTAURANT ADDITION 35 NORTH HIGH STREET DUBLIN, OH 43017



ARCHITECTURE 614.827.6000

6170 Riverside Drive

Dublin, OH 43017



- 1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY THE MANNIK & SMITH GROUP, INC., THE CURRENT REQUIREMENTS OF THE CITY OF DUBLIN, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- 2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- 4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OUPS AT 800-362-2764. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.

- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- 7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES.
- 8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- 9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE
- 10. CONDUIT LOCATIONS TO SIGNS AND SITE LIGHT POLES TO BE COORDINATED
- 11. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN ALL UTILITIES.
- 12. COMPACTED GRANULAR BACKFILL IS TO BE USED FOR WATER, SANITARY SERVICE, AND STORM SEWER WHEN WITHIN THE INFLUENCE OF PAVEMENT

- 1 PR BRICK WALK, NIC
- 2 PR CONCRETE PAVMENT
- PR BOLLARDS AT 7' O.C. PER CITY OF DUBLIN STANDARDS, NIC
- 4 PR FLUSH MOUNTABLE CURB, NIC
- (5) EX. SANITARY MANHOLE
- (6) PROPOSED 6" SANITARY SERVICE LINE 2.08% MIN SLOPE. REFER TO PLUMBING PLANS FOR CONNECTION
- 7> PROPOSED DOWNSPOUT. PROVIDE A SPLASH BLOCK AT EACH DOWNSPOUT
- (8) PROPOSED 6" DIP FIRE SUPPRESSION LINE
- 9 MAINTAIN MINIMUM 18" OF VERTICAL SEPARATION BETWEEN WATERLINE AND ALL UTILITIES. DEFLECT WATERLINE AS NEEDED.

EXISTING — EX SANITARY LINE — EX STORM LINE

---- EX COMM LINE

- EX ELECTRIC LINE EX GAS LINE — EX OVERHEAD LINE

EX SANITARY MANHOLE EX CATCH BASIN EX CURB INLET

EX STORM MANHOLE

EX WATER VALVE



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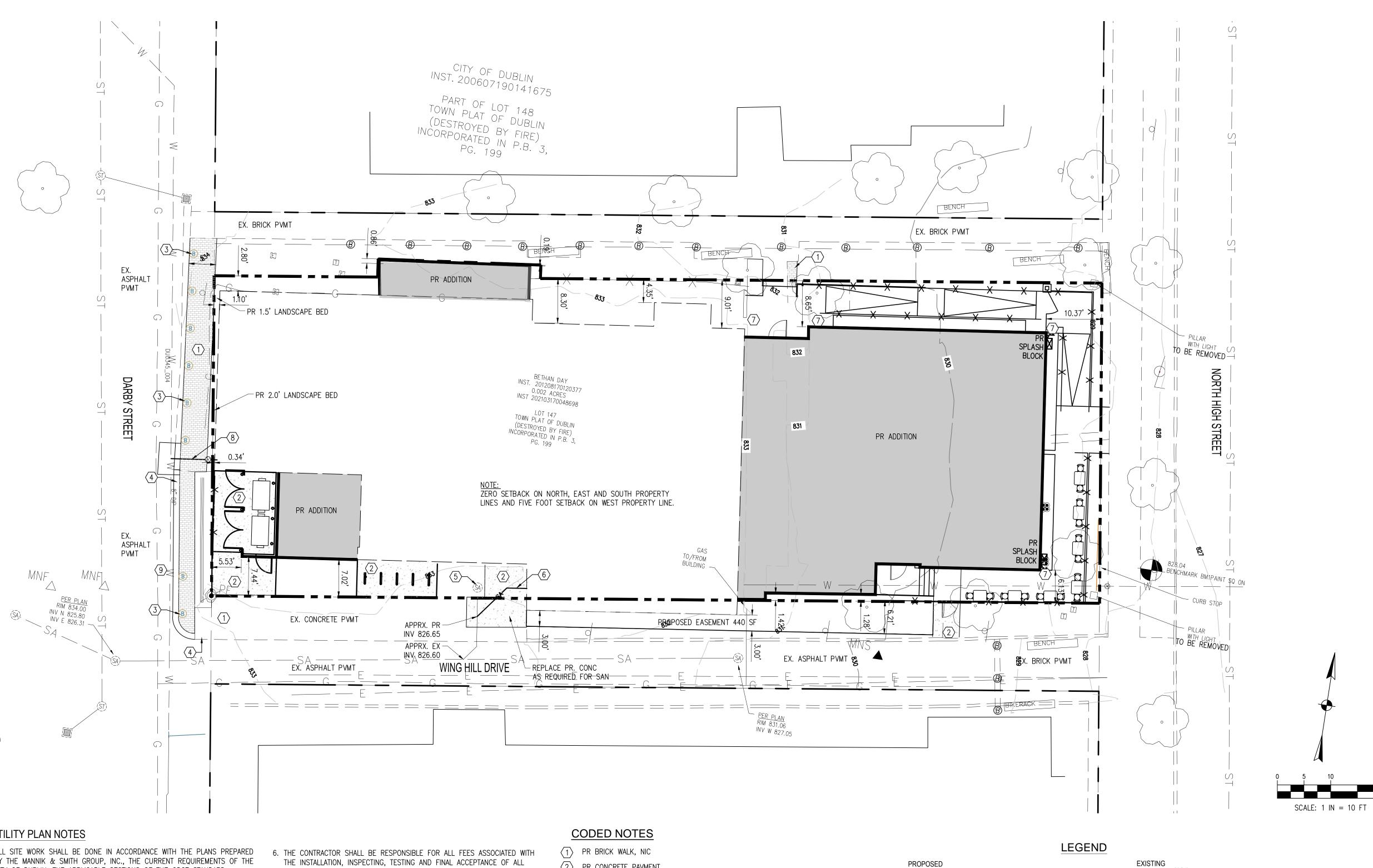
FINAL DEVELOPMENT PLANS - BASE PROPOSAL TUCCI'S RESTAURANT ADDITION 35 NORTH HIGH STREET DUBLIN, OH 43017

PROPOSED



FINAL SUBMITTAL DATE (REVISION #1) 11/30/2022 PROJECT NUMBER 21034 SHEET TITLE C100 SHEET NUMBER

UTILITY PLAN



UTILITY PLAN NOTES

- 1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY THE MANNIK & SMITH GROUP, INC., THE CURRENT REQUIREMENTS OF THE CITY OF DUBLIN, THE APPLICABLE SECTIONS OF THE ODOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
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- 4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY OUPS AT 800-362-2764. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.

- THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
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EXISTING — EX SANITARY LINE — EX STORM LINE

- EX OVERHEAD LINE

---- EX COMM LINE

EX WATER VALVE EX SANITARY MANHOLE EX CATCH BASIN - EX ELECTRIC LINE EX GAS LINE

EX CURB INLET EX STORM MANHOLE

ARCHITECTURE

FINAL DEVELOPMENT PLANS - ALTERNATIVE PROPOSAL

TUCCI'S RESTAURANT ADDITION 35 NORTH HIGH STREET DUBLIN, OH 43017



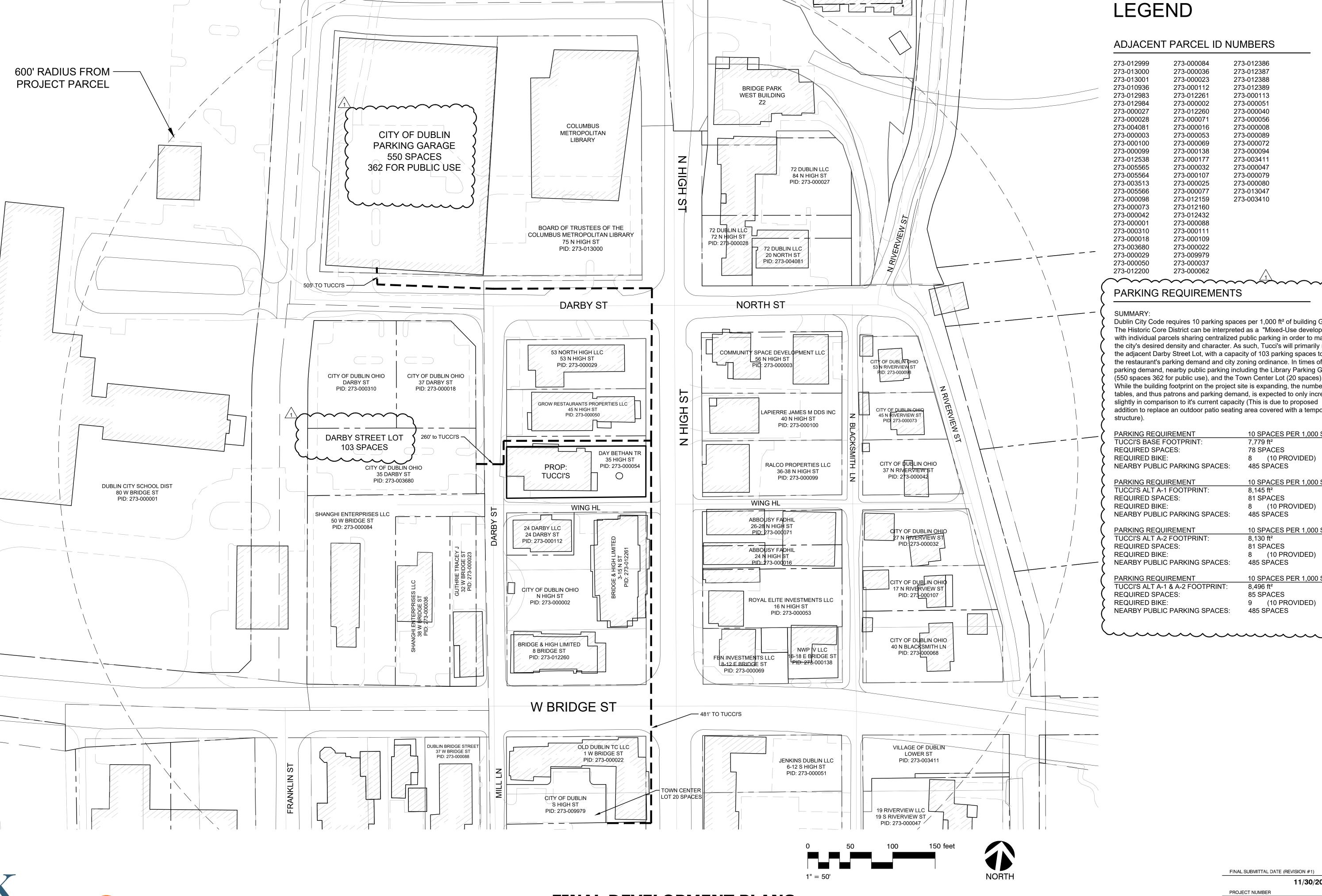
11/30/2022 PROJECT NUMBER 21034 SHEET TITLE

FINAL SUBMITTAL DATE (REVISION #1)

C101

UTILITY PLAN-ALT

614.827.6000





6170 Riverside Drive

Dublin, OH 43017







TUCCI'S RESTAURANT ADDITION

35 NORTH HIGH STREET DUBLIN, OH 43017



LEGEND

ADJACENT PARCEL ID NUMBERS

273-012999	273-000084	273-012386
273-013000	273-000036	273-012387
273-013001	273-000023	273-012388
273-010936	273-000112	273-012389
273-012983	273-012261	273-000113
273-012984	273-000002	273-000051
273-000027	273-012260	273-000040
273-000028	273-000071	273-000056
273-004081	273-000016	273-000008
273-000003	273-000053	273-000089
273-000100	273-000069	273-000072
273-000099	273-000138	273-000094
273-012538	273-000177	273-003411
273-005565	273-000032	273-000047
273-005564	273-000107	273-000079
273-003513	273-000025	273-000080
273-005566	273-000077	273-013047
273-000098	273-012159	273-003410
273-000073	273-012160	
273-000042	273-012432	
273-000001	273-000088	
273-000310	273-000111	
273-000018	273-000109	
273-003680	273-000022	
273-000029	273-009979	
273-000050	273-000037	
273-012200	273-000062	\bigwedge

PARKING REQUIREMENTS

Dublin City Code requires 10 parking spaces per 1,000 ft² of building G.F.A. The Historic Core District can be interpreted as a "Mixed-Use development" with individual parcels sharing centralized public parking in order to maintain the city's desired density and character. As such, Tucci's will primarily rely on the adjacent Darby Street Lot, with a capacity of 103 parking spaces to meet the restaurant's parking demand and city zoning ordinance. In times of high parking demand, nearby public parking including the Library Parking Garage (550 spaces 362 for public use), and the Town Center Lot (20 spaces). While the building footprint on the project site is expanding, the number of tables, and thus patrons and parking demand, is expected to only increase slightly in comparison to it's current capacity (This is due to proposed addition to replace an outdoor patio seating area covered with a temporary structure).

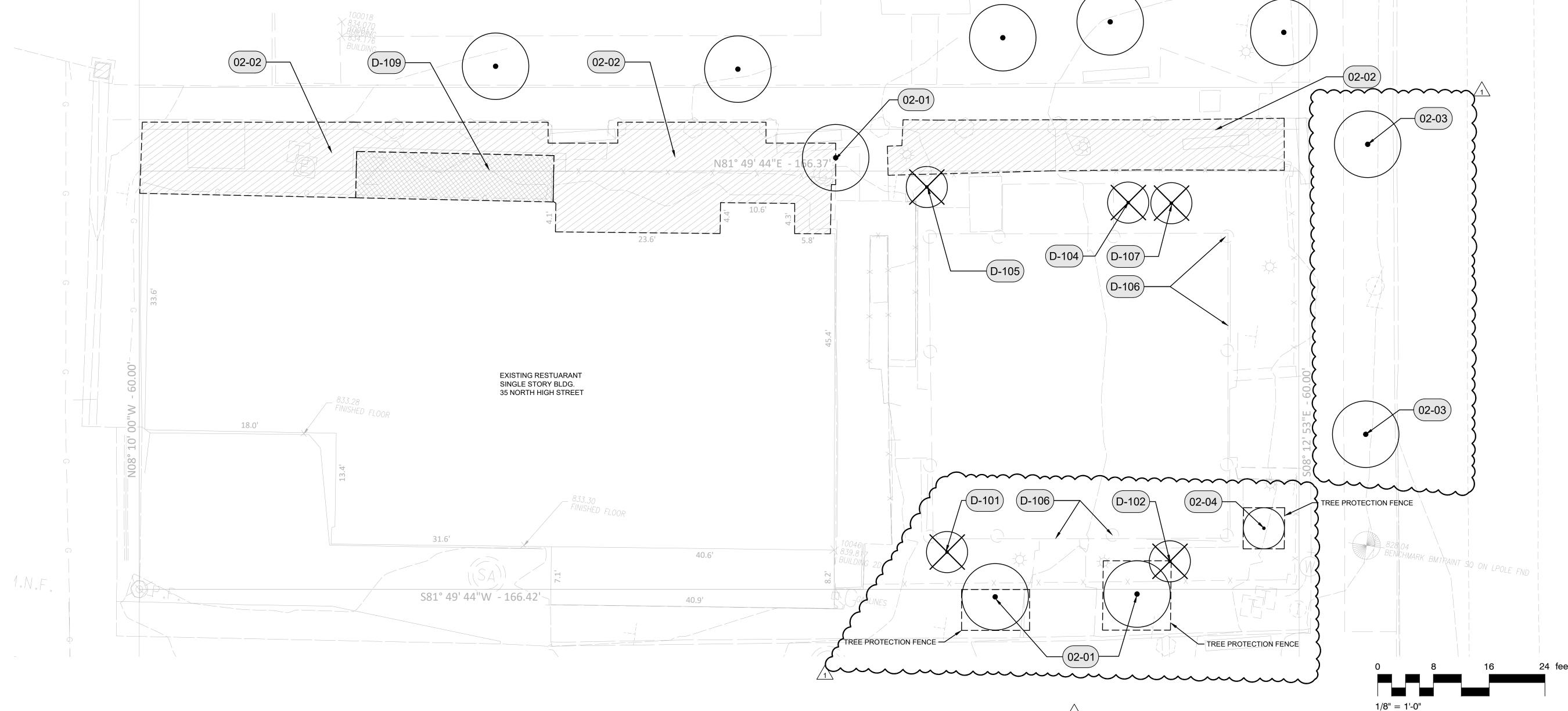
>	PARKING REQUIREMENT	10 SPACES PER 1,000 S.F.
>	TUCCI'S BASE FOOTPRINT:	7,779 ft ²
(REQUIRED SPACES:	78 SPACES
?	REQUIRED BIKE:	8 (10 PROVIDED)
>	NEARBY PUBLIC PARKING SPACES:	
>		
(PARKING REQUIREMENT	10 SPACES PER 1,000 S.F.
(TUCCI'S ALT A-1 FOOTPRINT:	8,145 ft²
>	REQUIRED SPACES:	81 SPACES
	REQUIRED BIKE:	8 (10 PROVIDED)
	NEARBY PUBLIC PARKING SPACES:	485 SPACES
>		
(PARKING REQUIREMENT	10 SPACES PER 1,000 S.F.
>	PARKING REQUIREMENT TUCCI'S ALT A-2 FOOTPRINT:	10 SPACES PER 1,000 S.F. 8,130 ft ²
(
	TUCCI'S ALT A-2 FOOTPRINT:	8,130 ft ²
	TUCCI'S ALT A-2 FOOTPRINT: REQUIRED SPACES:	8,130 ft ² 81 SPACES 8 (10 PROVIDED)
	TUCCI'S ALT A-2 FOOTPRINT: REQUIRED SPACES: REQUIRED BIKE:	8,130 ft ² 81 SPACES 8 (10 PROVIDED)
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	TUCCI'S ALT A-2 FOOTPRINT: REQUIRED SPACES: REQUIRED BIKE: NEARBY PUBLIC PARKING SPACES: PARKING REQUIREMENT	8,130 ft ² 81 SPACES 8 (10 PROVIDED) 485 SPACES 10 SPACES PER 1,000 S.F.
	TUCCI'S ALT A-2 FOOTPRINT: REQUIRED SPACES: REQUIRED BIKE: NEARBY PUBLIC PARKING SPACES: PARKING REQUIREMENT TUCCI'S ALT A-1 & A-2 FOOTPRINT:	8,130 ft ² 81 SPACES 8 (10 PROVIDED) 485 SPACES 10 SPACES PER 1,000 S.F. 8,496 ft ²
	TUCCI'S ALT A-2 FOOTPRINT: REQUIRED SPACES: REQUIRED BIKE: NEARBY PUBLIC PARKING SPACES: PARKING REQUIREMENT TUCCI'S ALT A-1 & A-2 FOOTPRINT: REQUIRED SPACES:	8,130 ft ² 81 SPACES 8 (10 PROVIDED) 485 SPACES 10 SPACES PER 1,000 S.F. 8,496 ft ² 85 SPACES 9 (10 PROVIDED)

FINAL SUBMITTAL DATE (REVISION #1) 11/30/2022 PROJECT NUMBER

21034 SHEET TITLE

SITE AND PARKING SHEET NUMBER

L-1.0



REFERENCE NOTES SCHEDULE	
KELEKEINOE INO LEO OOUEDULE	•

3" DBH Hornbeam to be removed.

Temporary structure to be removed.

Landscaping to be removed for building addition.

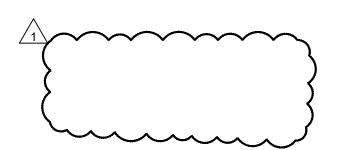
6" DBH Lilac to be removed.

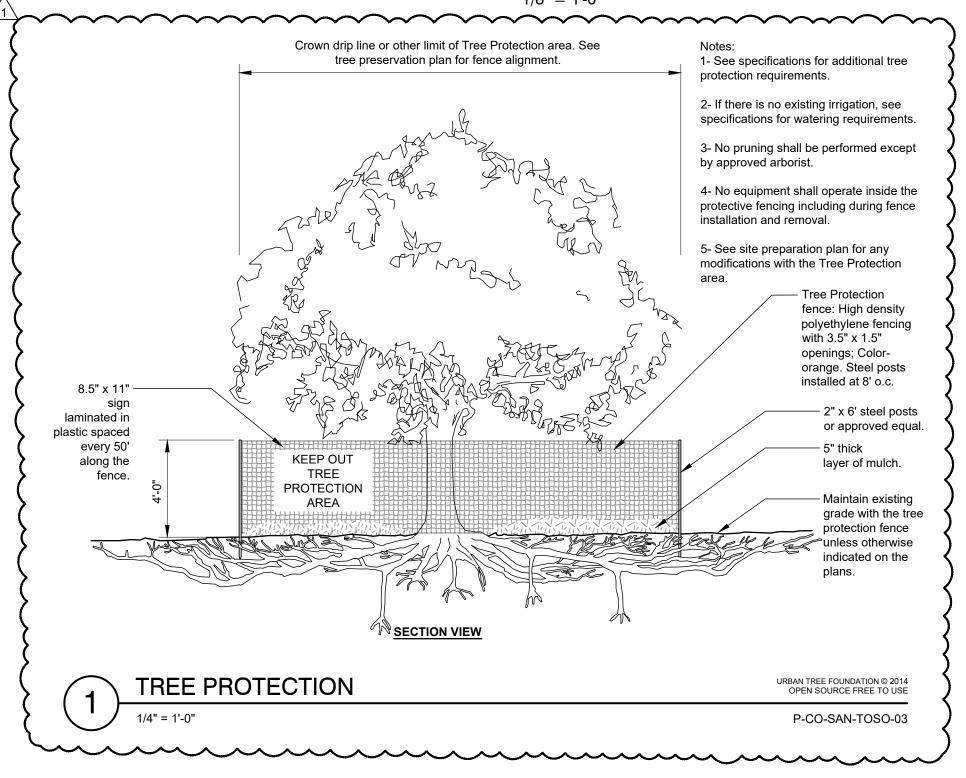
$/\!\!\!\! \setminus$		TENOL NOTEO CONEDULE		
(SYMBOL	02 EXISTING CONDITIONS DESCRIPTION	QTY	DETAIL
(02-01	Existing Tree to be preserved and protected during construction.		1/L-1.1
	(02-02)	Existing Landscaping to be preserved. Any plant material damaged in construction to be replaced with stock in equal or healthier condition than the original.		}
	02-03	Ex. street tree.		}
i	02-04	9" DBH Lilac to be preserved with base bid. If alternate 1 is chosen tree to be removed.		1/L-1.1
į	SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	QTY	DETAIL }
	32-01	1-Loop wave style bike rack. ULINE. 2 3/8" dia. 10 Guage Steel with black powder coat finish.		\
	32-02	Ritter ProGrass honeycomb lawn protection. Seed to match existing turf.		}
	SYMBOL	DEMOLITION DESCRIPTION	QTY	DETAIL
	D-101	6" DBH Lilac to be removed.		
	D-102	8" DBH Lilac to be removed.		
	D-104	4" DBH Lilac to be removed.		

TREE REPLACEMENT REQUIREMENTS

FROM SECTION 153.146 OF DUBLIN CITY ZONING ORDINANCE.

- (A) Replacement trees. The total number of caliper inches of replacement trees for a site shall equal or exceed the combined diameter of the protected tree(s) removed. All replacement trees should be of a deciduous species which is indigenous to the region and shall be made with new trees of not less than two and one-half inches caliper. Replacements shall be made within one year of the date of the removal of any trees for which such replacement is required. All replacement trees shall otherwise conform to § 153.135(C) of the Landscape Code.
- --- Sum total diamter of all trees to be removed equals 29"
- (B) Replacement fee. In the event the Planning Director or designee determines that full replacement would result in the unreasonable crowding of trees upon the lot, a fee equivalent to the cost of the excess aggregate caliper shall be paid into the city's general fund to be used for reforestation on public property. The fees collected under this section shall be deposited with the Department of Finance to the credit of the general fund. The fees required to be paid by this section shall be used solely for the planting of trees on publicly owned property. The municipality shall expend additional funds for tree removal and/or tree pruning from other funds. This fee shall be reviewed annually as part of the Fee and Service Charge Revenue/Cost Comparison System.







D-106 D-107

☐ 614.827.6000
☐ 6170 Riverside Drive
☐ Dublin, OH 43017





FINAL DEVELOPMENT PLANS TUCCI'S RESTAURANT ADDITION

35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)

11/30/2022

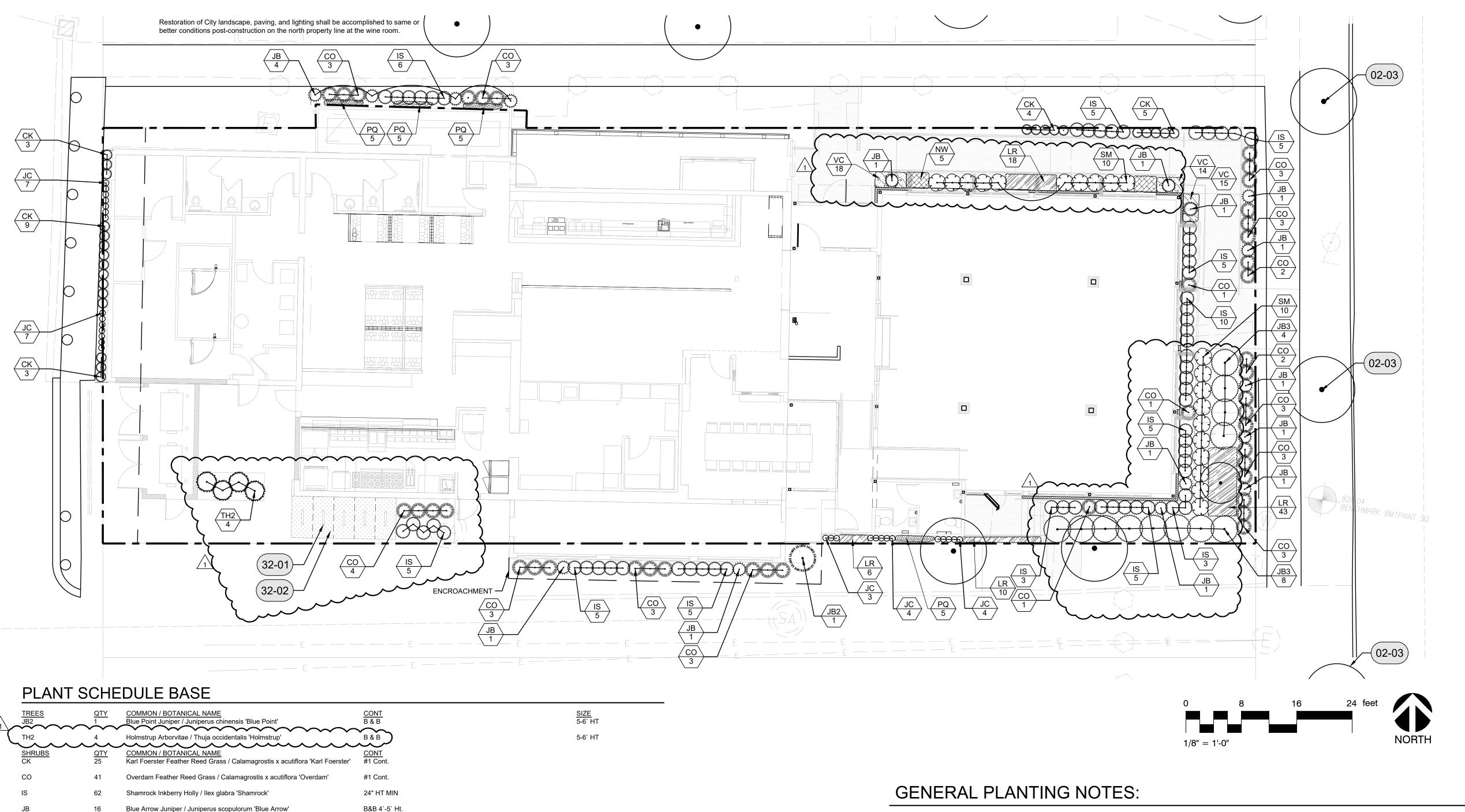
PROJECT NUMBER

21034

SHEET TITLE

EXISTING CONDITIONS
SHEET NUMBER

L-1.



GENERAL NOTES:

- SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN IT CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, UTILITIES, EASEMENTS OR FIELD GATHERED DATA.
- 2. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL INCLUDE FOR PAYMENT THE COSTS OF REMOVAL AND DISPOSAL OF ALL TREES, BRUSH AND STUMPS WITHIN THE SCOPE OF PROPOSED
- 4. LOCATION, SUPPORT PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS
- 5. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 6. CONTRACTOR SHALL CALL UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOT REMOVE ANY TREES, SHRUBS, OR OTHER LANDSCAPE FEATURES NOT IDENTIFIED FOR REMOVAL WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNER.
- 8. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS AT ALL TIMES.
- 9. ALL DIMENSIONS AND WALL RADII ARE TAKEN TO FACE OF CURB OR WALL, UNLESS OTHERWISE NOTED.
- 10. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY OWNERS REP OF ANY DISCREPANCIES.
- 11. ALL CONCRETE WORK TO RECEIVE CONTROL JOINTS AT 5' O.C., AND EXPANSION JOINTS AT 30' O.C. MAXIMUM, WITH LIGHT BROOM FINISH UNLESS OTHERWISE NOTED ON PLANS.

- 1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLAN-IT STUDIOS CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF LEGAL BOUNDARIES, EASEMENTS OR FIELD GATHERED DATA.
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- 3. ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- 4. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
- 5. ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- 6. CONSULT PLANT SCHEDULE FOR PLANT SIZES AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS DRAWN ON PLANS. PLANT LIST QUANTITIES ARE FOR CONVENIENCE ONLY.

- 7. ALL PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-2014) IN REGARDS TO SIZING, GROWING AND B&B SPECIFICATIONS.
- 8. ALL PROPOSED PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 6", ADDITIONAL AMENDMENTS TO BE ADDED PER SOILS REPORT.
- 9. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL
- 10. PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-8 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE AND TO BE AMENDED WITH ORGANIC SOIL CONDITIONER.
- 11. IN AREAS WHERE BEDROCK OR HEAVILY COMPACTED ROCK FILL IS ENCOUNTERED, THE PLANTING HOLES ARE TO BE DUG TO A MINIMUM OF THREE TIMES THE WIDTH AND ONE FOOT DEEPER THAN THE SIZE OF THE ROOT BALL. NOTIFY LANDSCAPE ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
- 12. CONTRACTOR TO PROVIDE A FULL 1 YEAR GUARANTEE ON ALL PLANTS INSTALLED AND PROVIDE COMPLETE MAINTENANCE ON ALL WORK DONE BEGINNING ON THE DAY OF APPROVAL FROM OWNER'S REPRESENTATIVE AND CONTINUING FOR A THREE MONTH DURATION AT WHICH TIME OWNER'S REPRESENTATIVE WILL DECLARE JOB ACCEPTANCE.

- 13. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- 14. ALL SHRUBS AND GROUND COVER BEDS (EXISTING AND NEW), PLANTING BEDS, AND SHRUB MASSES SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- 15. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAT 1 INCH IN DIAMETER PRIOR TO LAYING SOD OR SEEDING.
- 16. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED. (SEE LANDSCAPE PLANS). SEEDING OR SODDING BY LANDSCAPE CONTRACTOR
- 17. IF APPLICABLE LANDSCAPE CONTRACTOR TO COORDINATE WITH EXISTING OR PROPOSED IRRIGATION SYSTEM. IF PROPOSED IRRIGATION SYSTEM COORDINATE WITH IRRIGATION CONTRACTOR AND INSTALLATION OF SYSTEM

ARCHITECTURE 614.827.6000

6170 Riverside Drive

Dublin, OH 43017

02-03

32-01



REFERENCE NOTES SCHEDULE BASE

1-Loop wave style bike rack. ULINE. 2 3/8" dia. 10 Guage Steel with

Ritter ProGrass honeycomb lawn protection. Seed to match existing turf.

Blue Chip Juniper / Juniperus horizontalis 'Blue Chip'

JC 27 Pencil Point Common Juniper / Juniperus communis 'Pencil Point' B&B 4`-5` I

GROUND COVERS CODE QTY

NW

PQ 20

VC 47

Ex. street tree.

black powder coat finish.

Dakota Goldcharm® Japanese Spirea / Spiraea japonica 'Mertyann'

5 gal

QTY DETAIL

QTY DETAIL

B&B 4`-5` Ht.

Royal Purple Lilyturf / Liriope muscari `Royal Purple

Walker's Low Catmint / Nepeta x 'Walker's Low

Virgina Creeper / Parthenocissus quinquefolia

Elevations for final placement.

Common Periwinkle / Vinca minor

Plants to be trained to climb stainless steel trellis system. See Arch

4" pot

#1 Cont.

12" o.c.

16" o.c.

12" o.c.

8" o.c.



FINAL DEVELOPMENT PLANS - BASE PROPOSAL **TUCCI'S RESTAURANT ADDITION** 35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1) 11/30/2022 PROJECT NUMBER 21034 SHEET TITLE LANDSCAPE PLAN

SHEET NUMBER

DEMO CODED NOTES

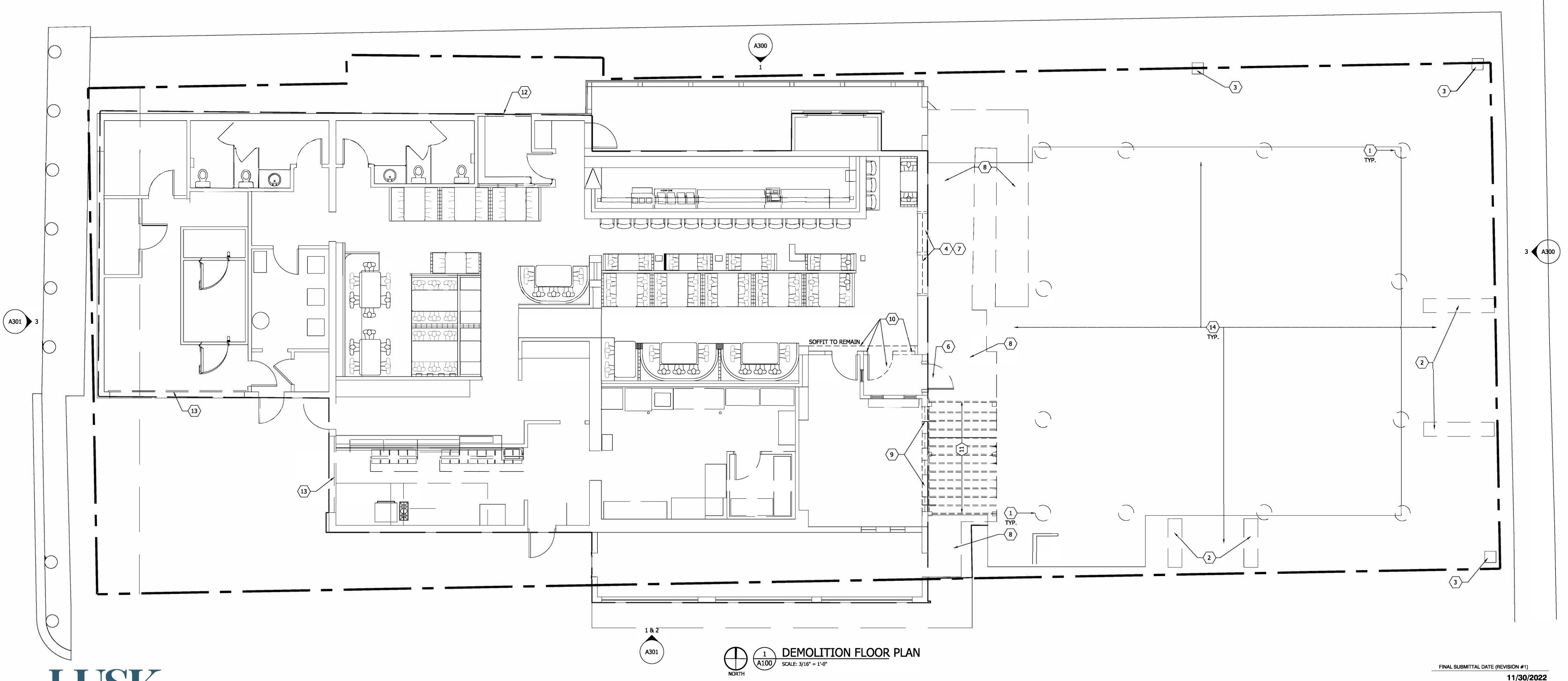
- 1. ALL EXISTING ROUND CONCRETE COLUMNS TO BE CUT OUT JUST BELOW FINISH GRADE, FOR NEW FOUNDATIONS. SEE
- 2. INDICATES BRICK WING WALLS, WITH LIMESTONE CAP TO BE REMOVED ENTIRELY DOWN JUST BELOW GRADE.
- 3. EXISTING BRICK COLUMNS WITH LIMESTONE CAP TO BE REMOVED ENTIRELY DOWN JUST BELOW GRADE.
- 4. EXISTING WINDOWS AND BRICK SOLDIER COURSE TO BE REMOVED DOWN TO CONCRETE, AND PREPPED FOR NEW CASED OPENING. SEE STRUCTURAL FOR NEW HEADER SIZE.
- 5. EXISTING DOOR(S), FRAME AND HARDWARE TO BE REMOVED AND SALVAGED. PREPARE EXISTING OPENING FOR IN-FILL CONSTRUCTION, IF APPLICABLE. REFER TO CONSTRUCTION PLAN.
- 6. EXISTING DOOR AND HARDWARE TO BE REMOVED AND SALVAGED. PATCH AND REPAIR AS REQUIRED.
- 7. CREATE NEW CASED OPENING, PATCH AND REPAIR EXISTING CONSTRUCTION AS REQUIRED. PROVIDE HEADER, MATCH EXISTING CONSTRUCTION. REFER TO CONSTRUCTION PLAN AND STRUCTURAL FOR HEADER SIZE.

8. ALL CONCRETE RAMPS, PADS AND RAILINGS TO BE DEMOLISHED.

- 9. EXISTING WALL, WINDOWS AND BRICK TO BE REMOVED AND BEAM ADDED ABOVE FOR PRIVATE DINING ROOM EXPANSION. REFER TO CONSTRUCTION PLAN FOR NEW WORK.
- 10. EXISTING DOOR AND HARDWARE TO BE REMOVED AND SALVAGED. INFILL WALL FRAMING TO BE REMOVED TO CREATE A CASED OPENING, SOFFIT ABOVE TO REMAIN. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING INTERIOR FINISH
- 11. EXISTING PERGOLA TO BE REMOVED IN ITS ENTIRETY AND TURNED OVER TO OWNER IF SALVAGEABLE.
- 12. THIS PORTION OF EXIST. EXTERIOR WALL TO BE REMOVED TO CREATE NEW OPENING FOR WINE ROOM EXPANSION. PATCH AND REPAIR EXPOSED WALL AND FLOOR AS REQUIRED.
- 13. EXISTING GARAGE DOORS TO BE REMOVED FOR INFILL CMU. INTERIOR FINISH SIDE TO MATCH EXISTING.
- 14. ALL BRICK PAVERS IN EXISTING PATIO AREA TO BE REMOVED IF THEY ARE NOT ON A COMPACTED SAND BED, TYPICAL.

DEMO GENERAL NOTES

- 1. ALL EXIT SIGNS, EMERGENCY FLOOD LIGHTS, FIRE EXTINGUISHERS, AND LIFE SAFETY ITEMS TO BE SALVAGED AND RETURNED TO ORIGINAL LOCATION, UNLESS NOTED OTHERWISE.
- 2. ALL EXISTING CONSTRUCTION AND ITEMS TO REMAIN TO BE PROTECTED DURING CONSTRUCTION. PATCH AND REPAIR AS
- 3. REFER TO PLUMBING SHEETS FOR TRENCHING OR CORE DRILLING REQUIRED FOR NEW PLUMBING FIXTURES.
- 4. CONFIRM STORAGE OR DISPOSAL OF ALL WALL MOUNTED ITEMS, MILLWORK, CASEWORK, AND DISPLAY FIXTURES WITH OWNER.



614.827.6000 6170 Riverside Drive Dublin, OH 43017



FINAL DEVELOPMENT PLANS

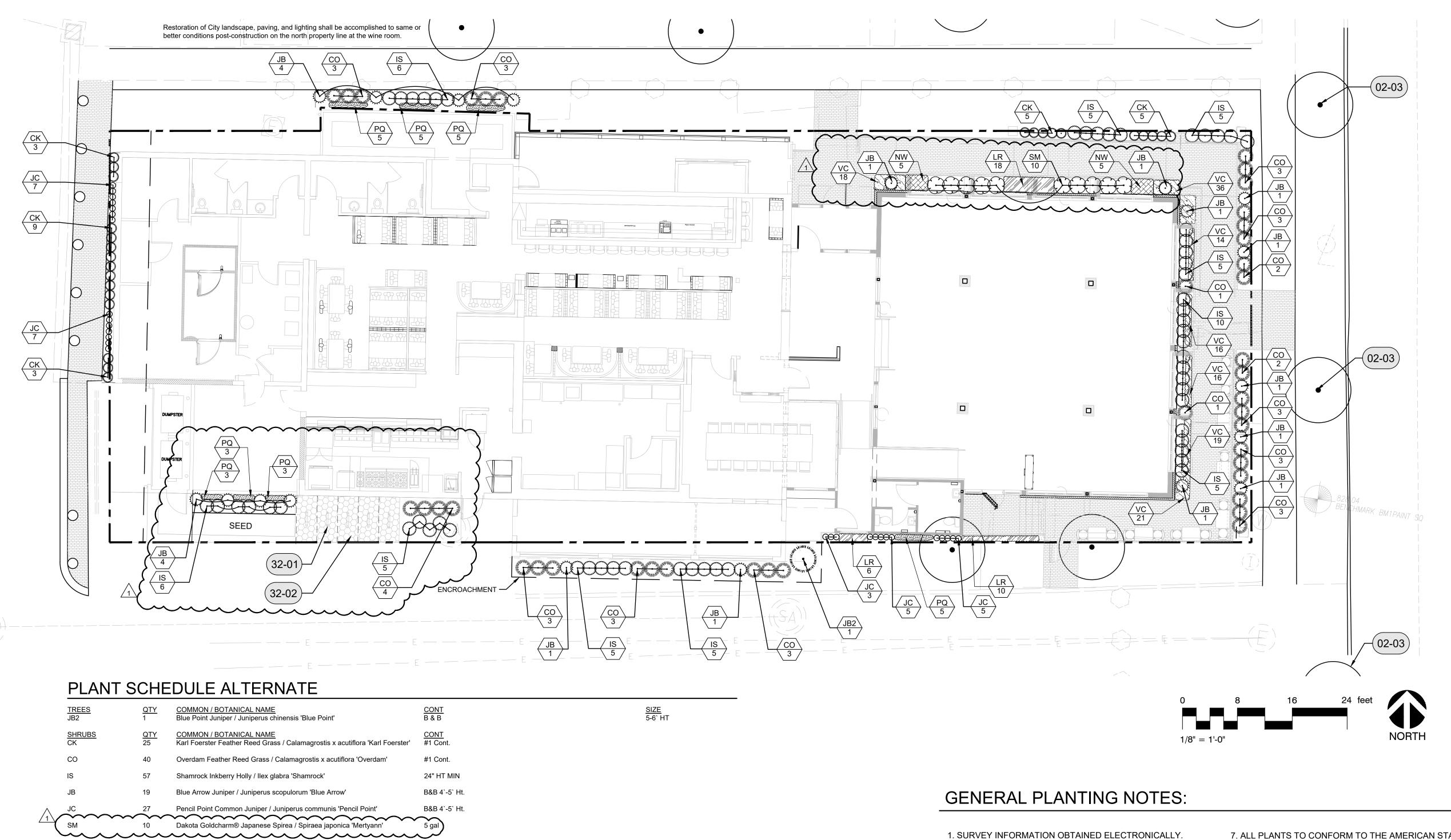
TUCCI'S RESTAURANT ADDITION 35 NORTH HIGH STREET DUBLIN, OH 43017



21034 SHEET TITLE

DEMOLITION FLOOR PLAN





<u>CONT</u>

4" pot

1 Gal

Flat P.P.

16" o.c.

12" o.c.

8" o.c.

GENERAL NOTES:

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- 2. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- 3. THE CONTRACTOR SHALL INCLUDE FOR PAYMENT THE COSTS OF REMOVAL AND DISPOSAL OF ALL TREES, BRUSH AND STUMPS WITHIN THE SCOPE OF PROPOSED WORK.
- 4. LOCATION, SUPPORT PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.
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- 17. IF APPLICABLE LANDSCAPE CONTRACTOR TO COORDINATE WITH EXISTING OR PROPOSED IRRIGATION SYSTEM. IF PROPOSED IRRIGATION SYSTEM COORDINATE WITH IRRIGATION CONTRACTOR AND INSTALLATION OF SYSTEM.

ARCHITECTURE

614.827.6000

6170 Riverside Drive

Dublin, OH 43017

GROUND COVERS CODE QTY

PQ 29

02 EXISTING CONDITIONS

32 EXTERIOR IMPROVEMENTS

black powder coat finish.

DESCRIPTION

Ex. street tree.

<u>SYMBOL</u>

02-03

<u>SYMBOL</u>

141



1-Loop wave style bike rack. ULINE. 2 3/8" dia. 10 Guage Steel with

Ritter ProGrass honeycomb lawn protection. Seed to match existing turf.

REFERENCE NOTES SCHEDULE ALTERNATE



Royal Purple Lilyturf / Liriope muscari `Royal Purple

Walker's Low Catmint / Nepeta x 'Walker's Low'

Virgina Creeper / Parthenocissus quinquefolia

Elevations for final placement.

QTY DETAIL

QTY DETAIL

Common Periwinkle / Vinca minor

Plants to be trained to climb stainless steel trellis system. See Arch

FINAL DEVELOPMENT PLANS - ALTERNATE PROPOSAL TUCCI'S RESTAURANT ADDITION

TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



TINAL SUBMITTAL DATE

11/30/2022

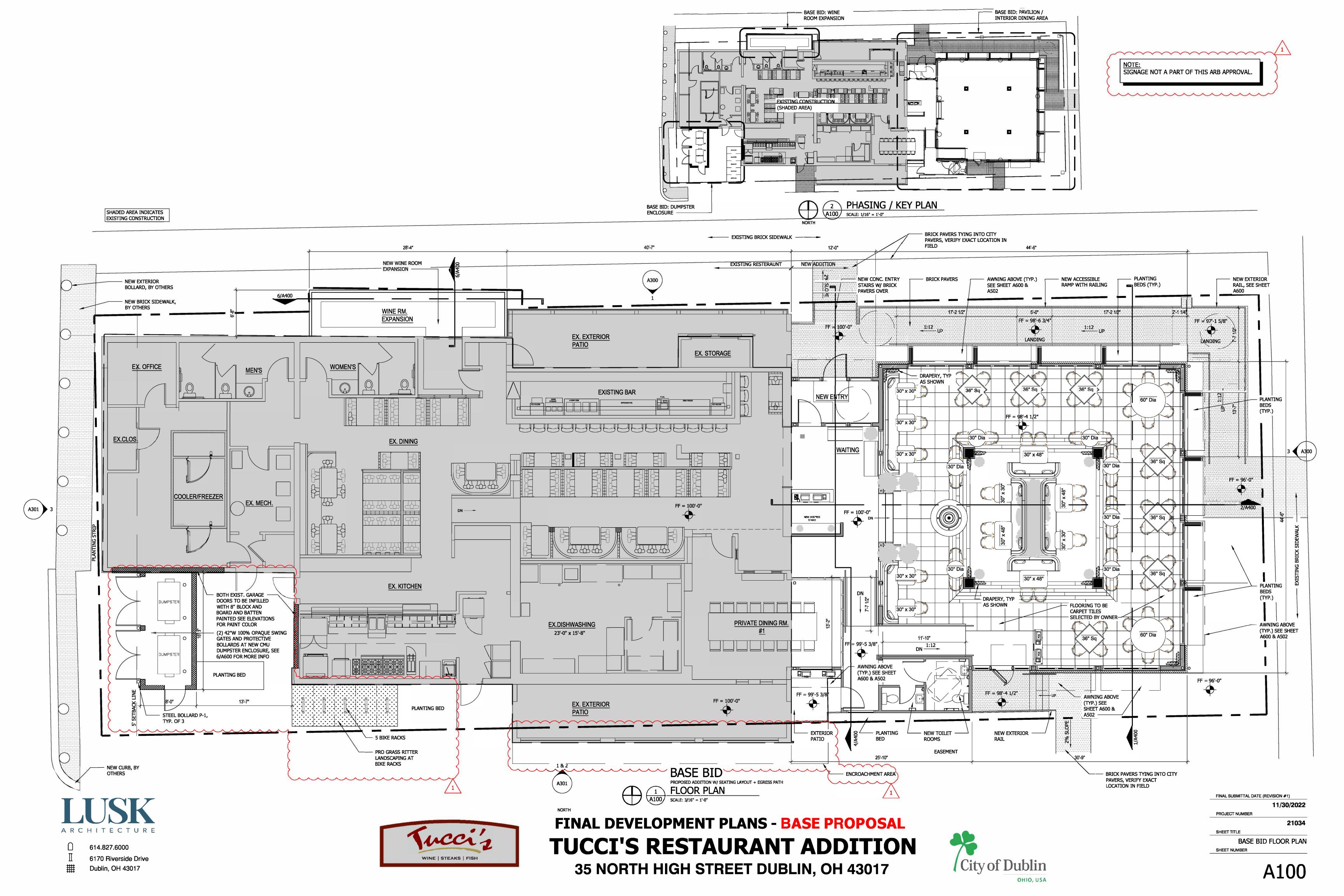
PROJECT NUMBER

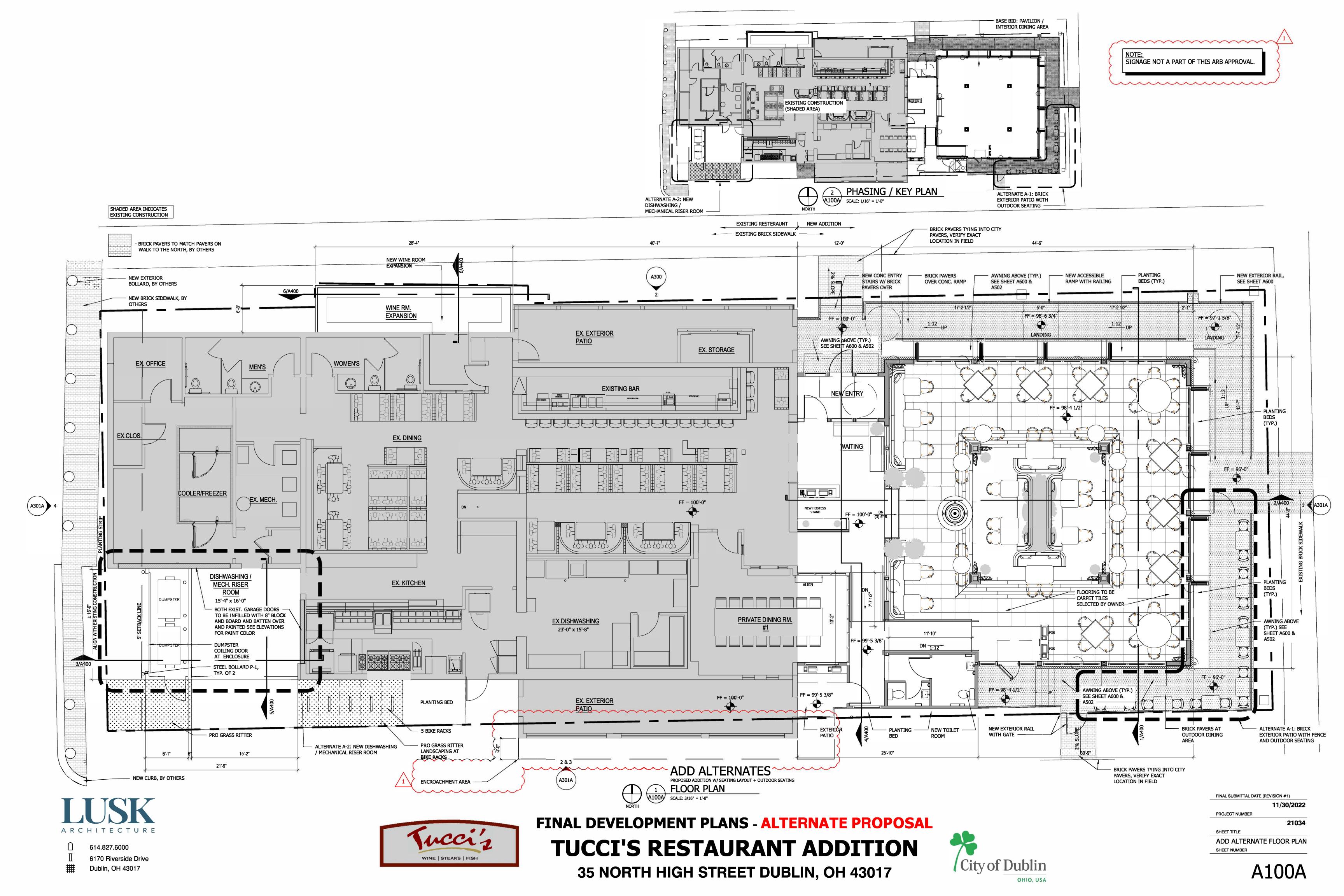
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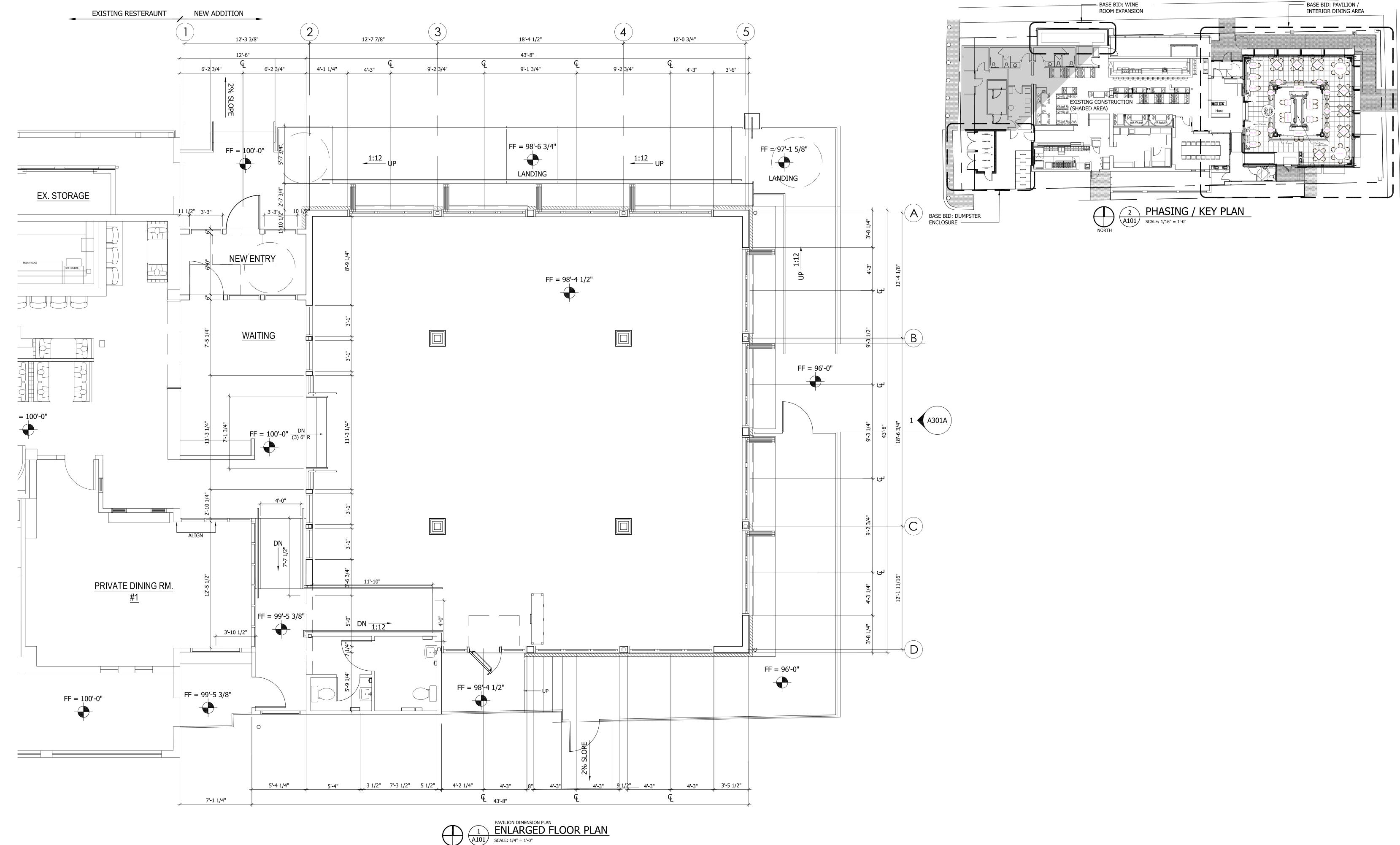
SHEET TITLE

LANDSCAPE PLAN
ALTERNATE ONE

L-1.









6170 Riverside Drive

Dublin, OH 43017



FINAL DEVELOPMENT PLANS

TUCCI'S RESTAURANT ADDITION

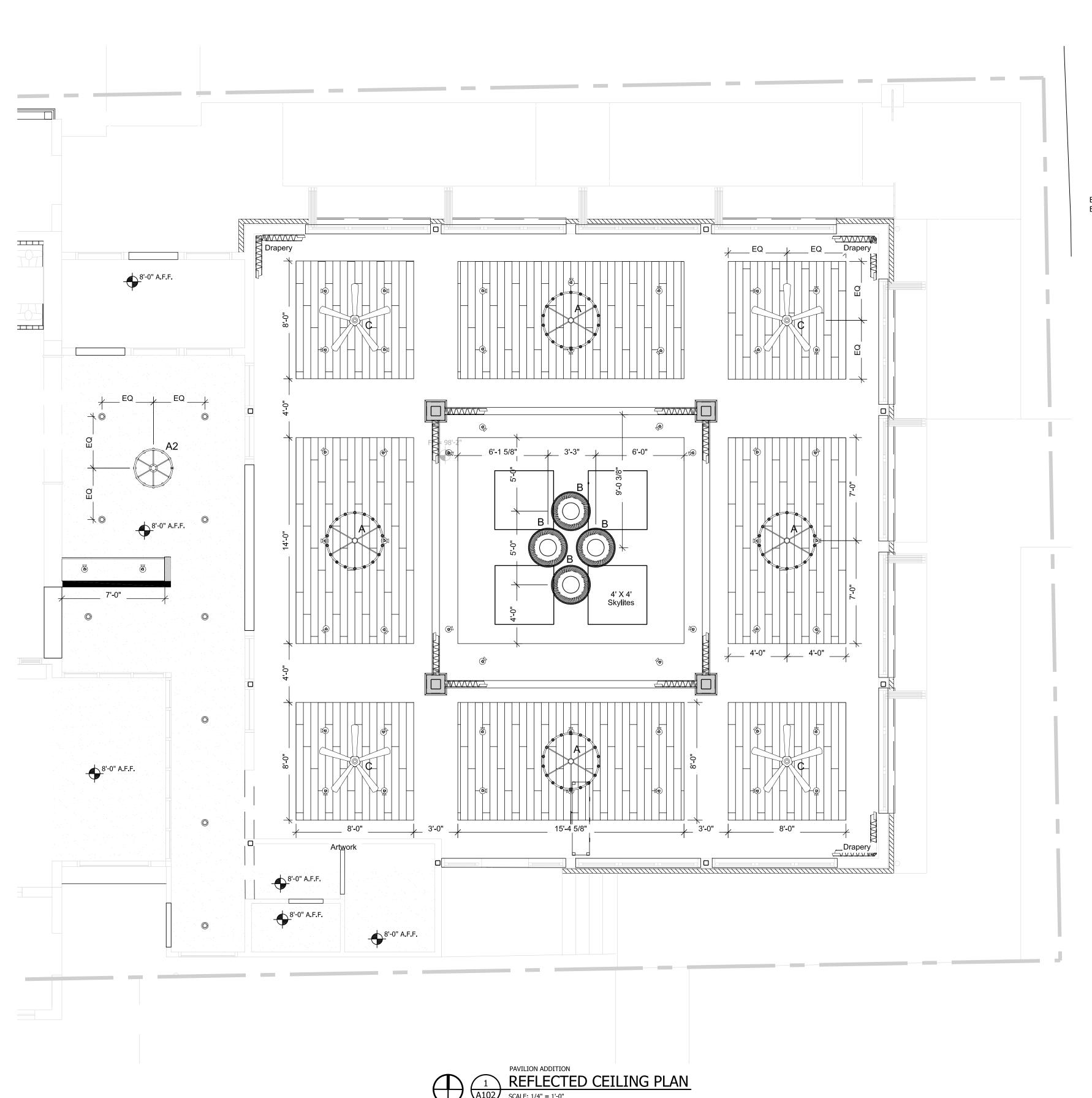
35 NORTH HIGH STREET DUBLIN, OH 43017

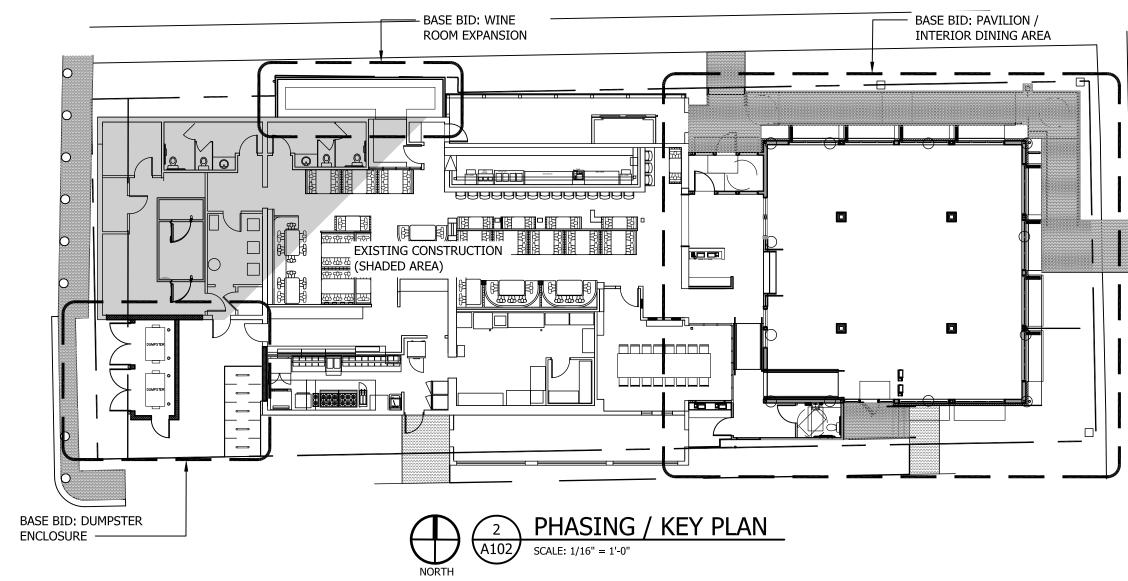


PROJECT NUMBER

21034
SHEET TITLE

ENLARGED FLOOR PLAN
SHEET NUMBER







Dublin, OH 43017



FINAL DEVELOPMENT PLANS

TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)

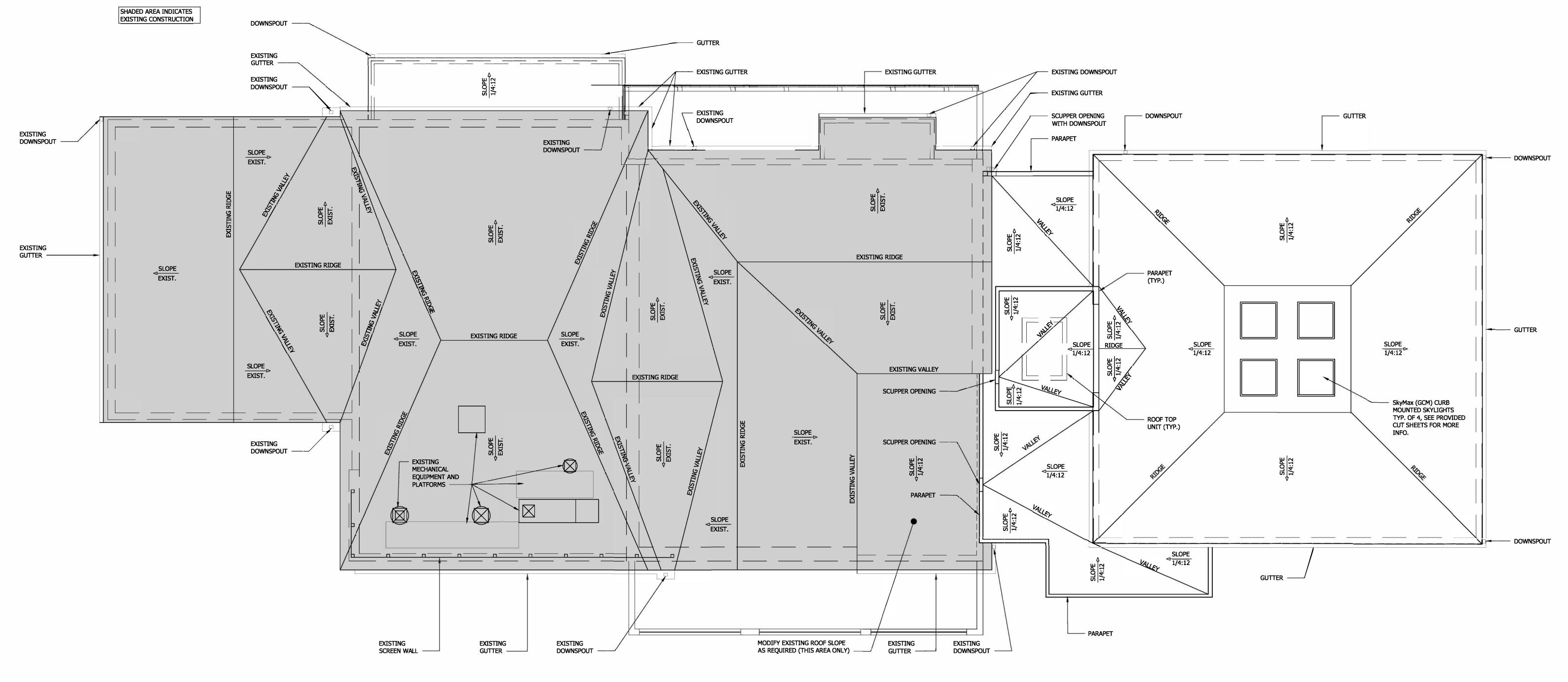
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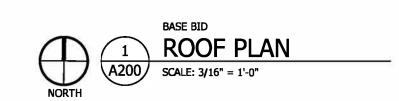
PROJECT NUMBER

21034

SHEET TITLE

REFLECTED CEILING PLAN
SHEET NUMBER









TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)

11/30/2022

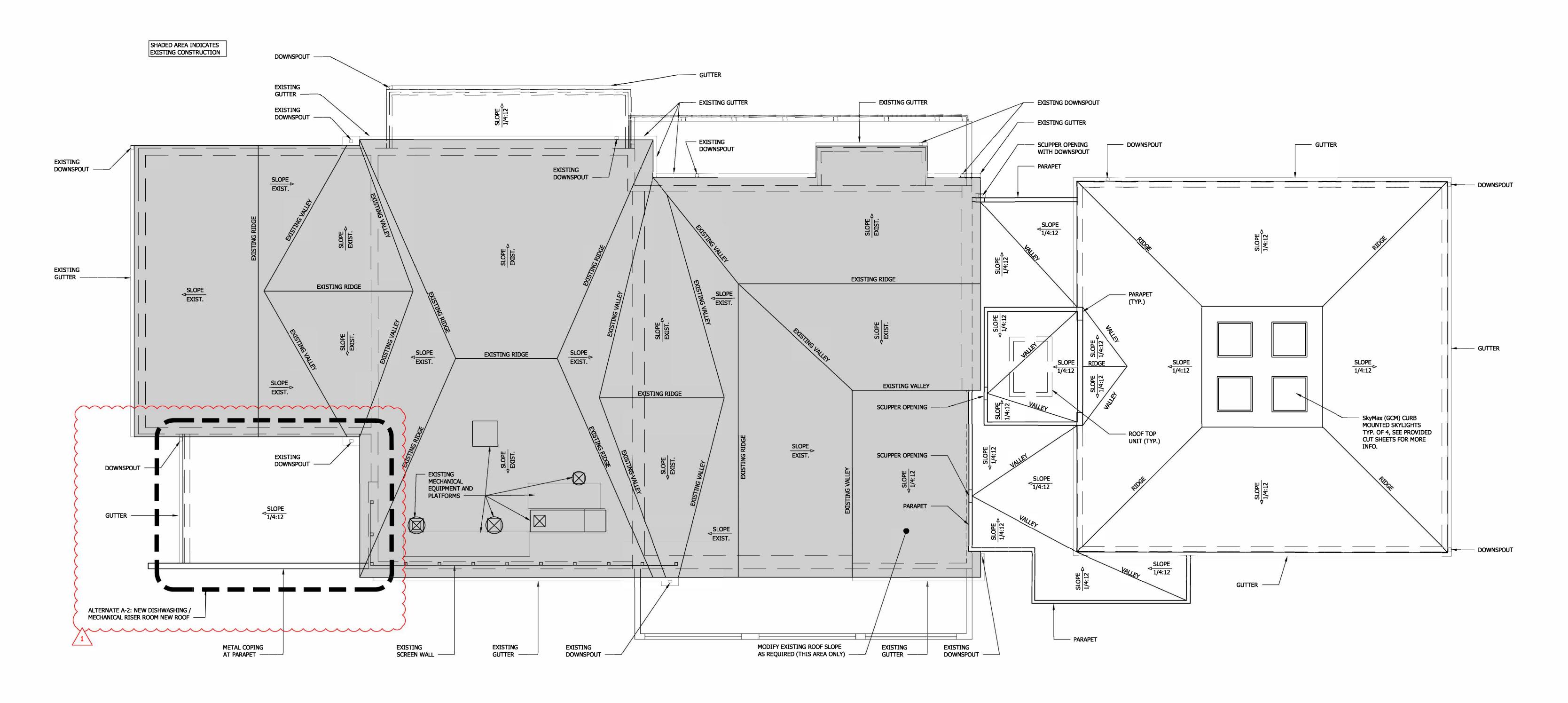
PROJECT NUMBER

21034

SHEET TITLE

BASE BID ROOF PLAN

SHEET NUMBER









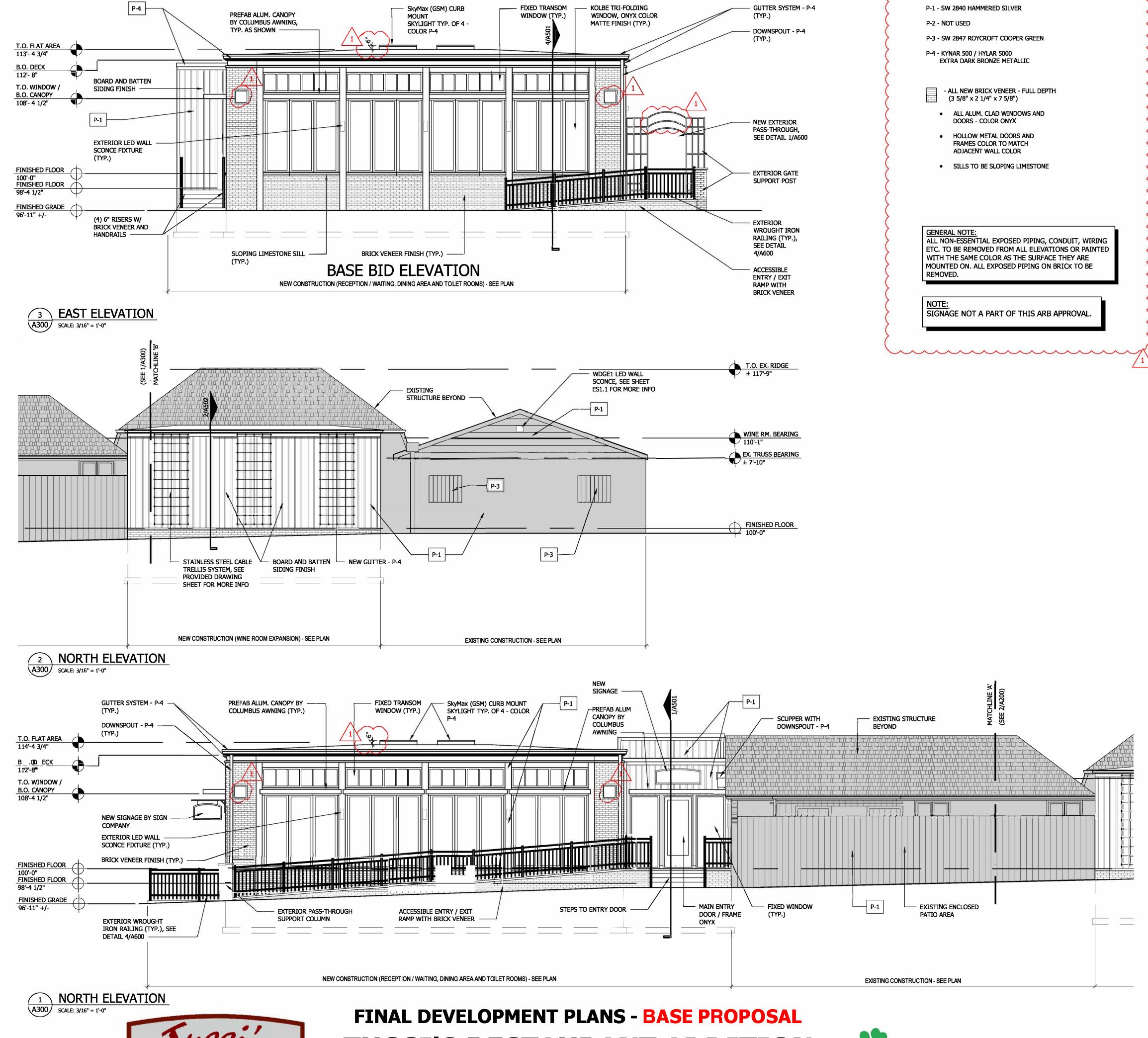
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35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1) 11/30/2022 PROJECT NUMBER 21034 SHEET TITLE ADD ALTERNATE ROOF PLAN SHEET NUMBER

A200A





TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINISH LEGEND

FINAL SUBMITTAL DATE (REVISION #1)

11/30/2022

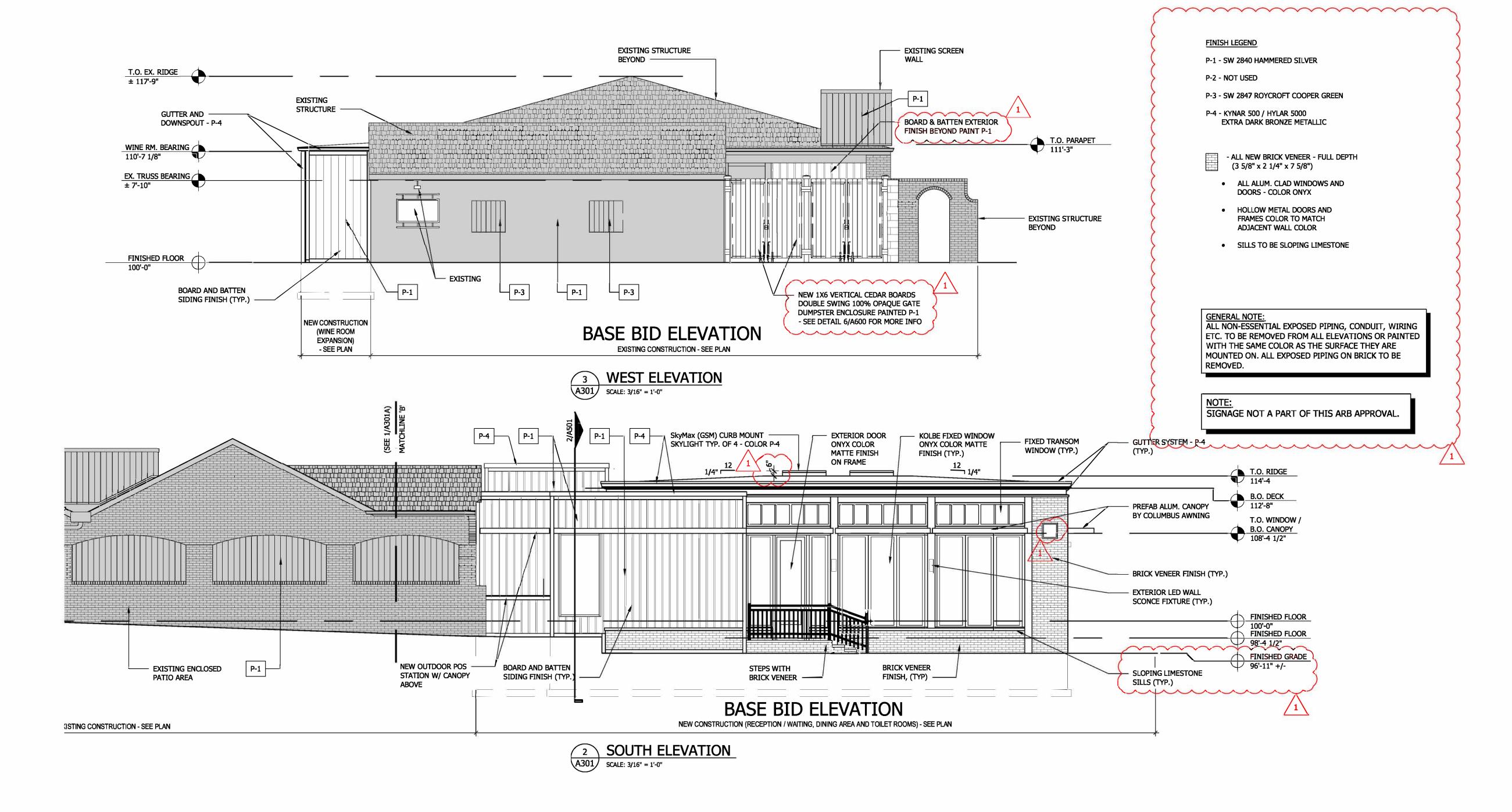
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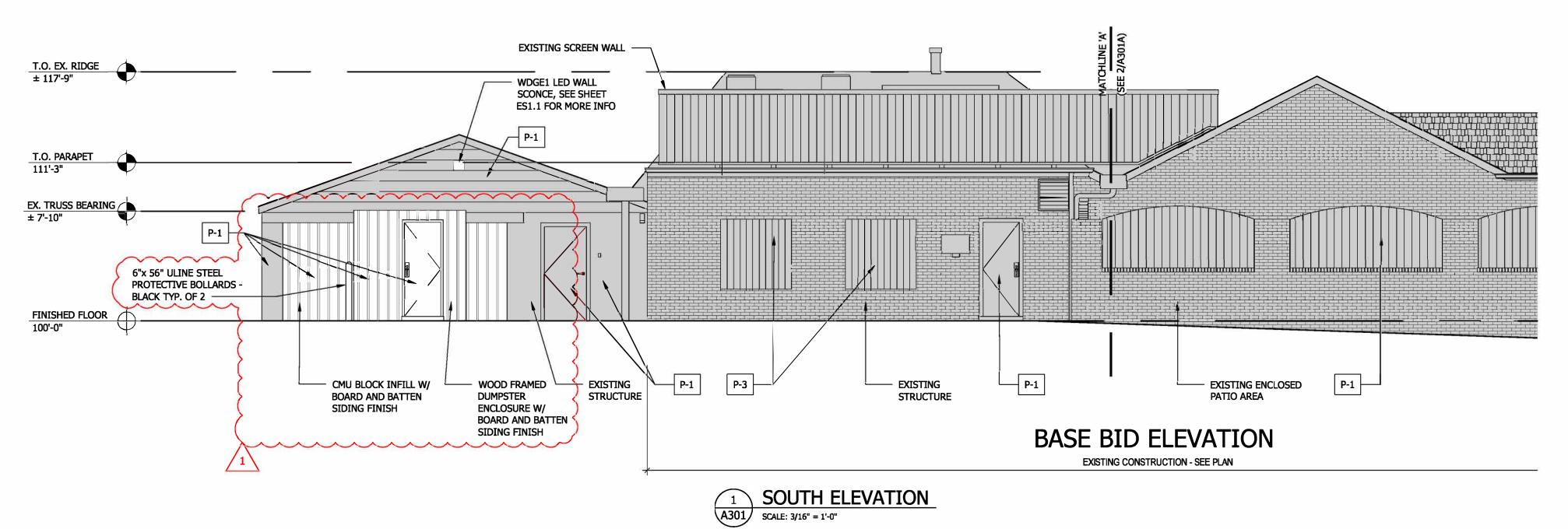
21034

SHEET TITLE

BASE EXTERIOR ELEVATIONS

SHEET NUMBER









FINAL DEVELOPMENT PLANS - BASE PROPOSAL
TUCCT'S RESTAURANT ADDITION

TUCCI'S RESTAURANT ADDITION
35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)

11/30/2022

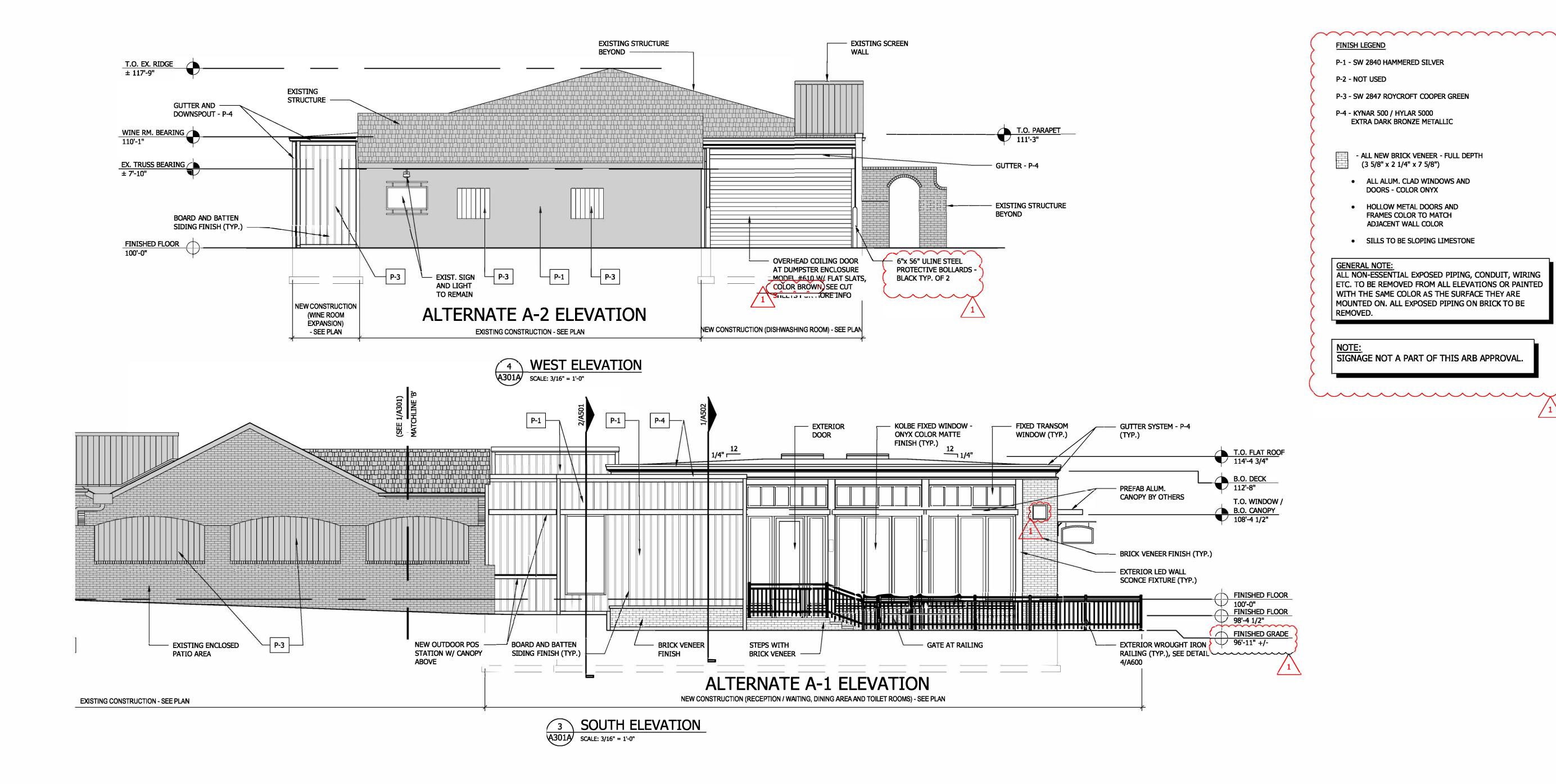
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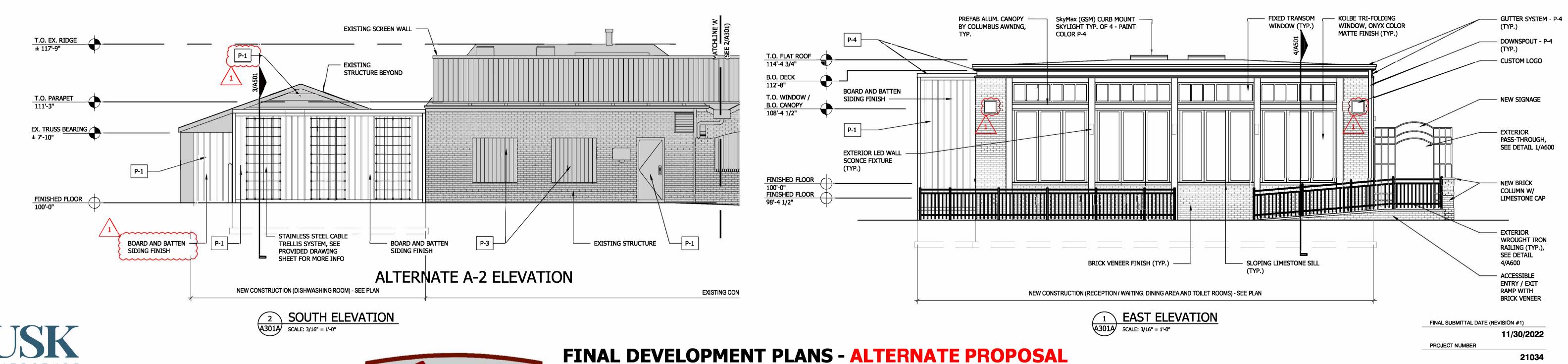
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SHEET TITLE

BASE EXTERIOR ELEVATIONS

SHEET NUMBER





TUCCI'S RESTAURANT ADDITION

35 NORTH HIGH STREET DUBLIN, OH 43017

614.827.6000

6170 Riverside Drive

Dublin, OH 43017

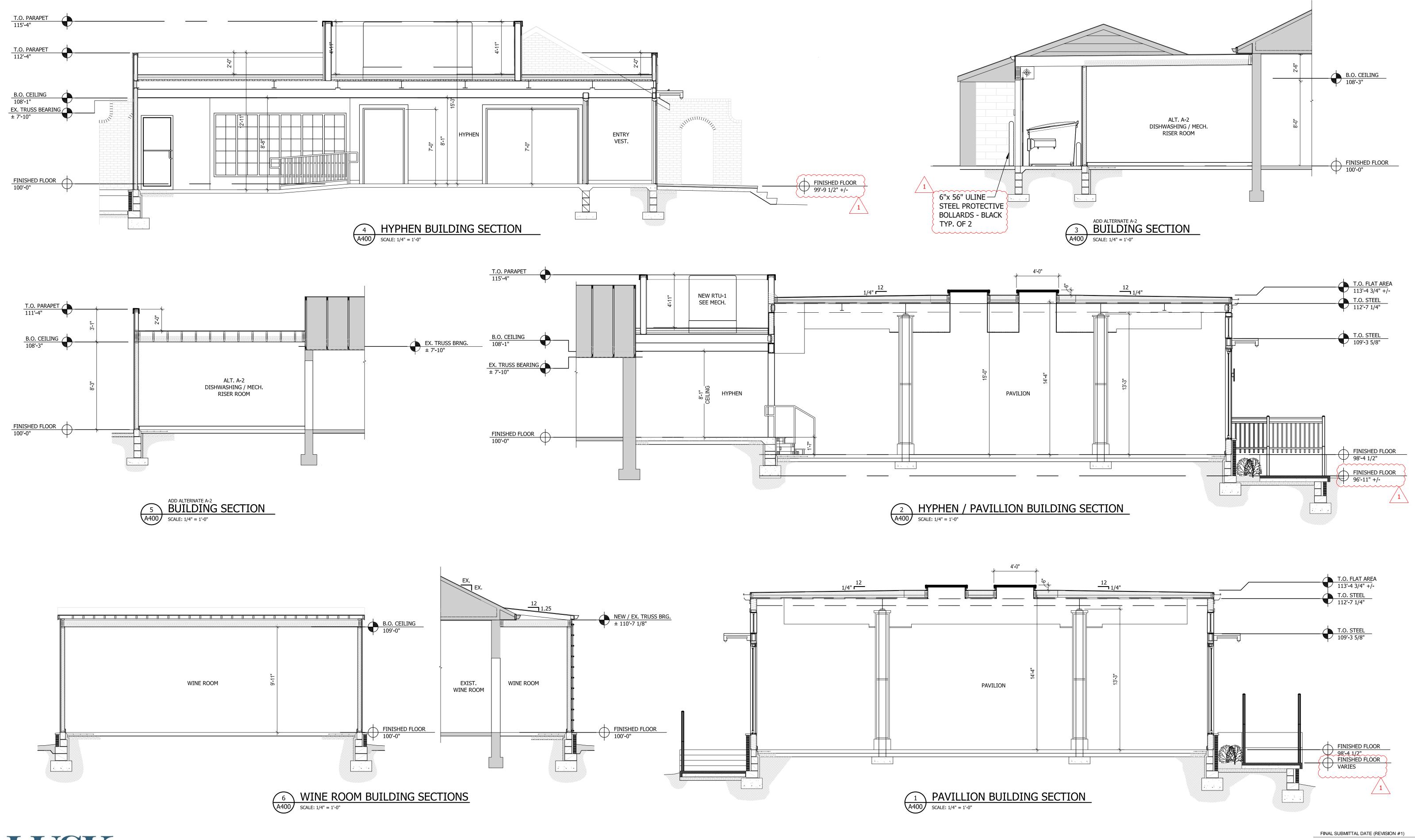
SHEET TITLE

SHEET NUMBER

City of Dublin

ALT. EXTERIOR ELEVATIONS

A301A





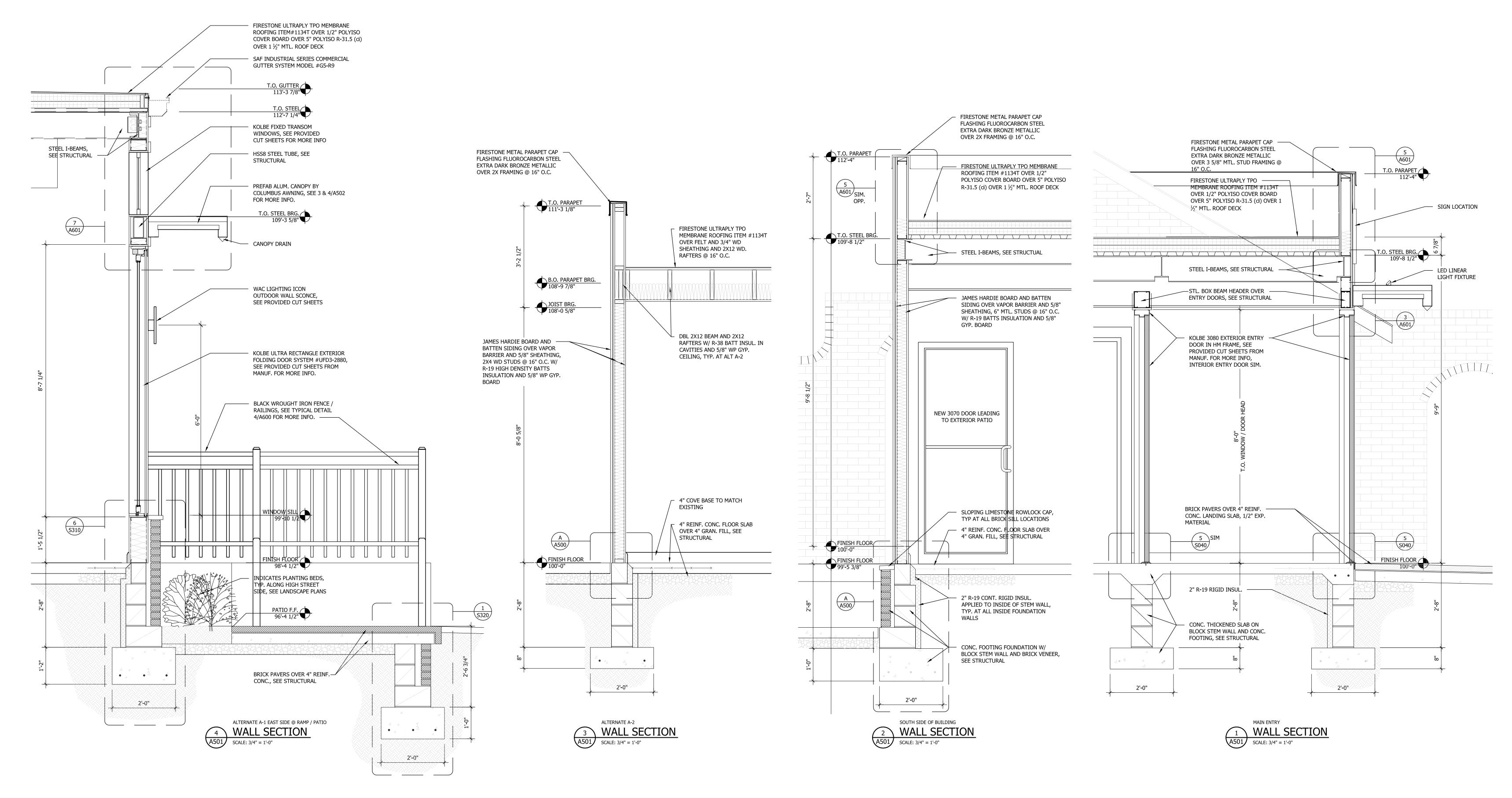


FINAL DEVELOPMENT PLANS

TUCCI'S RESTAURANT ADDITION 35 NORTH HIGH STREET DUBLIN, OH 43017



11/30/2022 PROJECT NUMBER 21034 SHEET TITLE **BUILDING SECTIONS** SHEET NUMBER







FINAL DEVELOPMENT PLANS TUCCI'S RESTAURANT ADDITION 35 NORTH HIGH STREET DUBLIN, OH 43017



FINAL SUBMITTAL DATE (REVISION #1)

11/30/2022

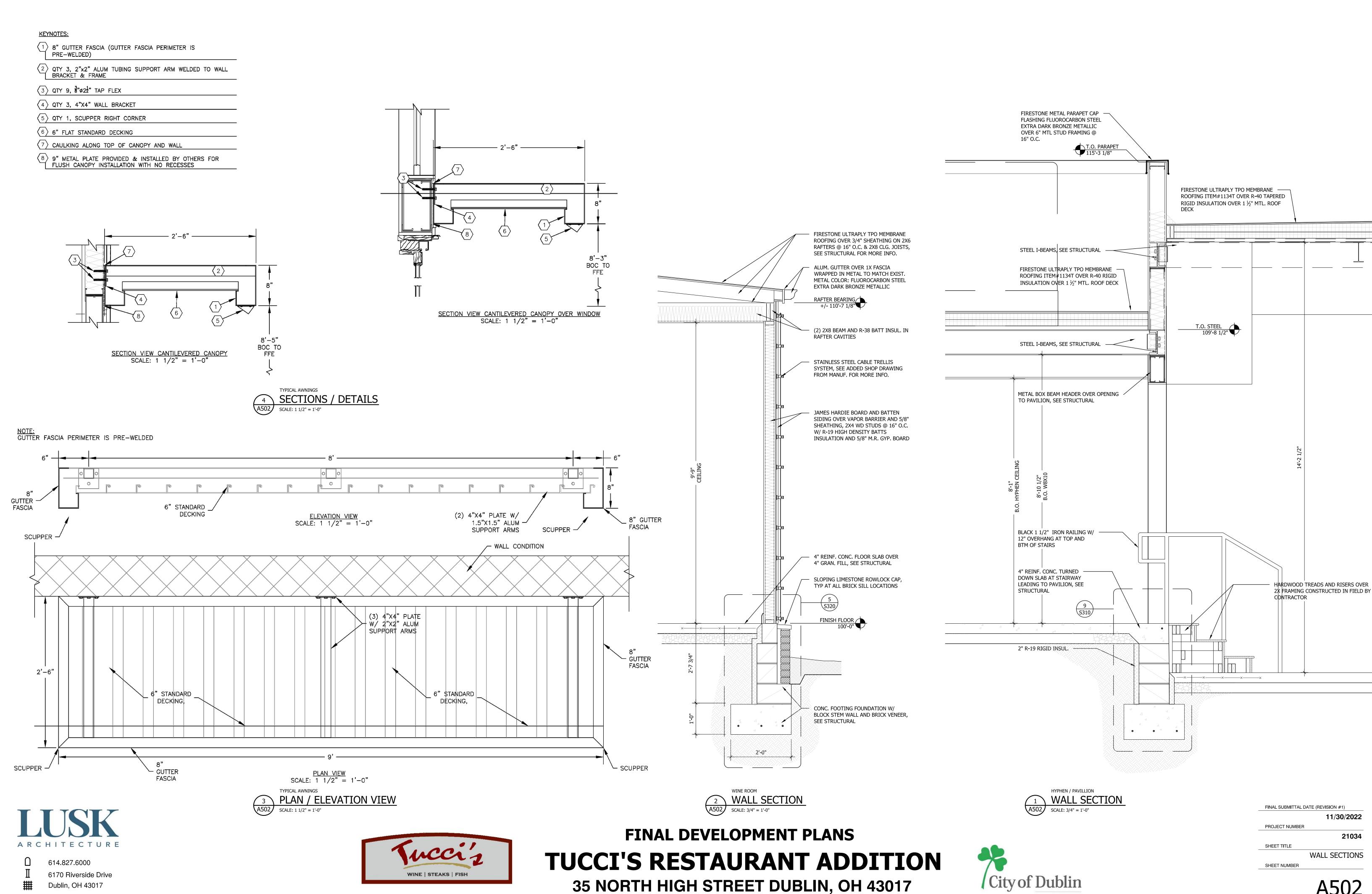
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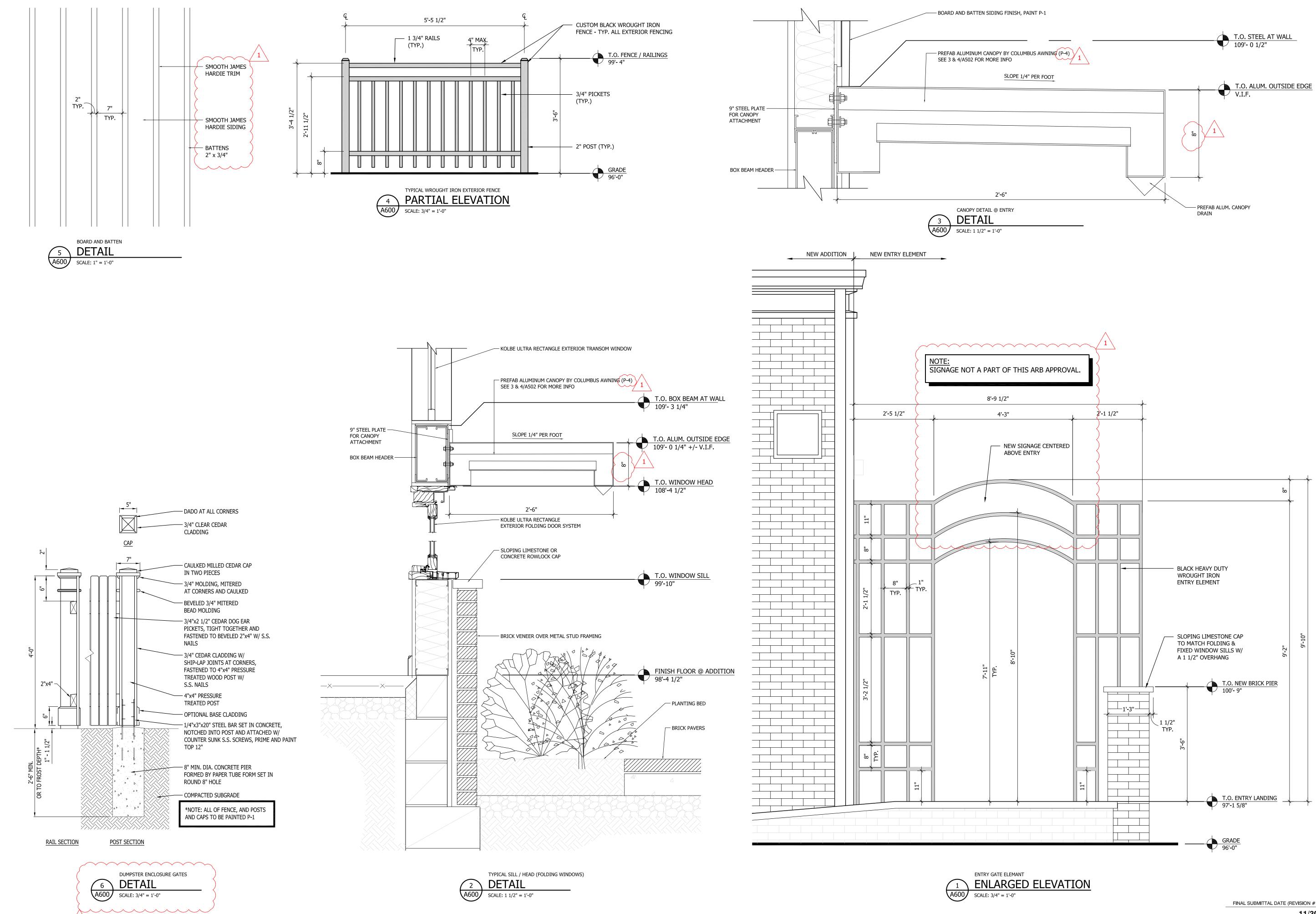
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SHEET TITLE

WALL SECTIONS

SHEET NUMBER









FINAL DEVELOPMENT PLANS





FINAL SUBMITTAL DATE (REVISION #1)

11/30/2022

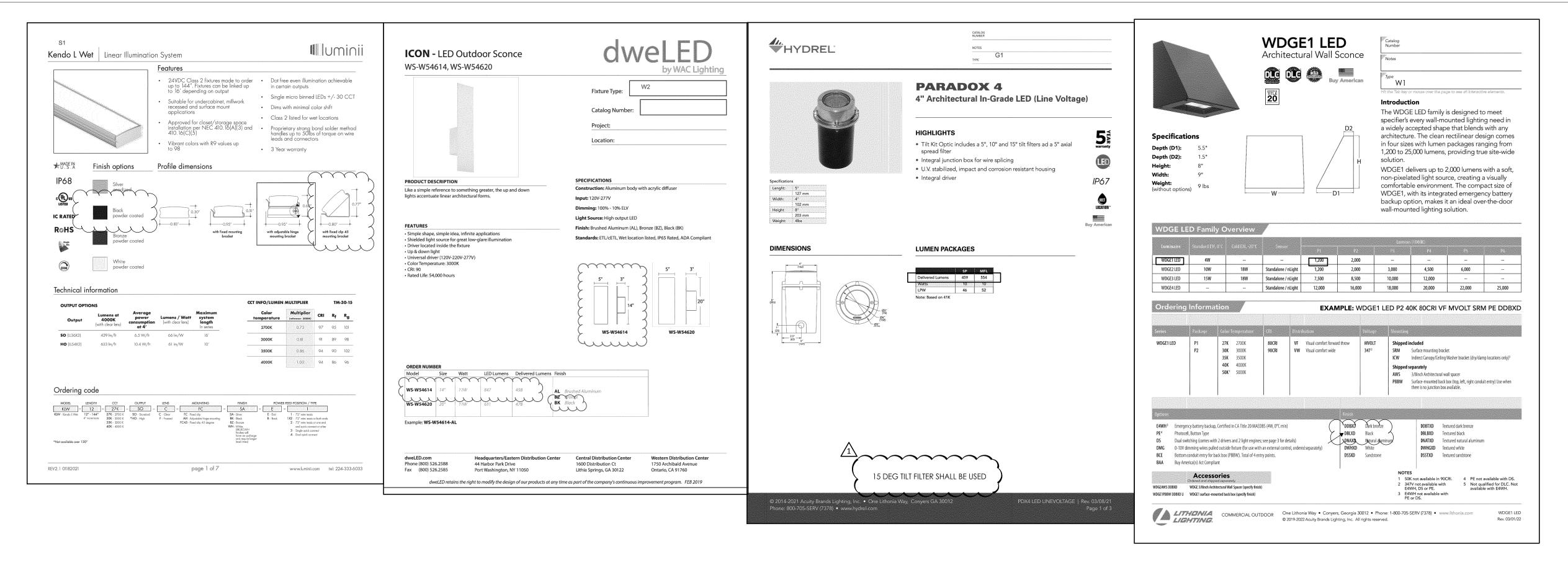
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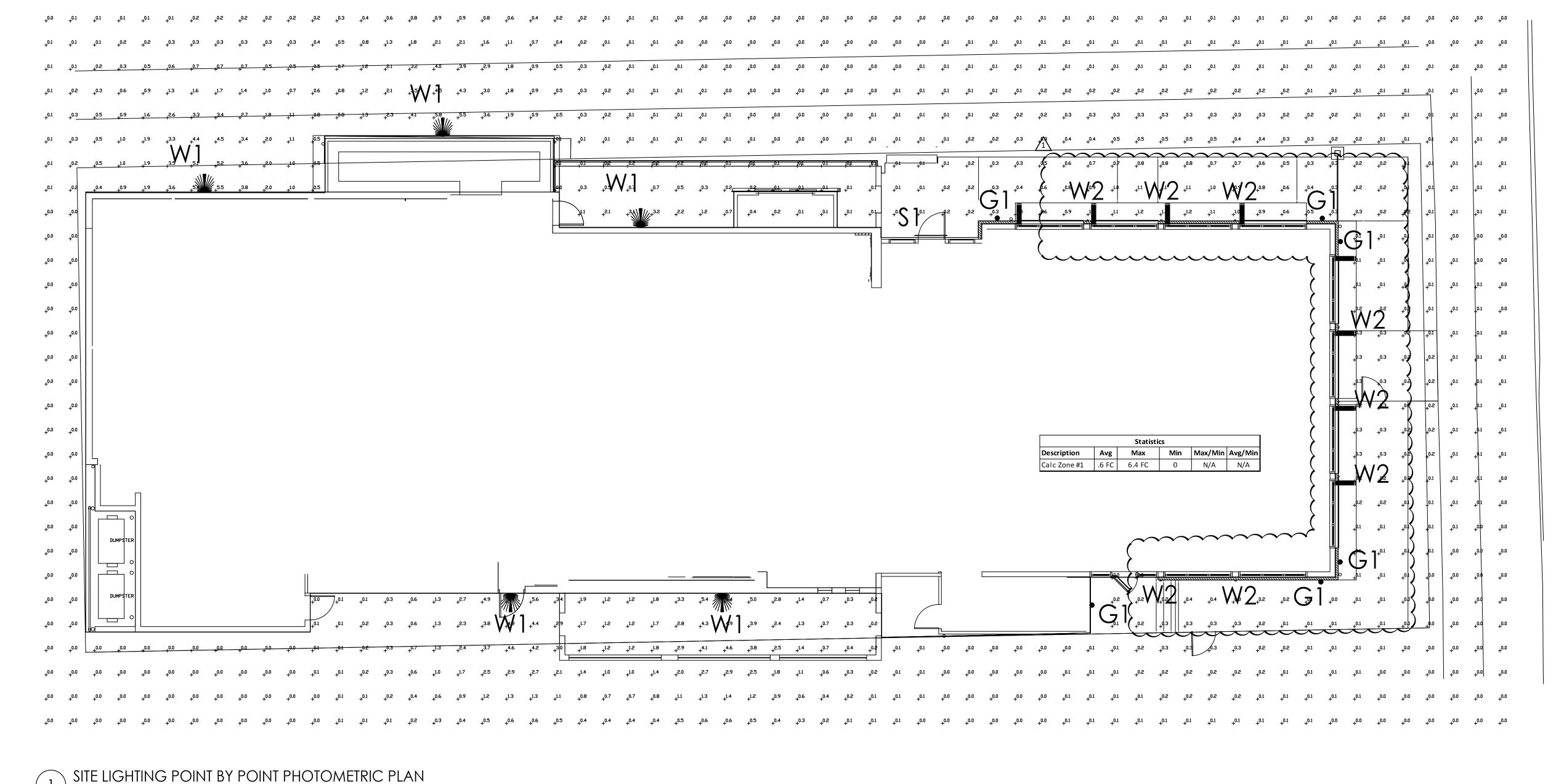
21034

SHEET TITLE

PLAN / SECTIONS / DETAILS

SHEET NUMBER





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PREPARED FOR

CLB Restaurants
4330 Tuller Road
Dublin, OH 43017
614-760-0432

SEAL

TUCCI'S ADDITION FINAL DEVELOPMENT PLANS 11/05/5055 BIG 11/05/505 BIG 11/05/5055 BIG 11/05/5055 BIG 11/05/5055 BIG 11/05/505 BIG 11

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SITE POINT BY POINT PLAN

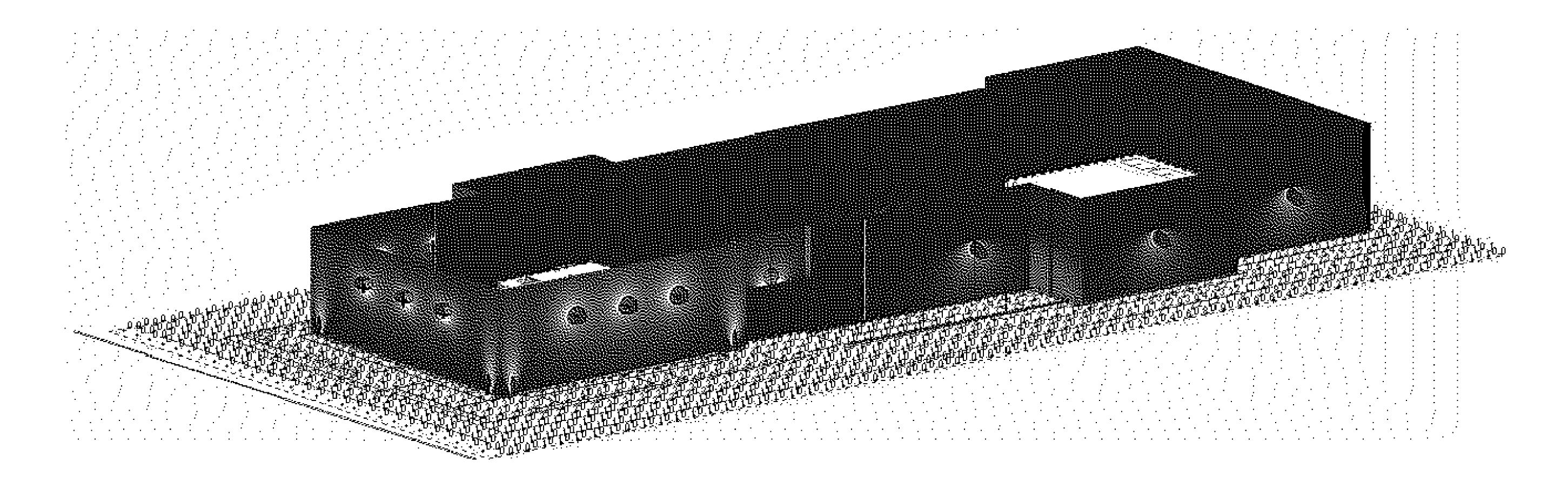
BID

REVISIONS

SHEET TITLE

CONSTRUCTION

21034



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CLB Restaurants
4330 Tuller Road

AL

Dublin, OH 43017 614-760-0432

TUCCI'S ADDITION
FINAL DEVELOPMENT PLANS

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